

**PROJECT DATA**

PROJECT LOCATION: 3111 SANTA ROSA AVE  
SANTA ROSA, CA 95407

ASSESSOR PARCEL #: 043-143-018 and 043-143-002

ZONING: CG - GENERAL COMMERCIAL  
(Residential: 30 Units/Acre with Use Permit)

SITE AREA: 4.51 ± ACRES GROSS (Entire Site)  
1.83 ± ACRES GROSS (Residential Site)

SELF-STORAGE: 85,494 S.F.

DENSITY: 26 UNITS PER ACRE (Residential)

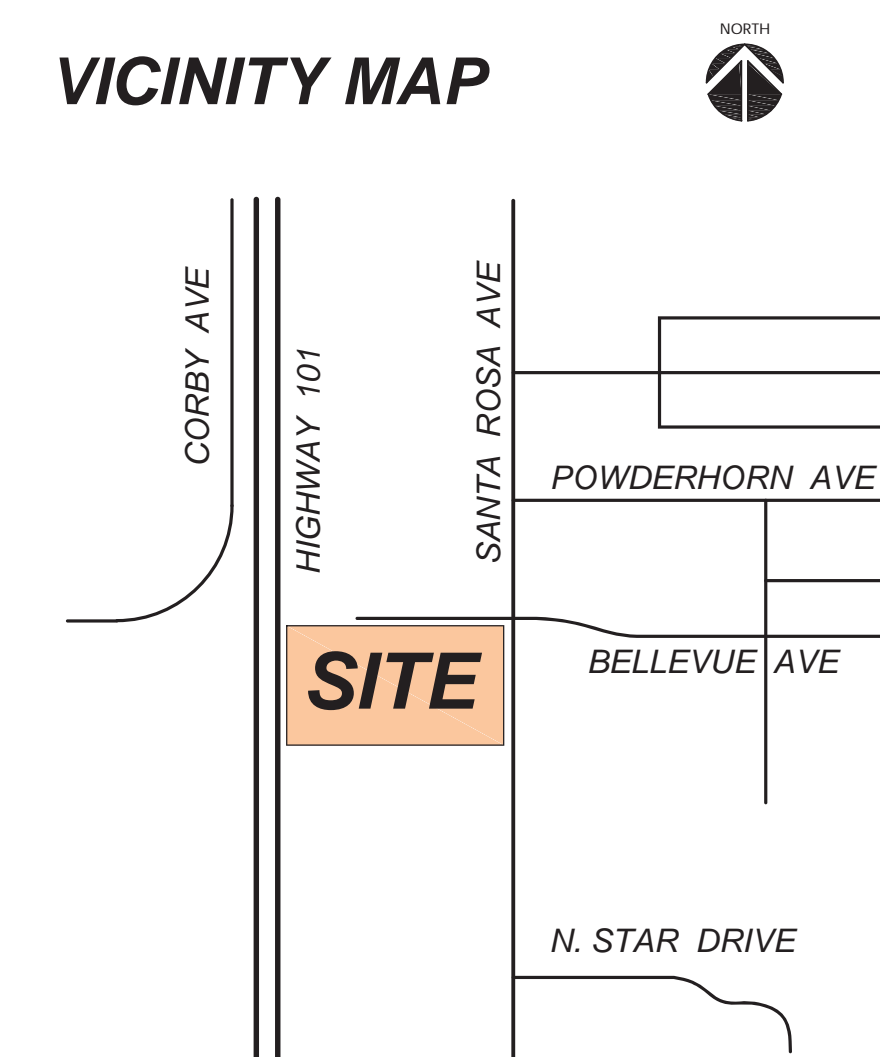
NUMBER OF APARTMENTS: 48 (10 2-BEDRM & 38 1-BEDRM UNITS)

PARKING REQUIRED: 84 SPACES  
(1 BDRM UNITS: 1 COVERED + 0.5)  
(2 BDRM UNITS: 1 COVERED + 1.5)

PARKING PROVIDED: 84 SPACES

BICYCLE PARKING:  
LONG TERM 14  
VISITOR 4

**VICINITY MAP**



**AVENUE 3111 STORAGE  
and APARTMENTS**

3111 Santa Rosa Avenue, Santa Rosa, California

**CONCEPTUAL SITE PLAN**

SCALE 1" = 30'



TIERNEY / FIGUEIREDO  
**TFA**  
ARCHITECTS AIA

A-1



Avenue 3111 Storage & Apartments

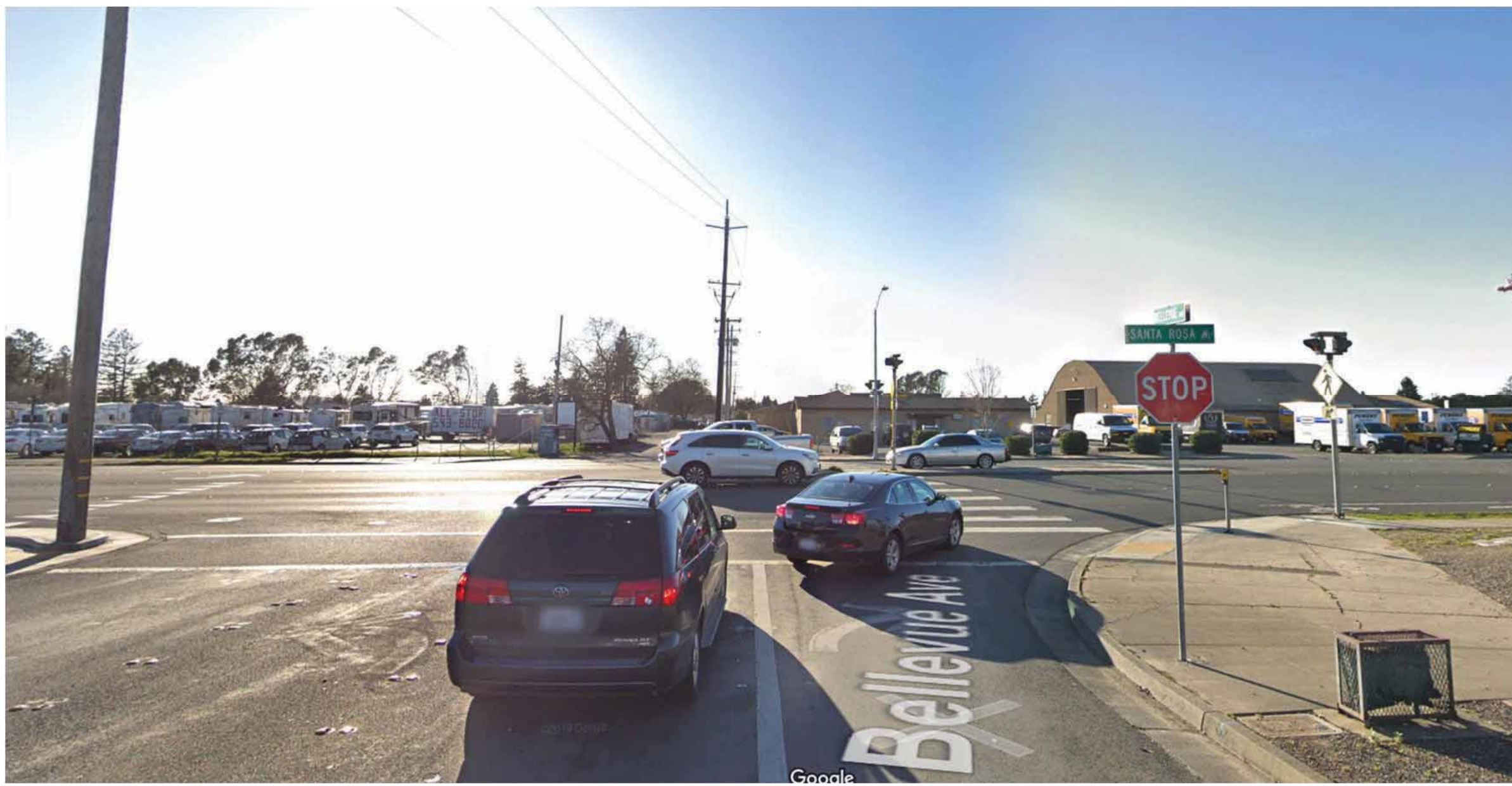
# SITE AERIAL

TIERNEY / FIGUEIREDO

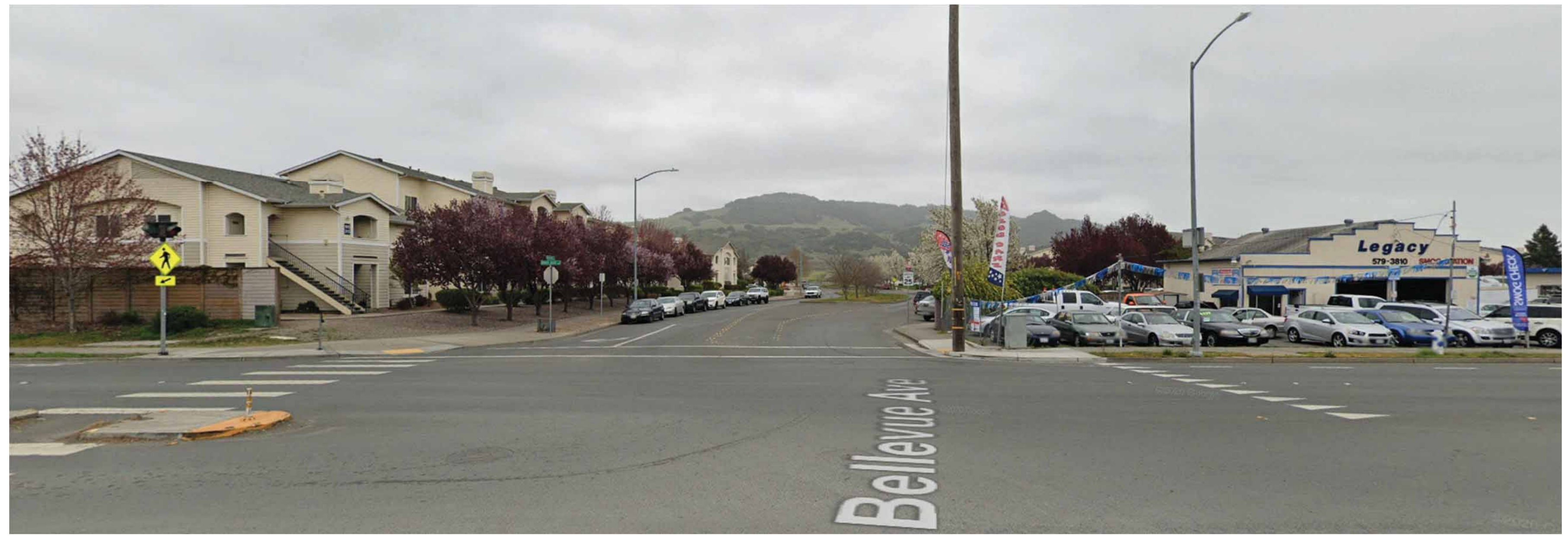
**TFA**

ARCHITECTS AIA

817 Russell Avenue, Suite H Santa Rosa, CA 95403  
(707) 576-1557 Fax 576-1555 info@tfarch.com



View west across Bellevue Avenue - Santa Rosa Avenue intersection



View east across Bellevue Avenue - Santa Rosa Avenue intersection



View west from site



View toward motel south of site on Santa Rosa Avenue



View to east of site from south Highway 101

## Avenue 3111 Storage & Apartments

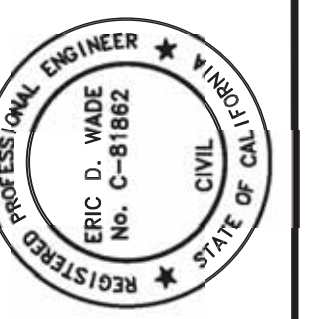
# SITE PHOTOS

TIERNEY / FIGUEIREDO

**TFA**

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**PRELIMINARY**  
NOT FOR CONSTRUCTION  
DATE: 09/23/2021  
DRAWN BY: ERIC D. WADE  
C-18862

200 4th STREET  
SANTA ROSA, CA 95401  
(707) 583-8500  
www.bkf.com

**3111 & 3119 SANTA ROSA AVENUE**  
APN -043-443-018, -002  
SANTA ROSA, CALIFORNIA

**PROJECT INFORMATION**

# SITE IMPROVEMENT DRAWINGS

3111 & 3119 SANTA ROSA AVENUE

SANTA ROSA, CA

APN 043-143-018, -002

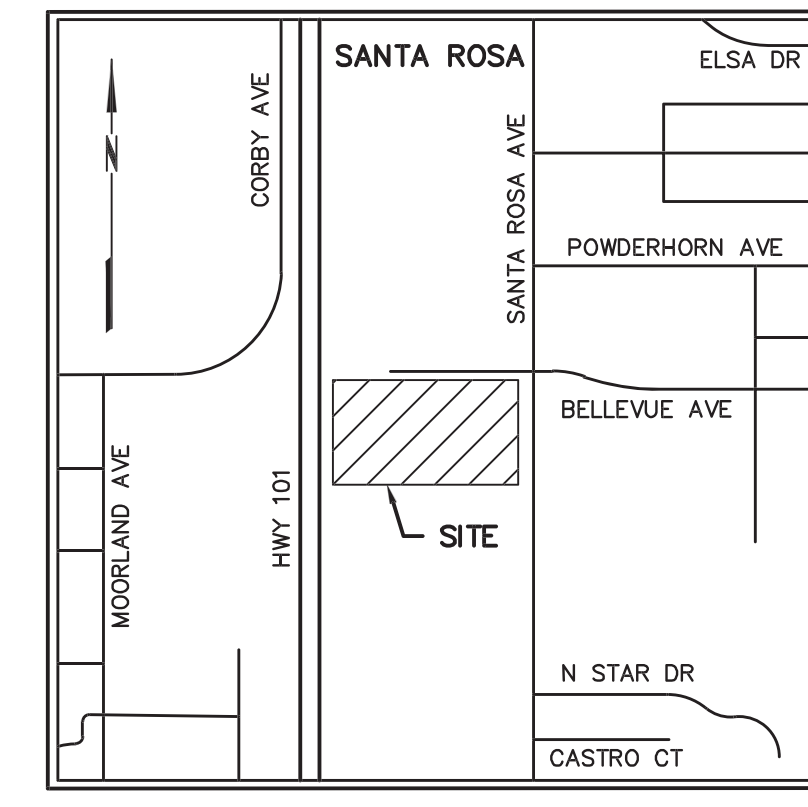
SEPTEMBER 2021

**ABBREVIATIONS**

±	MORE OR LESS	MB	MAILBOX
AC	ASPHALT CONCRETE	MH	MANHOLE
APN	ASSESSOR'S PARCEL NUMBER	MON	MONUMENT
BD	BRASS DISK	OH	OVERHEAD UTILITY LINE
BFF	BACKFLOW PREVENTOR	OR	OFFICIAL RECORDS
BLDG	BUILDING	SD	STORM DRAIN
BLRD	BOLLARD	SDCO	STORM DRAIN CLEAN OUT
BM	BENCHMARK	SDMH	STORM DRAIN MANHOLE
CB	CATCH BASIN	SS	SANITARY SEWER
CO	CLEAN OUT	SSCO	SANITARY SEWER CLEAN OUT
DOC	DOUBLE DETECTOR CHECK	SSMH	SANITARY SEWER MANHOLE
DN	DOCUMENT NUMBER	TEL	TELECOMMUNICATION
DW	DRIVEWAY	TBM	TEMPORARY BENCHMARK
DYL	DOUBLE YELLOW LINE	TS	TRAFFIC SIGNAL
E	ELECTRIC	THRU	THROUGH
EP	EDGE OF PAVEMENT	TV	TELEVISION
G	GAS	TYP	TYPICAL
GI	GRATE INLET	UB	UTILITY BOX
IP	IRON PIPE	ULT	VAULT
		WV	WATER VALVE

**SYMBOLS & LEGEND**

EXISTING	PROPOSED	DESCRIPTION
		FOUND CONCRETE MONUMENT FOUND STREET MONUMENT
		VALVE FIRE HYDRANT
		SIGN BACKFLOW PREVENTION DEVICE
		STREET LIGHT LIGHT POLE
		GUY ANCHOR UTILITY POLE
		TREE
		PROPERTY LINE PROPOSED LOT LINE
		EASEMENT CENTER LINE
		FLOW LINE FENCE
		OVERHEAD UTILITY LINE FLOW LINE
		SANITARY SEWER WATER
		BIORETENTION AREA CONCRETE
		DETECTABLE WARNING VALLEY GUTTER
		ASPHALT CONCRETE POROUS ASPHALT
		DETAIL IDENTIFICATION
		SHEET WHERE DETAIL IS SHOWN



**INDEX OF DRAWINGS**

- C1. PROJECT INFORMATION
- C2. GRADING AND UTILITY PLAN

**NOTES:**  
THIS CONCEPTUAL SITE PLAN HAS BEEN PREPARED TO PROVIDE THE REVIEWING AGENCY WITH A DRAWING REFLECTING THE PARCEL'S EXISTING CONDITION AND THE PROPOSED CONCEPTUAL LAYOUT. MINOR ADJUSTMENTS MAY BE MADE DURING THE DEVELOPMENT OF THE CONSTRUCTION DRAWINGS TO FACILITATE THE REQUESTS OF CITY STAFF, THE BUILDING CODE AND LOCAL REGULATIONS.

FIRE HYDRANTS, BUILDING SPRINKLERS AND FIRE DEPARTMENT CONNECTIONS FOR BUILDING SPRINKLERS WILL BE REQUIRED WITH THIS DEVELOPMENT. THESE FACILITIES WILL BE LOCATED AND SIZED IN ACCORDANCE WITH THE BUILDING CODE, APPLICABLE CITY STANDARDS AND STATE REGULATIONS WITH THE DEVELOPMENT OF CONSTRUCTION DRAWINGS.

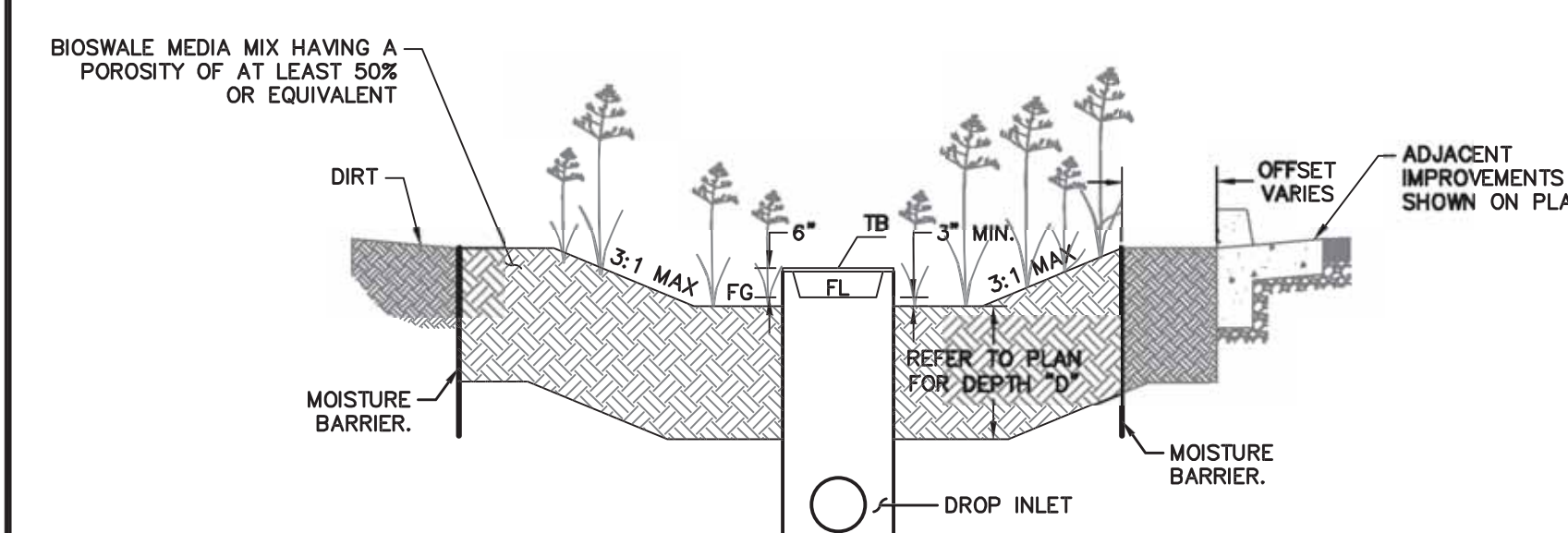
THE PROFESSIONAL PREPARING THESE DRAWINGS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THIS MAP. CHANGES TO THIS MAP MUST BE REQUESTED IN WRITING AND MUST BE APPROVED BY THE PROFESSIONAL.

TOPOGRAPHIC INFORMATION SHOWN HEREON WAS OBTAINED FROM A FIELD SURVEY CONDUCTED BY BKF ENGINEERS ON SEPTEMBER 19, 2017.

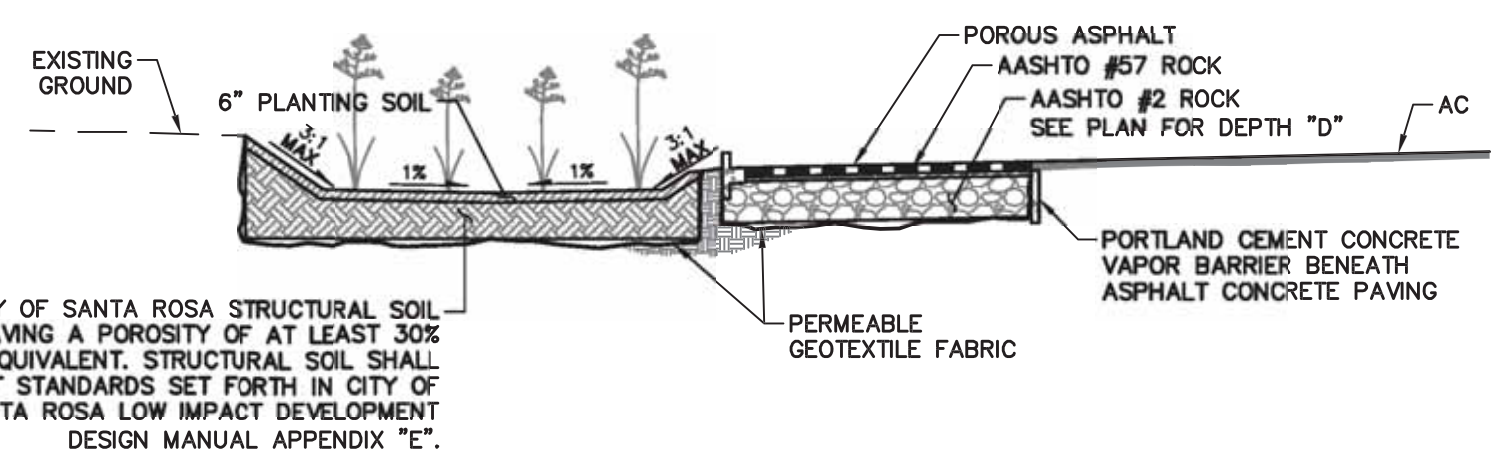
TREE DIAMETERS ARE MEASURED AT CHEST HEIGHT (48"). DRIFLINE DIAMETERS AND TREE SPECIES ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED BY A CERTIFIED TREE ARBORIST.

BASIS OF BEARING: BETWEEN FOUND MONUMENTS G-459 & G-460 (CITY OF SANTA ROSA CONTROL MONUMENTS AS SHOWN ON THAT RECORD OF SURVEY "BEING THE LANDS OF ROBERT L. HENRY," FILED FOR RECORD JULY 25, 2003, IN BOOK 651 OF MAPS, AT PAGE 20, SONOMA COUNTY RECORDS, AS N00°46'22"E.

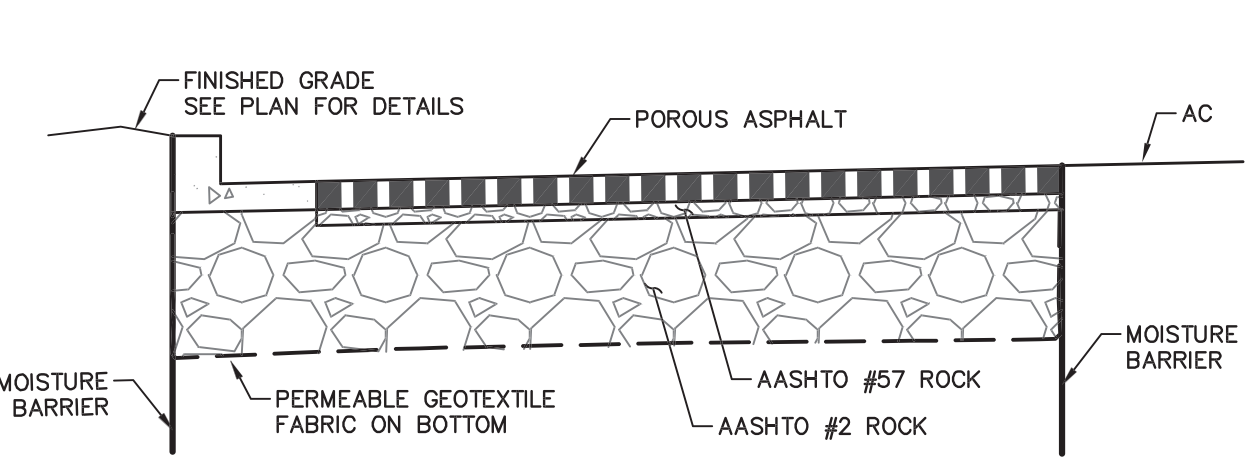
BENCHMARK: BRASS DISK IN WELL MONUMENT (CITY OF SANTA ROSA COORDINATE MONUMENT G-459) AT THE INTERSECTION OF SANTA ROSA AVENUE AND BELLEVUE AVENUE, ELEVATION 120.44.



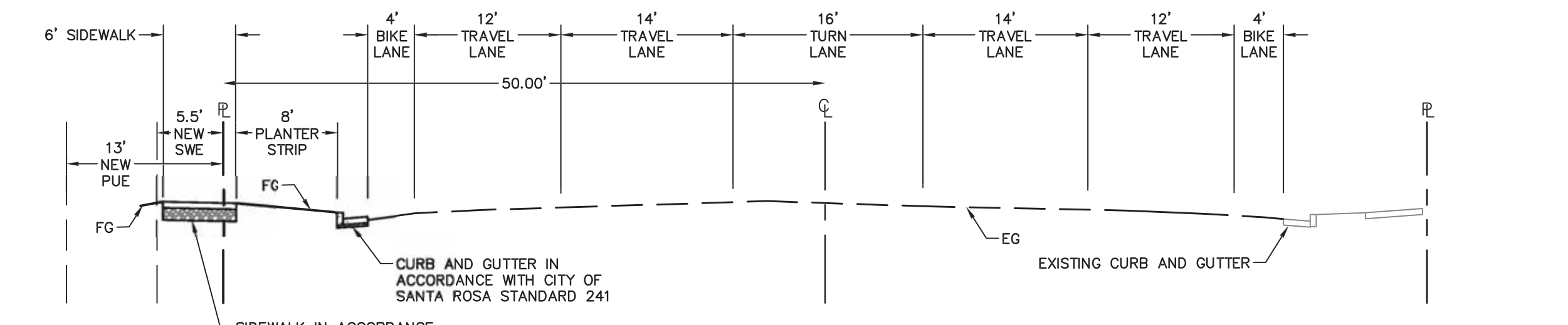
**1A BIORETENTION AREA**  
NO SCALE



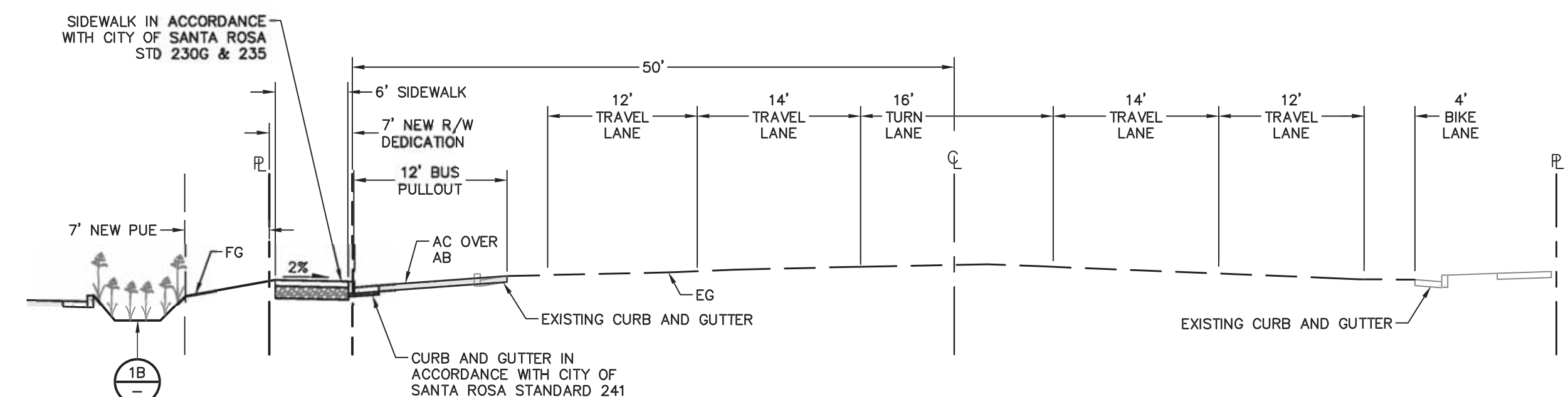
**1B POROUS ASPHALT AND BIORETENTION DETAIL**  
NO SCALE



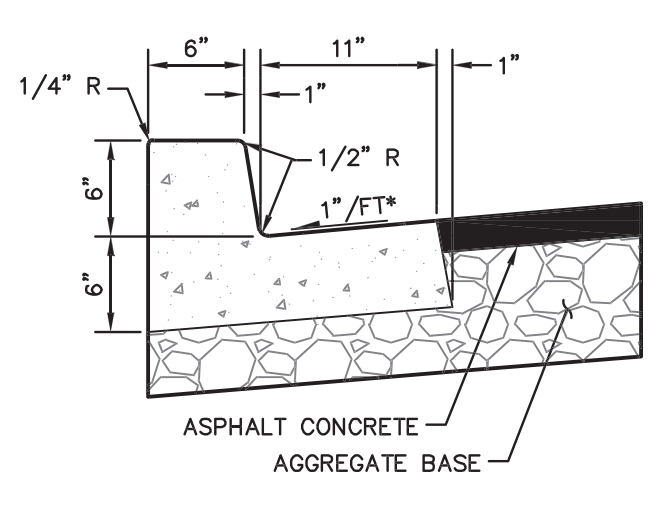
**1C POROUS ASPHALT**  
NO SCALE



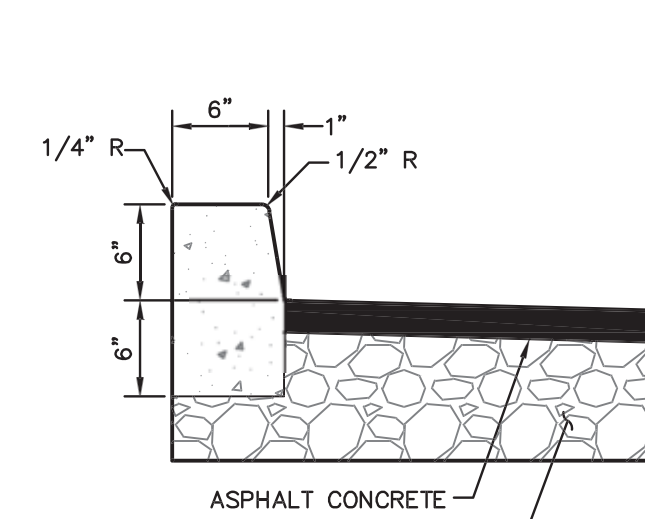
**1 SANTA ROSA AVE TYPICAL SECTION**  
NO SCALE



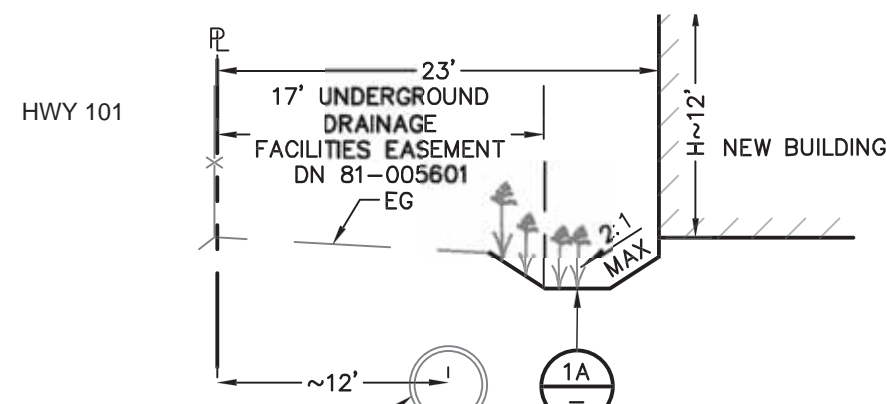
**2 SANTA ROSA AVE TYPICAL SECTION AT BUS STOP**  
NO SCALE



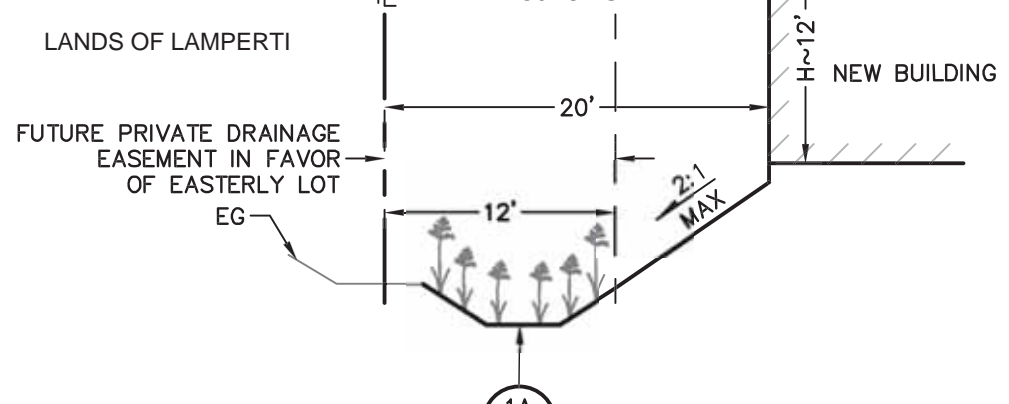
**2 CURB AND GUTTER DETAIL**  
NO SCALE



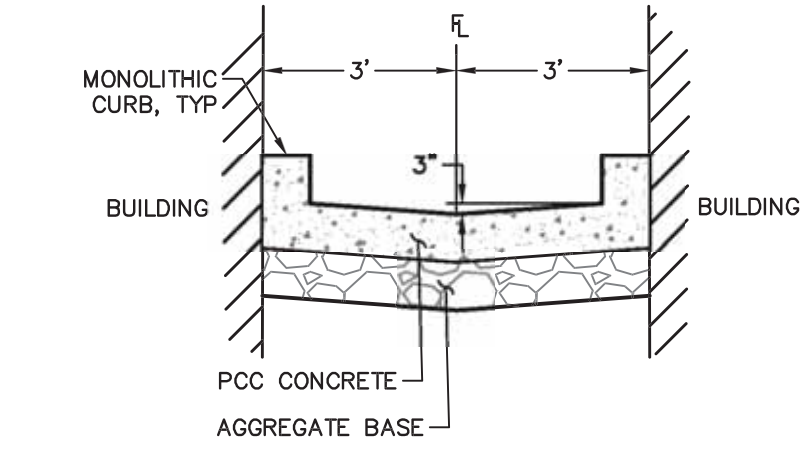
**3 CURB DETAIL**  
NO SCALE



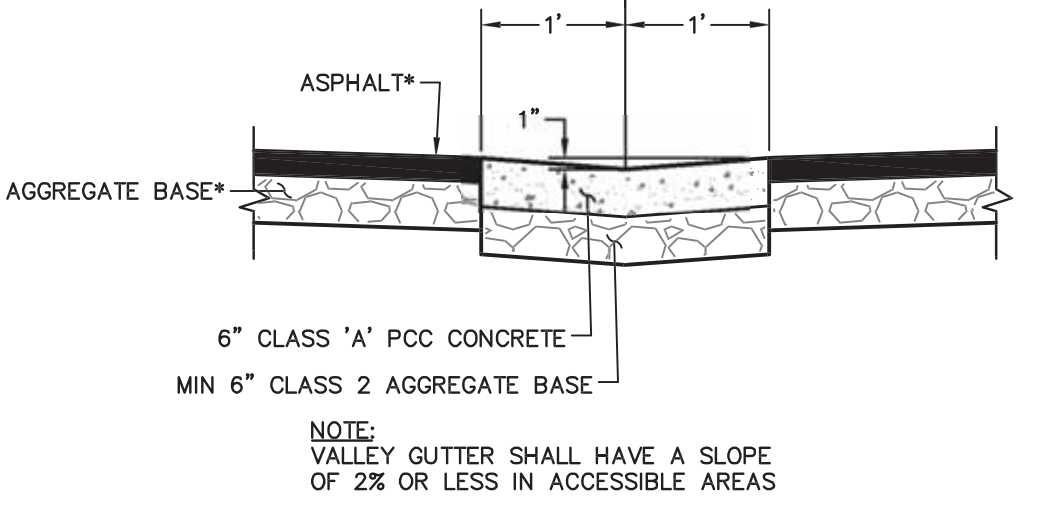
**A SECTION 'A'**  
NO SCALE



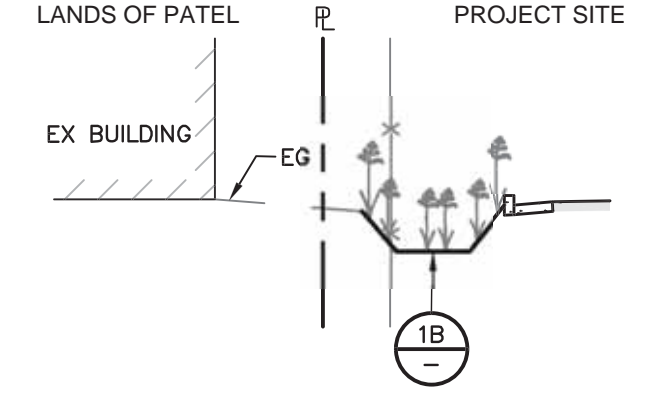
**B SECTION 'B'**  
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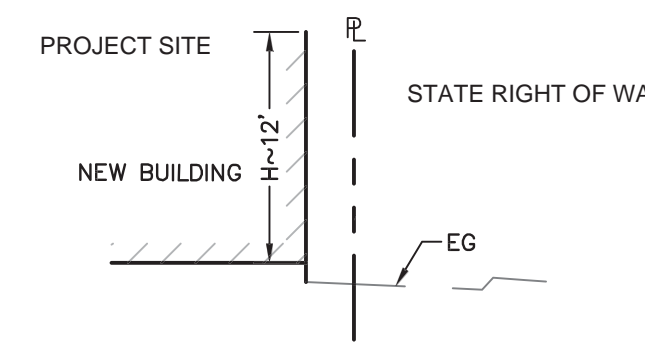
**4 PASS THRU DETAIL**  
NO SCALE



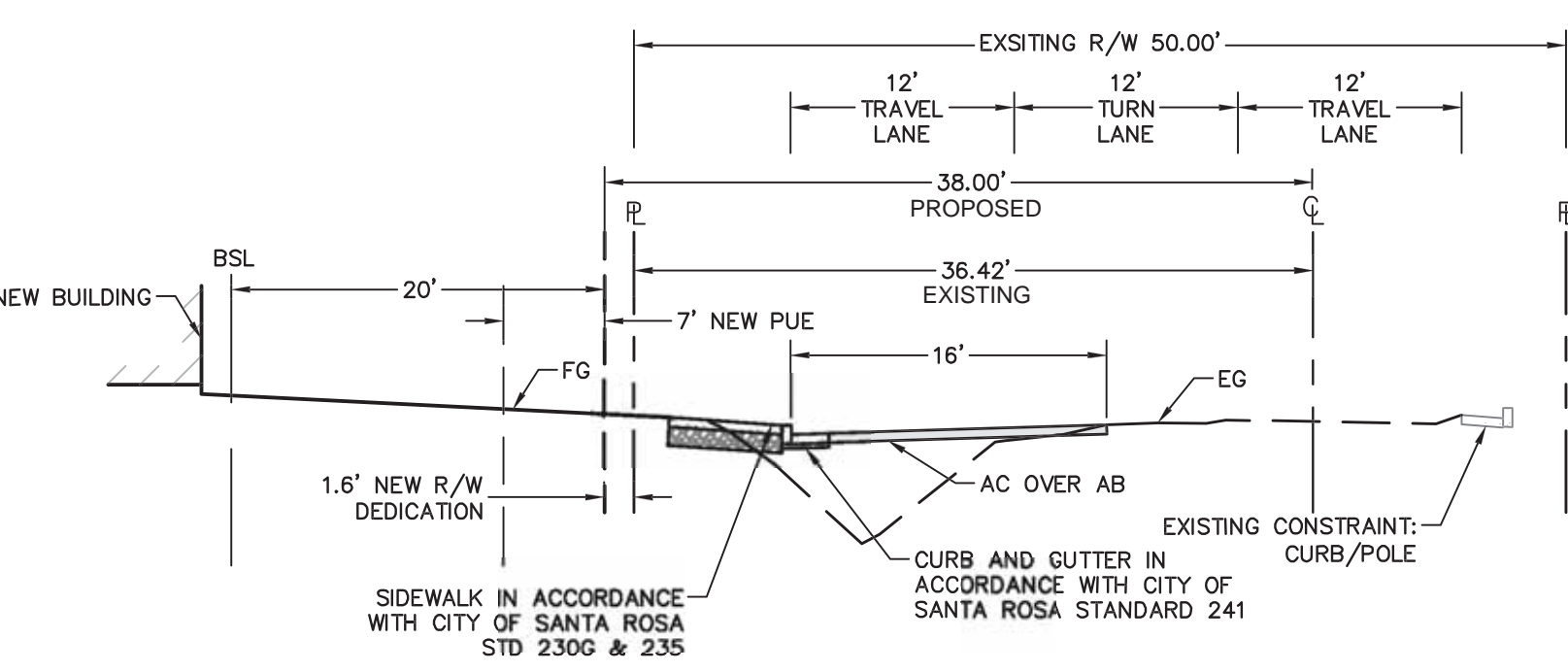
**6 VALLEY GUTTER DETAIL**  
NO SCALE



**C SECTION 'C'**  
NO SCALE

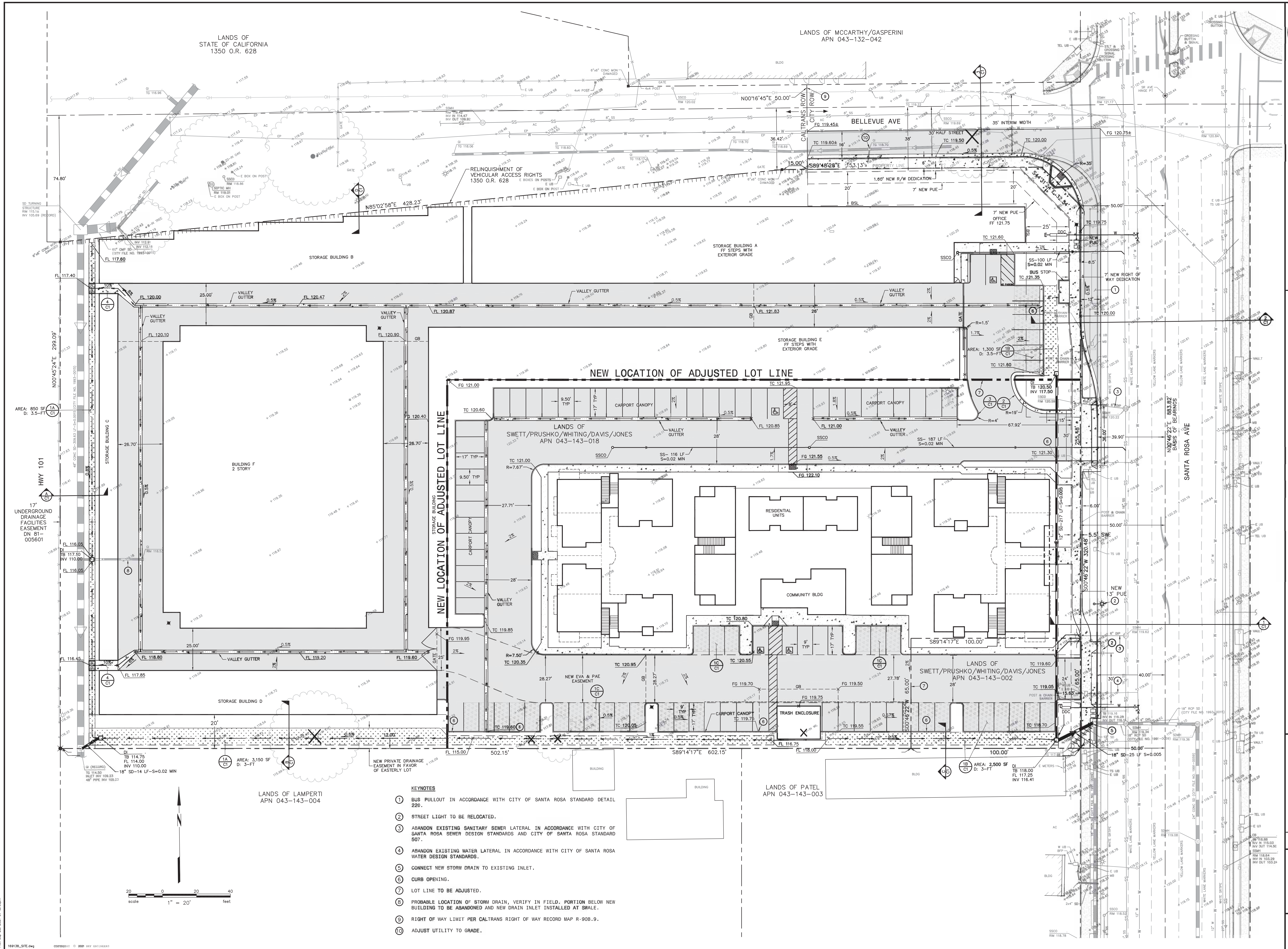


**D SECTION 'D'**  
NO SCALE



**3 BELLEVUE AVE TYPICAL SECTION**  
NO SCALE

Revisions	No.	Date	By



LANDS OF STATE OF CALIFORNIA  
1350 O.R. 628

LANDS OF MCCARTHY/GASPERINI  
APN 043-132-042

RELINQUISHMENT OF VEHICULAR ACCESS RIGHTS  
1350 O.R. 628

NEW LOCATION OF ADJUSTED LOT LINE

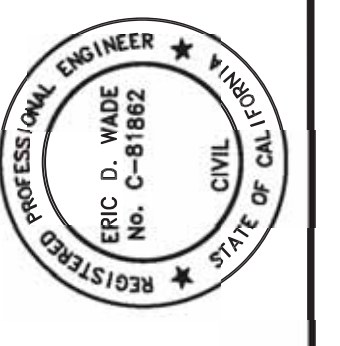
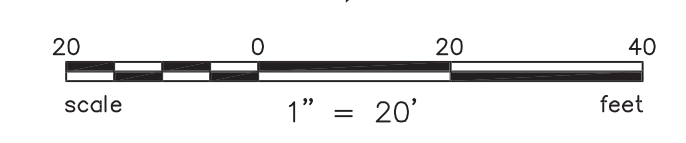
LANDS OF SWETT/PRUSHKO/WHITING/DAVIS/JONES  
APN 043-143-018

LANDS OF SWETT/PRUSHKO/WHITING/DAVIS/JONES  
APN 043-143-002

LANDS OF LAMPERTI  
APN 043-143-004

LANDS OF PATEL  
APN 043-143-003

- KEYNOTES**
- 1 BUS PULLOUT IN ACCORDANCE WITH CITY OF SANTA ROSA STANDARD DETAIL 220.
  - 2 STREET LIGHT TO BE RELOCATED.
  - 3 ABANDON EXISTING SANITARY SEWER LATERAL IN ACCORDANCE WITH CITY OF SANTA ROSA SEWER DESIGN STANDARDS AND CITY OF SANTA ROSA STANDARD 507.
  - 4 ABANDON EXISTING WATER LATERAL IN ACCORDANCE WITH CITY OF SANTA ROSA WATER DESIGN STANDARDS.
  - 5 CONNECT NEW STORM DRAIN TO EXISTING INLET.
  - 6 CURB OPENING.
  - 7 LOT LINE TO BE ADJUSTED.
  - 8 PROBABLE LOCATION OF STORM DRAIN, VERIFY IN FIELD. PORTION BELOW NEW BUILDING TO BE ABANDONED AND NEW DRAIN INLET INSTALLED AT SWALE.
  - 9 RIGHT OF WAY LIMIT PER CALTRANS RIGHT OF WAY RECORD MAP R-908-9.
  - 10 ADJUST UTILITY TO GRADE.



**PRELIMINARY**  
NOT FOR CONSTRUCTION  
DATE: 09/23/2021  
ERIC D. WADE C-18862

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3111 & 3119 SANTA ROSA AVENUE  
APN 043-443-008, -002  
SANTA ROSA, CALIFORNIA

**GRADING AND UTILITY PLAN**

Revisions	No.	Date	By	Appr.

Date: SEPTEMBER, 2021  
Scale: AS SHOWN  
Design: EDW/BRIS  
Drawn: IT  
Approved: EDW  
Job No: 20180135

**U.S.A. NOTE**  
 IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO BE FAMILIAR WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, STRUCTURES, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL EXERCISE EXTREME CARE, AND BE RESPONSIBLE FOR ANY DAMAGE IN EXCAVATING AND WORKING NEAR UTILITIES. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OTHER SUB-CONTRACTORS FOR THE LOCATION OF UTILITIES AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, AND NEAR STRUCTURES. PRIOR TO CONSTRUCTION, CONTACT ALL APPLICABLE AGENCIES AND U.S.A. AT 1-800-642-2444 OR 1-800-321-2600 TO FIELD LOCATE ALL EXISTING UTILITIES.

THESE DRAWINGS COMPLY WITH THE CRITERIA OF THE ORDINANCE. ORDINANCE REQUIREMENTS HAVE BEEN APPLIED FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN AND THE LANDSCAPE DESIGN PLAN.

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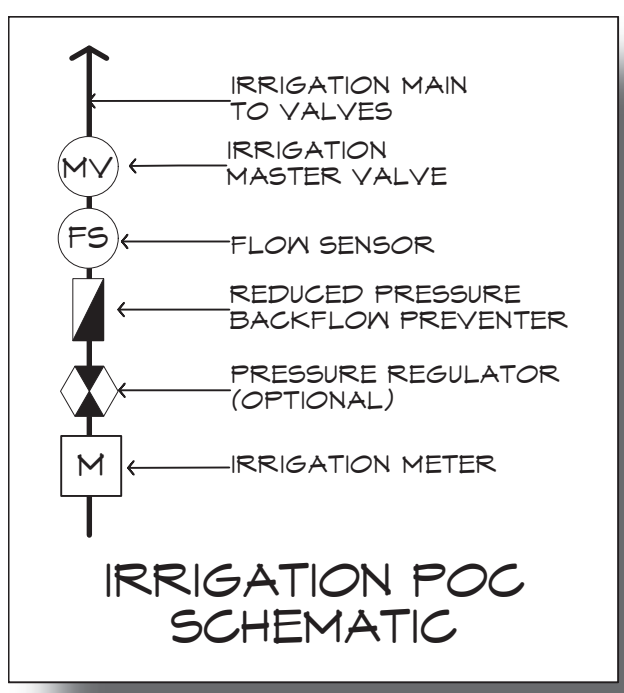
**CONCEPT IRRIGATION PLAN APARTMENTS**

**AVENUE 3111 STORAGE & APARTMENTS**  
 3111 SANTA ROSA AVENUE  
 SANTA ROSA, CA

DATE: 10/11/21  
 MLA JOB #: 2020-28  
 SCALE: 1" = 20'  
 DRAWN: DM

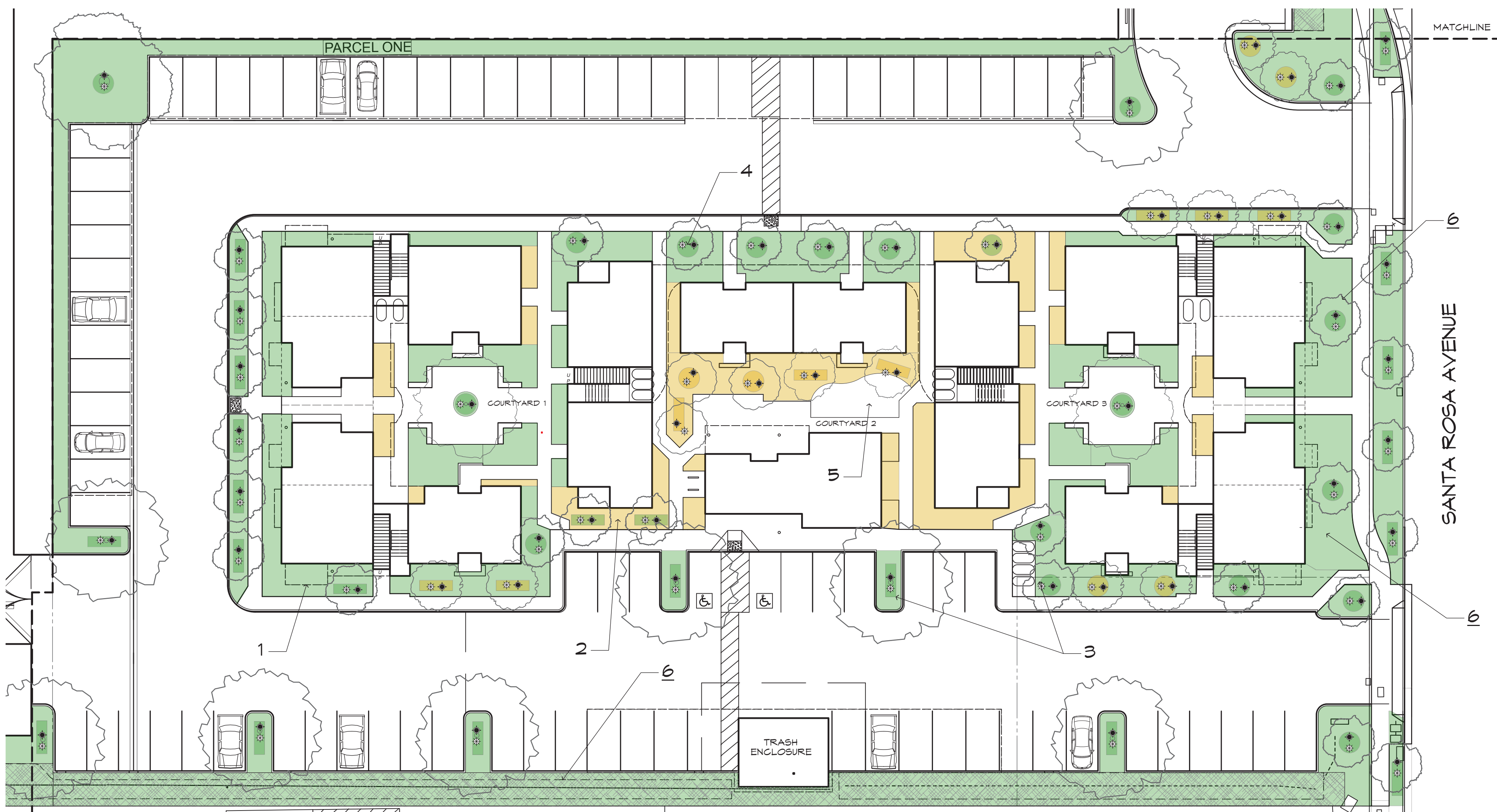
**BIORETENTION AREAS SUPPLEMENTAL TEMPORARY IRRIGATION**

CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY SUPPLEMENTAL IRRIGATION OF ALL BIO-RETENTION AREAS THROUGH THE SOD OR PLANT ESTABLISHMENT PERIOD. METHOD OF IRRIGATION APPLICATION IS DISCRETIONARY AND MAY INCLUDE HAND WATERING OR INSTALLATION OF A TEMPORARY, ABOVE GRADE OVERHEAD SPRAY CIRCUIT. ANY REPLACEMENT NECESSARY FOR LOSS OR DAMAGE TO SOD OR PLANTS DUE TO LACK OF WATER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT CONTRACTOR'S EXPENSE.



**IRRIGATION NOTES**

1. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHERWISE NOTED ON THE PLANS.
2. THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM STATIC PRESSURE OF 35 PSI AT THE VALVES AND THE MAXIMUM FLOW DEMAND SHOWN ON THE IRRIGATION DRAWINGS AT THE POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION OF THE IRRIGATION SYSTEM. IF THE WATER PRESSURE SHOWN ON THE DRAWINGS DIFFERS FROM THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO THE START OF CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
3. THE LOCATION OF THE CONTROLLER TO BE VERIFIED BY OWNER. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTING ALL PROPOSED STATIONS TO THE CONTROLLER. CONTROLLER TO BE CONFIGURED TO OPERATE 4 STATIONS. CONTROLLER SHALL BE HUNTER IC-600-M WITH CM-600 EXPANSION MODULE.
4. ALL CONSTRUCTION IS TO BE PER THE LATEST EDITION OF THE UNIFORM BUILDING CODE.
5. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ROOT BARRIERS, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY. INSTALL PIPING AND VALVES IN PLANTING AREAS WHERE POSSIBLE, AND LOCATE ELECTRIC CONTROL AND QUICK COUPLING VALVES IN GROUND COVER/SHRUB AREAS, 6" TO 12" AWAY FROM HARDSCAPE OR TURF AREA FOR EASY ACCESS.
6. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS AND THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.
7. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, STRUCTURES, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL EXERCISE EXTREME CARE, AND BE RESPONSIBLE FOR ANY DAMAGE IN EXCAVATING AND WORKING NEAR UTILITIES. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS FOR THE LOCATION OF UTILITIES AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, AND NEAR STRUCTURES. PRIOR TO CONSTRUCTION, CONTACT ALL APPLICABLE AGENCIES AND U.S.A. AT 1-800-642-2444 TO FIELD LOCATE ALL EXISTING UTILITIES.
8. FIELD ADJUSTMENTS MAY BE REQUIRED TO PROVIDE OPTIMUM OPERATING EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE LANDSCAPE ARCHITECT TO REVIEW FIELD ADJUSTMENTS PRIOR TO INSTALLATION. IN THE EVENT THAT NO CONTACT IS MADE WITH THE LANDSCAPE ARCHITECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REVISIONS.
9. SLEEVE ALL IRRIGATION PIPE AND CONTROL WIRES UNDER STREETS AND CONCRETE WALKWAYS WITH THE PROPER SIZE CLASS 200 PVC PIPE TO DEPTH AS SPECIFIED.
10. FOR ADDITIONAL INFORMATION, SEE PROJECT DETAILS AND SPECIFICATIONS.
11. ALL WORK SHALL CONFORM TO ALL APPLICABLE CITY OF SANTA ROSA CONSTRUCTION STANDARDS.
12. NO GALVANIZED IRON PIPE OR FITTINGS SHALL BE ALLOWED.
13. A BALL VALVE IN A SEPARATE ROUND VALVE BOX IS TO BE INSTALLED IMMEDIATELY UPSTREAM FROM EACH REMOTE CONTROL VALVE OR GROUP OF VALVES. VALVE SHALL BE SIZED TO MAINLINE SUPPLY AT THE RC VALVE. SEE DETAIL.
14. INSTALL 3" WIDE DETECTABLE TAPE (#5) DTP, AS MANUFACTURED BY T. CHRISITY. TAPE SHALL BE INSTALLED 6" ABOVE THE IRRIGATION MAIN.
15. INSTALL ALL LANDSCAPE DRIPLINE BENEATH MULCH. INSTALL ALL TUBING 3" BELOW GRADE, PARALLEL AT SPACINGS INDICATED. USE LANDSCAPE STAPLES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS TO SECURE TUBING TO GROUND.
16. A SIGNED CERTIFICATE OF COMPLETION IS REQUIRED PRIOR TO FINAL ACCEPTANCE BY THE CITY OF SANTA ROSA. IF THE INSTALLATION OF THE LANDSCAPE DOES MEET OR SUBSTANTIALLY COMPLY WITH THE APPROVED LANDSCAPE CONSTRUCTION DOCUMENTS, THE CERTIFICATE OF COMPLETION WILL NOT BE SIGNED OR APPROVED BY THE LANDSCAPE ARCHITECT OF RECORD.



**TREE & BIORETENTION CONCEPT IRRIGATION PLAN**

SCALE: 1" = 20'-0"



**IRRIGATION LEGEND**

SYMBOL	EQUIPMENT	MANUFACTURER	MODEL	REMARKS
	STREAM BUBBLER: 6" POP-UP	HUNTER	PROS-06-CV-R-PRS30-MSBN-25Q	TREE WELL BUBBLER, AIM AT ROOT BALL; 1 PER TREE
	ROOT WATERING SYSTEM	HUNTER	RZWS-18-25-CV	1 PER TREE
	1" NORMALLY CLOSED MASTER VALVE	HUNTER	ICV-101G	INSTALL DOWNSTREAM FROM BACKFLOW PREVENTER
	REMOTE CONTROL VALVE: TREE BUBBLER	HUNTER	ICV-101G-AS-ADJ	TREE BUBBLER CIRCUIT VALVE; SEE PLAN FOR SIZE
	REMOTE CONTROL VALVE: DRIP CIRCUIT	HUNTER	ICZ-101-LF-25, ICZ-101-25	DRIP CIRCUIT VALVE
	6 STATION BASE CONTROLLER (2 WIRE CONFIGURATION)	HUNTER	IC-600-SS	MOUNT ON PANEL AT EYE LEVEL
	DUAL DECODER MODULE	HUNTER	DUAL -1, DUAL -2, DUAL -S	
	DUAL SURGE ARRESTOR	HUNTER	DUAL -S	
	DUAL DECODER OUTPUT MODULE	HUNTER	DUAL-48M	
	SOLAR SYNC SENSOR (WIRELESS)	HUNTER	WSS-SEN	MOUNT AT ROOF LINE ABOVE CONTROLLER LOCATION
	R.P. BACKFLOW PREVENTER - 1"	FEBCO	860U	
	BACK FLOW PREVENTER ENCLOSURE	LE MEUR	BF 18" X 30" X 30"	INSTALL PER MANUF. SPECS
	QUICK COUPLER W COVER	CHAMPION	QCV-075V	SEE PLAN FOR SIZE
	BALL VALVE IN VALVE BOX	WATTS	B6400 SERIES	MATCH MAINLINE SIZE; REFER TO DETAIL
	AUTOMATIC LINE FLUSH VALVE	HUNTER	AFV-T	INST. IN 6" VALVE BOX @ END OF CIRCUIT
	AIR RELIEF VALVE	HUNTER	AVR-075	INST. IN 6" VALVE BOX @ HIGH POINT OF CIRCUIT
	PIPE AND WIRE CHASE	PVC	CL 200	SEE PLAN FOR SIZE
	SUB-SURFACE BIOSWALE IRRIGATION	HUNTER	ECO-MAT 17MM	INSTALL 4" BELOW GRADE ALL BIOSWALE AREAS
	POLY TO PVC CONNECTOR W/ COMPRESSION FITTING		SEE DETAIL GL3	
	LANDSCAPE DRIPLINE	RAINBIRD	XFS-06-12-XX	INSTALL 3" BELOW GRADE @ SPACING SHOWN
	MAINLINE	PVC	SCH 40 (1-1/2" AND SMALLER)	
	LATERAL	PVC	SCH 40	
	FLOW SENSOR	CST	FSI-T10-000	INSTALL AT POINT OF CONNECTION
	WATER METER			REFER TO CIVIL DRAWINGS
	VALVE STATION AND SEQUENCE			
	ELECTRIC CONTROL VALVE SIZE			
	FLOW RATE IN GALLONS PER MINUTE			

**IRRIGATION AND HYDROZONE KEYNOTES**

1. GREEN AREA DENOTES LOW WATER USE HYDROZONES
2. YELLOW AREA DENOTES MODERATE WATER USE HYDROZONES
3. TREE AREA IS CALCULATED AT A WETTED DIAMETER OF 6 FT. OR EQUIVALENT AREA. THE SAME AREA IS REMOVED FROM THE HYDROZONE BELOW THE TREE AND THE HIGHER WATER USE IS APPLIED IN THE ETWU CALCULATION.
4. TREE BUBBLERS, TWO PER TREE, ONE ABOVE GRADE STREAM BUBBLER AND ONE SUB-SURFACE BUBBLER
5. LAWN AREAS WITH ECO-MAT, TYP.
6. BIORETENTION AREAS WITH ECO-MAT, TYP.

REFER TO SHEET L1.2 FOR IRRIGATION CALCULATIONS

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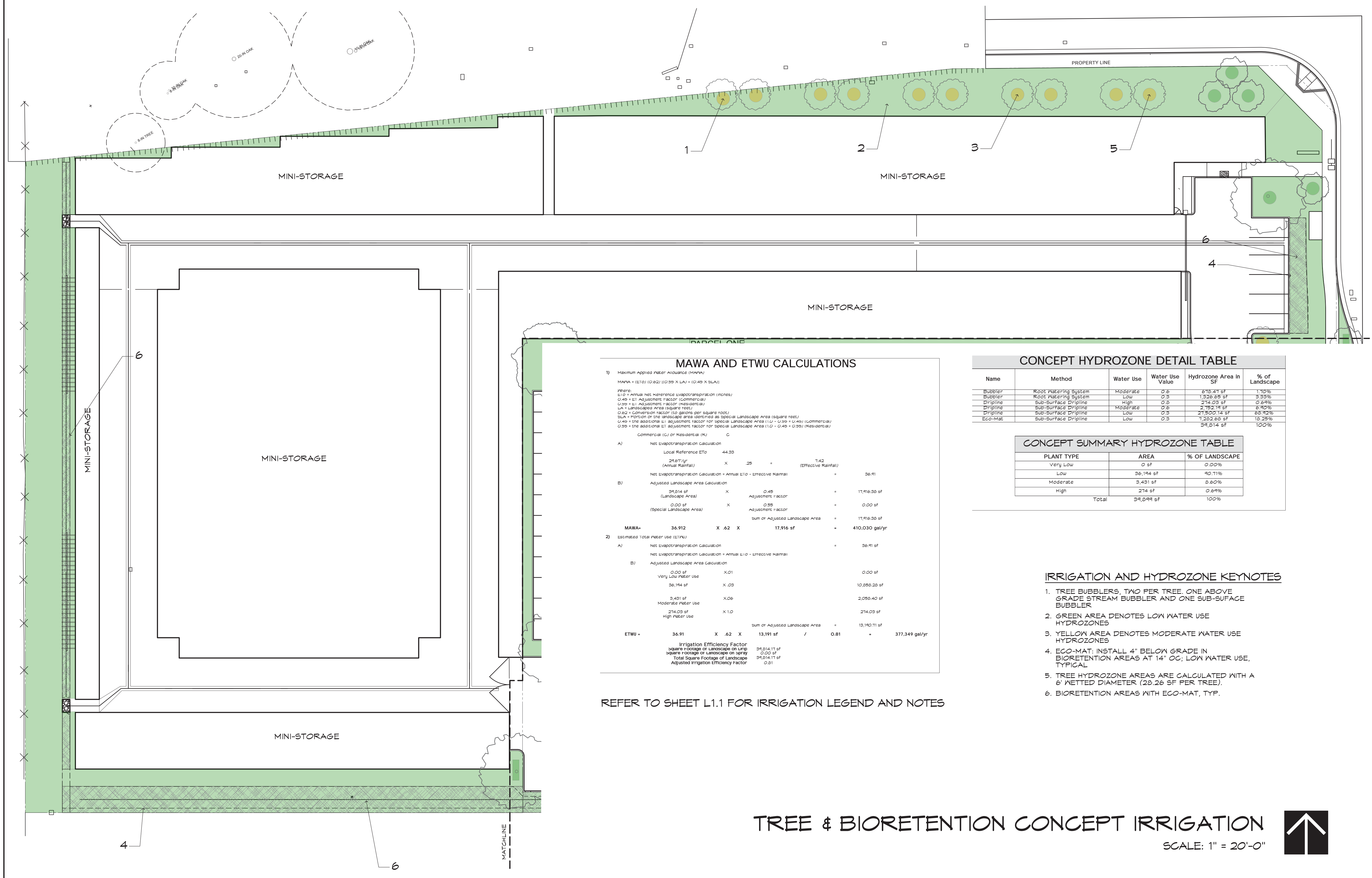
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**CONCEPT IRRIGATION PLAN**

**AVENUE 3111 STORAGE & APARTMENTS**  
 3111 SANTA ROSA AVENUE  
 SANTA ROSA, CA

DATE: 10/11/21  
 MLA JOB #: 2020-28  
 SCALE: 1" = 20'  
 DRAWN: DM

**L-1.2**  
 SHEET L-1.2 OF 8



**MAWA AND ETWU CALCULATIONS**

1) Maximum Applied Water Allowance (MAWA)  
 MAWA = (E10) (0.62) (0.55 X LA) + (0.49 X SLA)

Where:  
 E10 = Annual Net Reference Evapotranspiration (inches)  
 0.49 = E1 Adjustment factor (Commercial)  
 0.55 = E1 Adjustment factor (Residential)  
 LA = Landscaped Area (square feet)  
 SLA = Special Landscaped Area (square feet)  
 0.49 = the additional E1 adjustment factor for special Landscaped Area (1.0 - 0.55 + 0.49) (Commercial)  
 0.55 = the additional E1 adjustment factor for special Landscaped Area (1.0 - 0.49 + 0.55) (Residential)

Commercial (C) or Residential (R)      C

A) Net Evapotranspiration Calculation  
 Local Reference E10      44.33  
 (Annual Rainfall)      X .25      =      11.08  
 (Effective Rainfall)      1.42  
 Net Evapotranspiration Calculation = Annual E10 - Effective Rainfall      =      36.41

B) Adjusted Landscape Area Calculation  
 39,814 sf      X      0.49      =      19,618.82 sf  
 (Landscape Area)      Adjustment factor  
 0.00 sf      X      0.55      =      0.00 sf  
 (Special Landscape Area)      Adjustment factor  
 sum of Adjusted Landscape Area      =      19,618.82 sf

**MAWA = 36.912 X .62 X 17,916 sf = 410,030 gal/yr**

2) Estimated Total Water Use (ETWU)  
 A) Net Evapotranspiration Calculation      =      36.41 sf  
 Net Evapotranspiration Calculation = Annual E10 - Effective Rainfall

B) Adjusted Landscape Area Calculation  
 0.00 sf      X      0.01      =      0.00 sf  
 Very Low Water Use  
 36,194 sf      X      0.05      =      1,809.70 sf  
 Moderate Water Use  
 9,491 sf      X      0.06      =      569.46 sf  
 274.09 sf      X      1.0      =      274.09 sf  
 High Water Use  
 sum of Adjusted Landscape Area      =      13,190.71 sf

**ETWU = 36.91 X .62 X 13,191 sf / 0.81 = 377,349 gal/yr**

Irrigation Efficiency Factor  
 Square Footage of Landscape on LRP      39,814.11 sf  
 Square Footage of Landscape on LRP      0.00 sf  
 Total Square Footage of Landscape      39,814.11 sf  
 Adjusted Irrigation Efficiency Factor      0.81

**CONCEPT HYDROZONE DETAIL TABLE**

Name	Method	Water Use	Water Use Value	Hydrozone Area in SF	% of Landscape
Bubbler	Root Watering System	Moderate	0.6	618.41 sf	1.70%
Bubbler	Root Watering System	Low	0.3	1,926.85 sf	3.33%
Dripline	Sub-Surface Dripline	High	0.9	274.09 sf	0.69%
Dripline	Sub-Surface Dripline	Moderate	0.6	2,192.11 sf	3.70%
Dripline	Sub-Surface Dripline	Low	0.3	21,800.14 sf	65.32%
Eco-Mat	Sub-Surface Dripline	Low	0.3	1,282.68 sf	18.25%
				<b>39,814 sf</b>	<b>100%</b>

**CONCEPT SUMMARY HYDROZONE TABLE**

PLANT TYPE	AREA	% OF LANDSCAPE
Very Low	0 sf	0.00%
Low	36,194 sf	90.71%
Moderate	9,491 sf	23.82%
High	274 sf	0.69%
Total	<b>39,814 sf</b>	<b>100%</b>

**IRRIGATION AND HYDROZONE KEYNOTES**

- TREE BUBBLERS, TWO PER TREE, ONE ABOVE GRADE STREAM BUBBLER AND ONE SUB-SURFACE BUBBLER
- GREEN AREA DENOTES LOW WATER USE HYDROZONES
- YELLOW AREA DENOTES MODERATE WATER USE HYDROZONES
- ECO-MAT: INSTALL 4" BELOW GRADE IN BIORETENTION AREAS AT 14" OC; LOW WATER USE, TYPICAL
- TREE HYDROZONE AREAS ARE CALCULATED WITH A 6" NETTED DIAMETER (28.26 SF PER TREE).
- BIORETENTION AREAS WITH ECO-MAT, TYP.

REFER TO SHEET L1.1 FOR IRRIGATION LEGEND AND NOTES

**TREE & BIORETENTION CONCEPT IRRIGATION**

SCALE: 1" = 20'-0"



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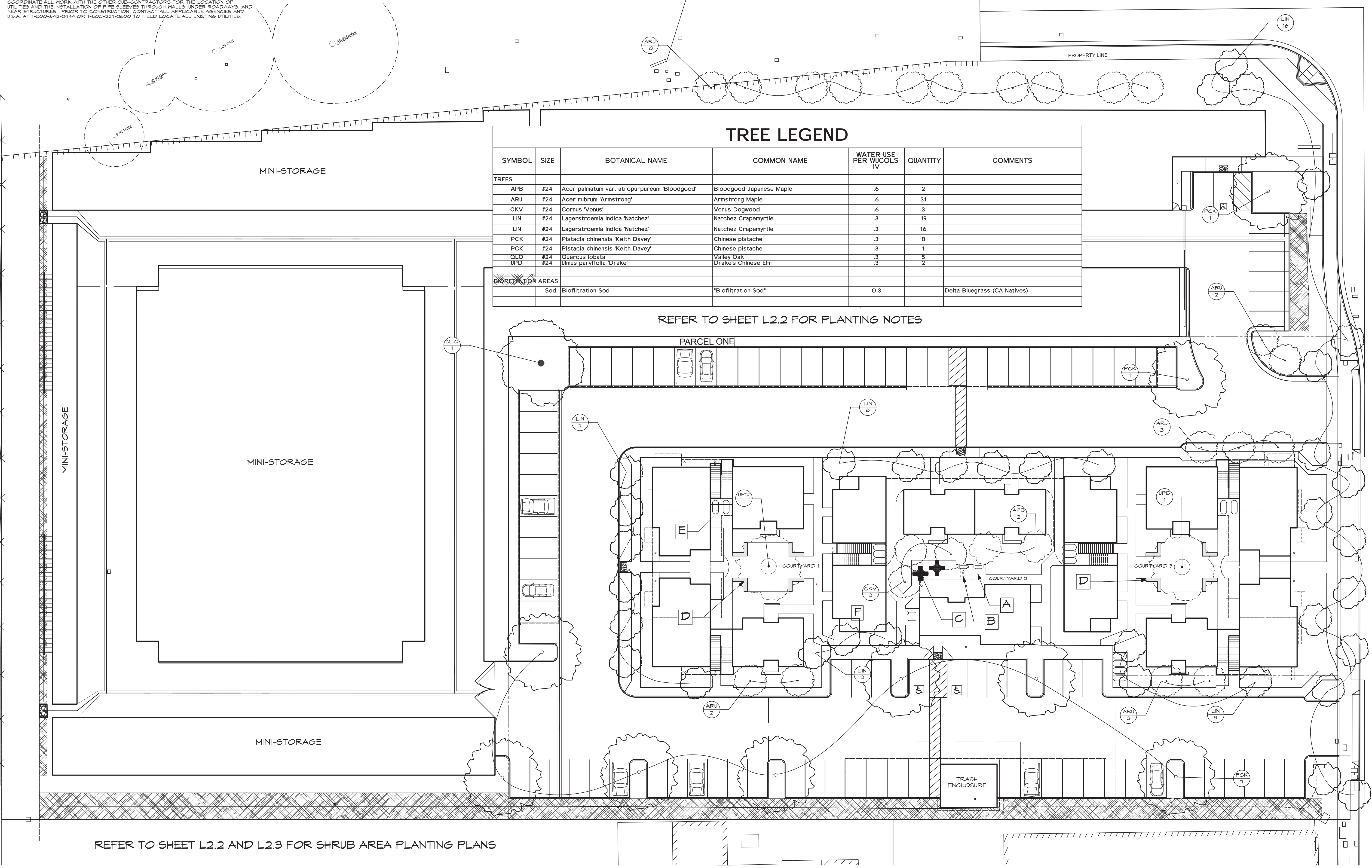
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**AVENUE 3111 STORAGE & APARTMENTS**  
 3111 SANTA ROSA AVENUE  
 SANTA ROSA, CA  
**TREE & BIORETENTION PLANTING PLAN**



**TREE LEGEND**

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WATER USE PER WUCOLS IV	QUANTITY	COMMENTS
<b>TREES</b>						
APB	#24	Acer palmatum var. atropurpureum 'Bloodgood'	Bloodgood Japanese Maple	.6	2	
ARU	#24	Acer rubrum 'Armstrong'	Armstrong Maple	.6	31	
CKV	#24	Cornus 'Venus'	Venus Dogwood	.6	3	
LIN	#24	Lagerstroemia indica 'Natchez'	Natchez Crapemyrtle	.3	19	
LIN	#24	Lagerstroemia indica 'Natchez'	Natchez Crapemyrtle	.3	16	
PCK	#24	Pistacia chinensis 'Keith Davey'	Chinese pistache	.3	8	
PCK	#24	Pistacia chinensis 'Keith Davey'	Chinese pistache	.3	1	
QLO	#24	Quercus lobata	Valley Oak	.3	5	
UPD	#24	Ulmus parvifolia 'Drake'	Drake's Chinese Elm	.3	2	
<b>BIORETENTION AREAS</b>						
		Sod	Biofiltration Sod			Delta Bluegrass (CA Natives)

REFER TO SHEET L2.2 FOR PLANTING NOTES

REFER TO SHEET L2.2 AND L2.3 FOR SHRUB AREA PLANTING PLANS

**SITE FURNISHING KEYNOTES**

- A PORTABLE BBQ
- B ACCESSIBLE, PORTABLE BBQ
- C PATIO TABLE AND CHAIRS
- D 18" CONCRETE SEATWALL, TYPICAL
- E BIKE LOCKERS, TYPICAL. REFER TO ARCH SITE PLAN
- F BIKE RACKS, TYPICAL. REFER TO ARCH SITE PLAN

**TREE & BIORETENTION PLANTING**  
 SCALE: 1" = 20'-0"



DATE: 10/11/21  
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**CITY REQUIREMENT OF DOCUMENT OF COMPLIANCE  
 (ITEMS TO BE INCLUDED WITH CERTIFICATE OF COMPLETION)**

- A. PROJECT APPLICANT MUST SUBMIT DOCUMENTATION VERIFYING IMPLEMENTATION OF SOIL ANALYSIS REPORT RECOMMENDATIONS TO THE CITY WITH CERTIFICATE OF COMPLETION  
 B. THE CERTIFICATE OF COMPLETION MUST BE ACCOMPANIED BY AN IRRIGATION AUDIT THAT CONTAINS THE FOLLOWING:
- OPERATING PRESSURE OF THE IRRIGATION SYSTEM
  - DISTRIBUTION UNIFORMITY OF OVERHEAD IRRIGATION
  - PRECIPITATION RATE OF OVERHEAD IRRIGATION
  - REPORT OF ANY OVERSPRAY OR BROKEN IRRIGATION EQUIPMENT
  - IRRIGATION SCHEDULE INCLUDING:
    1. PLANT ESTABLISHMENT IRRIGATION SCHEDULE
    2. REGULAR IRRIGATION SCHEDULE BY MONTH (SEE ORDINANCE FOR DETAILS)
    3. VERIFICATION THAT A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES IS KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
  - ALL LANDSCAPE IRRIGATION AUDITS MUST BE CONDUCTED BY A CITY CERTIFIED LANDSCAPE IRRIGATION AUDITOR OR A THIRD PARTY CERTIFIED LANDSCAPE IRRIGATION AUDITOR.
  - AN IRRIGATION MAINTENANCE SCHEDULE TIMELINE MUST BE ATTACHED TO THE CERTIFICATE OF COMPLETION (SEE ORDINANCE FOR DETAILS)
- C. IRRIGATION AUDIT: AN IN-DEPTH EVALUATION OF THE PERFORMANCE OF AN IRRIGATION SYSTEM CONDUCTED BY A CERTIFIED LANDSCAPE IRRIGATION AUDITOR (SEE ORDINANCE FOR DETAILS). THE AUDIT MUST BE CONDUCTED IN A MANNER CONSISTENT WITH THE IRRIGATION ASSOCIATIONS LANDSCAPE IRRIGATION AUDITOR CERTIFICATION PROGRAM OR OTHER U.S. EPA "WATERSENSE" LABELED AUDITING PROGRAM.

**CITY REQUIRED NOTES**

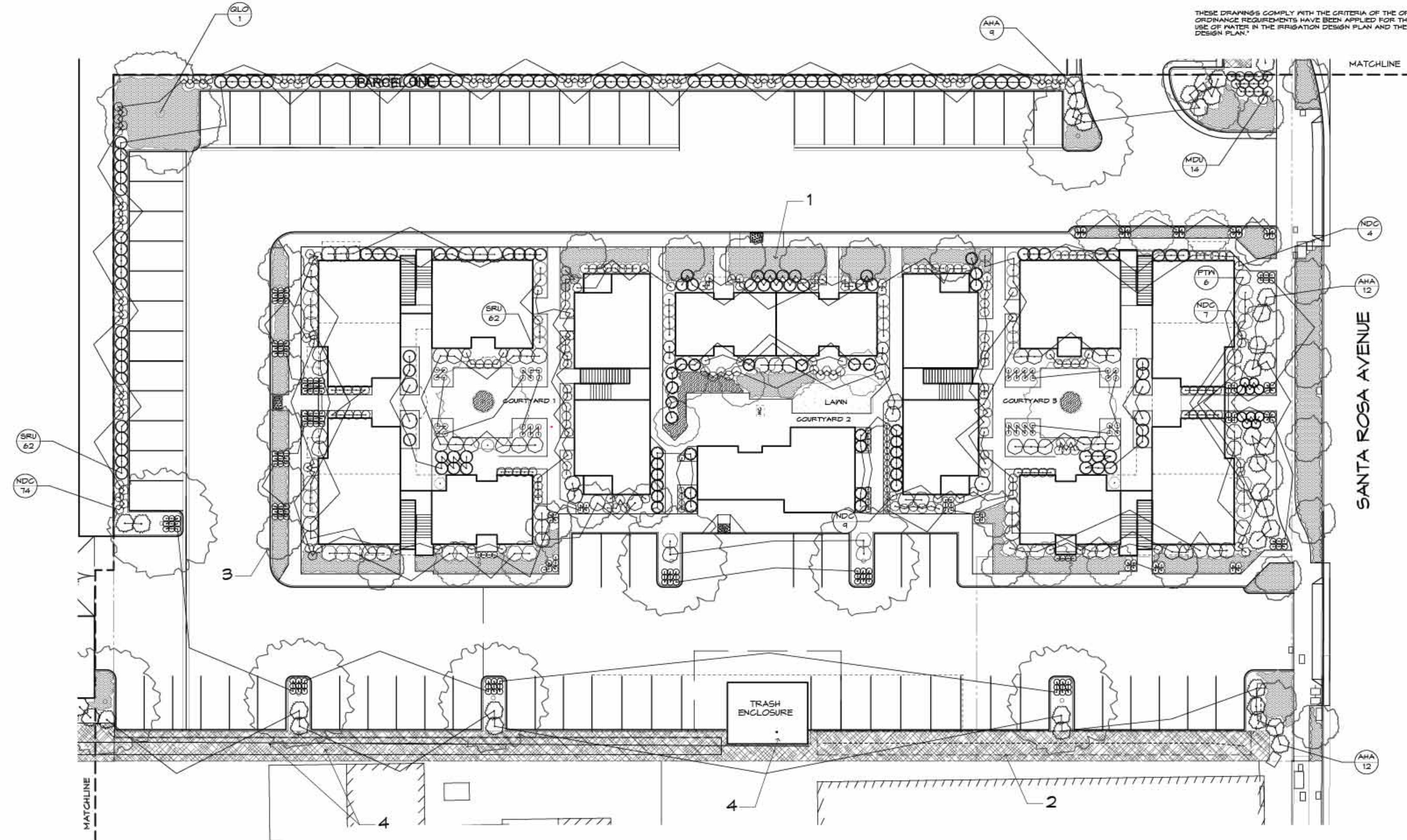
1. UPON COMPLETION OF INSTALLATION, CONTRACTOR SHALL SUBMIT TO THE ENGINEERING DEVELOPMENT SERVICES INSPECTOR A COMPLETED AND SIGNED "CERTIFICATE OF COMPLETION" STATING THE PROJECT HAS BEEN INSTALLED AS DESIGNED.
2. THE CERTIFICATE OF COMPLETION SHALL BE ACCOMPANIED BY AN IRRIGATION AUDIT, IRRIGATION SCHEDULE AND A MAINTENANCE SCHEDULE, AS DESCRIBED IN THE CITY ORDINANCE.
3. A FINAL CITY INSPECTION SHALL BE PERFORMED. THE INSTALLATION CONTRACTOR SHALL ATTEND THIS INSPECTION AND MAKE ALL REQUIRED REPAIRS AND ADJUSTMENTS TO ACHIEVE APPROVAL AND COMPLETION FROM THE CITY. TO SCHEDULE AN INSPECTION, CONTACT ENGINEERING DEVELOPMENT SERVICES AT (707) 949-4611.
4. A MINIMUM OF 8" OF NON-MECHANICALLY COMPACTED SOIL SHALL BE AVAILABLE FOR WATER ABSORPTION AND ROOT GROWTH IN PLANTED AREAS.
5. INCORPORATE COMPOST OR NATURAL FERTILIZERS INTO THE SOIL TO A MINIMUM DEPTH OF 8" AT A MINIMUM RATE OF 8 CUBIC YARDS PER 1000 SQUARE FEET OR PER SPECIFIC AMENDMENT RECOMMENDATIONS FROM A SOILS LABORATORY REPORT.
6. A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS OR DIRECT SEEDING APPLICATIONS.

**SOIL ANALYSIS REPORT**

(REQUIRED BY CITY OF SANTA ROSA):

IN ORDER TO REDUCE RUNOFF AND ENCOURAGE HEALTHY PLANT GROWTH, A SOIL ANALYSIS REPORT SHALL BE COMPLETED BY THE PROJECT APPLICANT, OR THEIR DESIGNER, AS FOLLOWS:

- (1) SUBMIT SOIL SAMPLES TO A LABORATORY FOR ANALYSIS AND RECOMMENDATIONS.
  - (A) SOIL SAMPLING SHALL BE CONDUCTED IN ACCORDANCE WITH LABORATORY PROTOCOL, INCLUDING PROTOCOLS REGARDING ADEQUATE SAMPLING DEPTH FOR THE INTENDED PLANTS.
- (2) THE SOIL ANALYSIS SHALL INCLUDE:
  - (A) SOIL TEXTURE;
  - (B) INFILTRATION RATE DETERMINED BY LABORATORY TEST OR SOIL TEXTURE INFILTRATION RATE TABLE;
  - (C) PH;
  - (D) TOTAL SOLUBLE SALTS;
  - (E) SODIUM;
  - (F) PERCENT ORGANIC MATTER; AND
  - (G) RECOMMENDATIONS.
- (3) IN PROJECTS WITH MULTIPLE LANDSCAPE INSTALLATIONS (I.E. PRODUCTION HOME DEVELOPMENTS) A SOIL SAMPLING RATE OF 1 IN 7 LOTS OR APPROXIMATELY 15% WILL SATISFY THIS REQUIREMENT. LARGE LANDSCAPE PROJECTS SHALL SAMPLE AT A RATE EQUIVALENT TO 1 IN 7 LOTS.
- (4) THE SOIL ANALYSIS REPORT SHALL BE MADE AVAILABLE, IN A TIMELY MANNER, TO THE PROFESSIONALS PREPARING THE LANDSCAPE DESIGN PLANS AND IRRIGATION DESIGN PLANS TO MAKE ANY NECESSARY ADJUSTMENTS TO THE DESIGN PLANS.
- (5) IF A GRADING PERMIT IS REQUIRED, THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE CITY WITH THE CERTIFICATE OF COMPLETION. IF A GRADING PERMIT IS NOT REQUIRED, THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE CITY WITH THE LANDSCAPE DOCUMENTATION PACKAGE.
- (6) THE PROJECT APPLICANT, OR HIS/HER DESIGNER, SHALL SUBMIT DOCUMENTATION VERIFYING IMPLEMENTATION OF SOIL ANALYSIS REPORT RECOMMENDATIONS TO THE CITY WITH CERTIFICATE OF COMPLETION.



**SHRUB PLANTING PLAN**

SCALE: 1" = 20'-0"

REFER TO SHEET L2.3 FOR PLANT LEGEND

**PLANTING NOTES**

1. ALL GROUND COVER TO BE SPACED IN A TRIANGULAR PATTERN. CONTRACTOR RESPONSIBLE FOR COMPLETE COVERAGE.
2. SUPPLY AGRIFORM 21 GRAM TABLETS AS FOLLOWS: 9-15 GAL, 3-5 GAL, 1-1 GAL.
3. DIG PLANTING PITS 2 TIMES THE DIAMETER AND EQUAL THE HEIGHT OF ROOTBALL.
4. BACKFILL PITS WITH 2/3 EXISTING SOIL, 1/3 ORGANIC AMENDMENT
5. ALL PLANTS TO BE SPOTTED IN THE FIELD BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
6. WHEN LANDSCAPING IN EXISTING PLANTED AREAS, CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE OR DESTROY ANY EXISTING PLANT MATERIAL OR IRRIGATION. EXISTING PLANT MATERIAL AND IRRIGATION THAT IS DAMAGED SHALL BE REPLACED WITH LIKE, SIZE, QUALITY, ETC. BY THE CONTRACTOR AT HIS EXPENSE.
7. SPECIAL ATTENTION IS TO BE PAID TO THE PLANTING AREAS SURROUNDING THE BUILDINGS. COMPACTED SOIL IS TO BE SUFFICIENTLY EXCAVATED TO ALLOW FOR PROPER ROOT GROWTH AND DRAINAGE OF ALL AREAS. CHECK SOIL FOR PROPER DRAINAGE PRIOR TO PLANTING, AUGER THROUGH COMPACTED SOIL WHERE NECESSARY. DO NOT PLANT IN THE DRAINAGE SPALES.
8. ALL CONSTRUCTION IS TO BE PER ALL APPLICABLE AND PREVAILING CITY OF SANTA ROSA CONSTRUCTION STANDARDS.
9. A SIGNED CERTIFICATE OF COMPLETION IS REQUIRED PRIOR TO FINAL ACCEPTANCE BY THE CITY OF SANTA ROSA. IF THE INSTALLATION OF THE LANDSCAPE DOES MEET OR SUBSTANTIALLY COMPLY WITH THE APPROVED LANDSCAPE CONSTRUCTION DOCUMENTS, THE CERTIFICATE OF COMPLETION WILL NOT BE SIGNED OR APPROVED BY THE LANDSCAPE ARCHITECT OF RECORD.

**PLANTING KEYNOTES**

1. 3" DEEP MULCH, ALL LANDSCAPE AREAS
2. BIO-FILTRATION SOD, TYPICAL
3. 24" DEEP ROOT BARRIER, REFER TO DETAIL SHEET L-3, TYPICAL
4. EXISTING TREES TO BE REMOVED

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**SHRUB PLANTING PLAN  
 APARTMENTS**

**AVENUE 3111 STORAGE &  
 APARTMENTS**  
 3111 SANTA ROSA AVENUE  
 SANTA ROSA, CA

DATE: 10/11/21  
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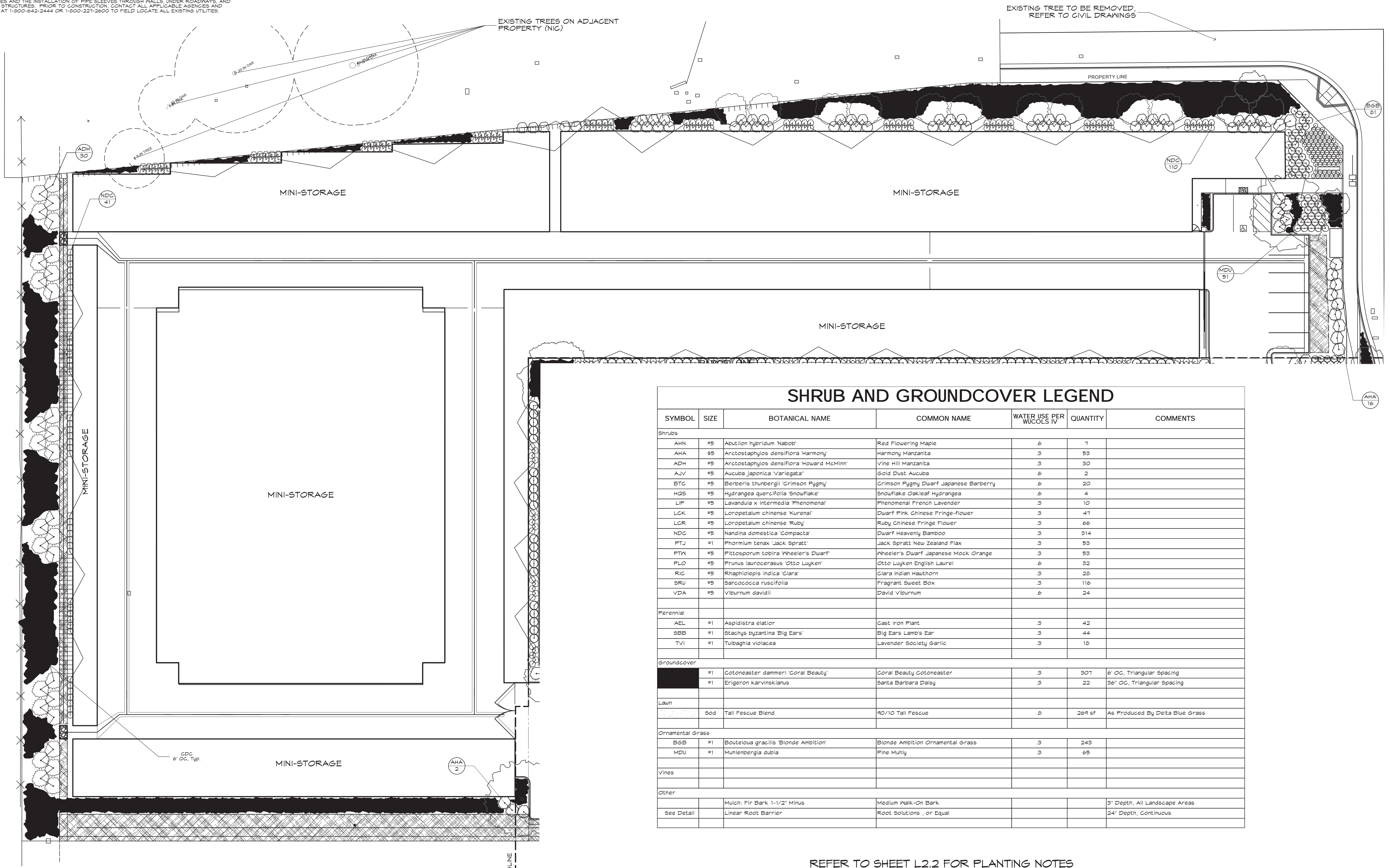
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**SHRUB PLANTING PLAN  
 MINI-STORAGE**

**AVENUE 3111 STORAGE &  
 APARTMENTS  
 3111 SANTA ROSA AVENUE  
 SANTA ROSA, CA**



**SHRUB AND GROUNDCOVER LEGEND**

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WATER USE PER WUCOLS IV	QUANTITY	COMMENTS
<b>Shrubs</b>						
AHN	#5	Abutilon hybridum 'Naboo'	Red Flowering Maple	.6	7	
AHA	#5	Arctostaphylos densiflora 'Harmony'	Harmony Manzanita	.3	53	
ADH	#5	Arctostaphylos densiflora 'Howard McMini'	Vine Hill Manzanita	.3	30	
AJV	#5	Aucuba japonica 'Variegata'	Gold Dust Aucuba	.6	2	
BTC	#5	Berberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Dwarf Japanese Barberry	.6	20	
HQS	#5	Hydrangea quercifolia 'Snowflake'	Snowflake Oakleaf Hydrangea	.6	4	
LIF	#5	Lavandula x intermedia 'Phenomenal'	Phenomenal French Lavender	.3	10	
LCK	#5	Loropetalum chinense 'Kurenai'	Dwarf Pink Chinese Fringe-Flower	.3	47	
LGR	#5	Loropetalum chinense 'Ruby'	Ruby Chinese Fringe Flower	.3	66	
NDC	#5	Nandina domestica 'Compacta'	Dwarf Heavenly Bamboo	.3	314	
PTJ	#1	Phormium tenax 'Jack Spratt'	Jack Spratt New Zealand Flax	.3	53	
PTW	#5	Pittosporum tobira 'Wheeler's Dwarf'	Wheeler's Dwarf Japanese Mock Orange	.3	53	
PLO	#5	Prunus laurocerasus 'Otto Luyken'	Otto Luyken English Laurel	.6	32	
RIC	#5	Raphiolepis indica 'Clara'	Clara Indian Hawthorn	.3	28	
SRU	#5	Sarcococca ruscifolia	Fragrant Sweet Box	.3	116	
VDA	#5	Viburnum davidii	David Viburnum	.6	24	
<b>Perennial</b>						
AEL	#1	Aspidistra elatior	Cast Iron Plant	.3	42	
SBB	#1	Stachys byzantina 'Big Ears'	Big Ears Lamb's Ear	.3	44	
TVI	#1	Tulbaghia violacea	Lavender Society Garlic	.3	10	
<b>Groundcover</b>						
	#1	Cotoneaster dammeri 'Coral Beauty'	Coral Beauty Cotoneaster	.3	307	6" OC, Triangular Spacing
	#1	Erigeron karvinskianus	Santa Barbara Daisy	.3	22	36" OC, Triangular Spacing
<b>Sod</b>						
		Tall Fescue Blend	40/10 Tall Fescue	.3	269 sf	As Produced By Delta Blue Grass
<b>Ornamental Grass</b>						
BGB	#1	Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Ornamental Grass	.3	243	
MDU	#1	Muhlenbergia dubia	Pine Muhly	.3	65	
<b>Vines</b>						
<b>Other</b>						
See Detail		Mulch: Fir Bark 1-1/2" Minus	Medium Walk-On Bark			3" Depth, All Landscape Areas
See Detail		Linear Root Barrier	Root Solutions, or Equal			24" Depth, Continuous

REFER TO SHEET L2.2 FOR PLANTING NOTES

**SHRUB PLANTING PLAN - MINI-STORAGE**

SCALE: 1" = 20'-0"



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 SCALE: 1" = 20'  
 DRAWN: DM

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TEL: 907-833-2288  
P.O. # 8300  
don@macnairlandscape.com

TREE IMAGES/  
SITE FURNISHINGS

AVENUE 3111 STORAGE &  
APARTMENTS  
3111 SANTA ROSA AVENUE  
SANTA ROSA, CA

DATE: 10/11/21  
MLA JOB #: 2020-28  
SCALE: 1" = 20'  
DRAWN: DM

**L-2.4**  
SHEET L-2.4 OF 8



ACER PALMATUM  
'BLOODGOOD'



ACER RUBRUM  
'ARMSTRONG'



CORNUS 'VENUS'



LAGERSTROMIA INDICA  
'NATCHEZ'



PISTACIA CHINENSIS  
'KEITH DAVEY'



QUERCUS LOBATA



ULMUS PARVIFOLIA  
'DRAKE'

SITE FURNISHINGS							
TAG ID	ITEM	MANUFACTURER	STYLE	MODEL #		DESCRIPTION	NOTES
A	BBQ	Lynx	Sedona	L600F-LP	1	36" Grill with Freestanding 3 Stainless Steel Burners	Or Approved Equal By Owner
B	BBQ	Lynx	Sedona	L600ADA-LP	1	36" Grill - ADA 36 Inch 1 Prosear Burner & 2 Stainless Steel Burners (freestanding)	Or Approved Equal By Owner
C	Picnic Table	Landscape Forms	Wellspring	WP568-01	2	48" Round Teak Table	Or Approved Equal By Owner
D	Picnic Table	Landscape Forms	Wellspring	WP569-01	8	Patio Chair	Or Approved Equal By Owner
E	Concrete Seat Wall	Poured in Place	Board Formed		8		



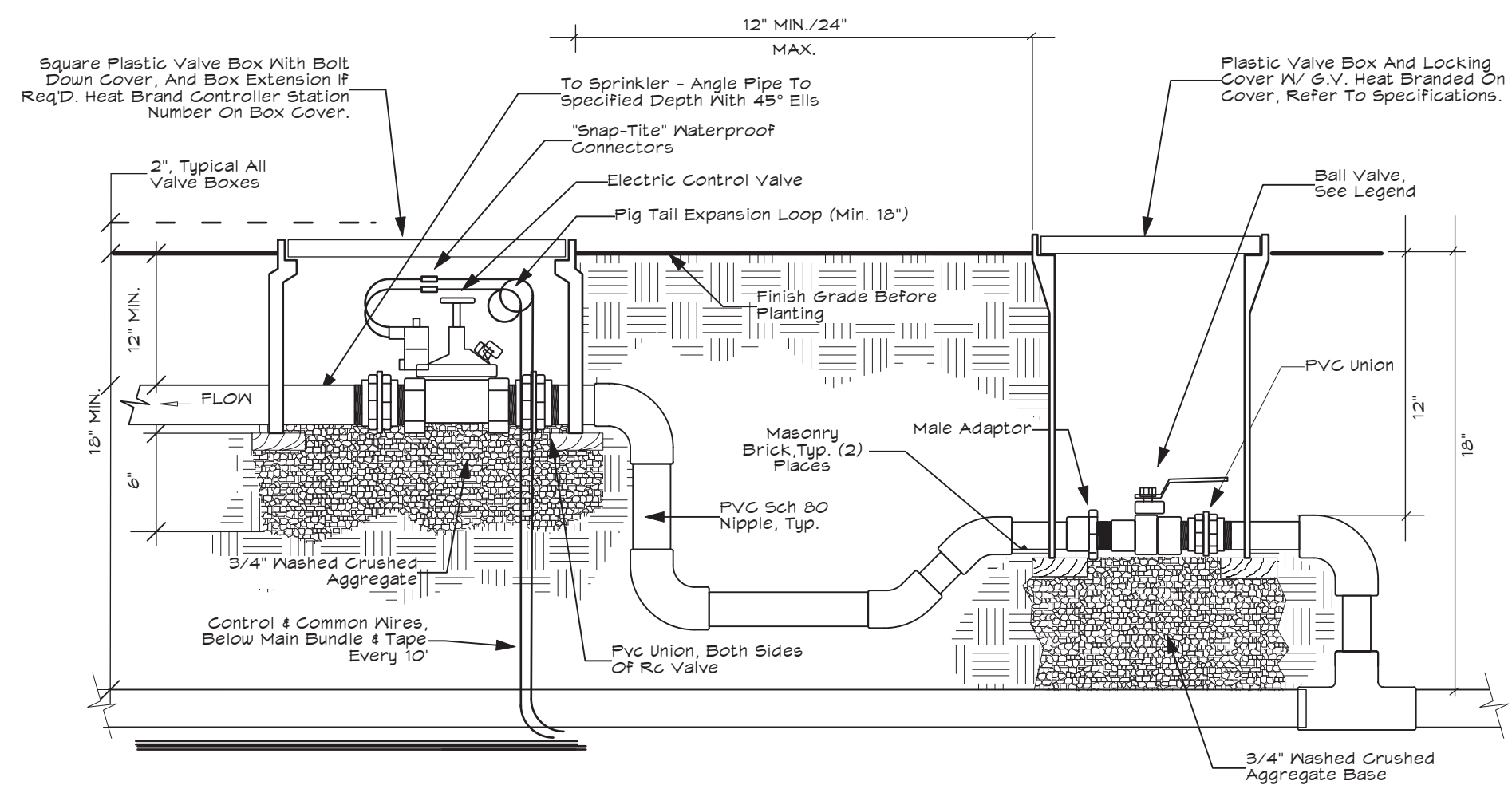
A PORTABLE BBQ



B PORTABLE BBQ ADA COMPLIANT

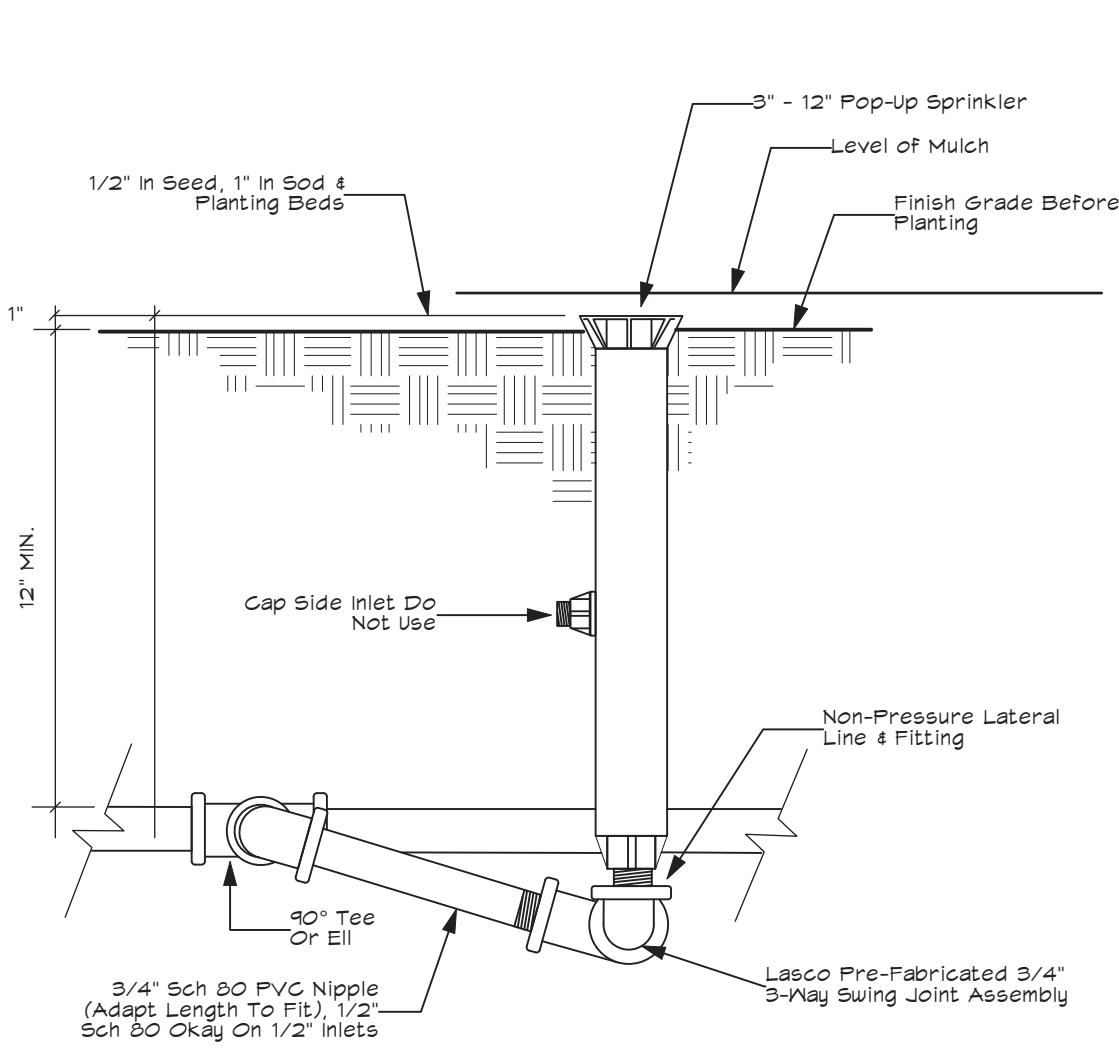


C/D PICNIC TABLE AND CHAIRS



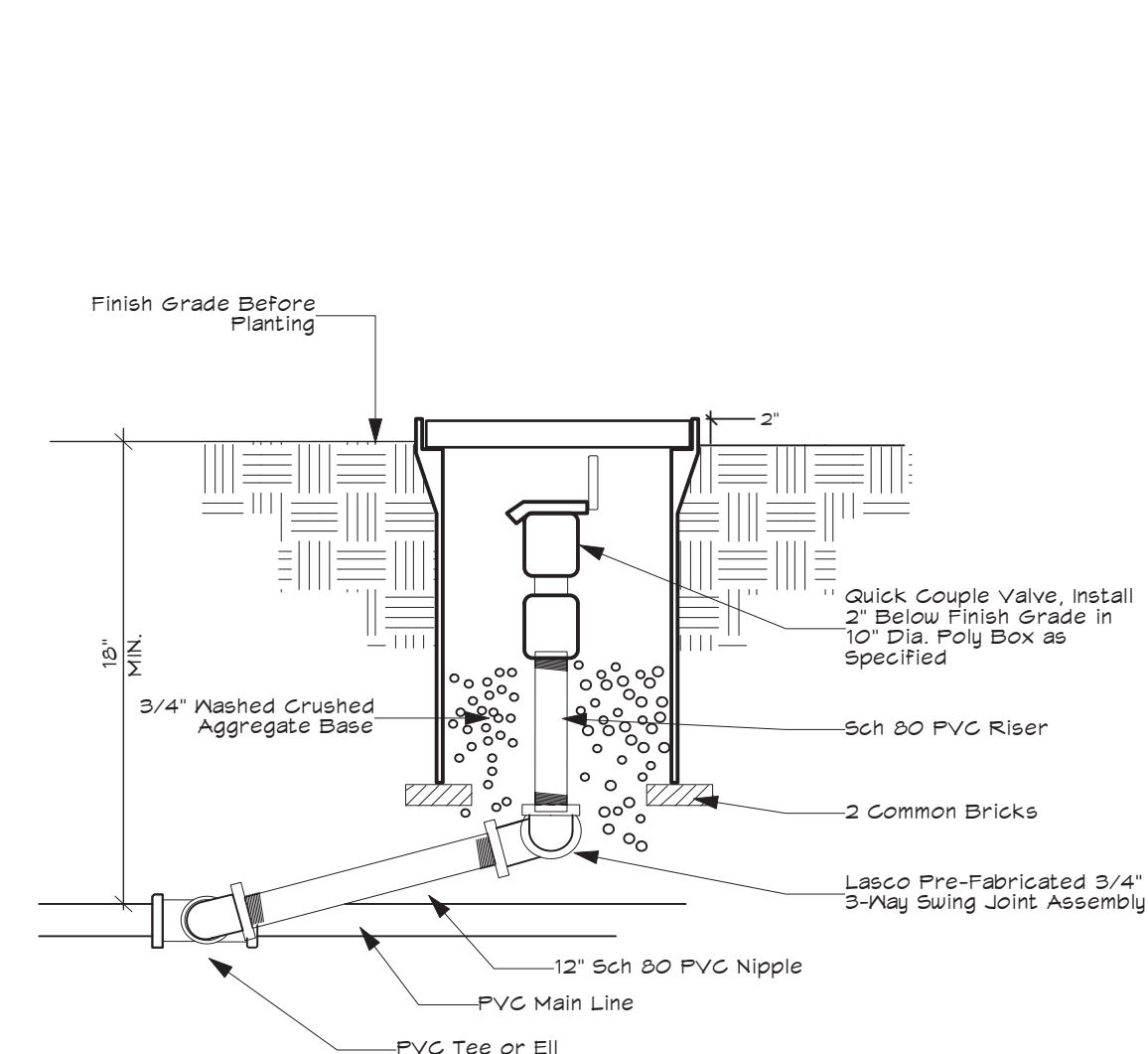
- NOTES:
- 1) INSTALL CONTROL VALVES A MINIMUM OF 18" FROM STRUCTURES OR HARDSCAPING.
  - 2) INSTALL VALVES IN PLANT BEDS WHEREVER POSSIBLE.
  - 3) PLACE VALVE BOX AT RIGHT ANGLES TO STRUCTURES OR HARDSCAPING.
  - 4) INSTALL VALVE BOX SO THAT TOP OF BOX IS FLUSH WITH ADJACENT HARDSCAPING.
  - 5) PLACE AGGREGATE PRIOR TO INSTALLATION OF VALVE BOX.
  - 6) INSTALL VALVE BOXES SO THAT TOP OF BOX IS FLUSH WITH ADJACENT HARDSCAPE.
  - 7) INSTALL ONE BALL VALVE IN BOX IMMEDIATELY UPSTREAM FROM EACH REMOTE CONTROL VALVE.

**A** ELECTRIC CONTROL VALVE WITH SHUT OFF  
NTS



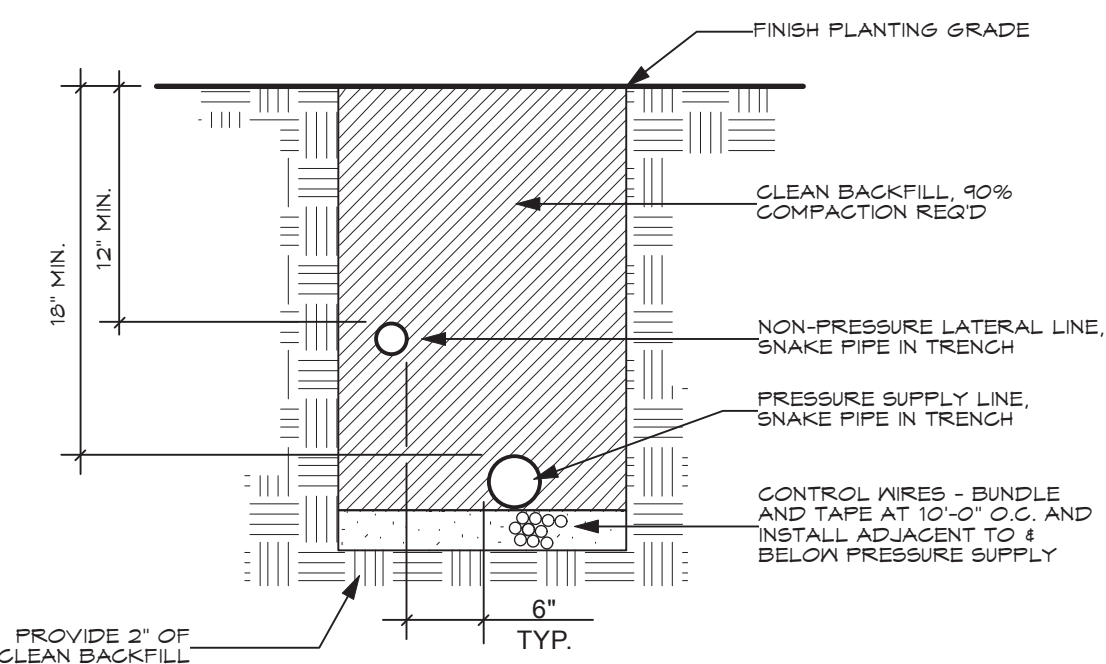
- NOTES:
- 1) LOCATE HEAD 6" FROM ALL EDGES IN LAWN AREAS. LOCATE HEAD 12" FROM ALL EDGES IN SHRUB AREAS.
  - 2) LOCATE STREAM SPRAY AND BUBBLERS HEADS 6" FROM ALL EDGES.
  - 3) USE TEFLON PASTE ON ALL MALE THREADS.

**B** POP-UP SPRINKLER DETAIL  
INCLUDES 4", 6" AND 12"  
NTS



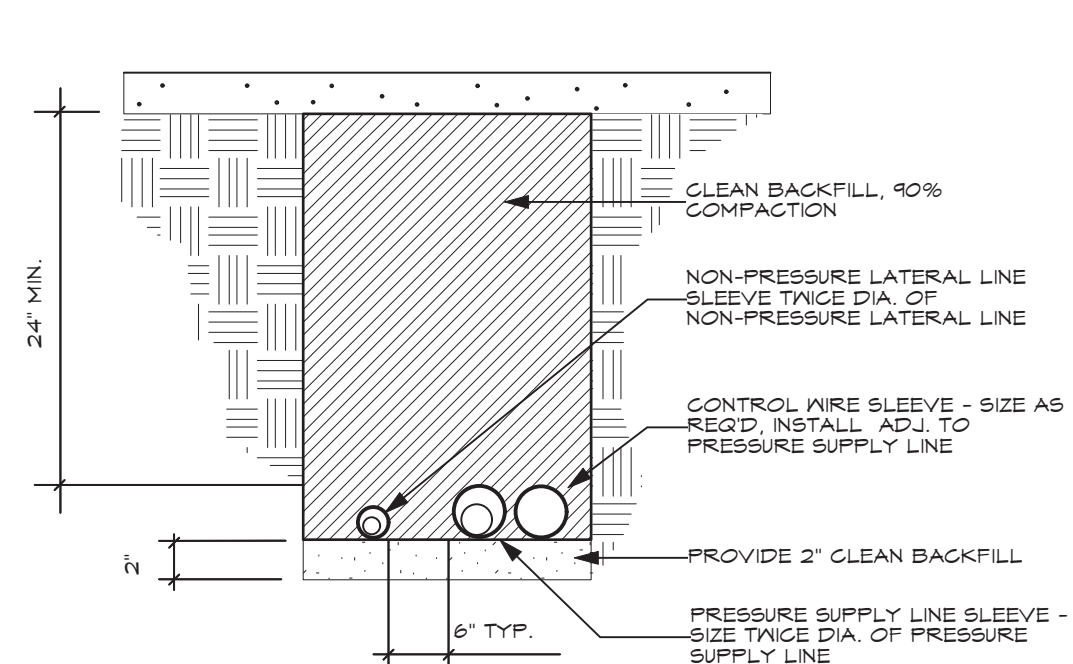
- NOTES:
- 1) CENTER VALVE BOX OVER VALVE ASSEMBLY.
  - 2) LOCATE VALVE BOXES IN GROUND COVER/SHRUB AREAS WHEN POSSIBLE.
  - 3) SET VALVE BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE.

**D** VALVE BOX LAYOUT  
NTS



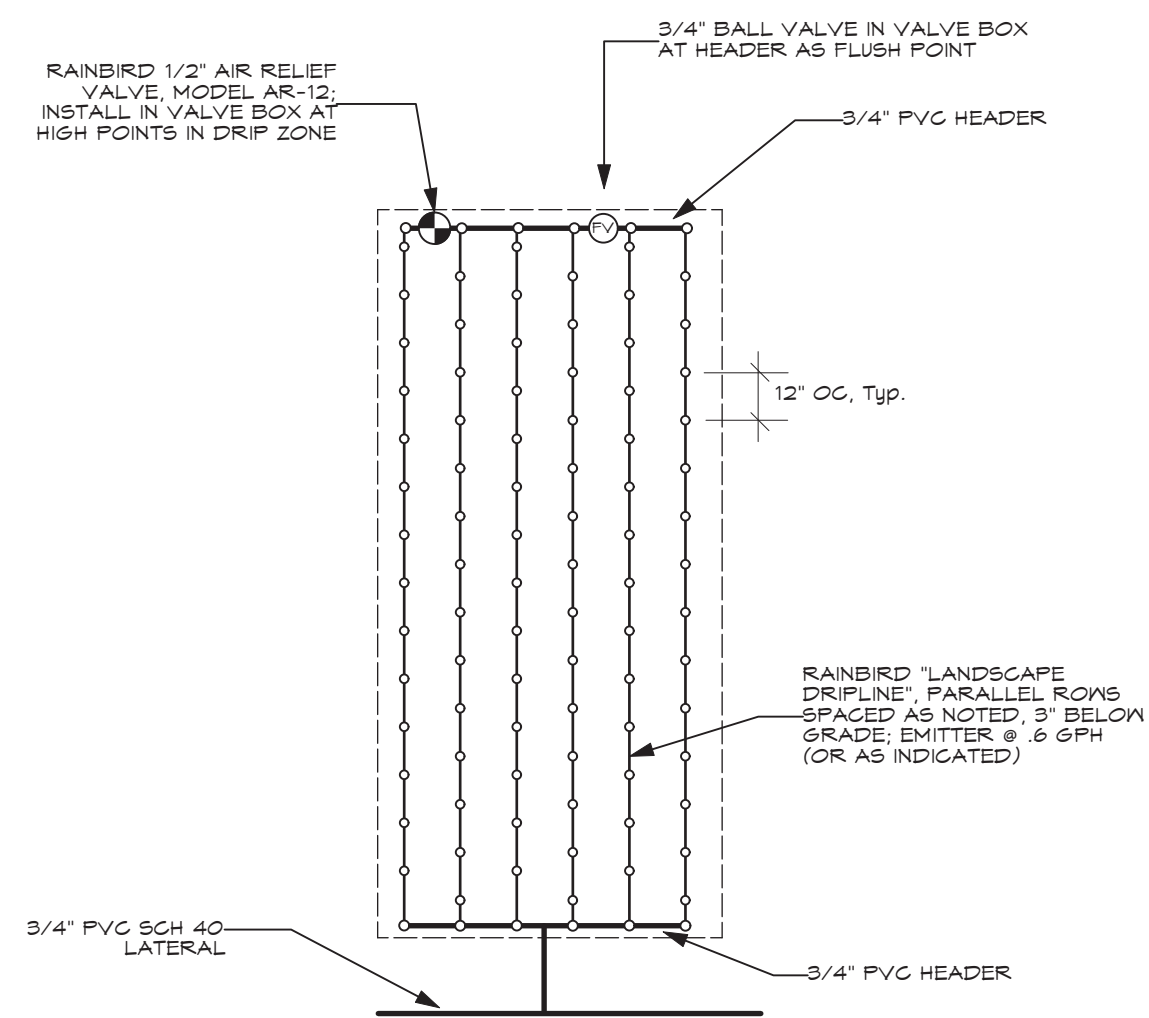
- NOTE:
- 1) PIGTAIL AND LOOP CONTROL WIRE AT ALL CHANGES IN DIRECTION.
  - 2) PROVIDE 18" EXPANSION LOOP AT ALL 90° ANGLES, AND EVERY 100' OF STRAIGHT CURVE RUN.

**E** PIPE INSTALLATION  
IN PLANTED AREA  
NTS

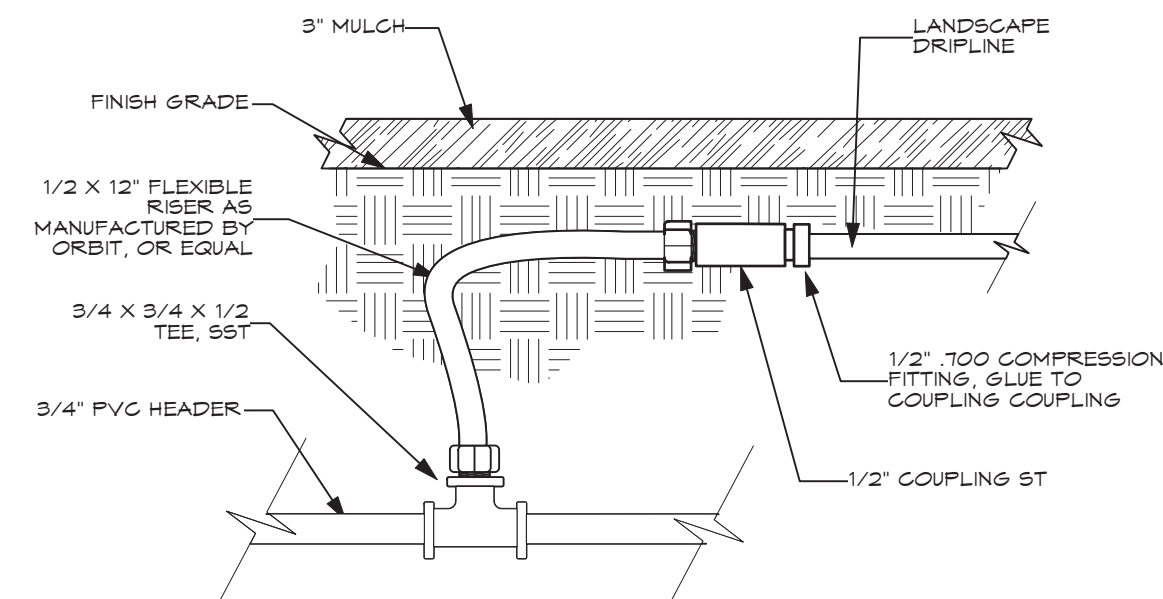


- NOTES:
- 1) ALL SLEEVES TO BE SCH 40 PVC.
  - 2) EXTEND ALL SLEEVES 12" BEYOND EDGE OF HARDSCAPING AT BOTH ENDS.

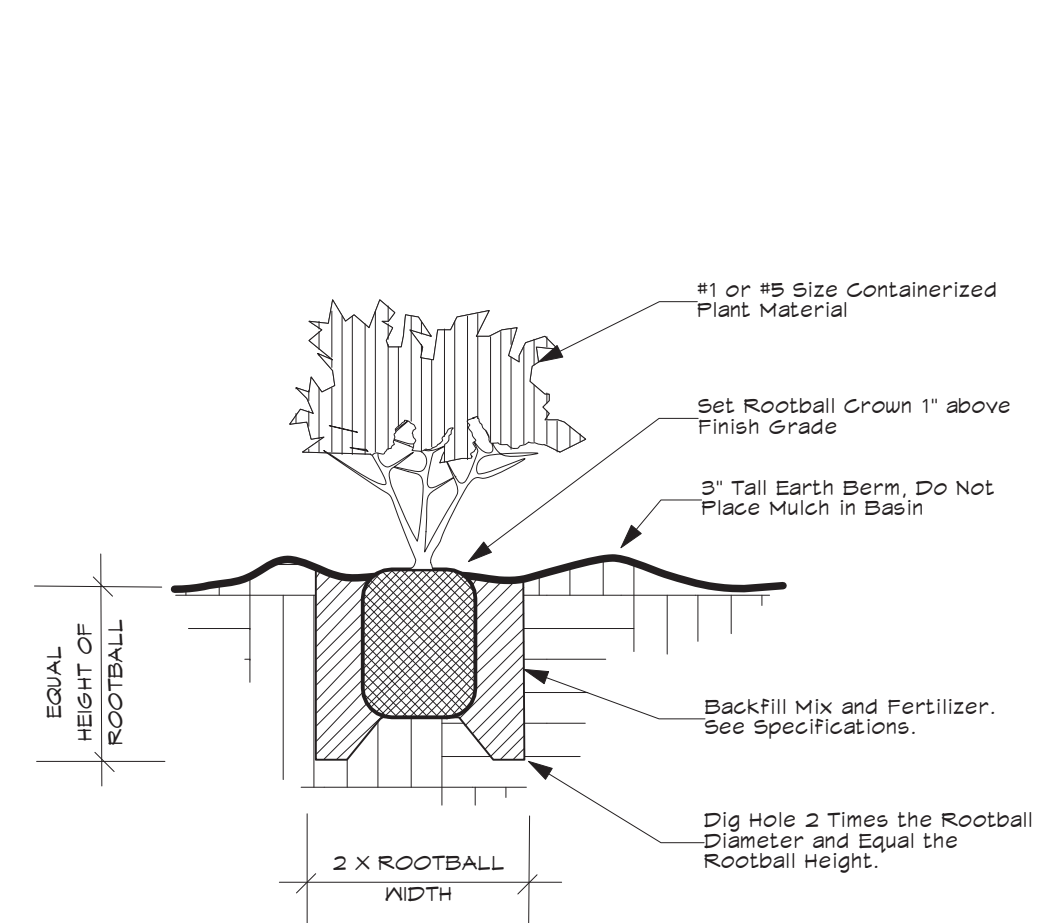
**F** PIPE INSTALLATION  
UNDER PAVING  
NTS



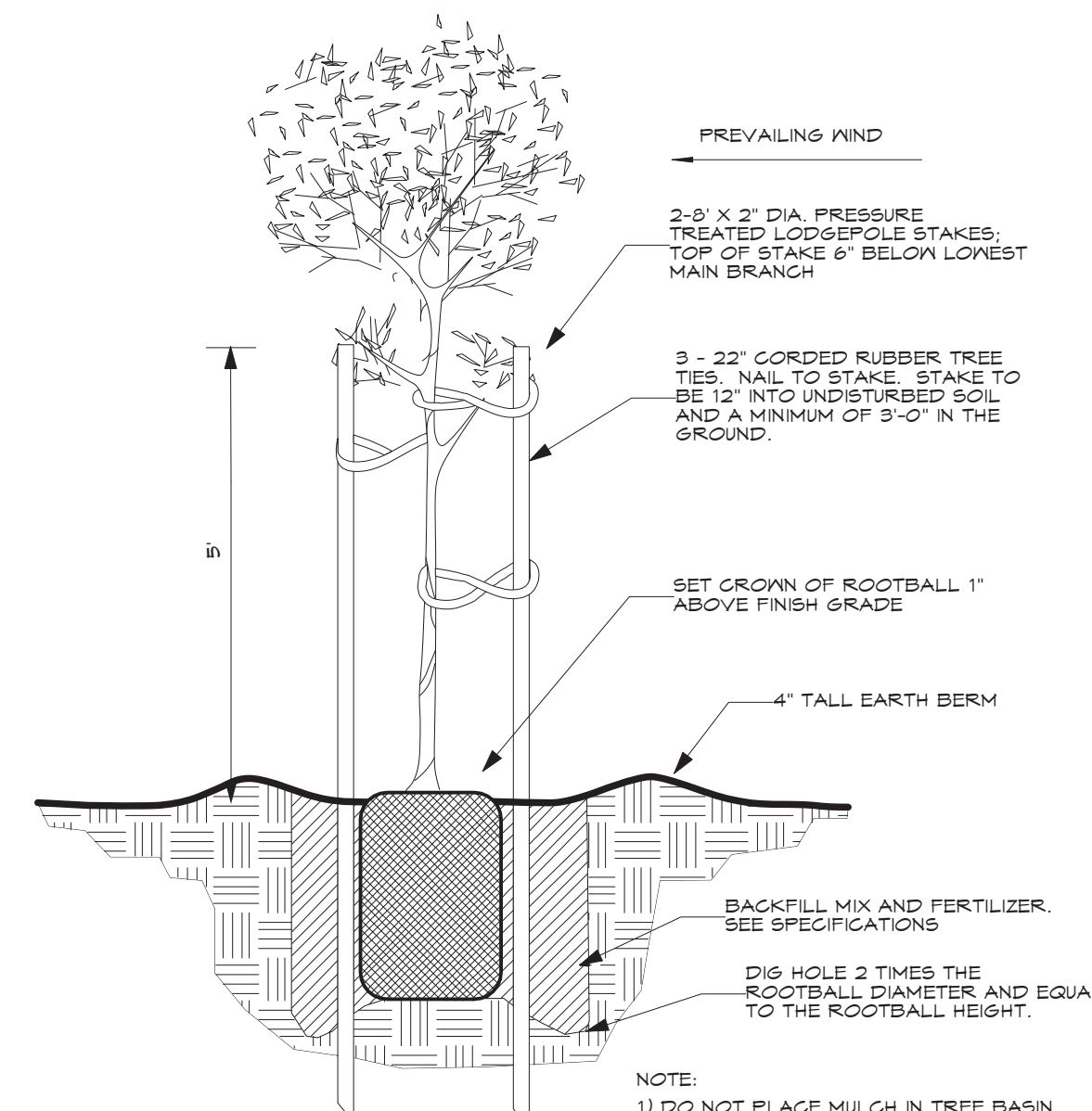
**G** DRIP CIRCUIT LAYOUT  
NTS



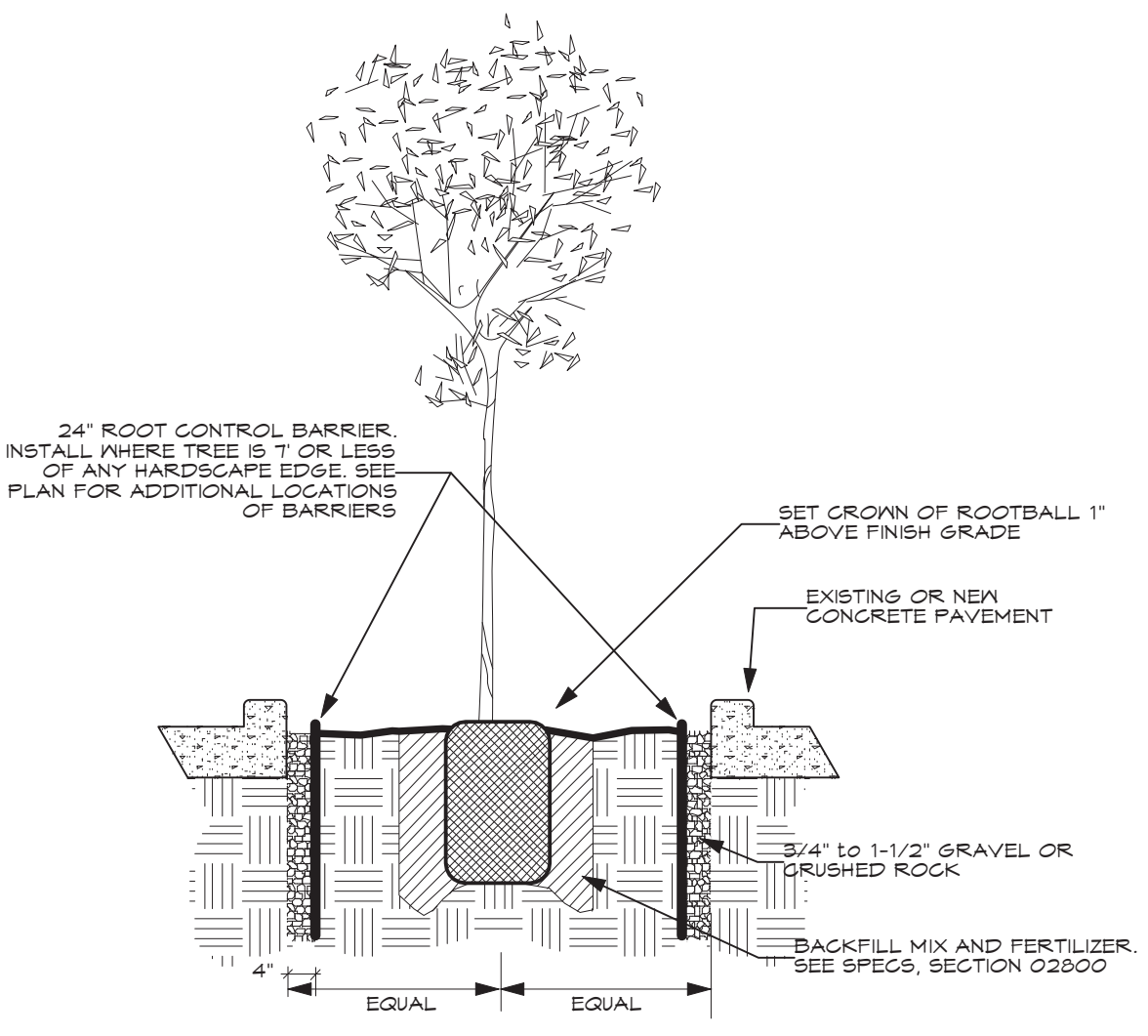
**H** POLY TO PVC COMPRESSION  
FITTING DETAIL  
NTS



**I** SHRUB PLANTING DETAIL  
NTS



**J** TREE PLANTING DETAIL  
NTS



- NOTE:
- 1) DO NOT PLACE MULCH IN TREE BASIN.
  - 2) PLANTING HOLE TO BE TESTED FOR DRAINAGE PRIOR TO PLANTING. IF HOLES DO NOT DRAIN WITHIN 4 HOURS CONTACT LANDSCAPE ARCHITECT.
  - 3) INSTALL ROOT BARRIER ON ALL FOUR SIDES OF PLANTER.

**K** TREE WELL WITH  
ROOT BARRIER  
NTS

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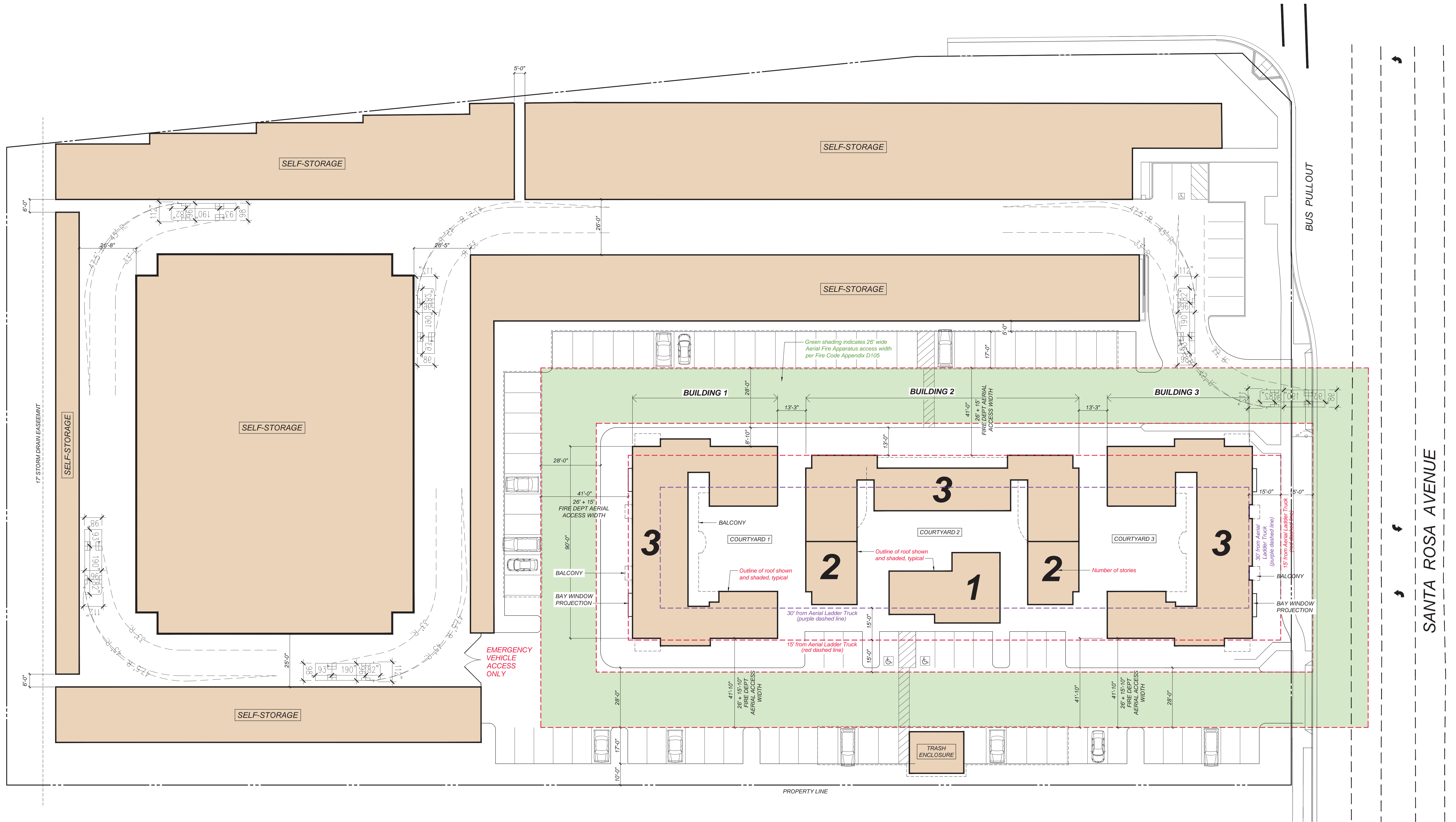
**MACNAIR**  
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ARCHITECTURE  
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KENWOOD, CALIFORNIA 95452  
TEL 925.833.2288  
FAX 925.833.2288  
don@macnairlandscape.com

Landscape Details

AVENUE 3111 STORAGE &  
 APARTMENTS  
 3111 SANTA ROSA AVENUE  
 SANTA ROSA, CA

DATE: 10/11/21  
 MLA JOB #: 2020-28  
 SCALE: AS SHOWN  
 DRAWN: DM





**AVENUE 3111 STORAGE  
and APARTMENTS**

3111 Santa Rosa Avenue, Santa Rosa, California

**CONCEPTUAL SITE PLAN with  
PROPOSED FIRE DEPT ACCESS**

SCALE 1" = 20'

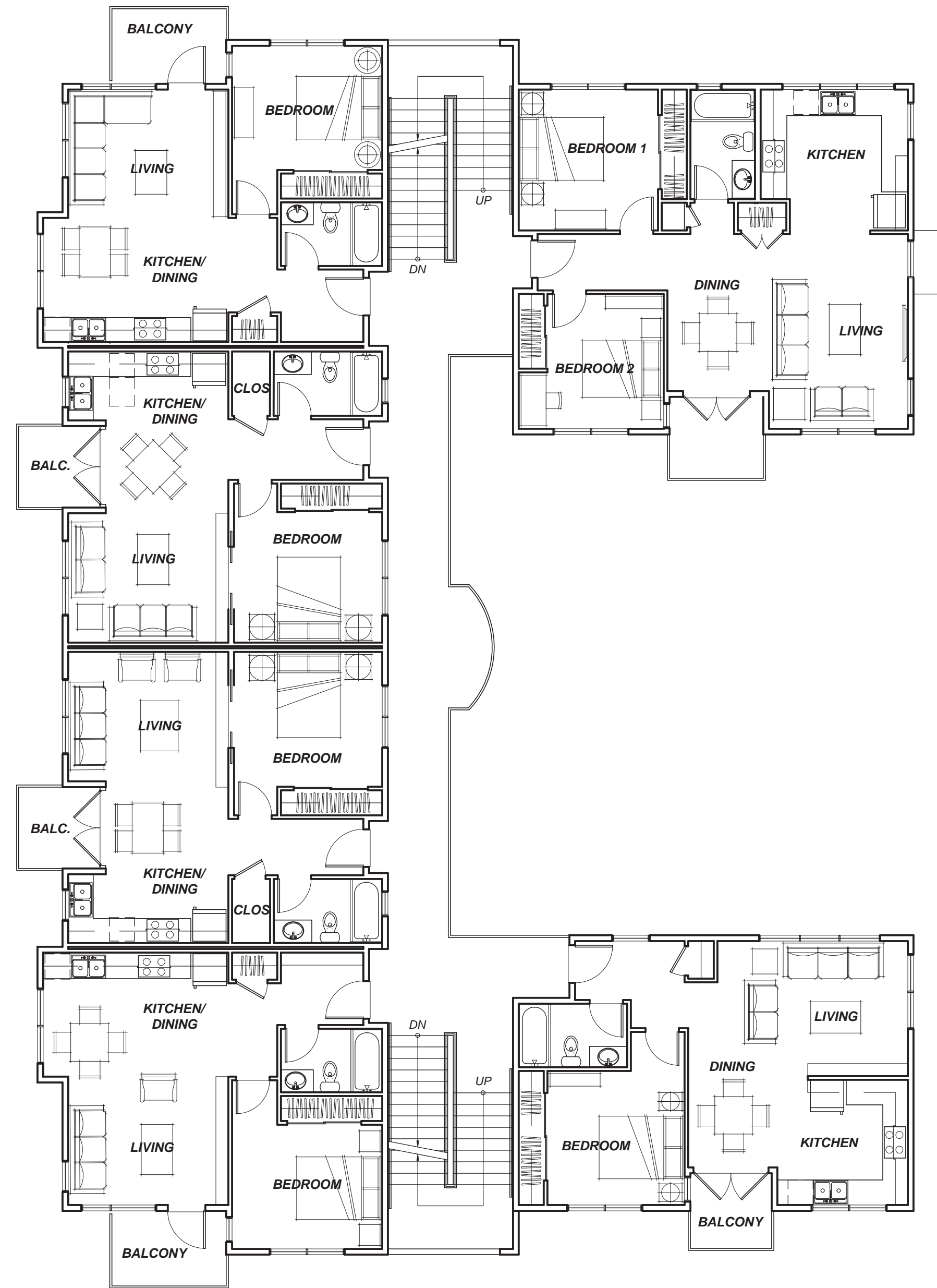


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**TFA**  
ARCHITECTS AIA

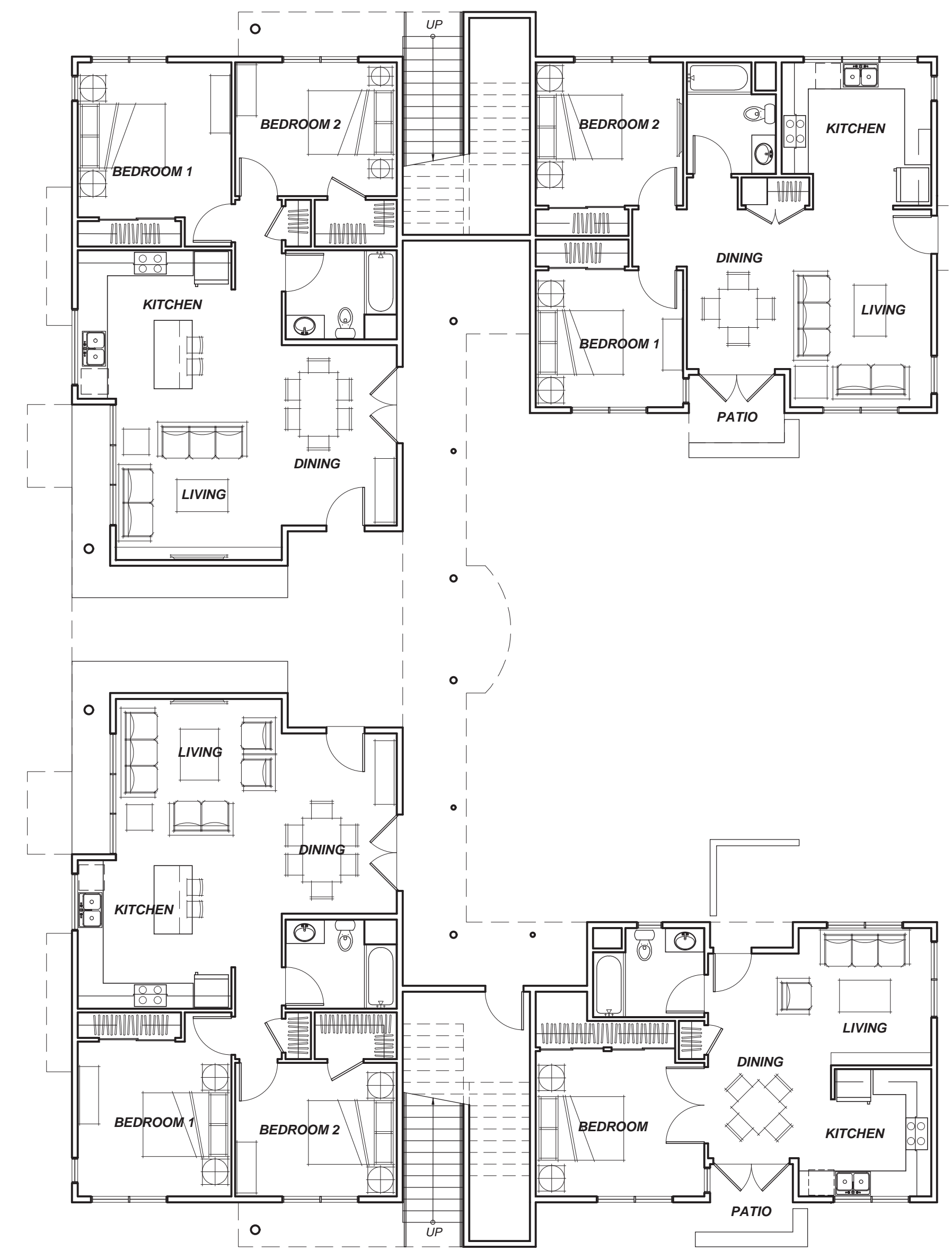
817 Russell Ave., Suite H Santa Rosa, CA 95403 707.576.1557 info@tffarch.com

A-2

09202021  
TFA #1725



**BUILDING 1**  
**SECOND FLOOR PLAN**  
*Third floor plan similar*



**BUILDING 1**  
**FIRST FLOOR PLAN**

**AVENUE 3111 STORAGE**  
**and APARTMENTS**

*3111 Santa Rosa Avenue, Santa Rosa, California*

**BUILDING 1**  
**CONCEPTUAL FLOOR PLANS**



**TIERNEY / FIGUEIREDO**  
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**A-3**

09/20/2021  
TFA #1725



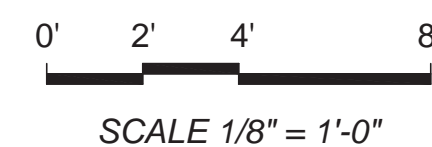
**BUILDING 2**  
**SECOND FLOOR PLAN**  
 Third floor plan similar

**BUILDING 2 and**  
**COMMUNITY BUILDING**  
**FIRST FLOOR PLANS**

**AVENUE 3111 STORAGE**  
**and APARTMENTS**

3111 Santa Rosa Avenue, Santa Rosa, California

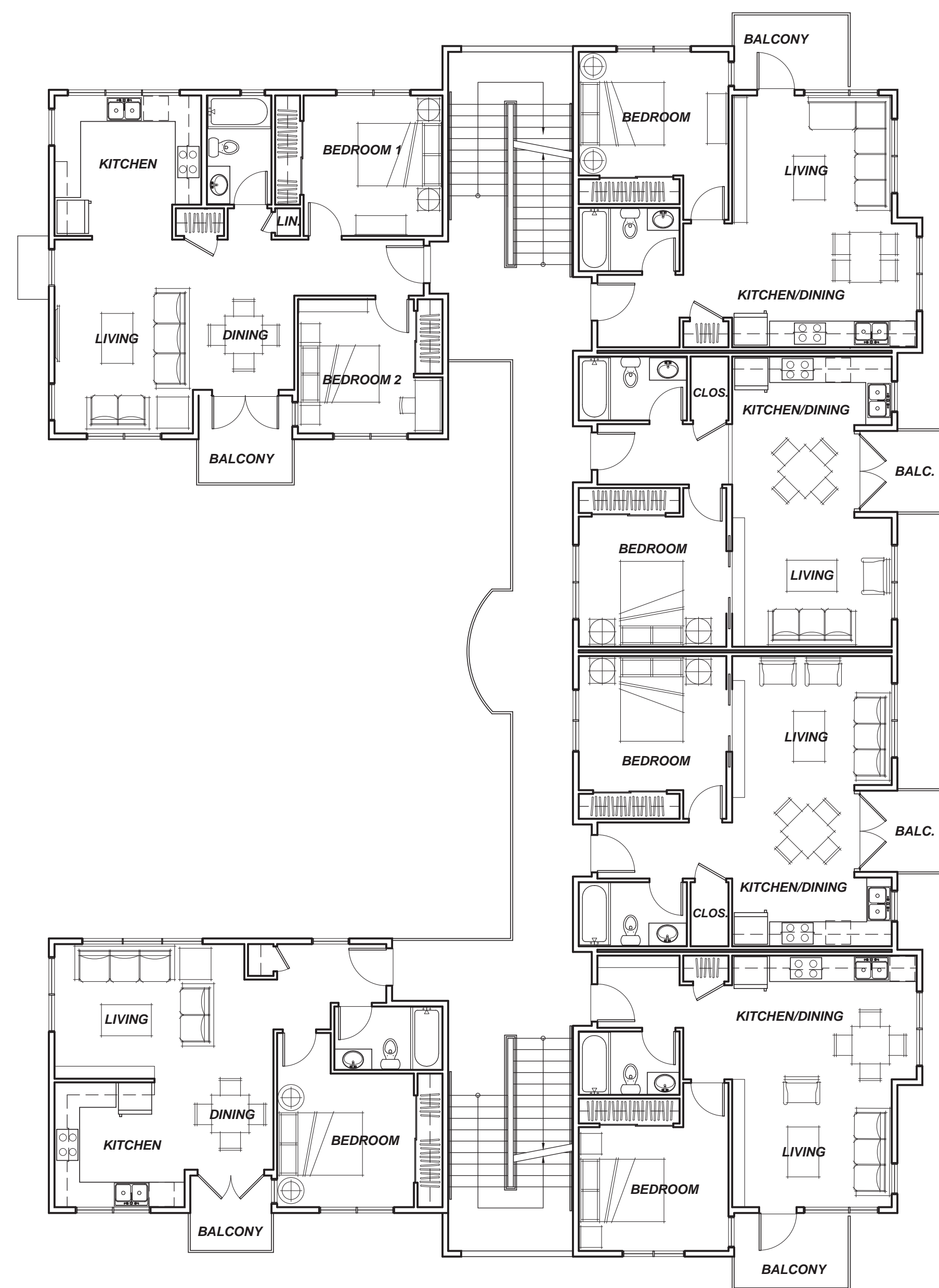
**BUILDING 2 and COMMUNITY BUILDING**  
**CONCEPTUAL FLOOR PLANS**



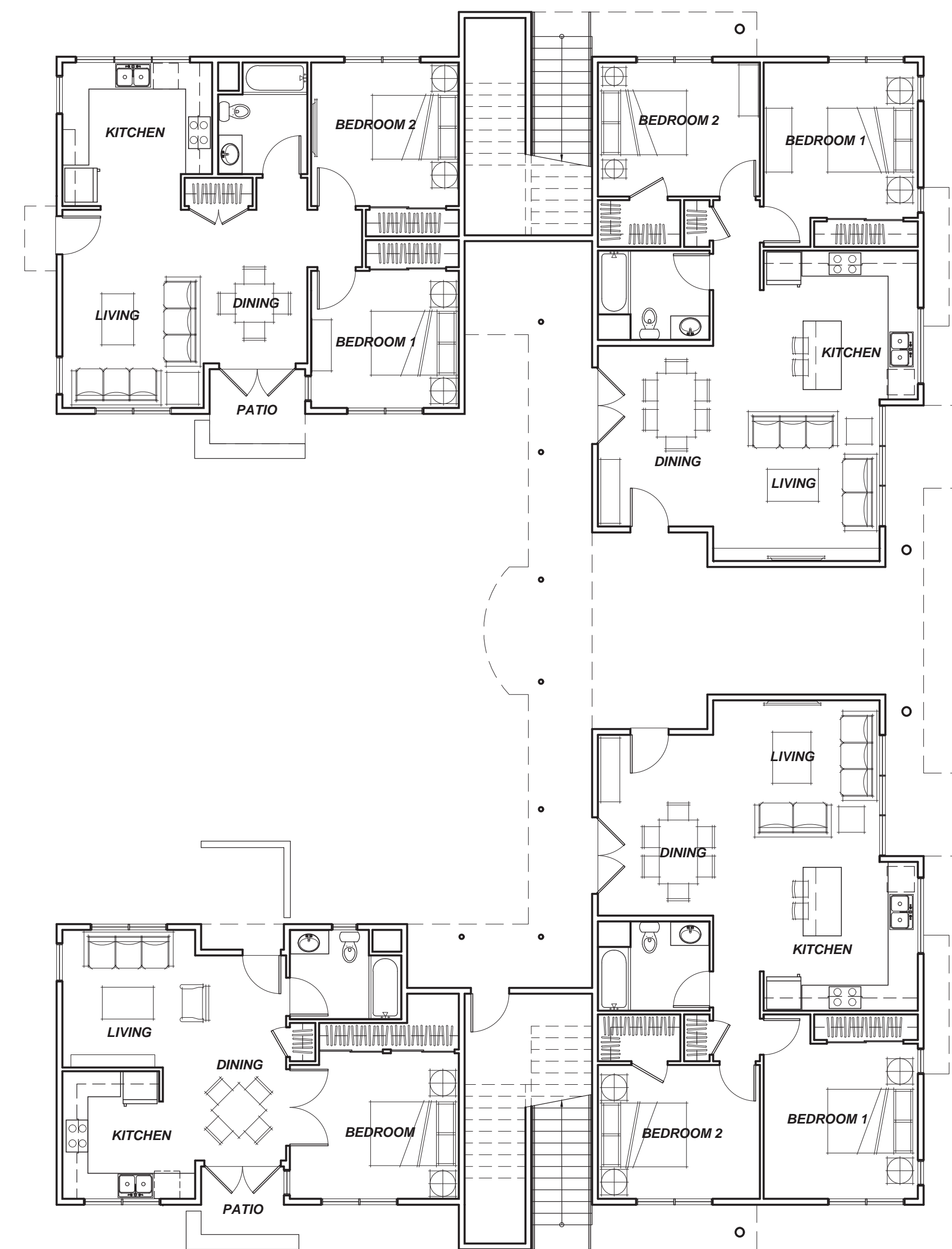
**TIERNEY / FIGUEIREDO**  
**TFA**  
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**A-4**





**BUILDING 3**  
**SECOND FLOOR PLAN**  
*Third floor plan similar*

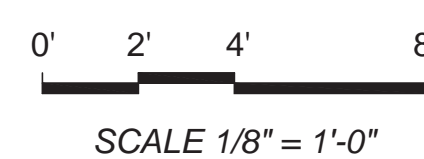


**BUILDING 3**  
**FIRST FLOOR PLAN**

**AVENUE 3111 STORAGE**  
**and APARTMENTS**

*3111 Santa Rosa Avenue, Santa Rosa, California*

**BUILDING 3**  
**CONCEPTUAL FLOOR PLANS**

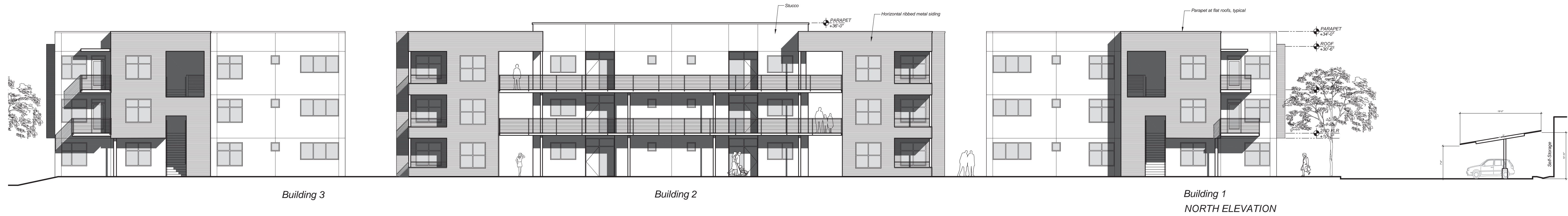


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**ARCHITECTS AIA**

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**A-5**

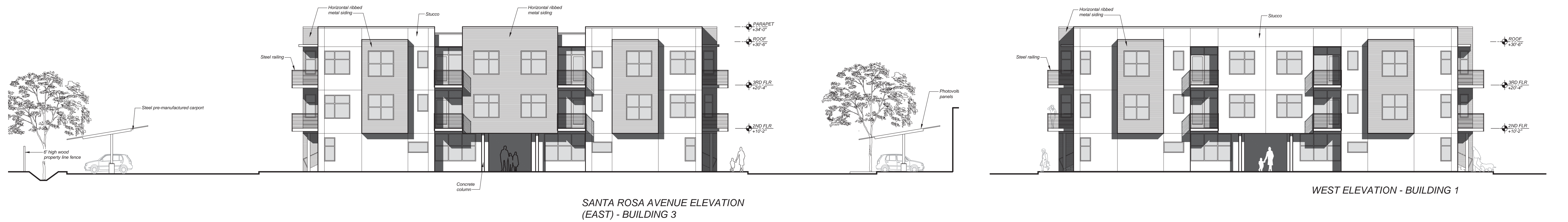
09/20/2021  
TFA #1725



Building 3

Building 2

Building 1  
NORTH ELEVATION



SANTA ROSA AVENUE ELEVATION  
(EAST) - BUILDING 3

WEST ELEVATION - BUILDING 1



Building 1  
SOUTH ELEVATION

Building 2

Building 3

# AVENUE 3111 STORAGE and APARTMENTS

3111 Santa Rosa Avenue, Santa Rosa, California

## CONCEPTUAL ELEVATIONS

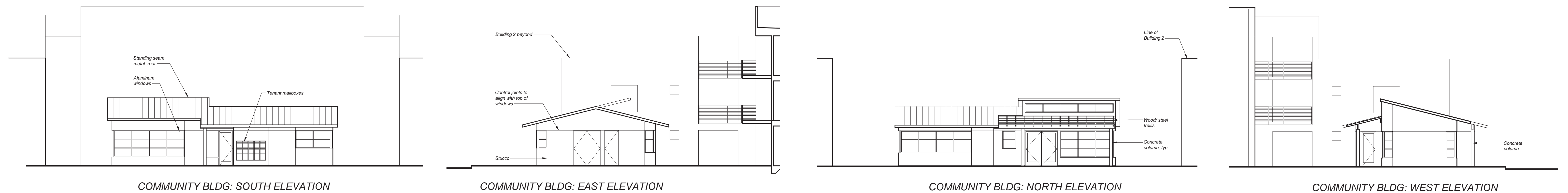
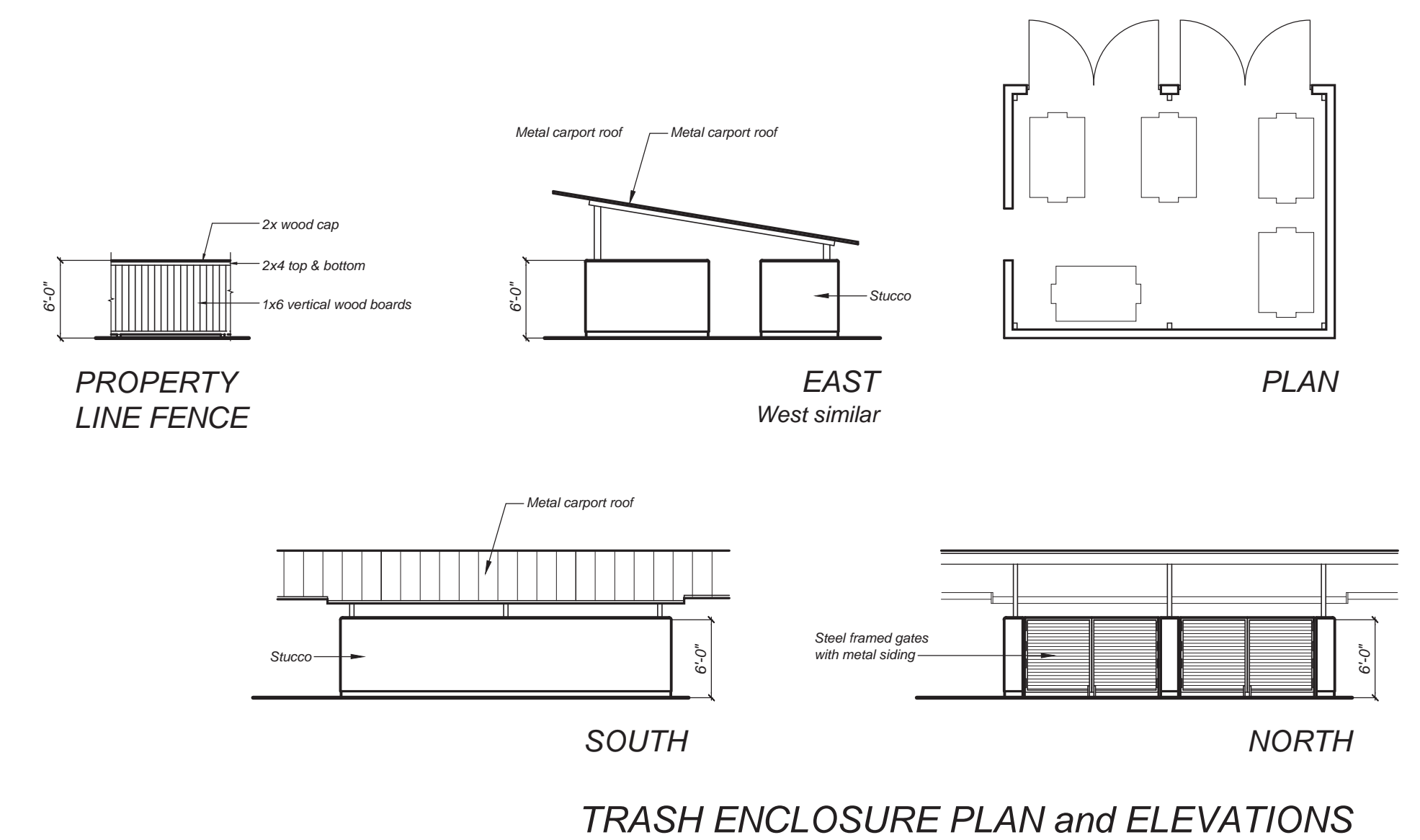
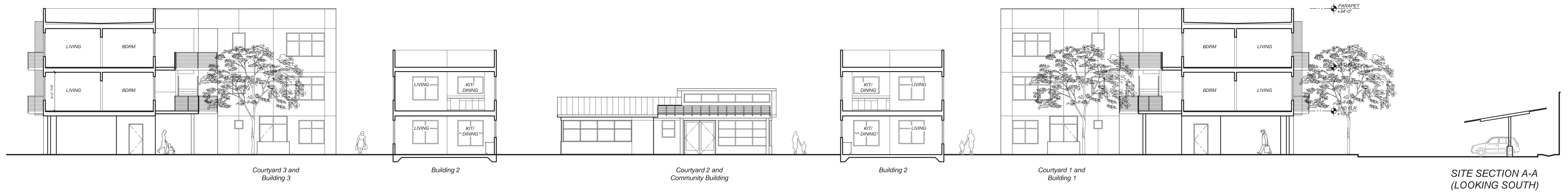
0' 4' 8' 16'  
SCALE 3/32" = 1'-0"

TIERNEY / FIGUEIREDO  
**TFA**  
ARCHITECTS AIA

A-6

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09/20/2021  
TFA #1725



# AVENUE 3111 STORAGE and APARTMENTS

3111 Santa Rosa Avenue, Santa Rosa, California

## CONCEPTUAL ELEVATIONS and SECTIONS

0' 4' 8' 16'  
SCALE 3/32" = 1'-0"

TIERNEY / FIGUEIREDO  
**TFA**  
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A-7

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09/20/2021  
TFA #1725



Building 3

Building 2

NORTH ELEVATION



SANTA ROSA AVENUE ELEVATION (EAST) - BUILDING 3

AVENUE 3111 STORAGE  
and APARTMENTS

3111 Santa Rosa Avenue, Santa Rosa, California

CONCEPTUAL COLOR  
ELEVATIONS

0' 4' 8' 16'  
SCALE 1/8" = 1'-0"

TIERNEY / FIGUEIREDO  
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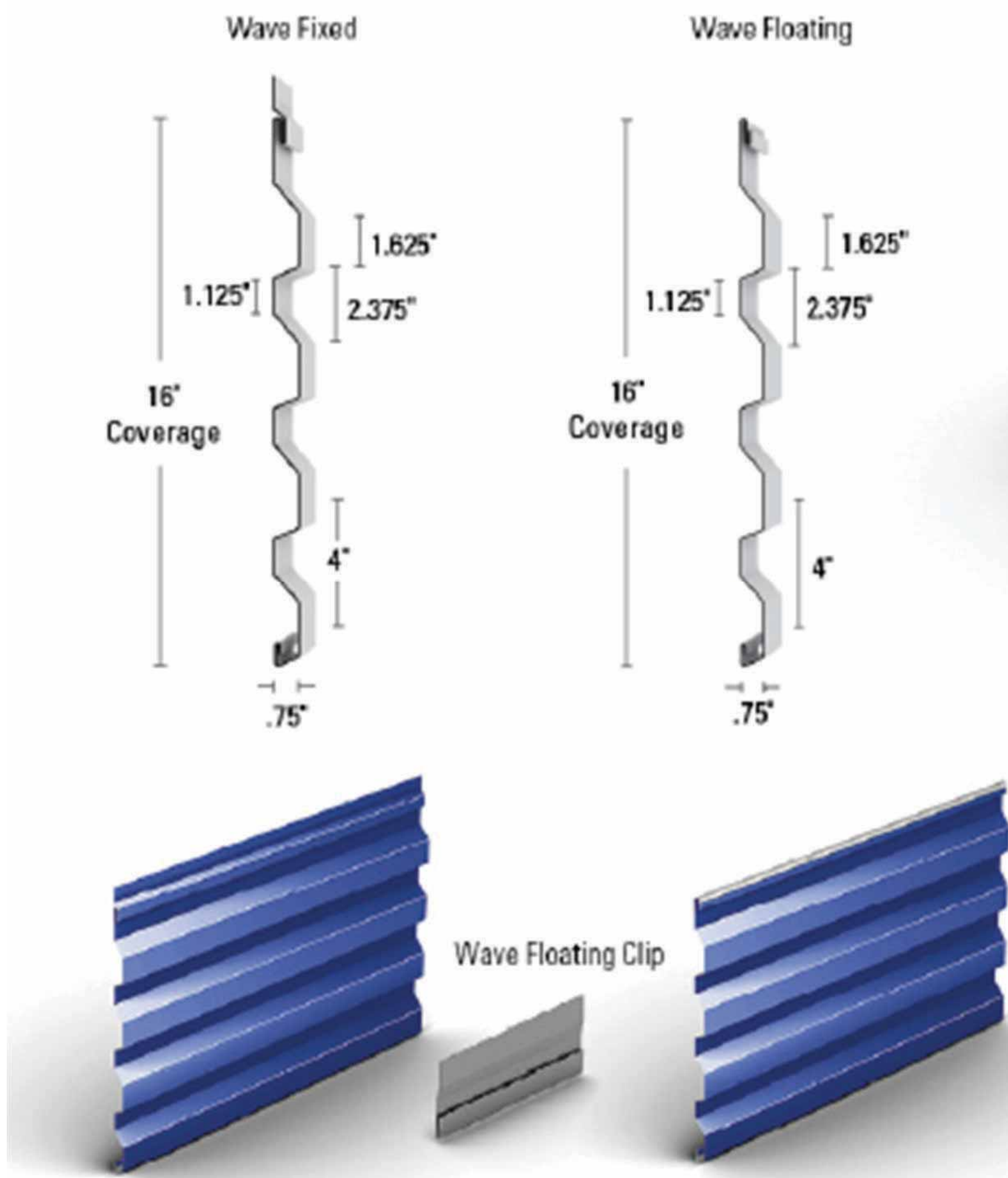
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A-8

09/20/2021  
TFA #1725

# Wave

Available in both fixed and floating systems, McElroy Metal's Wave panels are concealed fastener wall panels that can be installed vertically or horizontally over solid substrate or subframing. Wave Fixed is installed with Wave's integral fastening flange which is roll formed into the panel during the manufacturing process and can be utilized for panel lengths of 40' or less. Wave Floating panels utilize separate clips and should be specified for panel lengths of 40' or greater.



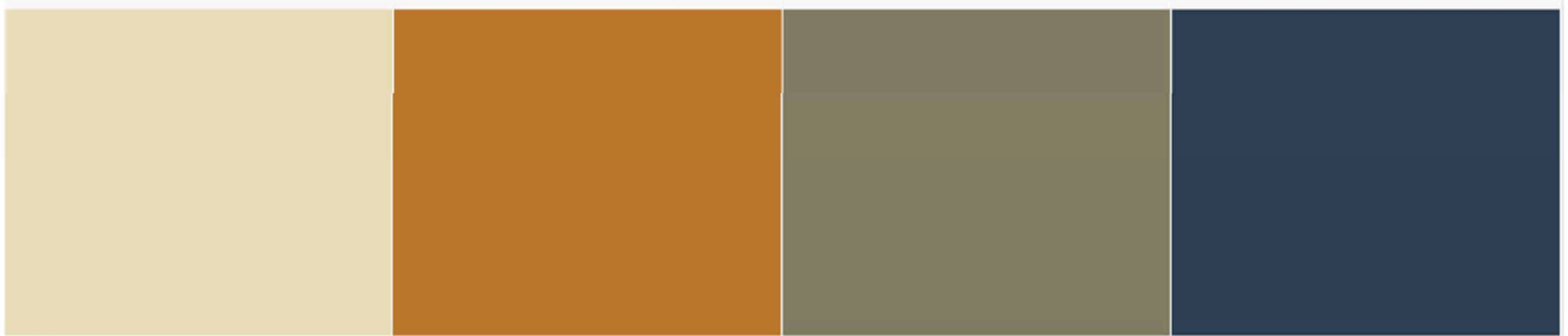
HORIZONTAL RIBBED METAL SIDING



METAL SIDING



STUCCO



RGB: 233, 220, 185

187, 119, 46

129, 125, 98

46, 63, 83

## EXTERIOR COLORS

## CONCEPTUAL COLORS & MATERIALS

# Avenue 3111 Storage and Apartments

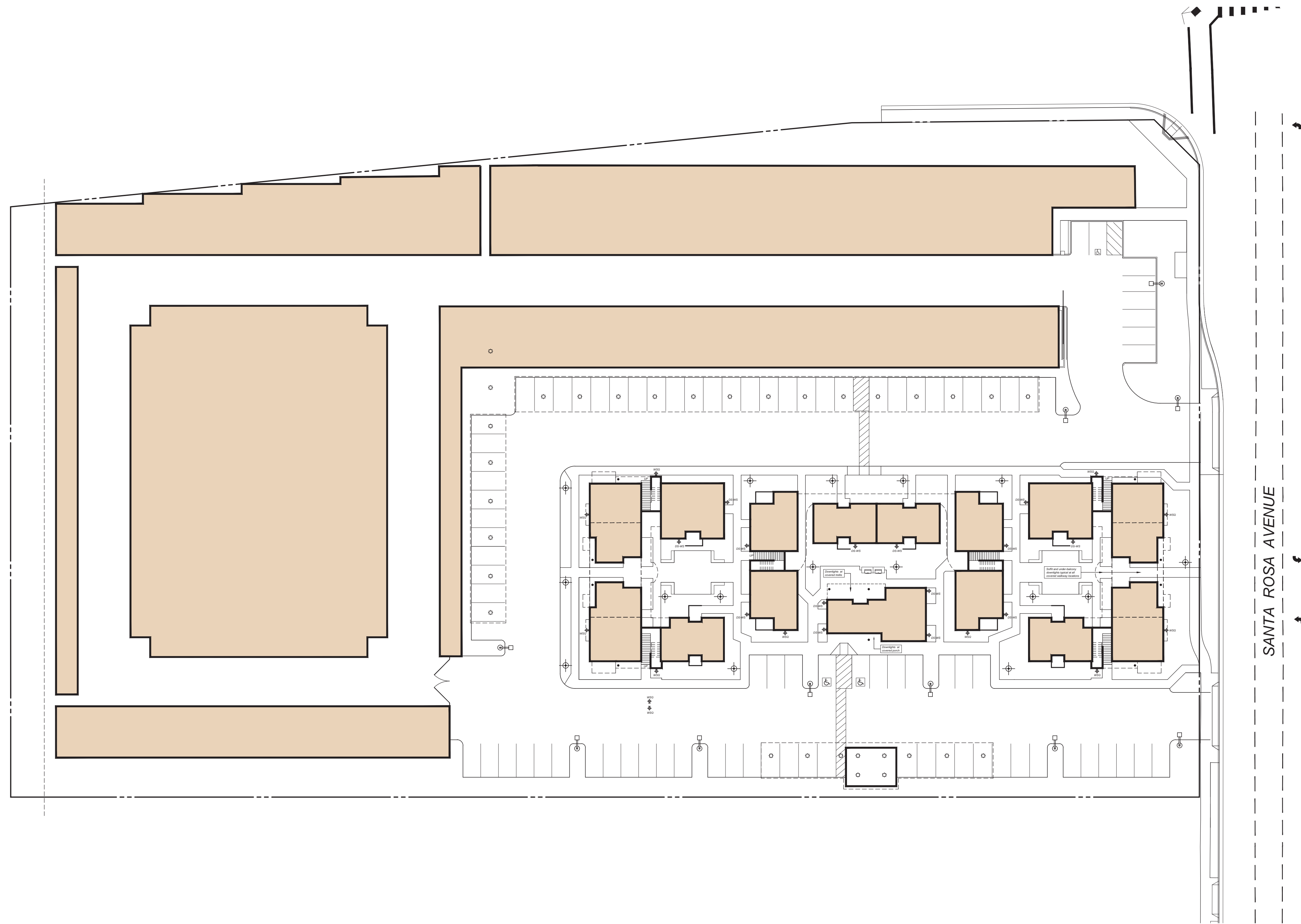
TIERNEY / FIGUEIREDO

**TFA**





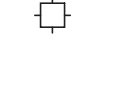
ARCHITECTS

AIA

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 (707) 576-1557 Fax 576-1555 info@tfarch.com



**LIGHTING LEGEND**

- 
 EXTERIOR WALL MOUNTED DOWNLIGHT:  
 LITHONIA WSQ-LED-2 (COLOR = WHITE) with  
 47 WATT LED LAMP and PHOTOCELL OPERATION.  
 MOUNTING HEIGHT PER SYMBOL NOTATION
- 
 EXTERIOR WALL MOUNTED CYLINDER DOWNLIGHT:  
 WAC DS-WS-06F-A (COLOR = WHITE) with  
 47 WATT LED LAMP and PHOTOCELL OPERATION.  
 MOUNTING HEIGHT PER SYMBOL NOTATION
- 
 AREA LIGHT: RAB ALED 5T52W (COLOR = WHITE)  
 with 52 WATT LED LAMP ON 10'-0" HIGH POLE with  
 PHOTOCELL OPERATION
- 
 PARKING LOT LIGHT STANDARD with SINGLE ARM  
 MOUNT HEAD: RAB ALED2T78NW (COLOR = WHITE)  
 with 78 WATT LED LAMP ON 15'-0" HIGH POLE with  
 PHOTOCELL OPERATION
- 
 SURFACE MOUNTED CARPORT FIXTURE:  
 LUMARK QDCAST1A with 56 WATT LED LAMP  
 MOUNTED ON UNDERSIDE OF CARPORT CANOPY  
 with PHOTOCELL OPERATION

**AVENUE 3111 STORAGE  
and APARTMENTS**

3111 Santa Rosa Avenue, Santa Rosa, California

**CONCEPTUAL  
SITE LIGHTING PLAN**

SCALE 1" = 30'  
 0' 15' 30' 60'



TIERNEY / FIGUEIREDO  
**TFA**  
 ARCHITECTS AIA

A-9

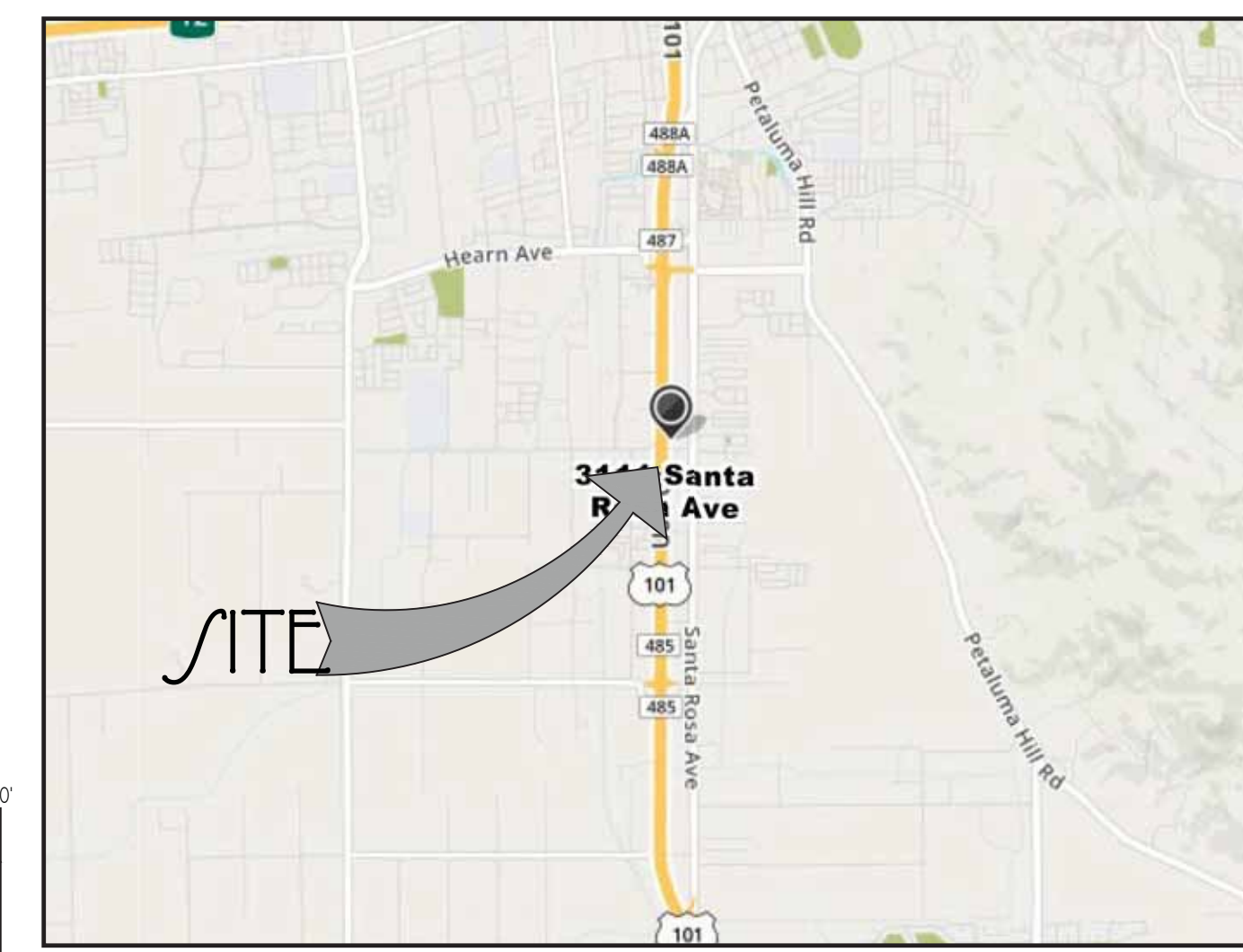
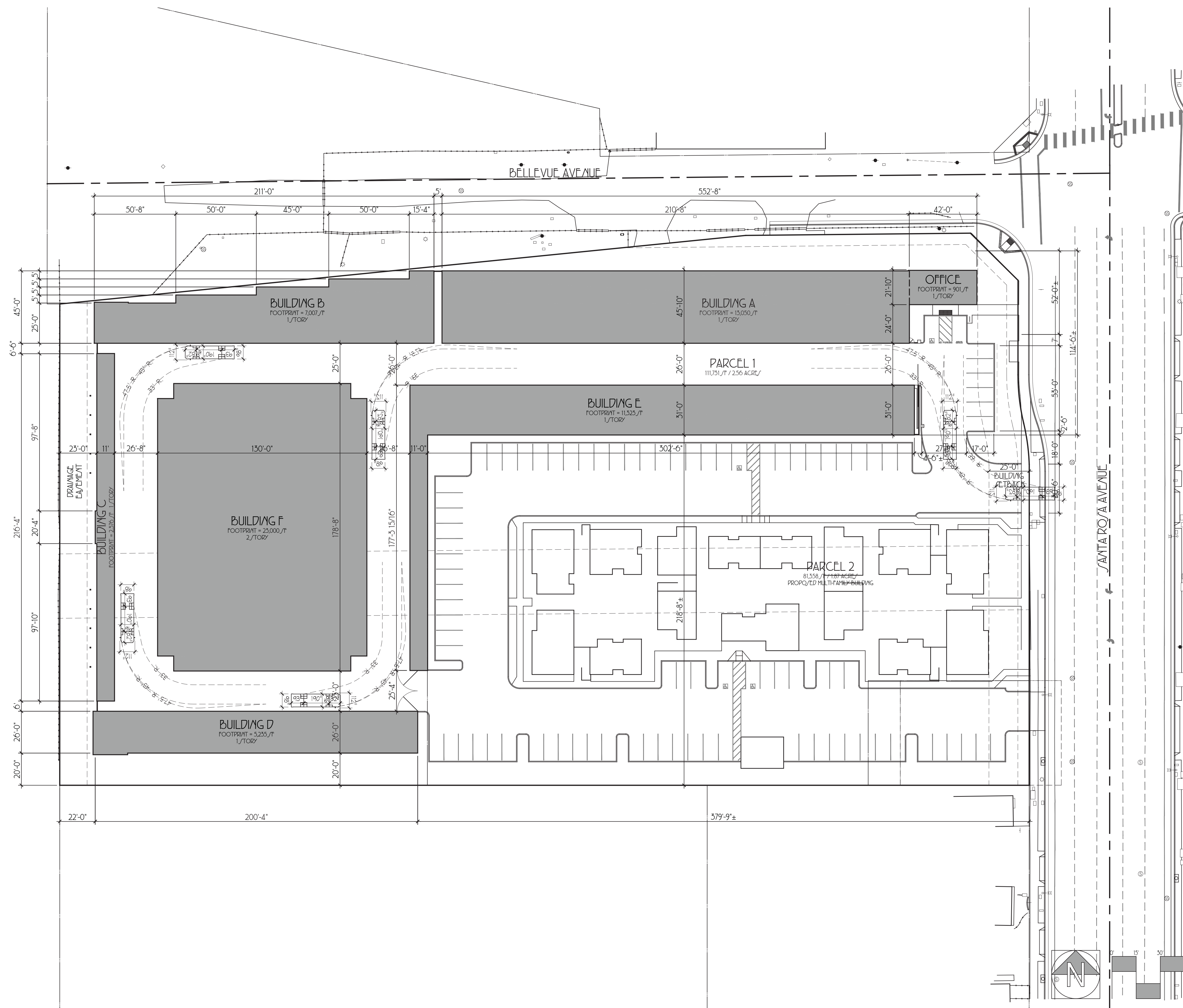
PROJECT DATA

<b>SITE/SQUARE FOOTAGE/</b>		BUILDING/SQUARE FEET ( 56,358)
BUILDING/SITE COVERAGE		19,780/SQUARE FEET ( 17.7%)
LAND/CAPE/SITE COVERAGE		29,059/SQUARE FEET (26.0%)
GRO/SITE AREA		(2.56 ACRES)/111,751/SQUARE FEET (100.0%)
<b>PARKING DATA</b>		
PARKING - REQUIRED		PER PLANNING DEPARTMENT
TOTAL PARKING REQUIRED		
PARKING - PROVIDED		6/PACE/
HANDICAP/PACE/		1/PACE/
CLEAN AIR/PACE/		1/PACE/
TOTAL PARKING PROVIDED		8/PACE/
<b>BUILDING DATA</b>		
CONSTRUCTION TYPE		
ZONING		OFFICE-TYPE I-N/P/PROHIBITED
OCCUPANCY GROUP		/STORAGE-TYPE I-N/P/PROHIBITED
NUMBER OF EMPLOYEE/		/-1 (STORAGE)
A/S/E/SOR/PARCEL NUMBER		8 (OFFICE)
PROJECT TYPE		4 MAXIMUM
		045-143-018
		PER/ONAL/STORAGE FACILITY
<b>BUILDING/SQUARE FOOTAGE/</b>		
BUILDING/	FOOTPRINT	TOTAL/SQUARE FOOTAGE
MANAGER/ OFFICE	901/SQUARE FEET	901/SQUARE FEET
BUILDING A	13,050/SQUARE FEET	13,050/SQUARE FEET
BUILDING B	7,007/SQUARE FEET	7,007/SQUARE FEET
BUILDING C	2,576/SQUARE FEET	2,576/SQUARE FEET
BUILDING D	5,235/SQUARE FEET	5,235/SQUARE FEET
BUILDING E	11,523/SQUARE FEET	11,523/SQUARE FEET
BUILDING F	23,000/SQUARE FEET	45,602/SQUARE FEET
TOTAL	62,892/SQUARE FEET	83,494/SQUARE FEET

**PROJECT DIRECTORY**

APPLICANT/OWNER: EVAN LILLEVAND / HOVE PROPERTIES / LIVERCREEK PARTNER / 55 CORTE MADERA AVENUE, HILL VALLEY, CALIFORNIA 94541, TELEPHONE: (415) 388-9905, EMAIL: EVAN@LIVERCREEKPARTNER.NET

ARCHITECT: KEN CARRELL / ARE ASSOCIATES / 25422 TRABUCO ROAD, SUITE 105-A, LAKE FOREST, CALIFORNIA 92650, TELEPHONE: (949) 505-4752, EMAIL: KENCARRELL@OCIATI.COM



VICINITY MAP

**ARE Associates**  
 Architecture Real Estate  
 25422 Trabuco Road  
 Lake Forest, California  
 v. 949.305.4752  
 www.AREAssociates.com

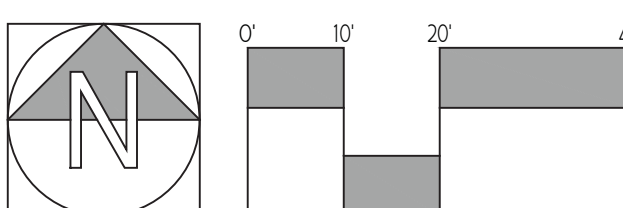
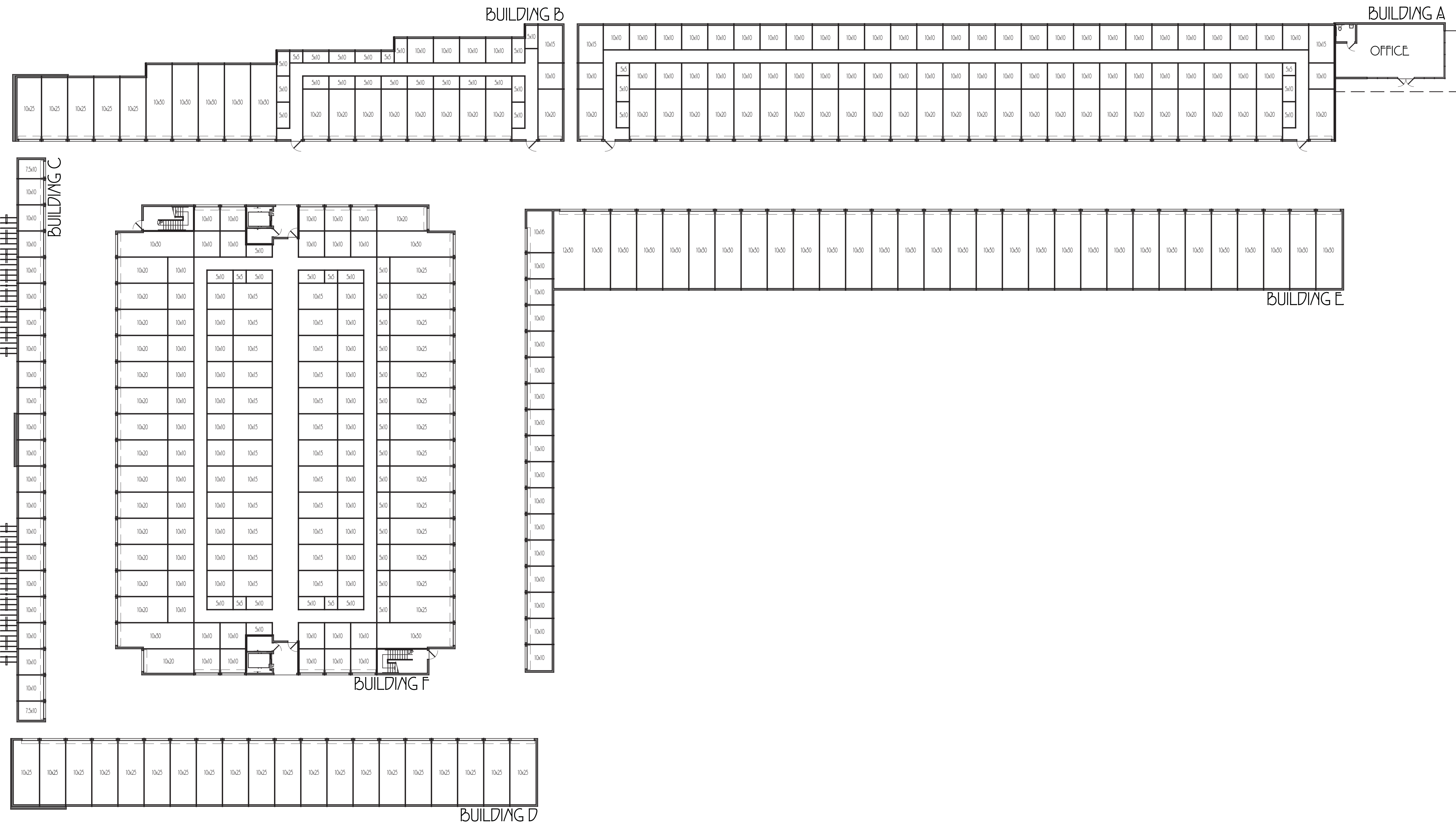


JOB NUMBER: 17150  
 DRAWN BY: KRC  
 J/SCALE: 1"=30'-0"  
 DATE: 20 AUG 04  
 REV/10/5: 20 DEC 02  
 21 AUG 17

# OVERALL SITE PLAN

## AVENUE 3111 STORAGE AND APARTMENTS

3111 SANTA ROSA AVENUE, SANTA ROSA, CALIFORNIA



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 Architecture Real Estate  
 25422 Trabuco Road  
 Lake Forest, California  
 v. 949.305.4752  
 www.AREAssociates.com



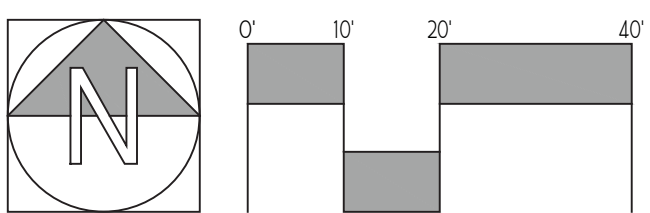
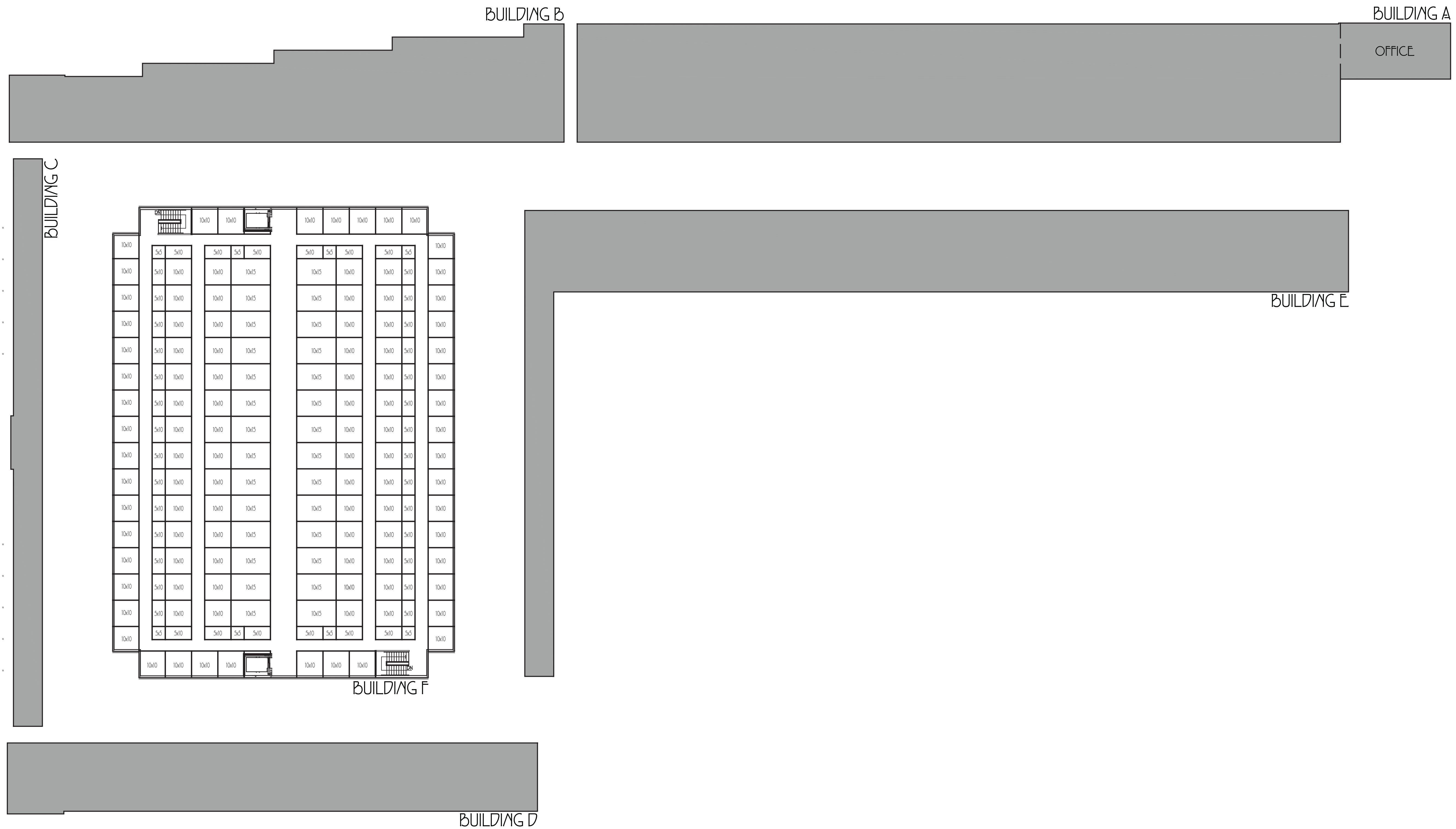
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 REV: 20 DEC 02  
 REV: 21 AUG 17

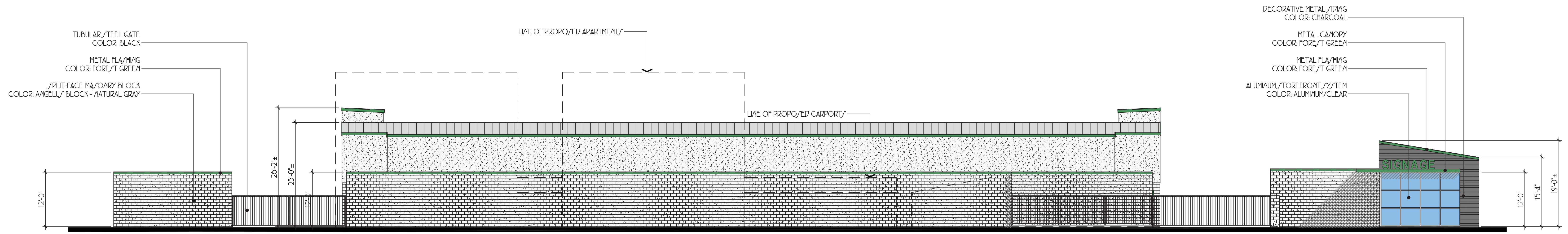
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**GROUND LEVEL FLOOR PLANS**  
**AVENUE 3111 STORAGE AND APARTMENTS**  
 3111 SANTA ROSA AVENUE, SANTA ROSA, CALIFORNIA

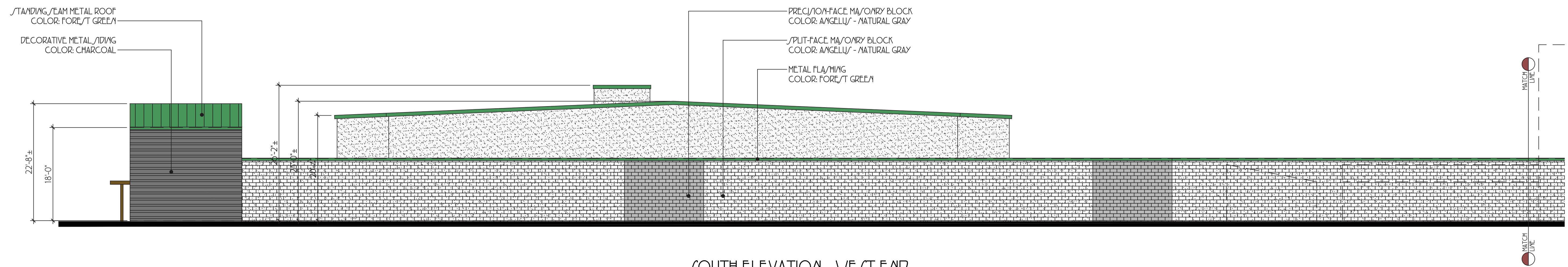
**2**



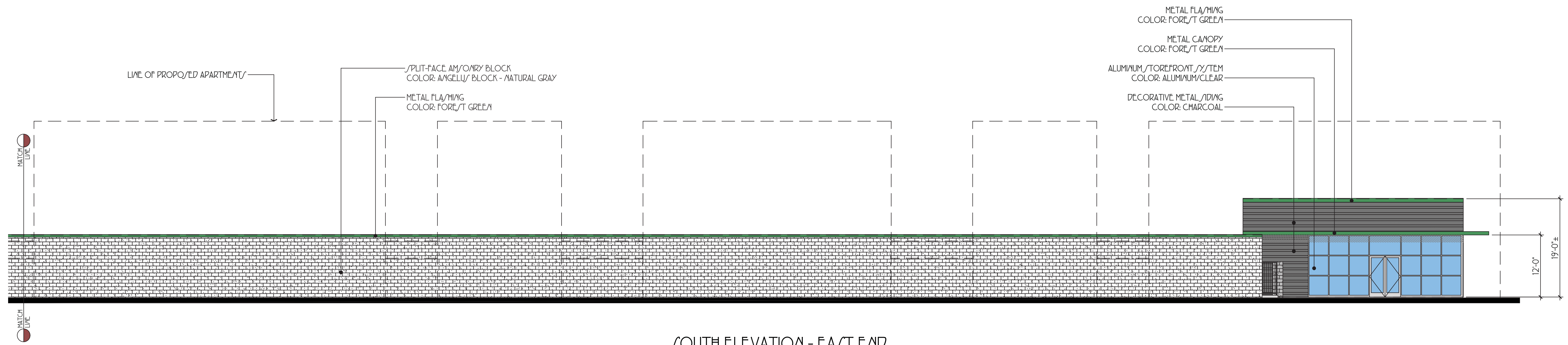




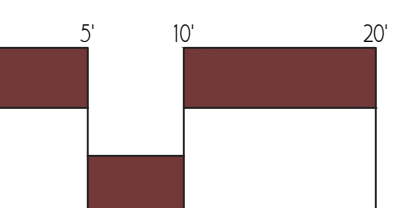
EAST ELEVATION

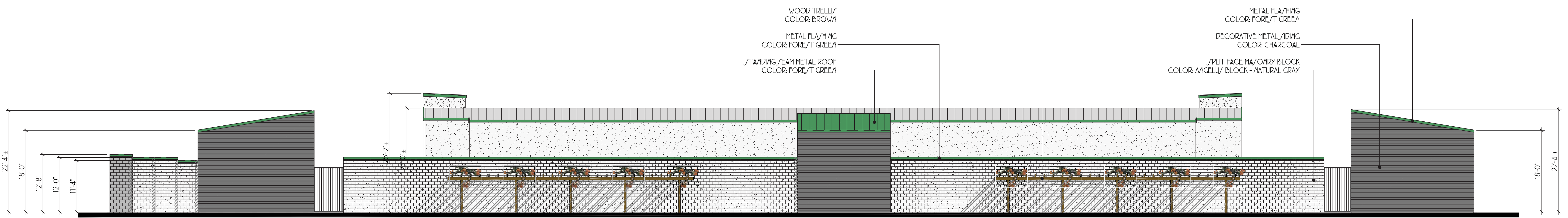


SOUTH ELEVATION - WEST END

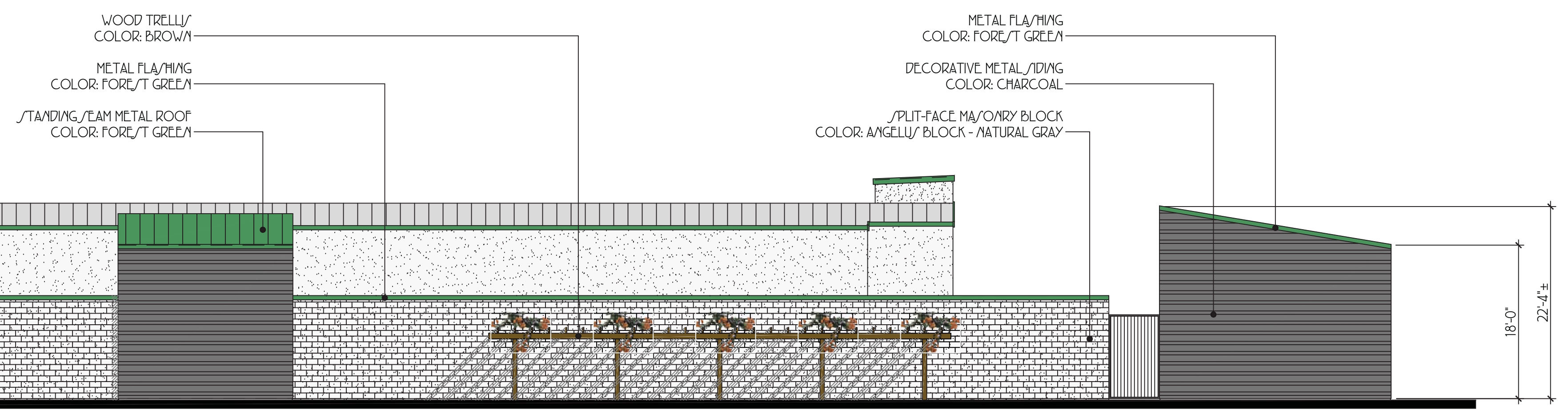


SOUTH ELEVATION - EAST END

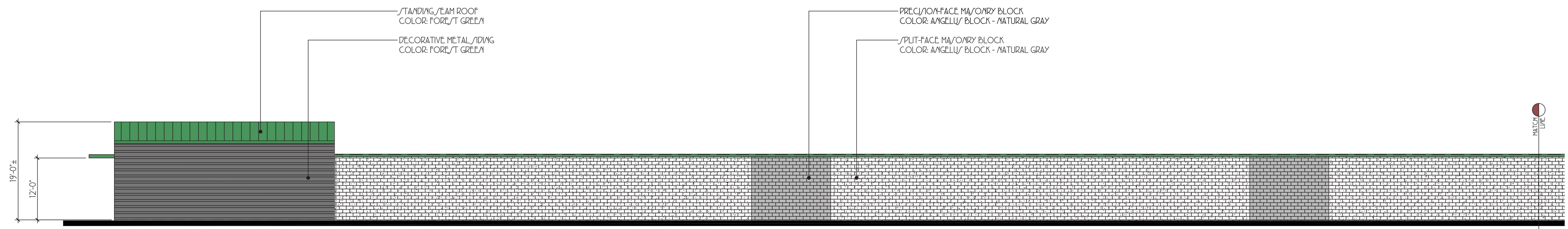




WEST ELEVATION



NORTH ELEVATION - EAST END



NORTH ELEVATION - WEST END

