City of Santa Rosa

Planning & Economic **Development Department** May 2, 2022 RECEIVED

Checked

Sheet

RANDINER RESIDENC

3507 Hanover Place

COMPLY WITH ALL APPLICABLE STATE, COUNTY AND LOCAL BUILDING CODES, ORDINANCES AND REGULATIONS

PERTAINING TO THIS CONSTRUCTION. INSTALLATION OF ALL MATERIALS AND FINISHES MUST BE DONE IN STRICT ACCORDANCE WITH THE RELATED MANUFACTURERS SPECIFICATIONS AND DETAILS. THIS

INCLUDES ALL INTERIOR AND EXTERIOR MATERIALS OF

VERIFY ALL DIMENSIONS PRIOR TO STARTING THE WORK DO NOT SCALE DRAWINGS AS WRITTEN DIMENSIONS TAKE

ALL TYPES, TYPICAL.

- ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR
- TRADES, DRAWINGS AND SUB CONTRACTORS PRIOR TO CONNECT WATER, GAS, ELECTRIC LINES TO EXISTING UTILITIES IN ACCORDANCE WITH LOCAL BUILDING CODES AND PUBLIC

MECHANICAL, ELECTRICAL, AND PLUMBING WITH APPROPRIATE

- CONTRACTOR MUST COORDINATE ALL PLUMBING, MECHANICAL AND ELECTRICAL ROUGH OPENING REQUIREMENTS WITH FRAMING AND FINISHES TO ALLOW FOR PROPER INSTALLATION OF ALL RELATED EQUIPMENT AND FIXTURES ACCORDINGLY. DIMENSIONS SHOUN ON PLANS MUST BE COORDINATED AND
- ADJUSTED ACCORDINGLY. (I.E. ROUGH-IN FOR BATHTUBS). THE CONTRACTOR MUST ENSURE THAT ALL MATERIALS THROUGHOUT ALL PHASES OF CONSTRUCTION MUST BE PROTECTED FROM MOISTURE FROM ANY SOURCE AT ALL TIMES. IF MATERIALS BECOME MOIST OR WET THEY MUST BE COMPLETELY DRIED OR REPLACED WITH NEW, DRY MATERIALS PRIOR TO BEING COVERED OVER, ENCASED OR ENCLOSED. THESE MATERIALS INCLUDE, BUT ARE NOT LIMITED TO: LICOD FRAMING, STEEL, INSULATION (RIGID, BATT OR

BLOWN-IN), GYPSUM BOARD, WOOD SHEATHING, ALL TYPES

DUCTHORK, DUCT INSULATION, ETC. ANY CHANGES BY THE OWNER AND/OR CONTRACTOR MADE TO THE SPECIFICATIONS OR ANY OF THE INFORMATION CONTAINED IN THESE DRAWINGS WITHOUT WRITTEN APPROVA OR THE DOCUMENTED INVOLVEMENT OF THE ARCHITECT OF ANY CHANGES RELIEVES THE ARCHITECT OF ANY AND ALL LIABILITY RELATED TO ALL ASPECTS OF THE CHANGE AND ANY IMPACTS THAT THE CHANGE MAY HAVE TO ADJACENT

OF MATERIALS AND UNDERLAYMENTS, MECHANICAL

- OR INDIRECTLY ASSOCIATED CONSTRUCTION, FINISHES, ETC. CONTRACTOR TO PROVIDE ADDITIONAL FRAMING AND FINISHES FOR SOFFITS, CEILING DROPS OR FURRING AS REQUIRED AT WALLS AND CEILINGS TO CONCEAL MECHANICAL DUCTWOR PLUMBING PIPING AND ALL RELATED EQUIPMENT AND FIXTURES OF ANY TYPE, THIS WILL BE PROVIDED AT NO ADDITIONAL COST TO CONTRACT AND MUST BE COORDINATED
-). LARGER DETAILS AND DESCRIPTIVE NOTES TAKE PRECEDEN OVER THAT WHICH IS GRAPHICALLY ILLUSTRATED OR SHOUN IN ALL CASES DISCREPANCIES MUST BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO PROCEEDING W/ THE WORK
- IN ALL CASES DISCREPANCIES MUST BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO PROCEEDING WITH THE WORK WORK THAT PROGRESSES WITHOUT THE INVOLVEMEN OF THE ARCHITECT RELIEVES THE ARCHITECT OF ANY AND ALL LIABILITY RELATED TO AND/OR ASSOCIATED WITH
- THE ARCHITECT HAS NO LIABILITY AND IS NOT RESPONSIBLE FOR ALL WORK PROVIDED BY OTHER CONSULTANTS THAT WERE NOT HIRED BY THE ARCHITECT OR THAT THEIR SCOPE OF WORK WAS NOT COORDINATED WITH THE DRAWINGS DURING THE CONSTRUCTION DOCUMENT PHASE. THIS INCLUDES BUT IS NOT LIMITED TO: MECHANICAL AND

FIRE PROTECTION SYSTEMS: TO INCLUDE FIRE SPRINKLERS

AND FIRE ALARMS, SHALL BE INSTALLED PER COUNTY CODE ALL DRAWINGS AND SPECIFICATIONS FOR THE RESIDENTIAL FIRE PROTECTION SYSTEMS WILL BE PROVIDED AS DESIGN-BUILD DOCUMENTS UNDER A SEPARATE PERMIT AND SHALL MEET ALL REQUIREMENTS OF THE LOCAL CODE AND LOCAL FIRE DEPARTMENT.

FOUNDATION VENTILATION:

FIRE PROTECTION

- PROVIDE FOUNDATION VENTILATION WITH OPERABLE LOUVERED VENT OPENINGS WITH A NET AREA OF NO LESS THAN 1/150 OF THE UNDERFLOOR AREA. MUST COMPLY WITH SECTION R408.1 AND R408.2 OF THE
- 1. ALL PIPING SERVING AS PART OF A HOT WATER SYSTEM SHALL BE INSULATED WITH A MINIMUM R-3 HOT WATER PIPING INSULATION, INSULATION SHALL BE INSTALLED CONTINUOUSLY FROM WATER HEATER TO ALL OUTLETS: ALL PIPING OUTSIDE OF THE CONDITIONED SPACE: FROM WATER HEATER TO DISTRIBUTION MANIFOLD OR STORAGE TANK'S PIPING LOCATED UNDER FLOOR SLABS: BURIED PIPING: PIPING OF ALL SIZES AND ALL PIPING RUN LENGTHS
- SUPPLY AND RETURN PIPING IN RECIRCULATION SYSTEMS OR OTHER DEMAND RECIRC SYSTEMS.
- ALL DISHLASHERS TO HAVE AIR GAPS INSTALLED PROVIDE WATER HEATER WITH TEMPERATURE/ PRESSURE RELIEF VALVE AND DRAIN LINE TO BE FULL SIZE STEEL PIPE OR HARD DRAWN COPPER TUBING EXTENDING TO THE EXTERIOR OF BUILDING AND TERMINATING IN A DOWNLARD POSITION NOT MORE THAN EIGHTEEN INCHES NOR LESS THAN SIX
- APPLICABLE CODES. ALL WATER PIPING TO BE RESIDENTIAL PEX WATER

INCHES ABOVE GRADE, WATER HEATER MUST BE

PROVIDED WITH SEISMIC ANCHORAGE PER

- SUPPLY PIPING SYSTEM, TYPICAL. ALL WASTE AND VENT PIPE TO BE PLASTIC ABS. PROVIDE CAST IRON WASTE PIPING IN WALLS AND OVERHEAD WHEN PLUMBING OCCURS ABOVE OR
- ADJACENT TO LIVING SPACE. 6. PANS AND DRAINS MUST BE PROVIDED UNDER ALL HOT WATER HEATERS AND WASHING MACHINES.
- PROVIDE RECESSED WASHING MACHINE AND CLOTHES DRYER CONNECTION BOXES, TYPICAL. 8. STORAGE TYPE WATER HEATERS AND STORAGE BACK UP TANKS FOR SOLAR WATER HEATING SYSTEMS SHALL BE EXTERNALLY WRAPPED WITH R-12
- . GLAZING IS REQUIRED TO COMPLY WITH 2019 CRC OR RELATED CITY OR CURRENT CODE.

PROVIDE ROOF VENTILATION WITH LOUVERED AND

THE SPACE VENTILATED, MUST COMPLY WITH THE

SCREENED VENTS EQUAL TO 1/150 OF THE AREA OF

Abbreviations

2. ALL GLASS IN HAZARDOUS LOCATIONS MUST COMPLY WITH THE 2019 CRC ATTIC YENTILATION:

R806 OF THE 2019 CRC.

INSULATION OR GREATER.

- 1. MINIMUM INSULATION SHALL BE PROVIDED ADJACENT TO HABITABLE AREAS AS FOLLOUS: a. R-44 AT CEILING IN CONTACT WITH TOP
- OF GYPSUM BOARD b. R-II (UNFACED) AT INTERIOR WALLS: C R-13 (INFACED) AT SOUND LIAI I SE
- d. R-21 AT 6" AND WIDER EXTERIOR FRAME WALLS AT GARAGE AND OTHER FRAME WALLS AS OCCURS: e. R-30 AT FLOOR IN CONTACT WITH

BOTTOM OF SHEATHING

- 2. PROVIDE BATT INSULATION (BLOWN IN INSULATION CELLULOSE OR LOOSE-FILL FIBERGLASS AT ATTIC) INSTALLED PER MANUFACTURER AND ENERGY CODE REQUIREMENTS. ALL SMALL WALL CAVITIES AND VOIDS AS WELL AS ALL VOIDS AROUND ALL STRUCTURAL STEEL MEMBERS MUST BE INSULATED INSTALLATION OF INSULATION MUST PROVIDE A
- 3. PROVIDE ELECTRICAL OUTLET GASKETS AND CAULKING AT ALL JOINTS AND GAPS BETWEEN HEATED

BUILDING EXTERIOR.

EXTERIOR MATERIALS,

NTERIOR MATERIAL:

ENVELOPE AND AMBIENT CONDITIONS, TYPICAL. 4. PROVIDE INSULATION AT ALL LOCATIONS NOTED HEREIN AS WELL AS ALL LOCATIONS INDICATED AND NOTED SPECIFICALLY IN THE DRAWINGS.

f. ALL OTHER SUCH OPENINGS AT THE BUILDING

1. ROOF COVERINGS MUST BE INSTALLED PER 2019 CBC

AND AS RECOMMENDED AND DETAILED BY THE

2. ALL EXTERIOR MATERIALS AND FINISHES MUST BE

1. 1/2" GYPSUM BOARD AT ALL WALLS. 5/8" GYPSUM

THE 2019 CRC. SURFACE FINISHES:

MANUFACTURERS SPECIFICATIONS AND DETAILS.

BOARD AT ALL CEILINGS, 5/8" TYPE 'X' GYPSUM

BOARD AT ALL GARAGE CEILINGS, WALLS COMMON

TO HOUSE, ALL BEARING WALLS, UNDER STAIRS AND

AT STORAGE AREAS. INSTALLATION OF ALL GYPSUM

BOARD MUST BE PROVIDED IN ACCORDANCE WITH

a. PROVIDE 'IMPERFECT SMOOTH' AT ALL WALLS

4' X 4' SAMPLE OF SPECIFIED FINISH FOR

b. PROVIDE 'LEVEL 2' FINISH AT ALL WALLS

AND CEILINGS AT LIVING SPACES. PROVIDE

OUNER APPROVAL PRIOR TO FINISH INSTALL

LIITHIN GARAGE STORAGE AREAS AND OTHER

NON-LIVING SPACES, OR WHERE DIRECTED BY

INSTALLED IN STRICT ACCORDANCE WITH THE RELATED

MANUFACTURER PER HIGH WIND AREAS

CONTINUOUS AND CONSISTENT ENVELOPE AT THE

FINISHES SHALL BE PER APPLICABLE SECTIONS OF 5. THE FOLLOWING OPENINGS IN THE ENVELOPE OF THE THE 2019 CRC AND 2019 CBC. IT IS THE INTENT OF BUILDING MUST BE CAULKED OR SEALED TO PREVENT THE DRAWINGS THAT ALL EXPOSED SURFACES SHALL RECEIVE FINISHES AS INDICATED IN THE DRAWINGS a. EXTERIOR JOINTS AROUND WINDOW AND DOOR UNLESS SPECIFIED OTHERWISE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE b. BETWEEN WALL SOLE PLATES AND FLOOR

Architectural Specifications

- COORDINATION OF THE COMPLETE FINISH OUT OF THE PRODUCT, ANY SURFACES WHICH DO NOT HAVE C. BETWEEN EXTERIOR WALL PANELS AND AT A SPECIFIC FINISH NOTED SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION AND FINISHED PER THE d. OPENINGS FOR PLUMBING, MECHANICAL, GAS ARCHITECTS INSTRUCTIONS. AND ELECTRICAL LINES IN WALLS, CEILINGS THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS
 - FINISHING OF ALL WORK INDICATED IN THE DRAWINGS. IT IS THE INTENT OF THE DRAWINGS THAT ALL EXPOSE SURFACES RECEIVE FINISH MATERIALS OR COATINGS 10. PREPARE ALL SURFACES TO RECEIVE PAINT & SAND ALL LICOD SURFACES (EXCEPT RESAUN, R.S. MATERIALS). FOR PAINTED SURFACES: AFTER PRIMING, FILL HOLES,

AND EQUIPMENT NECESSARY TO DO THE PAINTING AND

ALL GYPSUM BOARD OUTSIDE CORNERS TO BE PROVIDED

WITH BULLNOSE CORNERS WITH RADIUS BASEBOARD

MOLDING AT CORNERS. COORDINATE MATERIAL TYPE

GYPSUM WALLBOARD INSTALLED AS A BACKING IN

PROVIDED AS BACKING AT ALL CERAMIC TILE FOR

HALLS AND PLATFORMS AND 1/2" CEMENTITIOUS

5. CERAMIC TILE, QUARRY TILE AND BACKER BOARD

BACKER BOARD MUST BE USED AS THE SUBSTRATE

MUST BE INSTALLED AS RECOMMENDED BY THE TILE

MANUFACTURER AND AS SPECIFIED AND DETAILED

IN THE LATEST PUBLICATION OF THE T.C.A. HANDBOOK

PENETRATIONS THROUGH RATED ASSEMBLIES BETWEEN

FLOORS, WALLS, GARAGE AND RESIDENCE AND ALL

OTHER RATED ASSEMBLIES MUST COMPLY TO THE

ALL FLOOR FINISHES, SUCH AS WOOD, TILE, MARBLE,

SHALL BE PER THE RELATED MANUFACTURERS

8. THE MAXIMUM FLAME SPREAD OF THE INTERIOR

DETAILS AND RECOMMENDATIONS.

STONE, VINYL, CARPETING, ETC. SHALL BE AS SHOUN

IN THE DRALINGS. COLOR, STYLE, QUALITY AND BRAND

SHALL BE AS SELECTED BY THE OWNER INSTALLATION

SHOWERS MUST COMPLY WITH THE 2019 CRC.

4. 1/2" CEMENTITIOUS BACKER BOARD MUST BE

FOR TILE AND STONE AT FLOORS.

- CRACKS AND DEPRESSIONS. GIVE KNOTS A COAT OF SYNTHETIC RESIN SEALER, THOROUGHLY CLEAN AND DEGREASE ALL METAL WORK, CLEAN AND FILL CRACKS IN PLASTER AND CONCRETE. . ALL EDGES OF DOORS SHALL BE FINISHED INCLUDING THE
- AND WOOD WINDOWS AND FRAMES. 12. ALL MILLHORK AND WOOD MATERIALS TO BE INSTALLED AT THE INTERIOR AND EXTERIOR MUST BE PRIMED ON ALL SIDES AND EDGES (INCLUDES ALL SURFACES INTENDED TO BE CONCEALED OR HIDDEN FROM VIEW) PRIOR TO

EMERGENCY VEHICLES TO LOCATE THE RESIDENCE

TOPS AND BOTTOMS WITH THE SAME MATERIAL AS THE

WITHIN 48 HOURS OF INSTALLATION, PROVIDE 2 COATS OF

APPROVED WATER SEAL ON ALL EXTERIOR WOOD DOORS

FACE FINISH ALL SIDES AND SURFACES OF THE DOORS

ADDRESS MARKING: 1. A HOUSE NUMBER TO BE DISPLAYED IN A PROMINENT MANNER SO IT IS REASONABLY VISIBLE TO ENABLE

PROVIDE ELECTRICAL SERVICE AS NOTED ON SITE PLAN OR VERIFY/UTILIZE EXISTING AS MAY EXIST.

- PROVIDE 25' 4/0 (OR SIZE AS REQUIRED BY CODE) COPPER WIRE AT FOOTING FOR UFER GROUND. IMBED 20' MIN. WITHIN CONCRETE FOOTING.
- ARBON MONOXIDE ALARMS PROVIDE PER THE 2019 CBC. COORDINATE LOCATION PER ELECTRICAL PLAN(S) AND PROVIDE AS DIRECTED BY THE BUILDING OFFICIAL.
- PER THE 2019 CBC. SEE ELECTRICAL PLAN FOR LOCATIONS AND PROVIDE AS DIRECTED BY THE BUILDING OFFICIAL.
 - ROOF VALLEY FLASHING SHALL NOT BE LESS THAN *24 GA. GALY. CORROSION RESISTANT METAL (OR COPPER) EXTEND MIN. 12" FROM CENTERLINE EACH WAY. SPLASH DIVERTER RIB MIN. 1" HIGH AT FLOW LINE. FLASHING SHALL HAVE AN END LAP OF MIN. 6". 1-LAYER OF GRACE ICE AND WATER SHIELD (36" WIDE) FULL LENGTH OF VALLEY DIRECTLY UNDER FLASHING IN ADDITION TO STANDARD UNDERLAYMENT. UNLESS REQUIRED OTHERWISE BY MANUFACTURER

SPECIFICATIONS OR DETAILS.

PROVIDE GRACE ICE AND WATER SHIELD 30" MIN. AT EACH SIDE OF ALL ROOF SLOPE TRANSITIONS, PITCH BREAKS, RIDGES, VALLEYS, CORNICES, HIPS, RAKES CALIFORNIA FRAMES, DORMERS, CUPOLA'S AND ROOF

PENETRATIONS OF ANY TYPE AND SIZE.

- PROVIDE GRACE ICE AND WATER SHIELD 48" MIN. AT ALL EAVES, MEASURED FROM BLOCKING AT WALL, TYP
- INSTALL GRACE ICE AND WATER SHIELD IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND DETAILS.
- PROVIDE 24 GA. GALVANIZED SHEET METAL SNOW DIVERTERS AT ALL UP HILL SLOPES OF ALL THRU ROOF PIPING AND OTHER PENETRATIONS. INSTALL FLASHING AND DIVERTERS PER ROOF MANUFACTURERS RECOMMENDATIONS AND DETAILS TO COMPLY WITH ALL APPLICABLE CODES.
- PROVIDE MINIMUM OF ONE LAYER OF 15* ASPHALT SATURATED FELT OR AN APPROVED MOISTURE BARRIER UNDER ALL EXTERIOR FINISHES CONTINUOUS. REFER TO ALL FLASHING, COUNTER FLASHING AND COPING LIHERE
- SPECIFIED SHALL NOT BE LESS THAN 24 GA. GALVANIZED (CORROSION RESISTANT) METAL, PROVIDE PAINT-LOCK METAL IF FLASHING IS TO RECEIVE A PAINT FINISH. SLOPE OR PITCH TO PROVIDE POSITIVE DRAINAGE, TYPICAL. ALL DOORS AND WINDOWS SHALL BE PROPERLY FLASHED
- PER THE MANUFACTURER WITH ADHESIVE MEMBRANE AND SEALANT INSTALLED. PROVIDE A DRIP EDGE OR SCREED AT THE HEAD TO ENSURE PROPER DRAINAGE OF MOISTURE AND WATER WHERE SUB SURFACE CONCRETE WALLS ARE INDICATED,

PROVIDE WATERPROOFING SYSTEM FROM XYPEX OR MEMBRANE SYSTEM FROM 'GRACE' WITH APPROVED PROTECTION BOARD. INSTALLATION OF ALL WATERPROOFING SYSTEMS MUST BE PROVIDED IN STRICT ACCORDANCE WITH MANUFACTURERS DETAILS AND SPECIFICATIONS. REFER TO THE DRAWINGS FOR ADDITIONAL INFORMATION RELATED TO

THE WALL CONSTRUCTION.

Design Criteria

2019 California Residential Code (CRC)

Required - under separate permit

I Hour at Garage to Dwelling

Single Family R-3

Main Floor Living

Total Living

Covered Deck

Main Floor Living

Total Living

3 Car Garage

2 Car Garage

Sheet Index

Cover Page And Specifications

Covered Patio(s)

21'-4" MAIN FIN. FLR. TO RIDGE

Previous Dwelling Configuration Sheets

Site Plan, Legend And Site Plan Notes

32'-4" GARAGE FIN. FLR. TO RIDGE

Second Floor living

Second Floor living

2019 California Residential Energy Efficiency Standards

2,872 s.f.

4,431 s.f.

945 s.f.

360 s.f.

3,514 s.f.

896 s.f.

4,410 s.f.

1,208 s.f.

940 s.f.

73 s.f.

2019 CRC - Wildland Urban Interface Code (WUI)

ARCHITECTURAL

-APPLICABLE CODES:

-OCCUPANCY/GROUP:

-CONSTRUCTION TYPE:

-SEPARATIONS PROVIDED:

-PREVIOUS FLOOR AREAS

-NEW FLOOR AREAS:

-BUILDING HEIGHT:

-SEE DESIGN CRITERIA ON SHEET 53.0

Main Floor Plan

Lower Floor Plan

Partial Roof Plan

Partial Roof Plan

East And West Elevations

South And North Elevations

Partial Building Section - C

Main Floor Electrical Plan

Lower Floor Electrical Plan

Building Section - A And Details

Partial Building Section - B And Details

-FIRE SPRINKLERS

1. ALL INTERIOR DOORS TO BE MIN. 1-3/4" SOLID CORE WOOD UNLESS OTHERWISE NOTED. ALL EXTERIOR DOORS TO BE SOLID CORE WOOD (1-3/4" THICKNESS, MIN.), UNLESS NOTED OTHERWISE. GLASS DOORS SHALL HAVE TEMPERED GLASS, REFER TO DOOR SCHEDULE OR DRAWINGS FOR HEIGHTS AND WIDTHS TYPICAL.

- 1. DRYER VENT TO BE 4" DIA, MIN, WITH LENGTHS AND MATERIAL TYPE PER CODE. DRYER VENT MUST TERMINATE AT THE EXTERIOR OF THE BUILDING, ABOVE GRADE. REFER
- 2. COORDINATE VERTICAL CHASE LOCATIONS FOR DUCTWORK WITH ARCHITECT AS WELL AS ANY OTHER MODIFICATIONS THAT MAY NEED TO BE PROVIDED FOR MECHANICAL SYSTEMS THIS INCLUDES BUT IS NOT LIMITED TO MINOR NON STRUCTURAL WALL CHANGES, SOFFITS AND FURRING. THIS WILL BE PROVIDED AT NO ADDITIONAL COST TO THE
- 3. FAN AND OTHER EXHAUST SYSTEMS EXHAUSTING AIR FROM THE BUILDING ENVELOPE TO THE EXTERIOR AIR SHALL BE PROVIDED WITH BACKDRAFT DAMPERS OR AUTOMATIC DAMPERS TO PREVENT AIR LEAKAGE.
- 4. DUCTS SHALL BE CONSTRUCTED, INSTALLED AND INSULATED ACCORDING TO APPLICABLE CHAPTERS OF THE 2019 CMC AND LOCAL ORDINANCES.
- 5. ALL PARTS OF THE DUCT SYSTEM SHALL BE TIGHTLY SEALED WITH APPROVED METHODS AND MATERIALS PER CURRENT ENERGY CODE AND/OR MECHANICAL CODE.
- 6. MECHANICAL COMPARTMENT DIMENSIONS SHALL HAVE 6 INCH MINIMUM CLEARANCE ON ONE SIDE AND THE REAR: 9 INCH CLEARANCE ON OPPOSITE SIDE AND 6 INCH MINIMUM CLEARANCE FROM THE FRONT OF THE EQUIPMENT TO THE COMBUSTION AIR INTAKE. REFER TO THE MANUFACTURER FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR TO PROVIDE COMBUSTION AIR FOR ALL FORCED AIR UNITS AND WATER HEATER PER CHAPTER 5 OF THE 2019 CPC, SECTIONS 904 AND 907 OF THE 2019 CMC AND/OR PER MANUFACTURER REQUIREMENTS

SHEETS WITHIN THE SET AND AS LISTED IN THE SHEET

- 2. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND VERIFYING THE WORK REQUIRED FOR ALL CONSTRUCTION OF THIS PROJECT PER THE PLANS AND SPECIFICATIONS ACROSS ALL TRADES AND DISCIPLINES INCLUDING REQUIREMENTS FOR PORTIONS OF WORK PERTAINING TO AND INVOLVING MULTIPLE TRADES AND MULTIPLE
- ANY ISSUES ARISING DUE TO IMPROPER COORDINATION BETWEEN THAT SHOWN ON STRUCTURAL DRAWINGS AND THE ARCHITECTURAL DRAWINGS (I.E. FOUNDATION REQUIREMENTS OR CEILING/ROOF TRUSS INFORMATION SHOUN WITHIN THE STRUCTURAL DRAWINGS WITH ADDITIONAL INFORMATION OR INSTALLATION IMPACTS SHOWN WITHIN THE ARCHITECTURAL DRAWINGS, THESE MUST BE ADDRESSED AND COORDINATED ACCORDINGLY). ISSUES ARISING THAT WERE NOT BROUGHT TO ARCHITECTS ATTENTION PRIOR TO COMMENCEMENT OF ANY WORK RELIEVES THE ARCHITECT OF ANY AND ALL LIABILITY RELATED TO ALL ASPECTS OF THE ISSUE AND ANY IMPACTS THAT THE ISSUE MAY HAVE TO ADJACENT

OR INDIRECTLY ASSOCIATED CONSTRUCTION, FINISHES, ETC.

Sheet Index - Cont. California Energy Compliance Sheets

- California Energy Compliance Sheets And
- CALGreen Checklist CALGreen Checklist
- Structural Notes Standard Details
- Standard Details
- Standard Details
- Structural Drainage Plan Main Level Framing Plan
- Lower Level Foundation Plan Main Level Roof Framing Plan
 - Lower Level Roof Framing Plan
 - Framing Elevations Gridline K And G Foundation Details
 - Framing Details Framing Details
- Hydrozone And Irrigation Plan
- Irrigation Details

Wildland Urban Interface Code

ADD'L AFF **ADDITIONAL** EACH END EACH FACE ABOVE FINISH FLOOR EACH SIDE ALTERNATE EACH WAY EDGE NAIL

AMERICANS WITH DISABILITIES ACT ANCHOR BOLT **APPROXIMATE** BAR-B-QUE BEAM BEARING BELOW BETWEEN BLOCK BOARD BOTH SIDES BOTTOM BOUNDARY NAILING CANTILEVER CARRIAGE BOLT CASEMENT CENTERLINE CHANNEL CLEAR COLUMN COMPACTOR COMPLETE PENETRATION CONCRETE CONCRETE MASONRY UNIT CONTINUOUS CONTROL JOINT CONTROL MASONRY JOINT COUNTERSINK

DETAIL

DITTO

DOOR

DRAWER

DRAWING

DRAWINGS

ELEVATION **EMBEDMENT** EXPANSION EXPANSION BOLT EXPANSION JOINT FACE OF CONCRETE FACE OF MASONRY FACE OF STUD FIBER-REINFORCED PLASTIC FIELD NAIL/FACE NAIL FIXED FLOOR FOOTING FACE OF CONCRETE FACE OF MASONRY FACE OF STUD FIELD NAIL/FACE NAIL FLOOR FOOTING FORCED AIR UNIT FORCED-ENTRY FASTENERS FOUND ATION FROST FREE HOSE BIBB FURNISHED GAGE or GAUGE CUBIC FEET GALYANIZED CUBIC FEET PER MINUTE GEORGIA PACIFIC DEAD LOAD GLU-LAM GLUED-LAMINATED BEAM DEMOLISH GYPSUM BOARD DIAMETER DIMENSION HANGER DISHUASHER HARDWOOD DISPOSAL HEADER HEIGHT HEM-FIR DOWEL JOINT HIGH-STRENGTH BOLT HOLLOW CORE WOOD DOUBLE HUNG HOLLOW METAL DOUGLAS FIR HORIZONTAL

HOSE BIBB

INFORMATION

INSIDE DIAMETER

INSULATED CONCRETE FORMS

F.O.C. F.O.M.

HGR HRDUD INTERNATIONAL BUILDING CODE IBC INTERNATIONAL RESIDENTIAL ISOLATION JOINT KILN DRIED KING STUD LAMINATED VENEER LUMBER LIVE LOAD LONG LEG HORIZONTAL LONG LEG VERTICAL MACHINE BOLT MALLEABLE IRON WASHER MANUFACTURER MECHANICAL MICRO-LAM (BY TRUS JOIST) MISCELLANEOUS NOT IN CONTRACT NOT TO SCALE NUMBER/POUNDS OCCUPANTS ON CENTER

PRESERVATIVE TREATED

PROPERTY LINE

QUARRY TILE

REDWOOD

REFERENCE

REMODEL

REFRIGERATOR

OPPOSITE OPPOSITE HAND ORIENTED STRAND BOARD 0.5.B. OUTSIDE DIAMETER PARALLAM (BY TRUS JOIST) PARALLEL PARL or / PARTIAL PENETRATION PENETRATION PLYWOOD POCKET DOOR POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH POWER DRIVEN FASTENER PRESSURE TREATED or

RUD or

REFRIG

RDUD

SCHEDULE SEE ARCHITECTURAL DUGS SEE MECHANICAL DUGS SELF-TAPPING SCREW SHEAR WALL SIMILAR SINGLE HUNG SLAB JOINT SLAB ON GRADE SLIDING GLASS DOOR SOLID BLOCK SOLID CORE WOOD SPECIFICATION SQUARE FEET SQUARE FOOTAGE STANDARD STEEL STORAGE SYMMETRICAL THREADED TOE NAIL TONGUE & GROOVE TOP & BOTTOM TUBE STEEL TRIMMER TYPICAL VERIFY IN FIELD VERTICAL

REQUIRED

ROSBORO MFG. TIMBER SAD 5.0.G. SGD SCHD SPEC SQ SQ. FT. or STL STOR T\$G TRMR

REQD

GENERAL (WII) NOTES: SEVERITY THE STRUCTURE RESIDES. REFER TO THE DRAWINGS FOR

REQ'D or

UNLESS NOTED OTHERWISE WELDED STUD/WOOD SCREW WELDED WIRE FABRIC WELDED WIRE MESH

ALL EXTERIOR BUILDING MATERIALS MUST COMPLY WITH 2019 CRC SECTION R33T AND MUST BE APPROVED BY THE STATE FIRE MARSHAL'S BUILDING MATERIAL LISTING. DETAILS AND SPECIFICATIONS AS THEY RELATE TO THE FIRE

LOCATIONS AND DETAILS OF BUILDING MATERIALS LISTED BELOW. PROPOSED (LIUI) BUILDING STANDARDS: IR CLASS 2 ROOFING:

ROOFING MATERIAL: ALL ROOFING MATERIALS TO BE OF CLASS A ROOF ASSEMBLY REQUIREMENTS. INSTALL PER MANUFACTURER

ROOF COVERING: ANY SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING OR AT THE EAVE END SHALL BE FIRE STOPPED TO PREVENT THE ENTRY OF FLAME OR EMBERS.

ROOF YALLEYS AND GENERAL FLASHING: VALLEY AND ALL GENERAL FLASHING SHALL BE NOT LESS THAN 26 GA. MINIMUM THICKNESS SHEET METAL FLASHING AS RECOMMENDED BY AND COMPATIBLE WITH THE ROOFING SYSTEM/MANUFACTURER.

NOT APPLICABLE, GUTTERS WILL NOT BE INSTALLED AS PART OF THESE CONSTRUCTION DOCUMENTS. ATTIC YENTILATION:

INSTALL PER MANUFACTURER. RIDGE AND HIGH ROOF VENTS: O'HAGIN, LLC - FIRE AND ICE VENTS O'HAGIN, LLC

EAVE VENTILATION (SFM STANDARD 12-1A-2)

YULCAN TECHNOLOGIES CONTINUOUS EAVE VENTS

EAVE AND CORNICE VENTS:

INSTALL PER MANUFACTURER EAVES, FASCIA AND SOFFIT PROTECTION:

> EAVES, FASCIA AND SOFFITS SHALL BE PROTECTED ON THE EXPOSED UNDERSIDE BY APPROVED I HOUR RESISTANT CONSTRUCTION (FRC), IGNITION-RESISTANT (IR) MATERIAL, FRAMING TO BE 2X LUMBER OR FIRE RETARDANT TREATED WOOD LABELED FOR EXTERIOR USE. FASCIA TO BE 0.9" MIN. CEMENT BOARD PRODUCT, 2x SOLID LUMBER TRIM BOARD OR 26 GA. MIN. SHEET METAL SOFFITS TO BE 5/8", 2 COAT PORTLAND CEMENT STUCCO, 1 x 6 WOOD OVER 5/8" TYPE 'X' EXTERIOR RATED GYPSUM BOARD, 3/8" MIN. NON-VENTED CEMENT BOARD PRODUCT OR 26 GA. MIN. SHEET METAL. ALL MATERIALS TO BE INSTALLED PER MANUF. DETAILS AND RECOMM.

EXTERIOR WALL COVERINGS: APPROVED EXTERIOR SIDING WILL EXTEND CONTINUOUS FROM TOP OF FOUNDATION TO RATED SOFFIT.

VULCAN FOUNDATION VENTS YULCAN TECHNOLOGIES INSTALL PER MANUFACTURER

EXTERIOR GLAZING AND WINDOW WALLS: w/ A MIN. OF ONE TEMPERED PANE, HAVE A FIRE-RESISTIVE RATING OF NOT LESS THAN 20 MIN OR BE MULTI-LAYERED GLAZED UNITS. EXTERIOR DOORS W/ GLAZED OPENINGS SHALL BE

EXTERIOR DOORS SHALL BE SOLID CORE WOOD DOORS 1-3/4" THICK OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES.

UNDERSIDE OF APPENDAGES AND FLOOR PROJECTIONS: SOFFITS TO BE 5/8", 2 COAT PORTLAND CEMENT STUCCO, 1 x 6 WOOD OVER 5/8" TYPE 'X' EXTERIOR RATED GYPSUM BOARD, 3/8" MIN, NON-VENTED CEMENT BOARD PRODUCT OR 26 GA. MIN. SHEET METAL. ALL MATERIALS

DEFENSIBLE SPACE: PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION CLEARANCE

3. SEE 2019 CRC SECTION R331 FOR HOW TO OBTAIN DEFENSIBLE

EXTERIOR WALLS:

EXTERIOR WALL MATERIAL: EXTERIOR HALL SIDING (SFM STANDARD 12-1A-1)

1. 3/8" MINIMUM CEMENT BOARD, 1 x WOOD SIDING INSTALL OVER 5/8" TYPE 'X' EXTERIOR RATED GYPSUM BOARD OR LP FLAMEBLOCK SHEATHING, 5/8" 2 COAT PORTLAND CEMENT STUCCO OVER PAPER BACKED METAL LATH, OR 26 GA. MIN. SHEET METAL SIDING.

INSTALL OVER 1/16" MIN. STRUCTURAL PLYWOOD, LP FLAMEBLOCK OR OSB WALL SHEATHING, STAGGER BUTT JOINTS 12" MIN. FLUSH WITH NO GAPS. SCREW JOINTS INTO STUDS OR BLOCKING, ONE SCREW AT EACH CROSSING FRAME SUPPORT. ALL EXTERIOR SIDING TO MEET ASTMI36 AND ASTM E OR UL 723 REQUIREMENTS.

EXTERIOR WALL VENTS: WALL VENTILATION (SFM STANDARD 12-7A-2)

EXTERIOR WINDOWS SHALL BE INSULATED-GLASS UNITS INSULATED-GLASS TEMPERED UNITS.

EXTERIOR DOOR ASSEMBLIES:

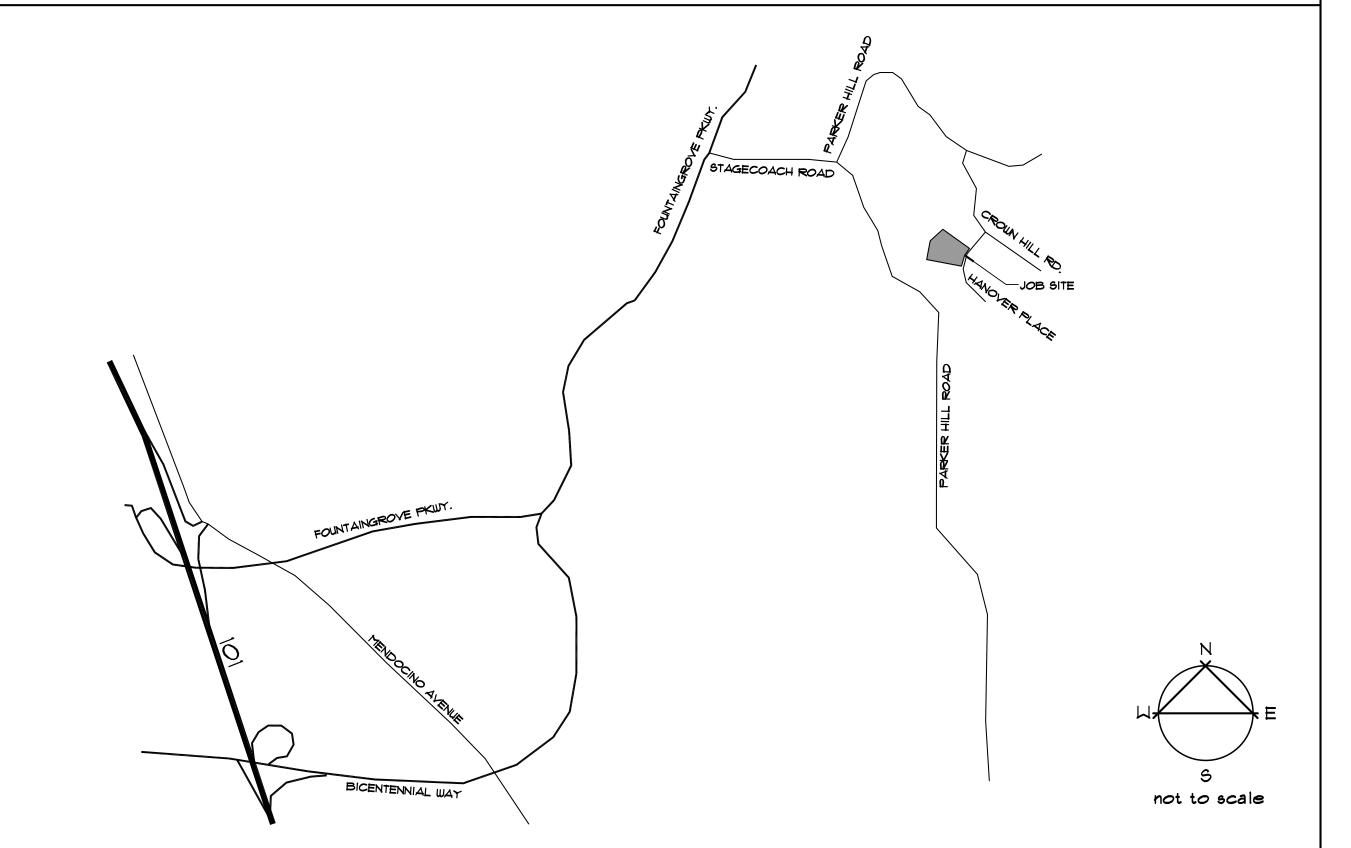
UNDERFLOOR AND APPENDAGES PROTECTION:

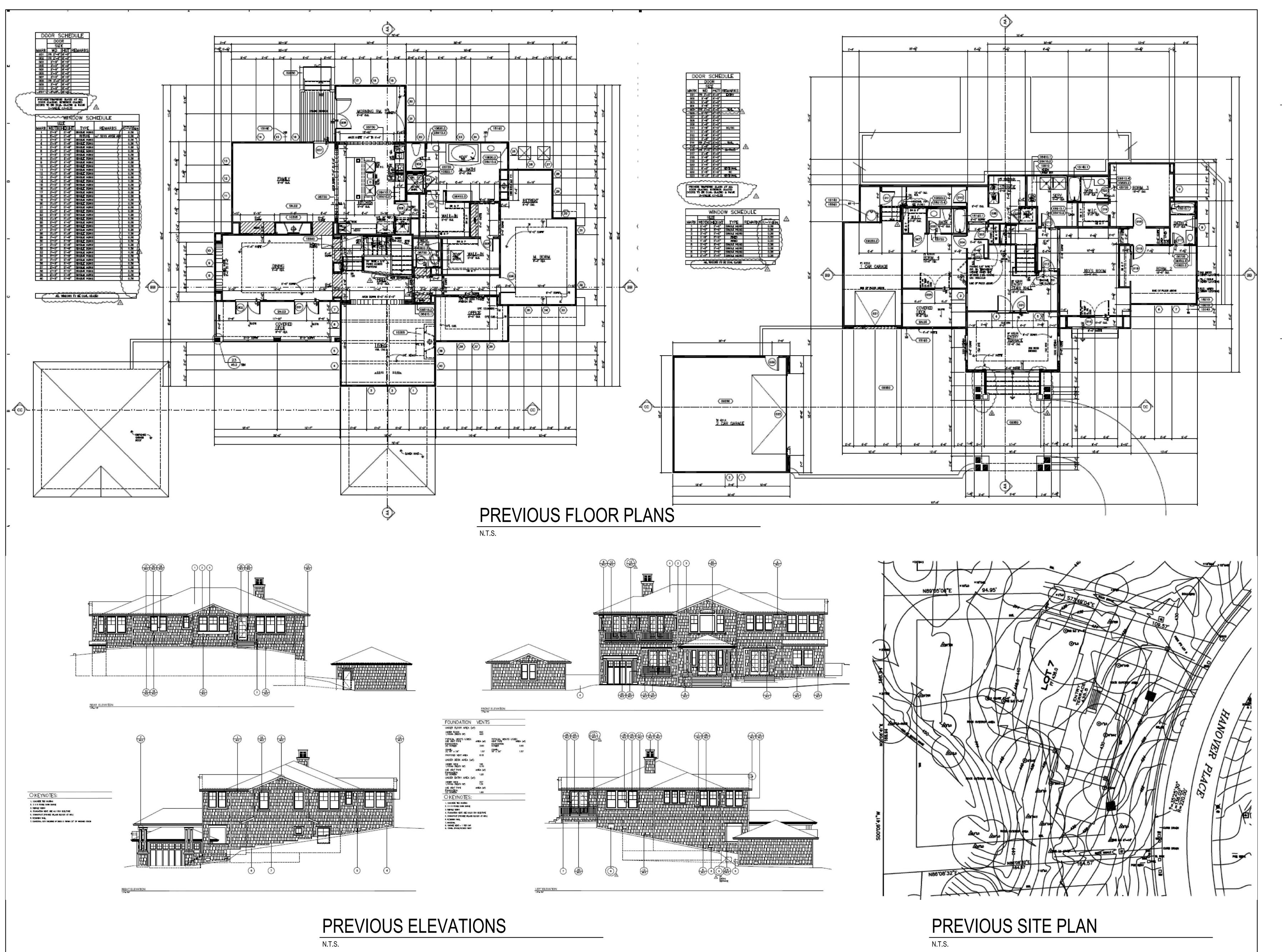
TO BE INSTALLED PER MANUF. DETAILS AND RECOMM.

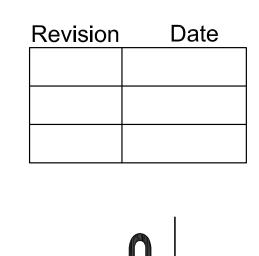
2. THE ENFORCEMENT OF DEFENSIBLE SPACE AND INSPECTION SHALLEBEETBEFPREEDREEJHE LECALURISPIGTIONEHANINGRO

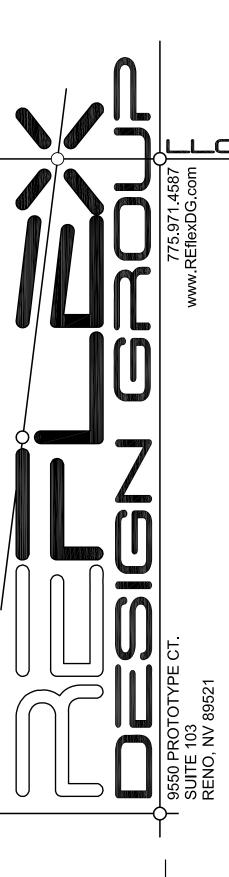
SPACE ZONES WHICH INCLUDE: BRUSH FIELDS AND INDIVIDUAL PLANTS TO BE LESS THAN 20 SQUARE FEET, DEAD AND DYING WOODY SURFACE FUELS SHALL BE REMOVED, DOWN LOGS OR STUMPS, FUEL SEPARATION, AND DEFENSIBLE SPACE WITH TREE CANOPY.

Vicinity Map









BRANDNER RESIDENCE
3507 HANOVER PLACE
SANTA ROSA, CALIFORNIA



Project
1712

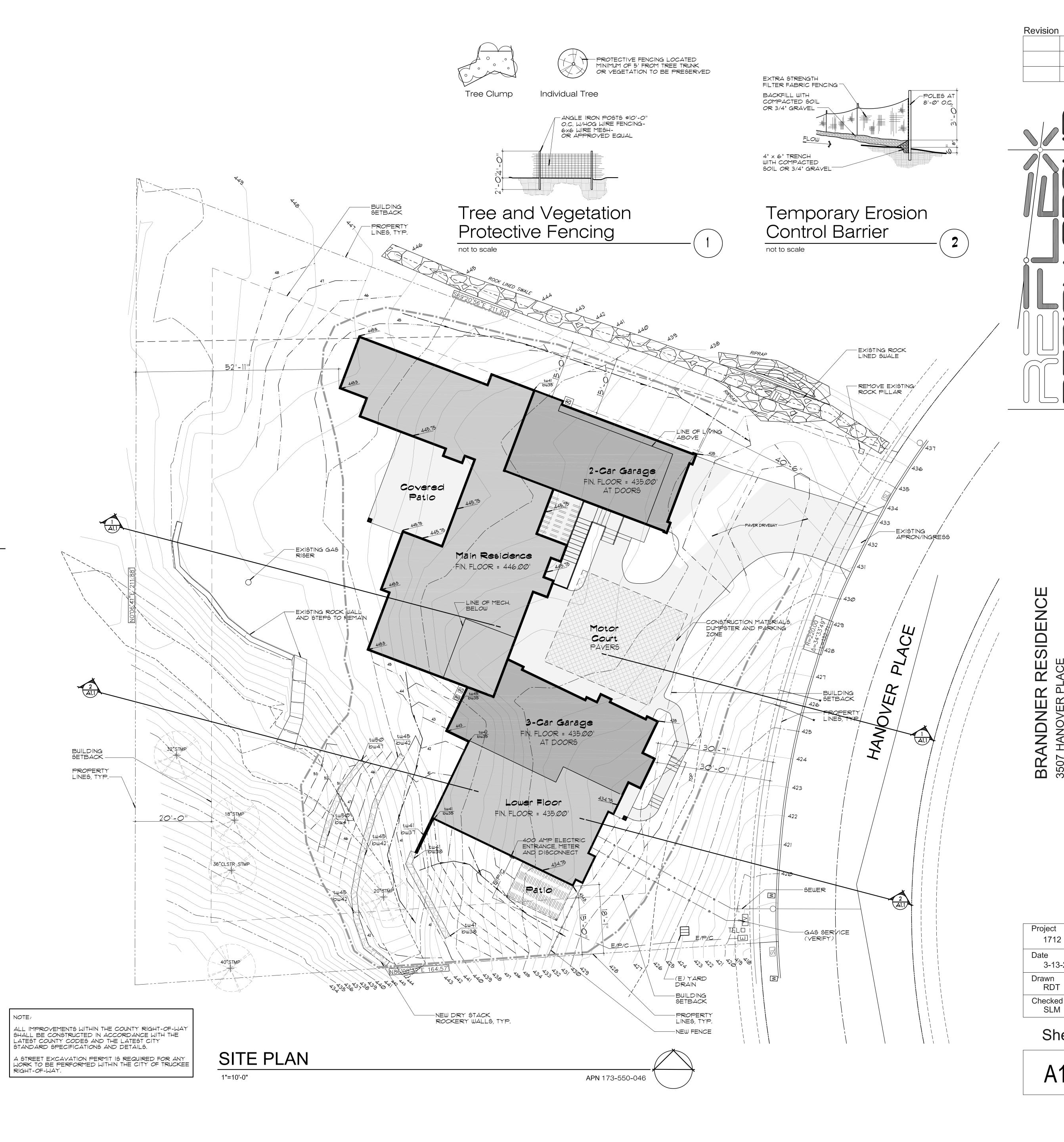
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Date

3-13-2022

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A1.0

Fencing/Protection Notes:

TREE AND VEGETATION PROTECTIVE FENCING AT ALL TREES AND LARGE VEGETATION GROUPINGS, SEE DETAIL 1/A1.0

NON-CONSTRUCTION/NON-DISTURBANCE ZONE, PROVIDE FENCING PER DETAIL 2/AI.O TYPICAL AT ALL AREAS INDICATED

Site Data:

Project Information: PROJECT OWNER: ZACH AND MARCY BRANDNER
PROJECT ADDRESS: 3501 HANOVER PLACE
PROJECT A.P.N.: 113-550-046

Site Calculations: (See Sheet A1.1) SITE AREA: 3Ø,311 S.F.

SITE COVERAGE: 4,410 S.F. GARAGE: 2,148 S.F. COVERED PORCH/PATIO: 500 S.F. 7,058 S.F.

SITE IMPERVIOUS AREA: DRIVEWAY: WALKWAYS/PATIO (NOT COVERED): 113 S.F. HOUSE (TOTAL COVERAGE):

Site Plan Notes:

1.) SEE SHEET AO.O FOR PROJECT SPECIFICATIONS PERTINENT TO THIS PROJECT.

2.) ALL AREAS TO REMAIN 'NATURAL' MUST BE PROTECTED DURING CONSTRUCTION. CONTRACTOR TO ROPE OFF ACTUAL CONSTRUCTION AND MATERIAL AREA. YERIFY EXTENT W/ ARCHITECT, YEHICLE AND CONSTRUCTION EQUIPMENT PARKING TO COMPLT W/ SUBDIVISION REQUIREMENTS.

3.) ALL AREAS TO BE DISTURBED BY CONSTRUCTION MUST BE LANDSCAPED/ IRRIGATED.

4.) BACK FILL WITHIN 8" MIN OF SIDING.

5.) SLOPE DRIVEWAYS AND PATIOS 1/4" PER 1'-0: AWAY FROM RESIDENCE.

6.) THERE IS NO EXISTING WATERCOURSE, 100 YEAR FLOOD PLAIN AND/ OR NATURAL DRAINAGE CHANNELS WITHIN 100' OF THE SUBJECT PROPERTY.

1.) COORDINATE LANDSCAPE LIGHTING REQUIREMENTS WITH OWNER.

8.) ALL GRADES ARE TO SLOPE AWAY FROM FOUNDATION (STRUCTURE) A MIN. OF 5% FOR THE FIRST 10'-0". 9.) SLOPE LAWN AREAS FOR DRAINAGE MIN. 1/4" PER 1'-0".

10.) ALL WORK MUST CONFORM W/ LOCAL BUILDING CODES, CITY, COUNTY, AND STATE ORDINANCES, SUBDIVISION

11.) PLACEMENT OF THE STRUCTURE WITHIN SETBACKS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR NOTIFY THE ARCHITECT OF ANY DISCREPENCIES.

12.) PROVIDE DRAINAGE SWALE 2'-6' FROM PROPERTY LINES OR AS REQUIRED TO PREVENT DRAINAGE ONTO ADJACENT PROPERTY.

13.) CONTRACTOR AND OWNER TO AGREE ON FINAL BUILDING ORIENTATION PRIOR TO STAKING OUT ADDITION.

14.) CONTRACTOR TO PLAN FOR FUTURE LANDSCAPING, LIGHTING, AND IRRIGATION AS REQUIRED BY OWNER.

15.) THE EXISTING SITE INFORMATION AND TOPOGRAPHY HAS BEEN BASED ON A TOPOGRAPHIC MAP PROVIDED BY THE OWNER FOR USE BY THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR THE EXISTING INFORMATION. THIS INCLUDES BUT IS NOT LIMITED TO: ALL UTILITY LOCATIONS, UTILITIES DESIGNATED FOR USE ON THIS PARCEL, TOPOGRAPHIC DATA, TOP OF CURB REFERENCES, EDGE OF ASPHALT, EXISTING FEATURES OR ELEMENTS, SETBACKS, EASEMENTS, ETC.

16) THE CONTRACTOR MUST VERIFY ALL UTILITY LOCATIONS SHOWN AS WELL AS THE UTILITY SERVICES THAT ARE DESIGNATED OR ASSIGNED FOR THIS USE WITH THIS LOT. THOSE SHOWN AND THE CONNECTIONS SHOWN ARE TO THE BEST OF THE ARCHITECT'S KNOWLEDGE FOR USE BY THIS LOT, ALTHOUGH THEY MUST STILL BE VERIFIED. EXTEND SERVICE CONNECTIONS TO THE LOCATIONS AS REQUIRED IF DIFFERENT FROM THAT SHOWN ON THIS SITE PLAN.

17)ALL IMPROVEMENTS WITHIN THE CITY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST COUNTY CODES AND THE LATEST CITY STANDARD SPECIFICATIONS AND DETAILS.

18)A STREET EXCAVATION PERMIT IS REQUIRED FOR ANY WORK TO BE PERFORMED WITHIN THE CITY OF SPARKS RIGHT-OF-WAY.

19) THIS PLAN IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP BETWEEN THE STRUCTURE AND PROPERTY LINE, DESIGN GRADING AND DRAINAGE, CONTROL ELEVATIONS AND GENERAL SITE IMPROVEMENTS, TO CONFORM TO LOCAL ORDINANCES, AND FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. REFER TO THE APPROVED ARCHITECTURAL AND STRUCTURAL ENGINEERING PLANS FOR THE DIMENSIONS AND SPECIFICATIONS OF THE STRUCTURE AND FOUNDATION. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THE FOUNDATION LAYOUT ACCOUNTS FOR ALL AREAS OF FOUNDATION RETAINING, HIGH STEMWALLS, DEEPENED AND STEPPED FOOTINGS AS REQUIRED TO ACCOMMODATE THE SITE GRADING AND DRAINAGE. ANY CONFLICT BETWEEN THESE PLANS AND THE STRUCTURAL ENGINEERING PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.

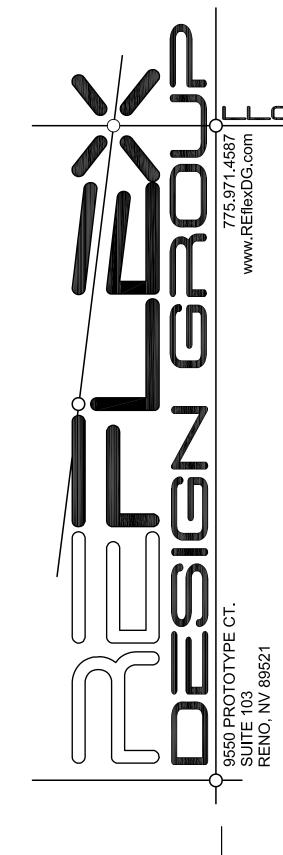
20) LOT GRADING, SUB GRADING, SUBGRADE PREPARATION, AND SITE CONSTRUCTION, SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, "THE ORANGE BOOK" LATEST EDITION, AND THE RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT (IF A GEOTECHNICAL REPORT HAS BEEN PREPARED FOR THIS SITE) AND AS MAY BE DIRECTED IN THE FIELD BY THE GEOTECHNICAL ENGINEERING INSPECTOR...

21) THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THIS PLAN AND THE CONDITIONS EXISTING IN THE FIELD. THE CONTRACTOR SHALL COMPARE ALL DRAWINGS AND FIGURES BEFORE LAYING OUT THE WORK AND WILL BE RESPONSIBLE FOR ANY ERRORS WHICH MIGHT

22) THE CONTRACTOR SHALL CONTROL DUST IN ACCORDANCE WITH THE WASHOE COUNTY HEALTH DEPARTMENT AIR QUALITY MANAGEMENT DIVISION.

23) PLACEMENT OF FILL AND PREPARATION OF SUBGRADE IN STRUCTURAL AREAS SHALL BE INSPECTED BY, OR UNDER THE SUPERVISION OF A NEVADA LICENSED GEOTECHNICAL ENGINEER OR GEOTECHNICAL ENGINEERING FIRM. REMOVAL OF UNSUITABLE MATERIAL (OVER-EXCAVATION) IN STRUCTURAL AREAS AND DIRECTED IN THE FIELD BY THE GEOTECHNICAL ENGINEERING INSPECTOR. INSPECTION CERTIFICATIONS AND TESTING REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION (CITY OR COUNTY) REQUIREMENTS OR THE STANDARD SPECIFICATIONS. WHICHEVER IS THE MORE STRINGENT.

24) PATIO CONFIGURATIONS AND MATERIALS TO BE COORDINATED WITH THE LANDSCAPE DRAWINGS. ALL MATERIALS TO BE INSTALLED PER THE MANUFACTURERS DETAILS AND INSTALLATION REQUIREMENTS.



BRANDNER RESIDENCE
3507 HANOVER PLACE
SANTA ROSA, CALIFORNIA
SITE PLAN DETAILS

Site Coverage 3Ø,311 SF PROPOSED LAND COVERAGE LIVING
GARAGE
AC PADS
PATIOS
WALKS
DRIVEWAY
TOTAL: 4,410 SF 2,148 SF 18 SF 500 SF 113 SF 2,366 SF 9,555 SF

SITE AREA

COVERAGE EXEMPTIONS
PAVER DRIVEWAY 2,366 X 25% = 591 SF

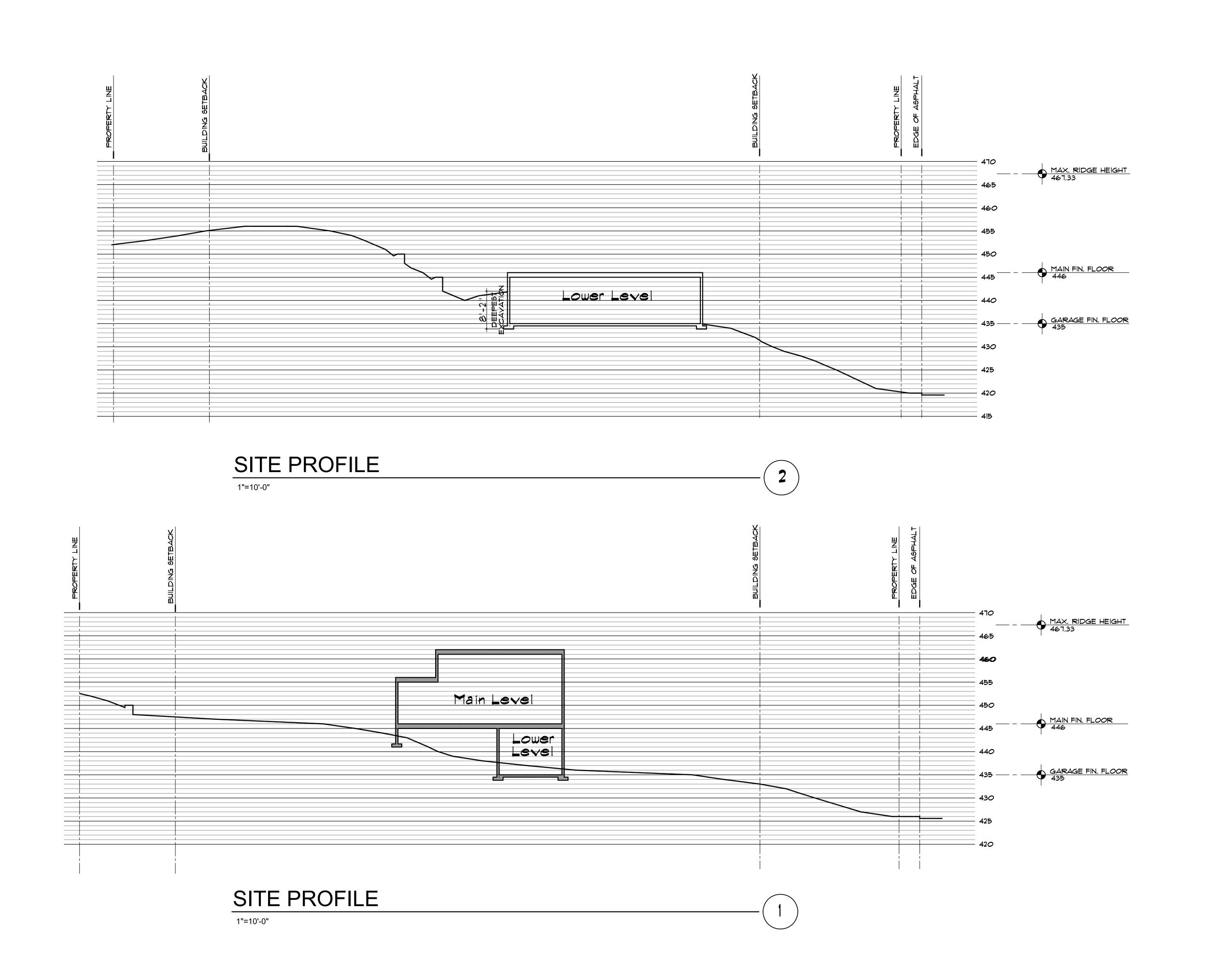
PROPOSED TOTAL COVERAGE WITH EXEMPTIONS: 8,964 SF 29.6%

REFER TO STORM WATER DRAINAGE REPORT FOR RUNOFF CALCULATIONS

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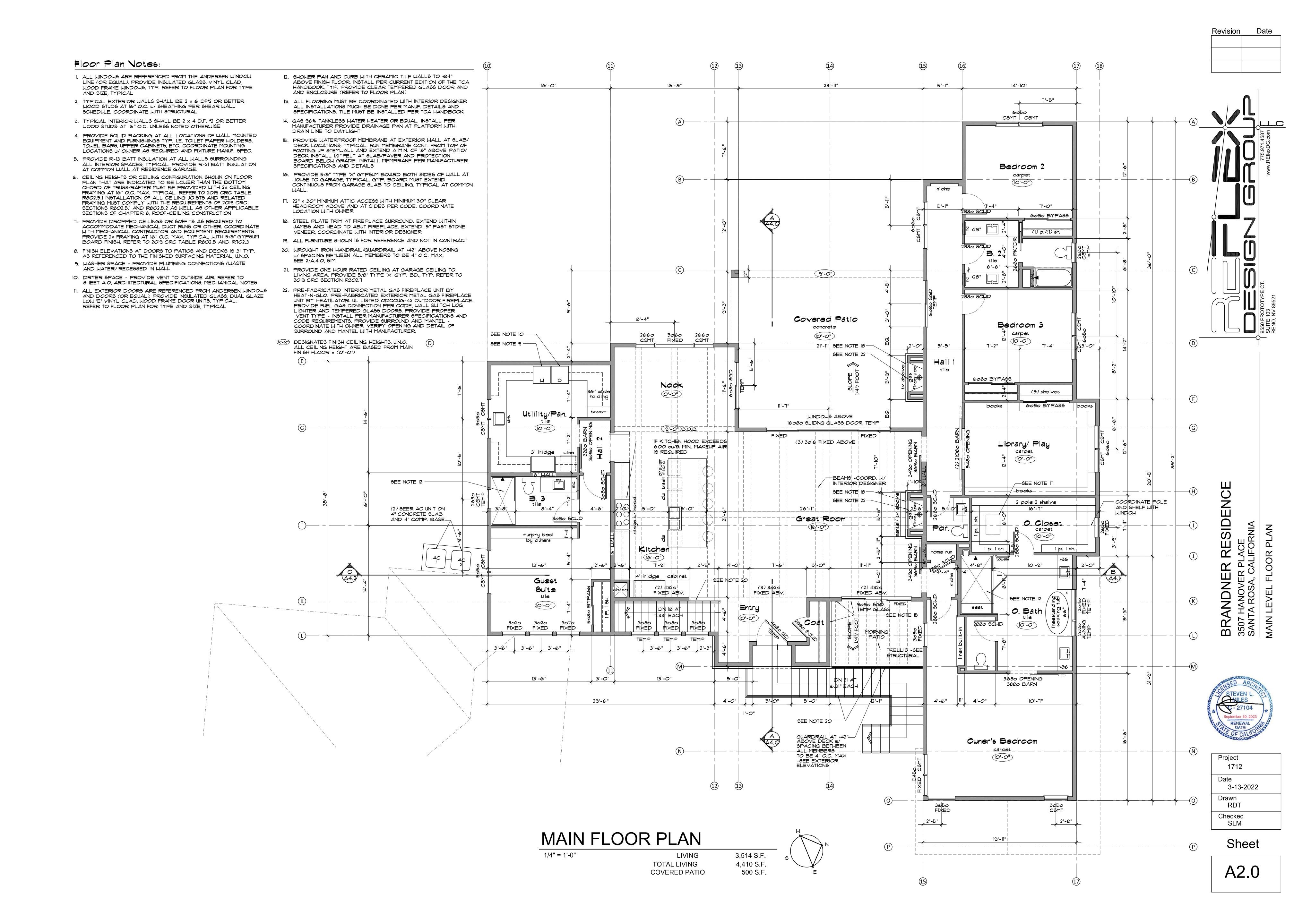
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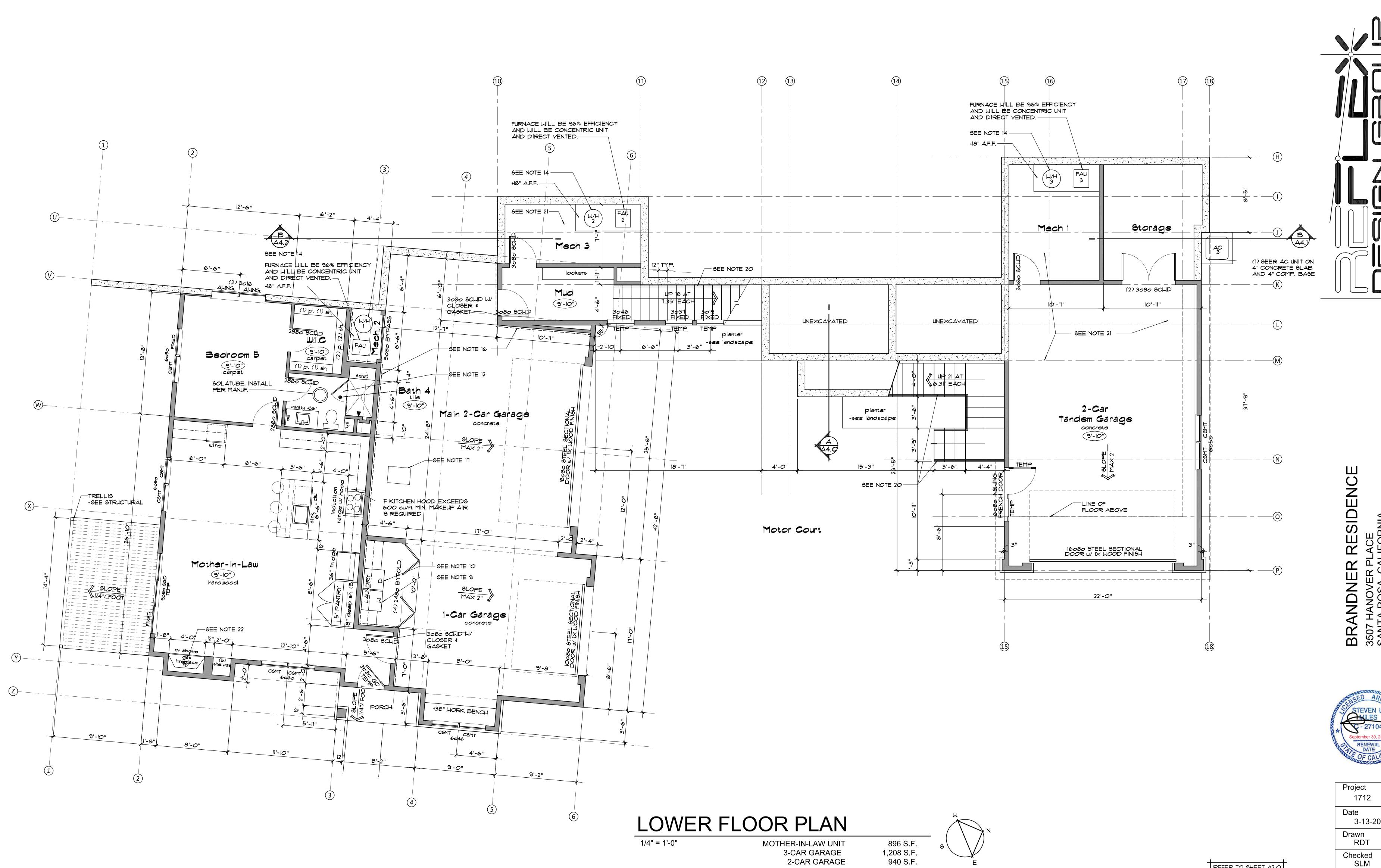
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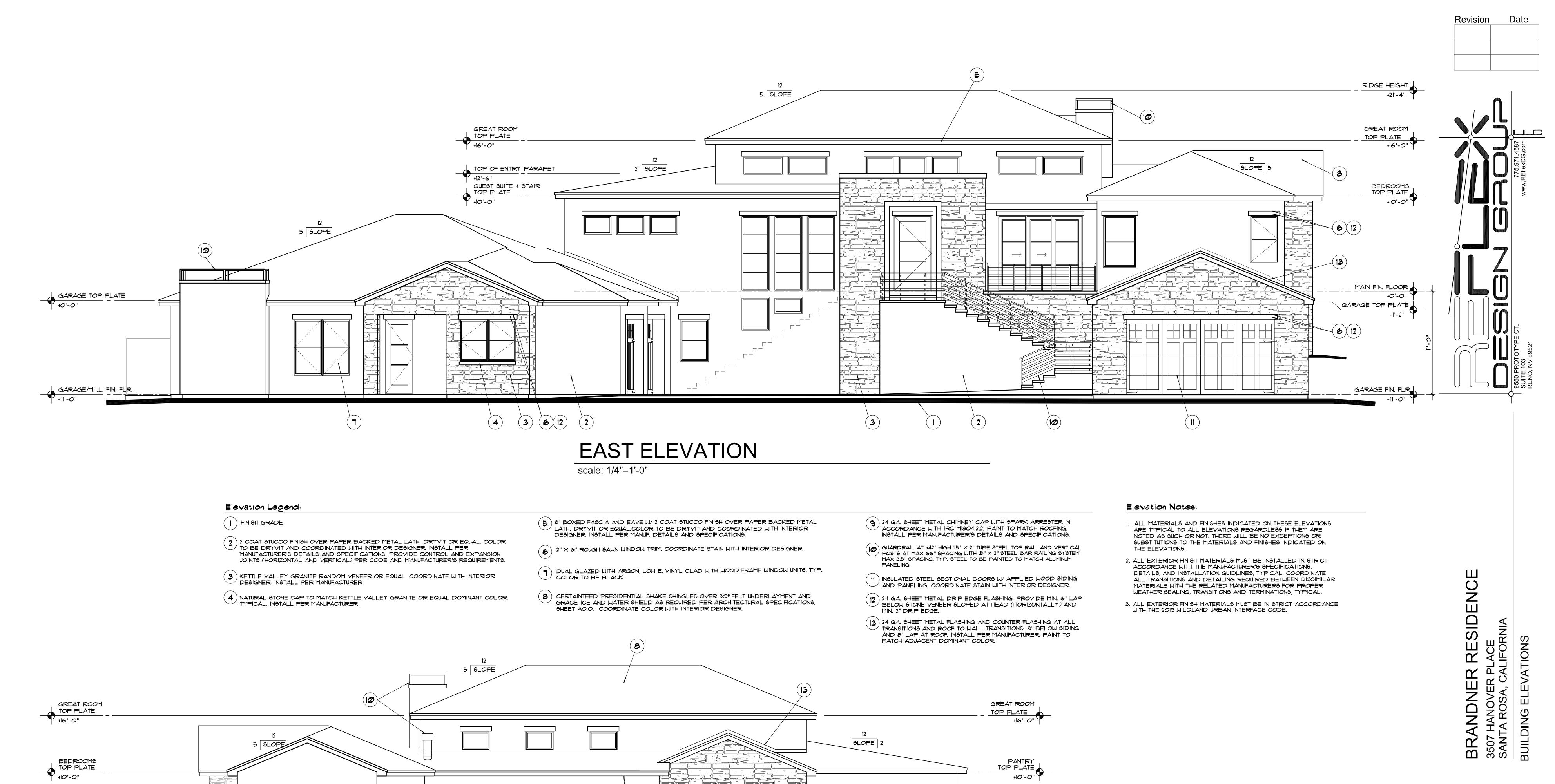


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REFER TO SHEET A2.0 FOR TYPICAL FLOOR PLAN NOTES

A2.1



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Project 1712 3-13-2022 Checked

WEST ELEVATION

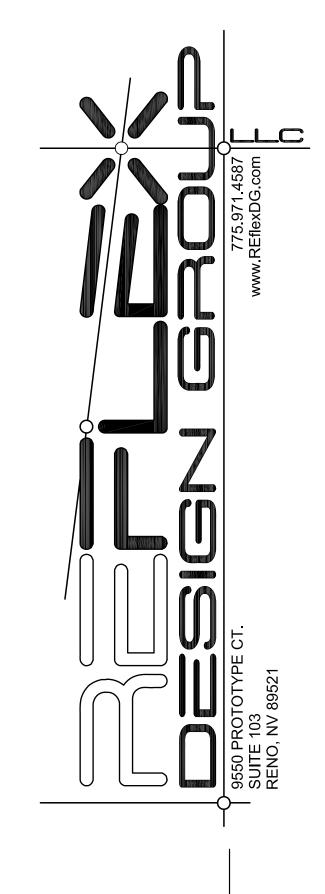
scale: 1/4"=1'-0"

MAIN FIN. FLR.

+0"-0"

Sheet

A3.0



BEDROOMS TOP PLATE

NORTH ELEVATION

scale: 1/4"=1'-0"

Elevation Legend:

1 FINISH GRADE

MAIN FIN. FLOOR

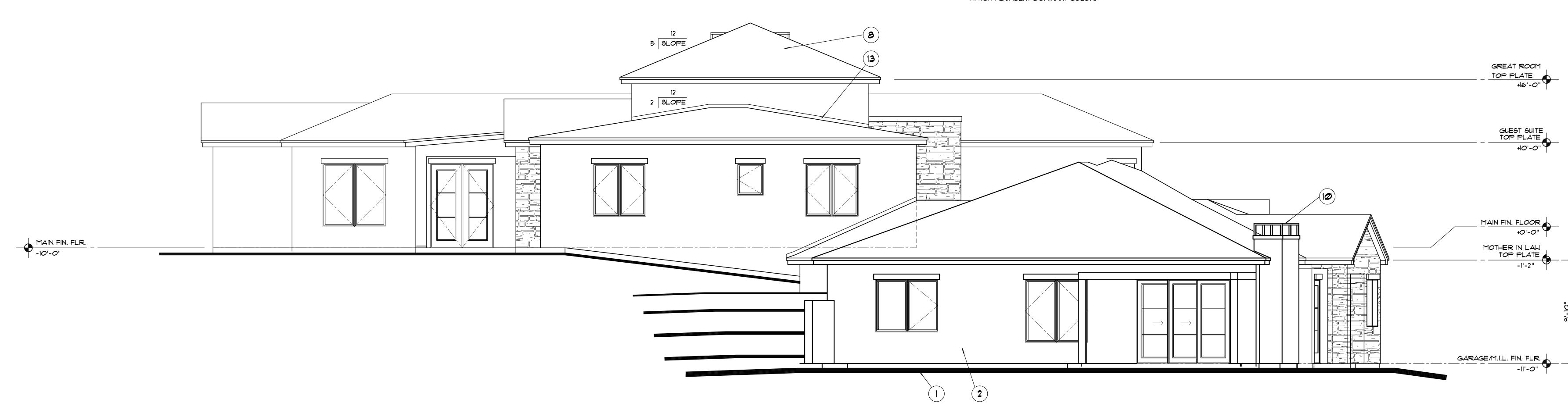
2 COAT STUCCO FINISH OVER PAPER BACKED METAL LATH. DRYVIT OR EQUAL. COLOR TO BE DRYVIT AND COORDINATED WITH INTERIOR DESIGNER. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS. PROVIDE CONTROL AND EXPANSION JOINTS (HORIZONTAL AND VERTICAL) PER CODE AND MANUFACTURER'S REQUIREMENTS.

5 SLOPE

- 3 KETTLE VALLEY GRANITE RANDOM VENEER OR EQUAL. COORDINATE WITH INTERIOR DESIGNER. INSTALL PER MANUFACTURER
- 4 NATURAL STONE CAP TO MATCH KETTLE VALLEY GRANITE OR EQUAL DOMINANT COLOR, TYPICAL. INSTALL PER MANUFACTURER
- 5 8" BOXED FASCIA AND EAVE W/ 2 COAT STUCCO FINISH OVER PAPER BACKED METAL LATH. DRYVIT OR EQUAL.COLOR TO BE DRYVIT AND COORDINATED WITH INTERIOR DESIGNER. INSTALL PER MANUF. DETAILS AND SPECIFICATIONS.
- (6) 2" \times 6" ROUGH SAUN WINDOW TRIM. COORDINATE STAIN WITH INTERIOR DESIGNER.
- DUAL GLAZED WITH ARGON, LOW E, VINYL CLAD WITH WOOD FRAME WINDOW UNITS, TYP. COLOR TO BE BLACK.
- S CERTAINTEED PRESIDENTIAL SHAKE SHINGLES OVER 30* FELT UNDERLAYMENT AND GRACE ICE AND WATER SHIELD AS REQUIRED PER ARCHITECTURAL SPECIFICATIONS, SHEET AO.O. COORDINATE COLOR WITH INTERIOR DESIGNER.
- 24 GA. SHEET METAL CHIMNEY CAP WITH SPARK ARRESTER IN ACCORDANCE WITH IRC MISO4.2.2. PAINT TO MATCH ROOFING. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
- GUARDRAIL AT +42" HIGH 1.5" X 2" TUBE STEEL TOP RAIL AND VERTICAL POSTS AT MAX 66" SPACING WITH .5" X 2" STEEL BAR RAILING SYSTEM MAX 3.5" SPACING, TYP. STEEL TO BE PAINTED TO MATCH ALUMINUM PANELING.
- INSULATED STEEL SECTIONAL DOORS W/ APPLIED WOOD SIDING AND PANELING. COORDINATE STAIN WITH INTERIOR DESIGNER.
- 24 GA. SHEET METAL DRIP EDGE FLASHING. PROVIDE MIN. 6" LAP BELOW STONE VENEER SLOPED AT HEAD (HORIZONTALLY) AND MIN. 2" DRIP EDGE.
- 24 GA. SHEET METAL FLASHING AND COUNTER FLASHING AT ALL TRANSITIONS AND ROOF TO WALL TRANSITIONS. 8" BELOW SIDING AND 8" LAP AT ROOF. INSTALL PER MANUFACTURER. PAINT TO MATCH ADJACENT DOMINANT COLOR.

Elevation Notes:

- ALL MATERIALS AND FINISHES INDICATED ON THESE ELEVATIONS ARE TYPICAL TO ALL ELEVATIONS REGARDLESS IF THEY ARE NOTED AS SUCH OR NOT. THERE WILL BE NO EXCEPTIONS OR SUBSTITUTIONS TO THE MATERIALS AND FINISHES INDICATED ON THE ELEVATIONS.
- 2. ALL EXTERIOR FINISH MATERIALS MUST BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, DETAILS, AND INSTALLATION GUIDLINES, TYPICAL. COORDINATE ALL TRANSITIONS AND DETAILING REQUIRED BETWEEN DISSIMILAR MATERIALS WITH THE RELATED MANUFACTURERS FOR PROPER WEATHER SEALING, TRANSITIONS AND TERMINATIONS, TYPICAL.
- 3. ALL EXTERIOR FINISH MATERIALS MUST BE IN STRICT ACCORDANCE WITH THE 2012 WILDLAND URBAN INTERFACE CODE.



SOUTH ELEVATION

scale: 1/4"=1'-0"



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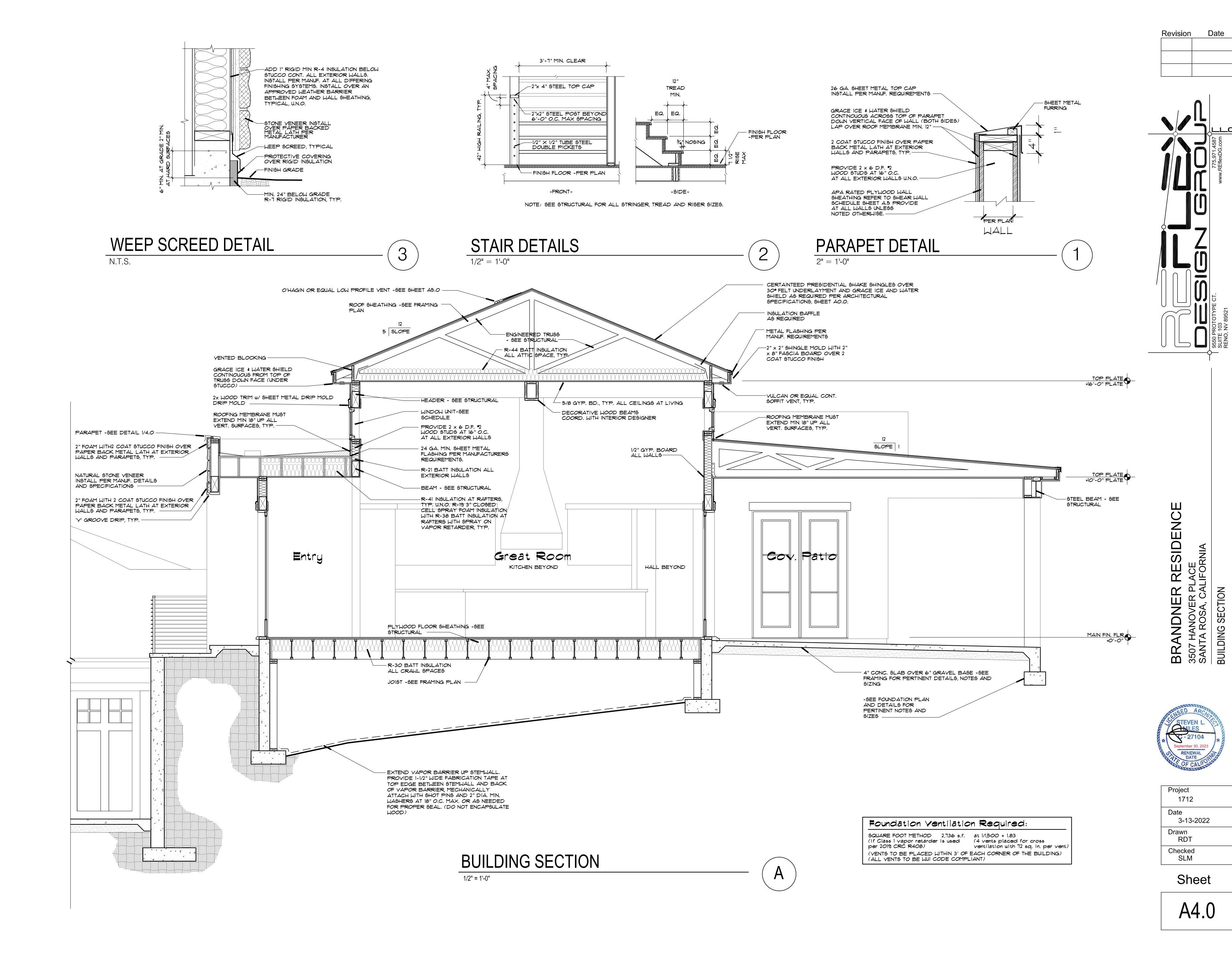
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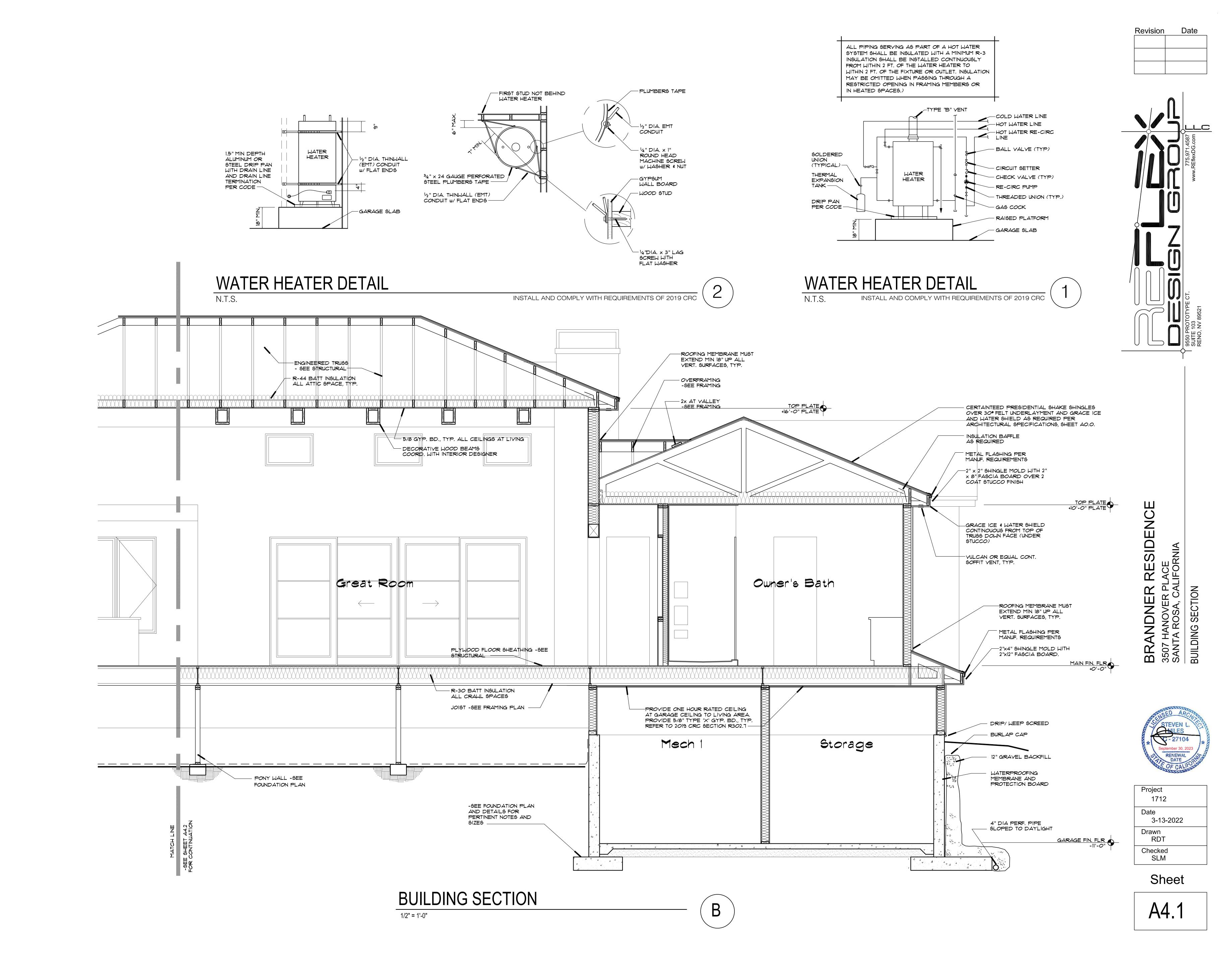
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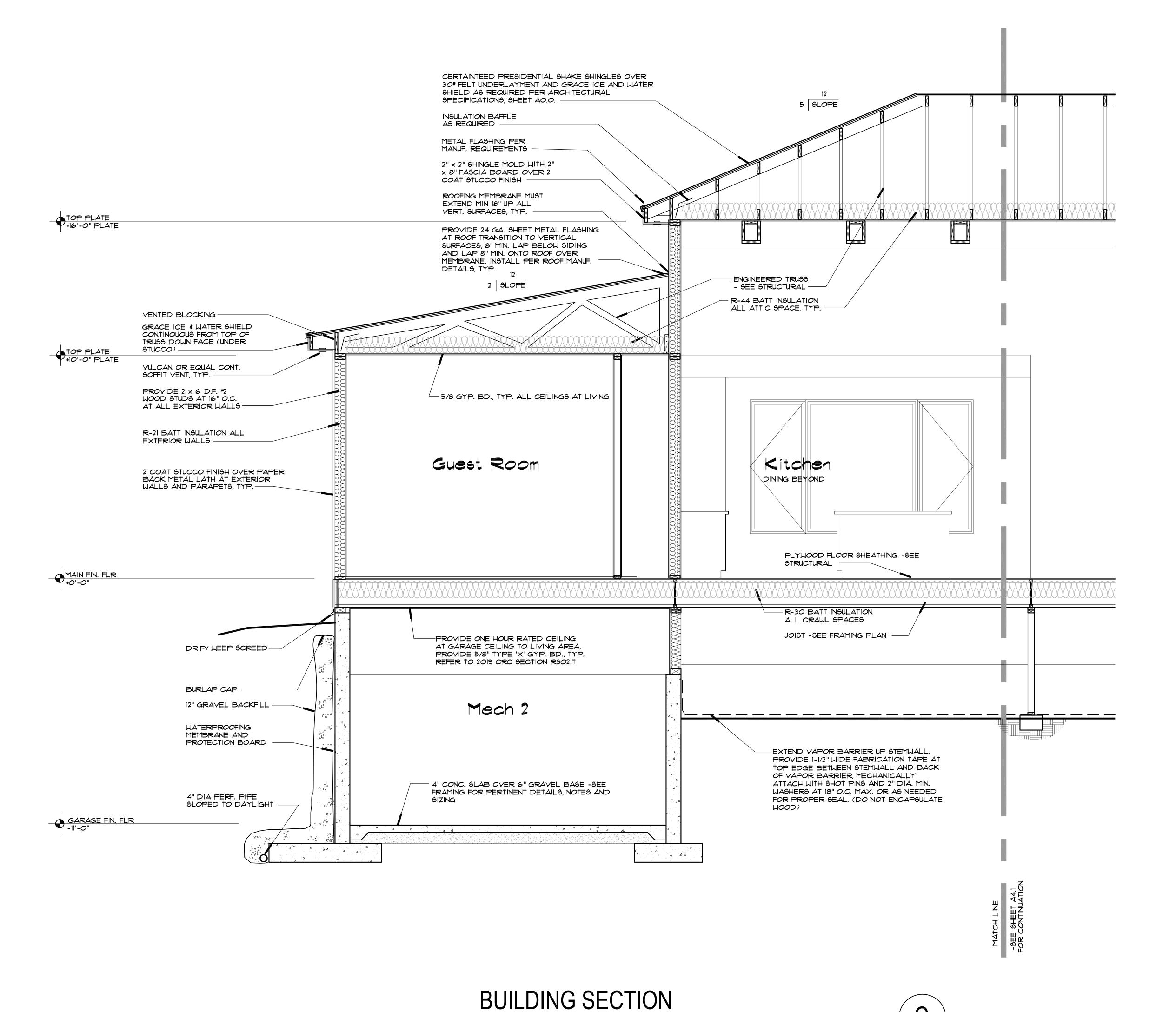
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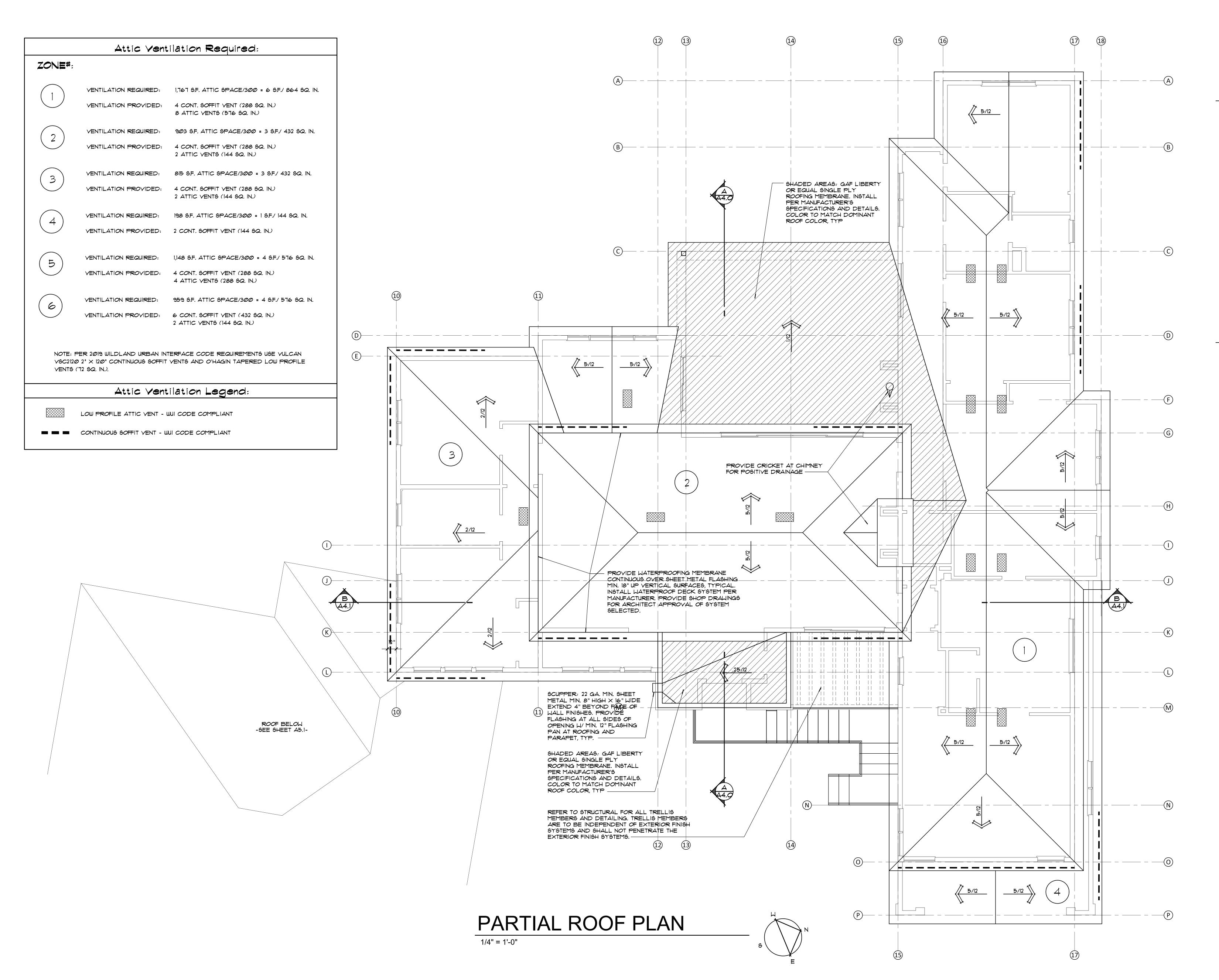
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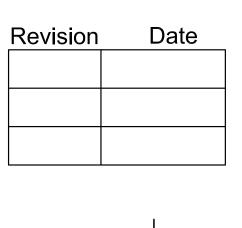
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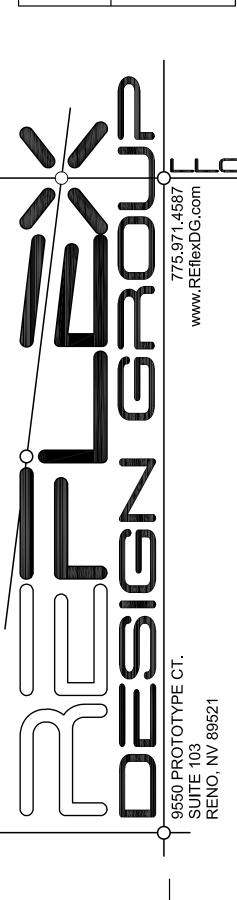
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1/2" = 1'-0"







BRANDNER RESIDENC 3507 HANOVER PLACE SANTA ROSA, CALIFORNIA



Project
1712

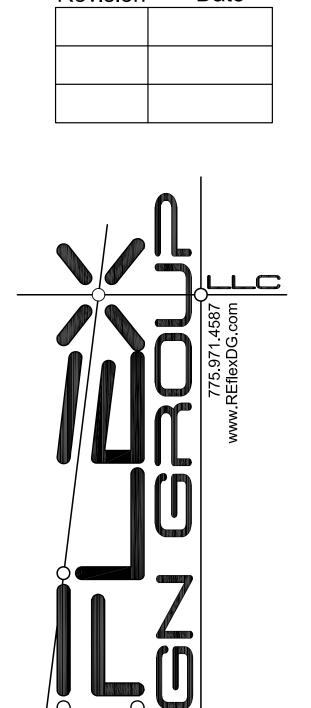
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BRANDNER RESIDENCE 3507 HANOVER PLACE SANTA ROSA, CALIFORNIA



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