

# Universal Planning Application Contents

121 Walnut Ct Santa Rosa, CA

City of Santa Rosa

AUG 17 2022

Planning & Economic  
Development Department

## Required Application forms

Universal Application Application  
Indemnification Agreement Form  
Disclosure Form  
Copyright Materials Release Form  
Electronic/ Digital Signature Disclosure Form  
Property Owner Consent Form  
Conditional Use Permit Checklist

## Additional Required Project Information

Project Description  
Redwood Residential Fence Planned Architectural Design, Construction, and Estimate  
Site Map, Orientation and Location of the Fence in relation to Physical Neighbors.  
Photos of the Before and After Fence Installation.  
Map and List of Affiliated Person/s  
City of Santa Rosa Parcel Report  
City of Santa Rosa Parcel Map  
City of Santa Rosa Zoning Map



# UNIVERSAL PLANNING APPLICATION

(Form 1 of 5)



Planning Entitlement Applications are filed with the Planning Division at the Planning and Economic Development Department. **Only applications with all required submittal items for each corresponding checklist will be accepted.** Applicants should contact the Planning Division regarding any questions with the checklist requirements prior to submitting an application. Email any questions to the Planning helpline at [planning@srcity.org](mailto:planning@srcity.org), or call 707-543-3200. You may also visit our website at [srcity.org/pec](http://srcity.org/pec) for additional information and forms. **Please review the Planning Review Times and Process document linked here.**

**Project Site Information:**

Project Name: 7' privacy fence  
Zoning: R-1.6 among CO  
General Plan Designation: \_\_\_\_\_  
Site Address(es): 121 Walnut ct Santa Rosa CA 95404  
Assessor's Parcel Number(s): 009.221.024  
Total Property size in acres: 0.09

**Applicant Information:**

Contact Name/Organization: Robin Wynne  
Mailing Address: 121 Walnut ct San  
City: Santa Rosa State: CA Zip: 95404  
Phone: (707) 321-0765 Alternate Phone: \_\_\_\_\_  
Email Address: RobinJWynne@gmail.com

**Application Representative Information (if different from applicant - this will be the primary contact):**

Contact Name/Organization: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Alternate Phone: \_\_\_\_\_  
Email Address: \_\_\_\_\_

**Property Owner Information:** \*Property Owner Signature Required Below

Contact Name: Robin Wynne  
Mailing Address: 121 Walnut ct  
City: Santa Rosa State: CA Zip: 95404  
Phone: 707 321 0765 Alternate Phone: \_\_\_\_\_  
Email Address: RobinJWynne@gmail.com

**PROPERTY OWNER'S CONSENT** – I declare under penalty of perjury that I am the owner of said property or have written authority from property owner to file this application. I certify that all of the submitted information is true and correct to the best of my knowledge and belief. I understand that any misrepresentation of submitted data may invalidate any approval of this application.

PROPERTY OWNER'S SIGNATURE 



# INDEMNIFICATION AGREEMENT

(Form 2 of 5)



Project Name and Address:

As part of this application, the applicant agrees to defend, indemnify, and hold harmless the City of Santa Rosa, its agents, officers, councilmembers, employees, boards, commissions and Council from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void, or annul any approval of the application or related decision, or the adoption of any environmental documents or negative declaration which relates to the approval. This indemnification shall include, but is not limited to, all damages, costs, expenses, attorney fees or expert witness fees that may be awarded to the prevailing party arising out of or in connection with the approval of the application or related decision, whether or not there is concurrent, passive or active negligence on the part of the City, its agents, officers, councilmembers, employees, boards, commissions and Council. If for any reason, any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect.

The city of Santa Rosa shall have the right to appear and defend its interests in any action through its City Attorney or outside counsel. The applicant shall not be required to reimburse the City for attorney's fees incurred by the City Attorney or the City's outside counsel if the City chooses to appear and defend itself in the litigation.

I have read and agree to all of the above.

Robin Wynne  
Applicant (print name)

[Signature]  
Applicant (sign name)

## ACKNOWLEDGMENT THAT COPYRIGHTED REPORTS UNACCEPTABLE

The applicant acknowledges, understands, and agrees that any soils, seismic hazard, landslide, geologic, natural hazard, or geotechnical report, study, or information submitted to the City by, or on behalf of, the applicant in furtherance of this application submitted by the applicant will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.

I have read and agree to all of the above.

Robin Wynne  
Applicant (print name)

[Signature]  
Applicant (sign name)



# DISCLOSURE FORM

(Form 3 of 5)



Project Title: 7' privacy fence @ 121 Walnut ct SR CA 95404.  
(Include site address)

Please provide the name of each individual, partnership, corporation, LLC, or trust who has an interest in the proposed land use action. Include the names of all applicants, developers, property owners, and each person or entity that holds an option on the property.

- Individuals: Identify all individuals
- Partnerships: Identify all general and limited partners
- Corporations: Identify all shareholders owning 10% or more of the stock and all officers and directors (unless the corporation is listed on any major stock exchange, in which case only the identity of the exchange must be listed.
- LLCs: Identify all members, managers, partners, officers and directors.
- Trusts: Identify all trustees and beneficiaries.
- Option Holders: Identify all holders of options on the real property.

Full Name:	Address:
PLEASE SEE ATTACHED MAP AND AFFILIATED PERSON/S.	

In addition, please identify the name of each civil engineer, architect, and consultant for the project.

Full Name:	Address:

Additional names and addresses attached:  Yes  No

The above information shall be promptly updated by the applicant to reflect any change that occurs prior to final action.

I certify that the above information is true and correct: Robin Wynne  
Applicant

8/11/22  
Date



# COPYRIGHT MATERIALS RELEASE

(Form 4 of 5)



Project Name and Address: 7' privacy fence @ 121 walnut ct SR CA (95404)

To the extent that your application submittal packet includes plans or drawings prepared by a licensed, registered or certified professional, as defined pursuant to the California Health and Safety Code Section 19851 or Business and Professions Code Section 5536.25, such as a licensed engineer, architect or other design professional, the City must first obtain the signature release and permission of said professional prior to publication or reproduction of any such plans or drawings. Such drawings and plans may also be protected by copyright laws. The City of Santa Rosa hereby requests permission to reproduce and publish plans and drawings submitted with your application packet for purposes of more effectively and efficiently facilitating the entitlement review process, including making plans and drawings available on the City's website for public review and providing electronic reproductions to the City's review boards. The purpose of this request is limited solely to the purpose of facilitating the timely review of this application, and the plans and drawings will not be utilized by the City for other purposes. To assist the City in this process, please provide below the signatures of all of those who have prepared plans and drawings to be submitted with this application.

Engineer Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
Email Address: \_\_\_\_\_  
ENGINEER/SURVEYOR'S SIGNATURE \_\_\_\_\_

*Redwood Residential fence Co.*

Architect Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
Email Address: \_\_\_\_\_  
ARCHITECT/DESIGNER'S SIGNATURE \_\_\_\_\_

Landscape Architect Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
Email Address: \_\_\_\_\_  
LANDSCAPE ARCHITECT/DESIGNER SIGNATURE \_\_\_\_\_

*PLEASE SEE/READ  
Attached  
Affiliated Person/s.*



# ELECTRONIC/DIGITAL SIGNATURE DISCLOSURE

(Form 5 of 5)



Project Address: 121 Walnut Ct Santa Rosa CA 95404

I understand and agree that (i) electronically signing and submitting any document(s) to the City of Santa Rosa legally binds me in the same manner as if I had signed in a non-electronic or non-digital form, and (ii) the electronically stored copy of my signature, any written instruction or authorization and any other document provided to me by the City of Santa Rosa, is considered to be the true, accurate and legally enforceable record in any proceeding to the same extent as if such documents were originally generated and maintained in printed form. I agree not to contest the admissibility or enforceability of the City of Santa Rosa's electronically stored copy of any other documents.

By using the system to electronically sign and submit any document, I agree to the terms and conditions of this Electronic/Digital Signature Disclosure.

Signature: [Handwritten Signature] Date: 8/11/22

Title: 7' privacy fence Relationship to Project: Owner/Resident.

Company/Organization: \_\_\_\_\_



# PROPERTY OWNER(S) CONSENT

[Required in lieu of Property Owner(s) signature on Application Form]  
(Form 1A of 5)



**Project Information:**

Project Name: 7' Privacy fence

Site Address(es): 121 Walnut Ct. Santa Rosa CA 95404

Assessor's Parcel Number(s): 009.221.029

Applicant Name: Robin Wynne

**Brief Project Description:** Please describe the proposed use with information including operating hours and characteristics, or proposed development by describing changes to structures and site, or proposed structures:

7' solid Redwood Privacy fence on sides of property dwelling and Back yard, for security and Privacy.

PLEASE SEE ATTACHED Project Description.

**Property Owner Information:**

Contact Name: Robin Wynne

Mailing Address: 121 Walnut Ct.

City: Santa Rosa State: CA Zip: 95404

Phone: (707) 321.0765 Alternate Phone: \_\_\_\_\_

Email Address: RobinJWynne@gmail.com

I declare under penalty of perjury that I am the owner of said property or have written authority from property owner to file this application. I certify that all the submitted information is true and correct to the best of my knowledge and belief. I understand that any misrepresentation of submitted data may invalidate any approval of this application.

PROPERTY OWNER'S SIGNATURE: 

DATE: 8.11.22

**Project Information**

Project Name: 7' Privacy fence  
Site Address: 121 Walnut ct. Santa Rosa CA. 95409.

**APPLICATION SUBMITTAL REQUIREMENTS**

**REQUIRED APPLICATION FORMS:**

- Universal Application Form
- Indemnification Form
- Disclosure Form
- Copyrights Release Form
- Electronic Signature Disclosure Form
- Property Owner Consent Form (in lieu of property owner signing Universal Application)
- Residential Fence Minor Conditional Use Permit Checklist (Page 1 of this Form)

**REQUIRED PROJECT INFORMATION:**

Indicate below each of the required documents or plan set components that have been prepared and submitted for this application. **See instructions on the following page for those requirements.**

**PROJECT DOCUMENTS:**

- Fence Elevations/Photo Examples Sheet
- Fence Project Description

**PROJECT PLAN SET COMPONENTS:**

- Fence Site Plan Site Plan Sheet

**REQUIRED FEES:**

Use the City's online [Fee Schedule](#) to determine your project's required Application Fee(s).

\$ 409.



## Conditional Use Permit Application.

Project Name: 121 Walnut Ct 7' Privacy Fence.

Zoning: R-1-6 (A small court with CO on all side)  
Assessors's Parcel Number: 009-221-024  
Total Property size in acres: 0.09  
Site/ Owner Address: 121 Walnut Ct. Santa Rosa, California 95404.  
Down Town; Nearest cross street Brookwood and Sonoma.

Applicant Name, Property Owner, and Resident Information:  
Robin Wynne ARDCS  
RobinJWynne@Gmail.com  
Cell : 1(707)321-0765

## Project Description.

I have installed sections of a solid 7' redwood privacy fence on my property/ family residence at 121 Walnut ct. Santa Rosa, CA 95404. It has come to my attention that I need/ needed a permit for this extra solid foot of fence. I'm now trying to retroactively right my mistake by getting a permit now post installation. My primary objective for this 7' fence was/is for privacy, peaceful enjoyment, safety and protection. Prior to installation, the fence plans where noted to all involving neighbors, no objections where raised, and I agreed to financed the project.

### The necessity of a 7' solid privacy fence.

Our neighborhood is not a private place. We see a lot of traffic. Within 0.02 miles from my residence, there are restaurants, a coffee shop, Memorial Hospital, The Community Health Clinic, multiple dentists, labs, and doctors offices, The Police Dep., The Fire Dep., an elementary school, and Doyle Park (often a refuge for the displaced). Our street/ court is used for overflow parking or just a place for cars to turnaround after making a wrong turn. Foot traffic is also very common on my street. During December our neighborhood gets an influx of traffic due to our holiday spirit and lights. Daily, local employees walk our neighborhood on their breaks. And at the end of our Court is Manatees Creek, a homeless thoroughfare that then continues down our street through all hours, day and night.

In Mid 2013, my home was broken into. My insurance company suggested a fence as a deodorant due to our homes visibility and accessibly. They suggested a fence taller than 6ft and solid, for most people can easily look over a six foot fence to scout/ pray. At the time I couldn't afford a new fence. Now, after some years of saving, starting a family, and the increase in transients through the neighborhood, a new security/ privacy fence has become my priority. In this zip code alone, there is roughly 300-400 Megan's law offenders. I / my children wood feel safer and at ease with the added privacy and security a 7' fence could provide.

My property feels encroached on. The master bedroom is 10' from the back property ( a commercial plaza and parking lot). My children's bedroom windows are 3' 6" from the South property ( short term rental residence) and their windows were observable from the street prior to my 7' fence installment. My property is a single story home and this ground access make us an easy target. My house is tightly nested between two double story homes with our windows facing each other (mostly them looking down into ours). I Believe our 1939 homes to be in legal-nonconforming status; the double story home to the North is 4'10" from our property line and double story home to the South 4' 2" from our property line. Both neighboring homes have walkways down our side yard to their back yards along our house. This corridor and lack of space heightened our privacy and encroachment problems. Both issues seemed easily solved for all parties with a privacy fence. However, my property has a 1'-2' subfloor: so from inside the home we can easily see over a 6ft fence and vice versa, making the added solid foot of fence a necessity.

Our back fence line is/was also very problematic and unsafe. This property line is shared with a multiplex commercial office building with a multitude of business, tenants, employees and patrons on the move regularly. This property is encompassed with a high traffic parking lot. The cars/ people are in constant flux 1-2 ft from the property line. Again, with my home's lifted subfloor, there is/ was no respite from commotion from this property. Here we installed (with building owner Susan Provencher's Consent) a 7' x 51' solid redwood overlapping privacy fence. We are so pleased to no longer feel emerged in the traffic her property thrives on. Some of the added Bonuses of the 7' fence: reduction of sound, we no longer have the buildings flood lights shining in our bedroom windows at night, and the fence blocks the debris from the weekly gardener's heavy duty leaf blowers.

The Redwood Residential Fencing Company is responsible for the design, architecture and build of this project. I was never told by this company that a permit would be required. At the time of RRFC hire, I was just told a 7' solid fence was a great solution to my special circumstances relating to property's privacy and safety. Eager for privacy and security, we moved forward with the job with much success.

A week after installation however, my neighbor and good friend across the street Berrett Moore (a construction contractor) brought to my attention that I should have had it permitted. So here I am...

### Project details.

Just to clarify for permit build details, there are three sections to this 7' solid privacy fencing project. It does not encompass the whole property. There is no fence beyond the front of the house.

- 1) The first 7' x 25' section of the privacy fence project, on the South side resident property line, only from dwelling start to end.
- 2) The second 7' x 51' section of the privacy fence project, on the West back fence property line shared with the commercial building high traffic property.
- 3) The third 7' x 31' section of the fence project, on the North side resident property line is only from dwelling start to end.

I would like apologize for my ignorants in moving forward without permit approval until now, it was not malicious. Again the only goal for this project is/ was for privacy and protection. The 7' fence project has helped my small property feel more exclusive, safe, peace full, and private in a tightly packed busy location. So fair it has been only beneficial.

If you got all the way through my project description, I thank you for your time.

Sincerely a fellow neighbor and resident of Santa Rosa,  
Robin Wynne. Robinjwynne@gmail.com 1(707)321-0765



USA

**Estimate:**

Name ROBIN WYNNE Email robinjwynne@gmail.com  
 Address 121 WALNUT CT., S.R. Phone 321-0765

Materials: Douglas Fir Construction Redwood Board Top  
 Boards: 1x 6 x 6 Pressure Treated Heart/Common Squ/ Dog top  
 Rails: 2x4 2x6 Pressure Treated Heart/Common A) PICTURE FRAME / B.O.B. 1x6x6  
 Posts: 4x4 4x6 6x6 Pressure Treated Heart/Common w/ 2x12 P.T. KICKER, 4x4 P.T.  
 Kickboards: 2x 12 Pressure Treated Heart/Common POSTS, 2x4 CAP + RAIL.

Additional \$ 6 per linear foot for con heart boards and rails.

Lattice: Height NO " Square Lattice Diagonal Lattice Special Lattice  
 Jumbo/Triple Weave Jumbo/Triple Weave 1X2 Topper / Horizontal Louvered

Lattice prices will always be given separately unless specifically included.

**Fence Construction:**

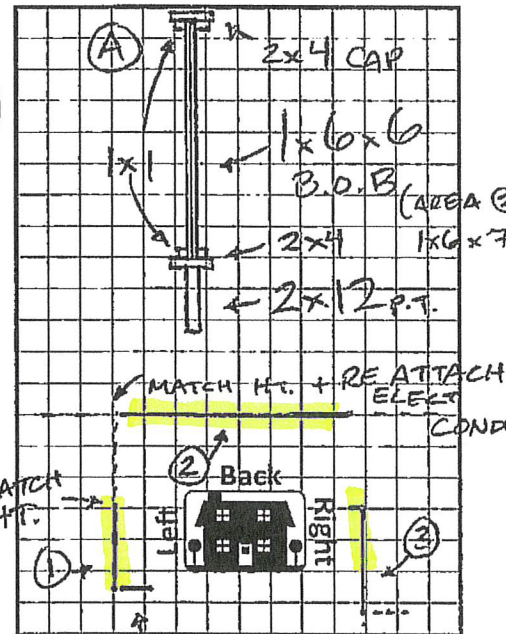
- Good Neighbor
- Boards-In
- Boards-Out
- 2-Rail
- 3-Rail
- Butted Board
- Picture Frame
- Board on Board
- Vertical Louvered
- Double Sided
- Board on Batten
- Horizontal Board
- Hog Panel

(AREA 2) 1x6x7 CUT DOWN TO MATCH HT.)

Cost:  
 Area 1: 25 ' of fence = \$ 1,625 7'  
 Area 2: 51 ' of fence = \$ 3,500 8' - (CUT TO LENGTH.)  
 Area 3: 31 ' of fence = \$ 2,015 7'  
 Area 4: 4 w/GATE of fence = \$ 560 7'  
 Area 5: (NO LATCH) of fence = \$ \_\_\_\_\_  
 Area 6: \_\_\_\_\_ ' of fence = \$ \_\_\_\_\_  
 Area 7: \_\_\_\_\_ ' of fence = \$ \_\_\_\_\_  
 Area 8: \_\_\_\_\_ ' of fence = \$ \_\_\_\_\_

Total this estimate: \$ 7,515

Notes: AREA 4 FREE SWING GATE, NO LATCH.



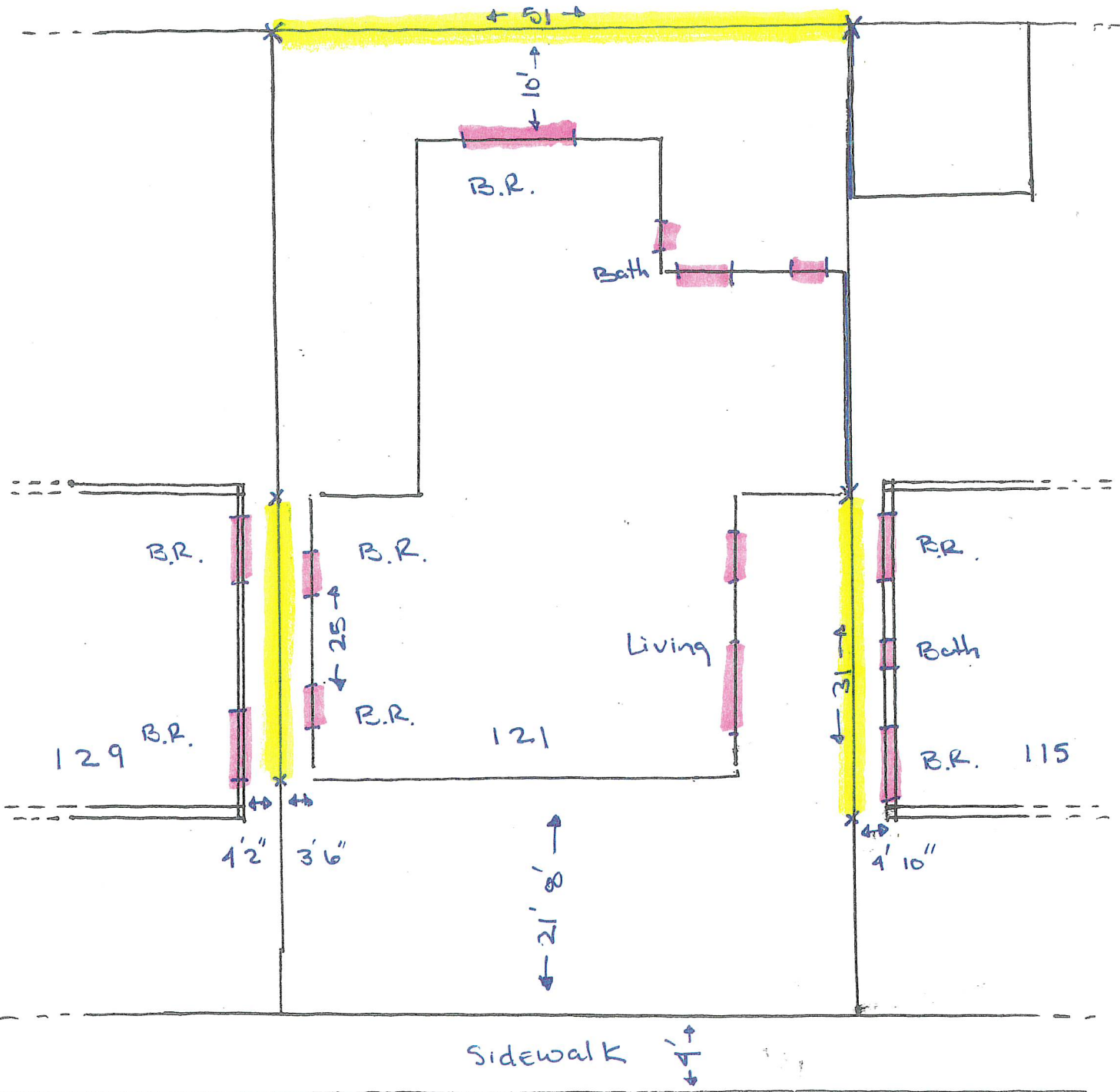
WORK FROM AREA 2 SIDE... TRUCK ONLY

IF DOING 1 OR 3 ONLY, TIGHT ACCESS ON Work to be performed by Redwood Residential Fence: WALNUT.  
 Removal of existing fence and haul away. Install new fence. Posts set in concrete. Galvanized nails. Excess soil to remain on site.  
 No import or export of soil unless specifically stated. Underground Service Alert may be called 48 hours prior to start.  
 No deposit required or accepted. Payment due upon completion. Sales tax included. Workmanship guaranteed for 3 years.

Excludes: Permits, fees, surveying, excavation, grading, drainage, paint, stain, primer, and property line determination.  
 We require 2' clearance around fence.  
 In this 4' work zone, we are not responsible for damage of: irrigation, plants, structures or personal items. All vines, trees, foliage, and personal items are to be removed from this area by the owner, before work begins, or there will be additional fees.  
 To have your neighbor(s) invoiced separately, please fill out our Job Contact Sheet. Prices on estimate reflect installation of all or most areas, and are subject to change if only doing partial work. Please consult all neighbors involved before installation of any new fence work.

Redwood Residential Fence per JESUS Date 7/1/22 (estimate is good for 30 days from this date)

C.O. 990 Sonoma Ave.



7' privacy fence

Windows

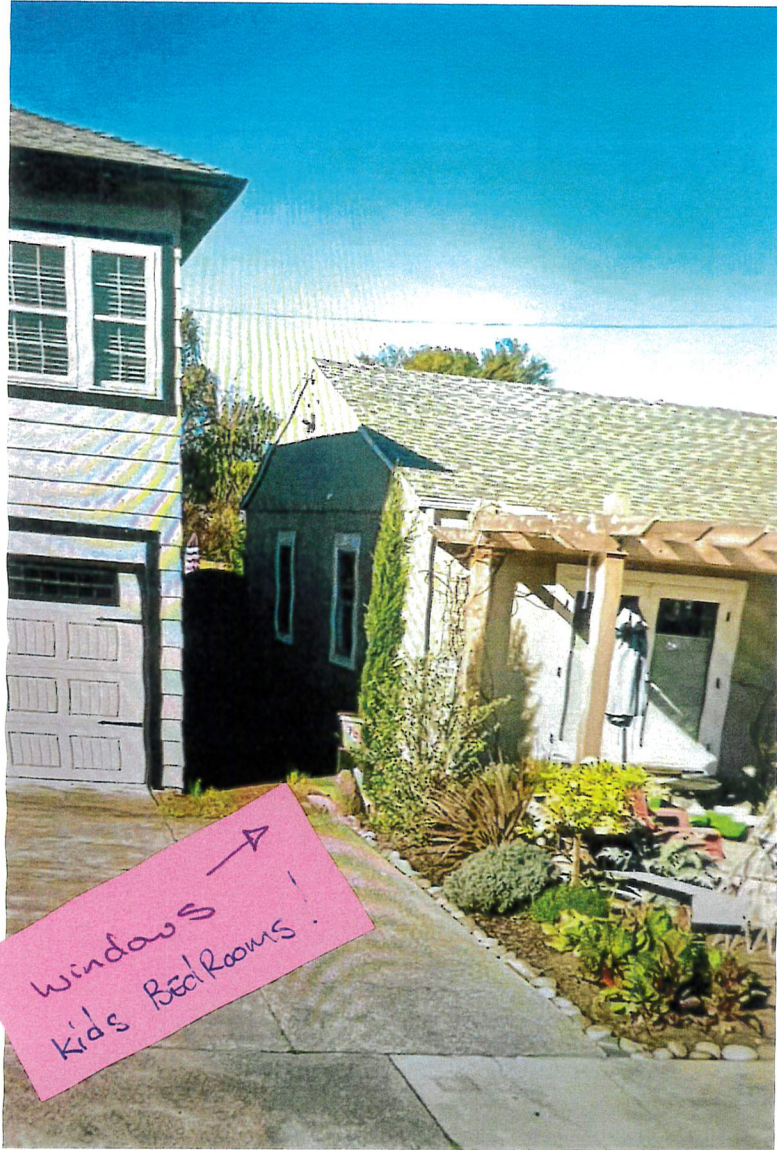
STREET,  
WALNUT CT.  
SANTA ROSA.

Street View.



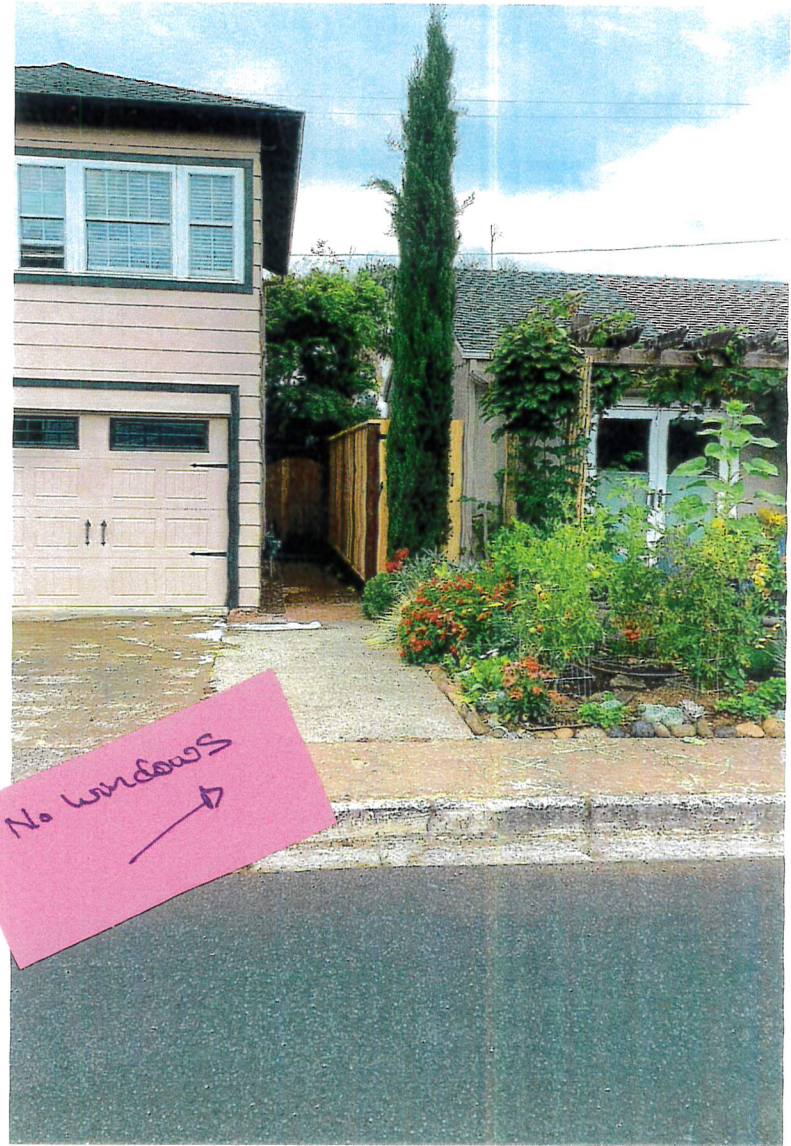
121 Walnut Ct  
Santa Rosa CA.  
95409.

South Side fence 7' x 25'



windows →  
kids Bedrooms!

BEFORE



No windows →

AFTER.

Back fence 7' x 51'

windows.  
→

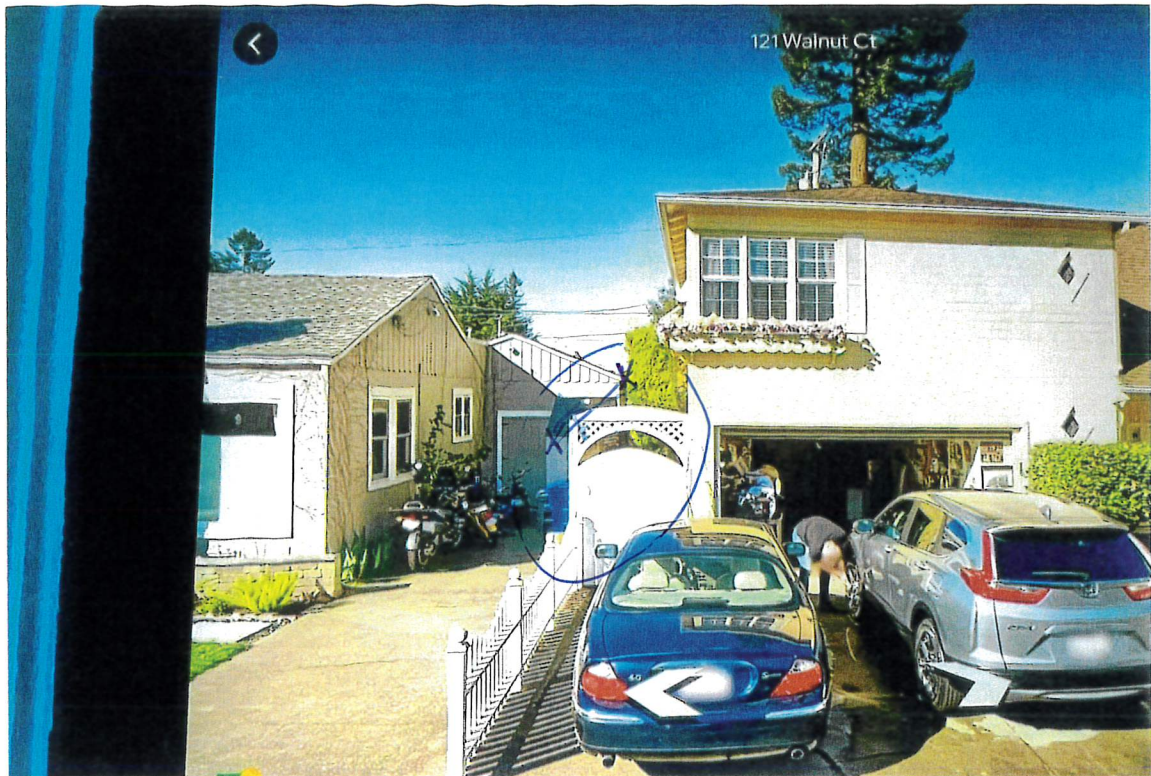
No  
windows  
↓



Paint to match canopy soon.;

North Side fence

7' x 31.



(That's  
Daryl  
washing  
his  
wifes car!)

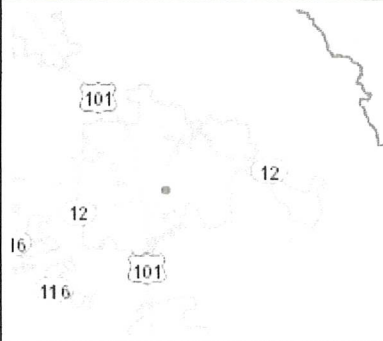
||  
U  
/

121 walnut ct

115 walnut ct

(only from white gate  
to Back Garage.)





8/2/2022

Scale 1: 300



# Affiliated Person/s:



## Affiliated Person/s:

- Bryan Morgan- Redwood Residential Fence. 4170 Santa Rosa Ave.
- Samantha Ruiz-Redwood Residential Fence. 4170 Santa Rosa Ave.
- Daryl Scanagatta- Neighbor to the North. 115 Walnut Ct.
- Jackie Scanagatta- Neighbor to the North. 115 Walnut Ct.
- Bob Wachunas- Neighbor to the North East. 120 Walnut Ct.
- Cathrine Kubu- Neighbor to the North East. 120 Walnut Ct.
- Berrett Moore- Neighbor to the East. 124 Walnut Ct.
- Kevin Conway- Neighbor to the South East. 130 Walnut Ct.
- Nancy Conway- Neighbor to the South East. 130 Walnut Ct.
- Sherry Brooks- Neighbor to the South. 129 Walnut Ct.
- Susan Provencher- Commercial property owner to the West. 990 Sonoma Ave.



8/5/2022

Scale 1: 1,200

0 Miles 0.02

# City of Santa Rosa Parcel Report

009-221-024

8/2/2022 12:17:50 PM

## County Assessor Information

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**Address:** 121 WALNUT CT  
SANTA ROSA, CA 95404

**Land Use:** SINGLE FAMILY DWELLING

**Tax Area:** 004001

**Jurisdiction:** SANTA ROSA

**Recording#:** 2012R045376

**Rec Date:** 05/11/2012

**Lot Acres:** 0.09

**Land Value:** \$132,560

**Bldg Value:** \$198,842

**Bldg Sqft:** 1,352

**Built:** 1939

**Res Units:**

**Bedrooms:** 3

**Bathrooms:** 2

**Com Units:**



## Santa Rosa Only Information

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**General Plan:** Low Residential

**Area Plan:**

**Zoning Code:** R-1-6

**Identifier:**

**Planned Dev:**

**Historic Dist:**

**Fault km:** 2

**Wind Zone:** Exposure B

**Fire Zone:**

**Park Fee:** Service Area No. 3 - Northeast

**Fire District:** 1

## GIS Calculated Information

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**Lot Acres:** 0.09

**Latitude:** 38.440027

**Longitude:** -122.701157

**Census Tract:** 151800

**Census Block:** 4006

**Street Sweep:** 3rd Tuesday

**Elem School:** DOYLE PARK

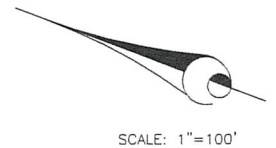
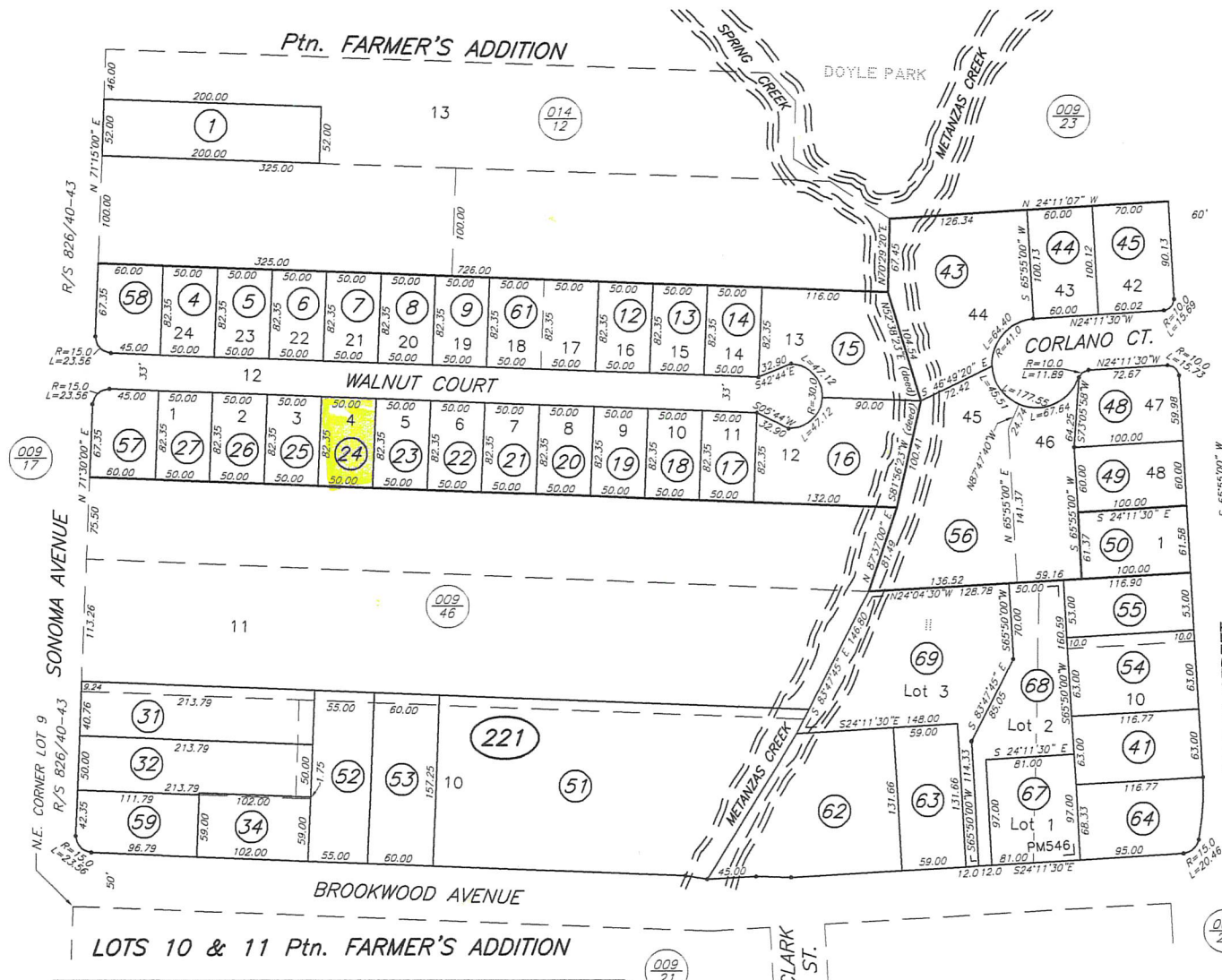
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This report is a user generated static output from an Internet mapping site and is for reference only. Data that appear on this report may or may not be accurate, current, or otherwise reliable. GIS Calculated Lot Acres is NOT official. Assessor Data is maintained by Sonoma County.

# COUNTY ASSESSOR'S PARCEL MAP

TAX RATE AREA  
004-001

009-22



009/36  
**Ptn. LA VALLEY TRACT**  
 REC. 11-23-11 IN BK. 26, MAPS, PGS. 28-00  
**WALNUT COURT**  
 REC. 08-23-37 IN BK. 50, MAPS, PGS. 55-00  
**CORLANO AV.**  
 Ptn. CORLANO TERRACE No. 2  
 REC. 12-15-54 IN BK. 72, MAPS, PGS. 12-13  
 Ptn. CORLANO TERRACE No. 3  
 REC. 09-15-55 IN BK. 74, MAPS, PGS. 2-3  
**PARCEL MAP No. 546**  
 REC. 07-07-95 IN BK. 538, MAPS, PGS. 47-49

ASHBURY AVE. FORMERLY JUNIPER  
 VALLEJO STREET  
 REVISED  
 06-29-79=64-  
 11-27-79=66-  
 07-29-94=66-BF  
 10-09-95=69-RM  
 07-30-07=60(221)-LW  
 11-28-12=62(221)-KB  
 12-23-21=R/S-RVW

Assessor's Map Bk. 009, Pg. 22  
 Sonoma County, Calif. (ACAD)  
 KEY 4/25/07 RD

NOTE: This map was prepared for the Sonoma County Assessor for assessment purposes only and does not indicate parcel legality or valid building sites. To verify legal parcel status check with your city or county development or planning division. No liability is assumed for the accuracy of the data delineated.

