

City of Santa Rosa
April 18/2022
Planning & Economic
Development Department

ACCESSORY DWELLING UNIT & POOL HOUSE CABANA

CHAN / STRAUB RESIDENCE

3935 SKYFARM, SANTA ROSA, CA 95403

APN: 173-760-023

CODE COMPLIANCE

ALL WORK SHALL CONFORM TO THE 2019 CALIFORNIA EDITION OF THE CALIFORNIA CODE OF REGULATIONS TITLE 24 AS LISTED BELOW AS APPLICABLE AND AS AMENDED BY THE COUNTY OF SONOMA

- 2019 CALIFORNIA ADMINISTRATIVE CODE PART 1
- 2019 CALIFORNIA BUILDING CODE PART 2, VOLUMES 1 & 2
- 2019 CALIFORNIA RESIDENTIAL CODE PART 2.5
- 2019 CALIFORNIA ELECTRICAL CODE PART 3
- 2019 CALIFORNIA MECHANICAL CODE PART 4
- 2019 CALIFORNIA PLUMBING CODE PART 5
- 2019 CALIFORNIA ENERGY COMMISSION STANDARDS CODE PART 6
- 2019 CALIFORNIA FIRE CODE PART 9
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE PART 11
- 2019 CALIFORNIA REFERENCED STANDARDS CODE PART 12

SCOPE OF WORK

1. RESIDENCE IMPROVEMENT
 - 1.1. NEW 365 SQ. FT. POOL HOUSE CABANA
 - 1.2. NEW 638 SQ. FT. ACCESSORY DWELLING UNIT
 - 1.3. NEW FIREPIT AREA
 - 1.4. NEW RETAINING WALLS
 - 1.5. NEW COVERED DECK

DESIGN CRITERIA

1. ZONING: PD 72-001F-RC
2. LAND USE: SINGLE FAMILY DWELLING
3. PLANNING AREA: SANTA ROSA
4. WIND: EXPOSURE C
5. FIRE PROTECTION: SANTA ROSA FIRE DEPARTMENT
6. CONSTRUCTION TYP: VB
7. SEISMIC DESIGN CATEGORY: D
8. SITE CLASS SOIL: D
9. CLIMATE ZONE: 2
10. OCCUPANCY: R-3

SHEET LIST

SHEET #	SHEET NAME
G-001	COVER & NOTES
G-002	STAIRS NOTES & DETAILS
1	TOPOGRAPHIC SURVEY
C1.0	PRELIMINARY GRADING & UTILITY COVER SHEET
C2.0	PRELIMINARY GRADING & UTILITY DEMOLITION PLAN
C3.0	PRELIMINARY GRADING & UTILITY PLAN
C3.1	PRELIMINARY GRADING & UTILITY SECTIONS
1	SLOPE ANALYSIS EXHIBIT PROPOSED SITE
2	SLOPE ANALYSIS EXHIBIT EXISTING SITE
AS-101	PROPOSED SITE PLAN
A-101	PROPOSED CABANA FLOOR PLAN, ROOF PLAN, ELEVATIONS & SECTIONS
A-102	PROPOSED ADU FLOOR PLAN AND ROOF PLAN
A-201	PROPOSED ADU ELEVATIONS
A-202	PROPOSED ADU ELEVATIONS & SECTION
A-301	LANDSCAPE SECTIONS + RETAINING WALL SECTIONS
A-302	LANDSCAPE SECTIONS/ELEVATIONS
E-101	CABANA + ADU ELECTRICAL PLAN
A-201 E	EXISTING ELEVATION

LOT INFO

LOT SIZE: 49938 SQ. FT. MAX. LOT COVERAGE: 35%
 BUILDING TOTALS :

LOT SIZE		49938 SQ. FT.
(E) BUILDING	HOUSE (CONDITIONED)	2156 SQ. FT.
	GARAGE (UNCONDITIONED)	725 SQ. FT.
COVERED PATIOS	(E) COVERED HOUSE DECK	351 SQ. FT.
	(E) COVERED ENTRY PORCH	181 SQ. FT.
	(N) COVERED DECK AT (N) ADU	80 SQ. FT.
(N) BUILDINGS	(N) CABANA	365 SQ. FT.
	(N) ADU	638 SQ. FT.
GRAND TOTAL BUILDINGS + COVERED DECKS		4496 SQ. FT.



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CHAN/
 STRAUB
 RESIDENCE

3935 SKYFARM
 SANTA ROSA, CA 95403

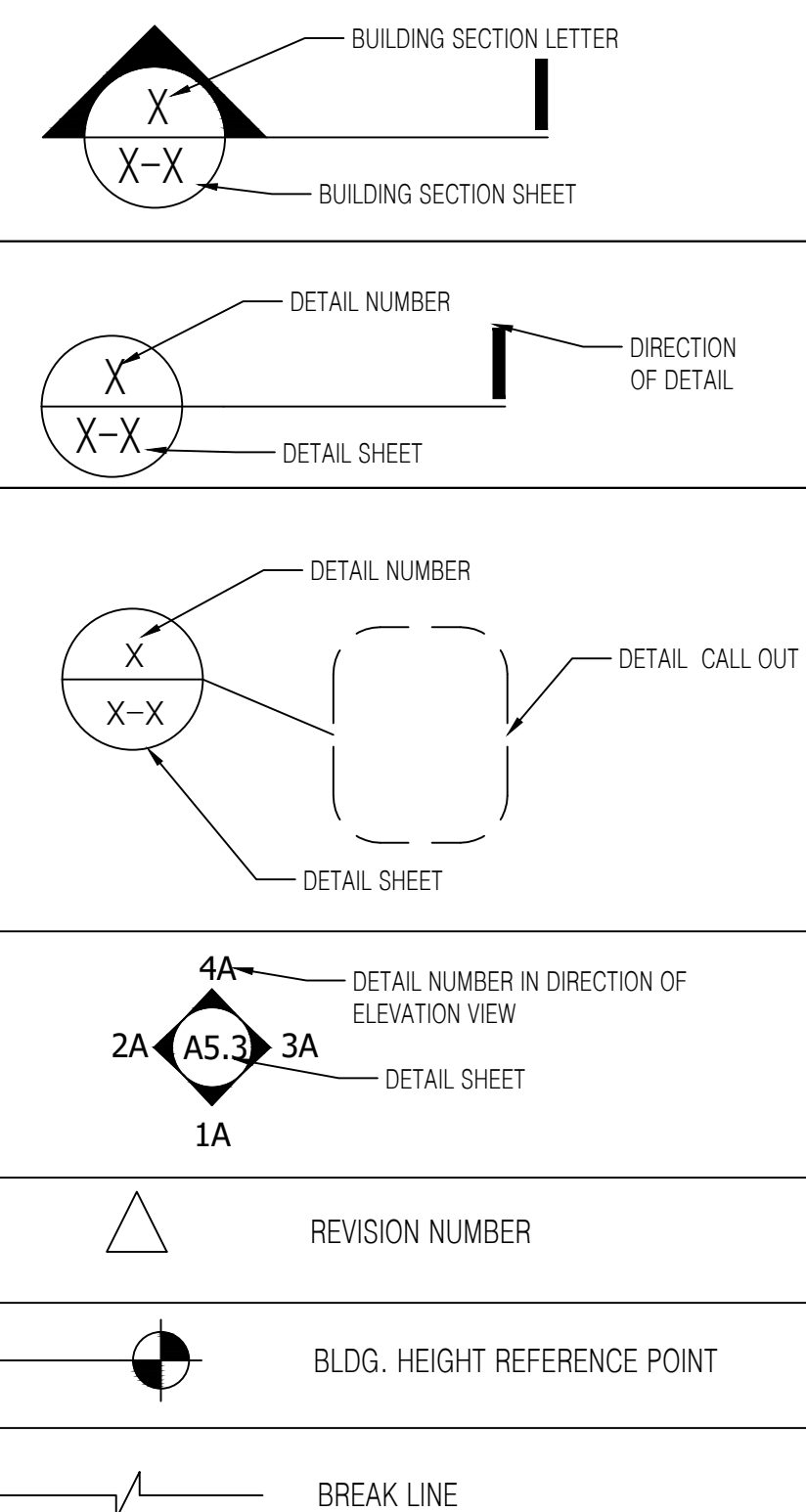
APN: 173-760-023

REVISIONS

VICINITY MAP



LEGEND MARKERS



PROJECT TEAM

DESIGNER / DRAFTSMAN:
 OUTSIDE THE BOX - SETH GILLEY
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 sethgilley@gmail.com
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 Vector Structural Engineering, LLC
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 Draper, UT 84020
 P: 801-990-1775
 C: 801-960-6606

SPECIAL INSPECTIONS

- NONE

DEFERRED SUBMITTALS

1. FIRE SPRINKLERS

GENERAL NOTES

CONTRACTOR'S RESPONSIBILITIES

1. CONTRACTORS, (INCLUDING OWNER-CONTRACTORS), PRIME AND SUB SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO THE COMMENCEMENT OF THEIR WORK.
2. THE INTENT OF THESE DRAWINGS ARE NOT LIMITED TO THE EXPLICITLY OF THE CONTRACT DOCUMENTS, REPRESENTATIVE AND TYPICAL DETAILS ARE SHOWN TO ASSIST THE CONTRACTORS, THEY ARE NOT INTENDED TO ILLUSTRATE EVERY CONDITION.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER AND THE DESIGNER OF ANY CONDITIONS FOUND IN THE FIELD TO BE DIFFERENT FROM THOSE SHOWN ON THE PLANS OR OF ERRORS OMISSIONS ON THE PLANS WHICH MIGHT AFFECT THE CONDITION AND THE COMPLETION OF THE PROJECT.

MECHANICAL CONTRACTOR'S NOTES

1. MECHANICAL CONTRACTOR SHALL PROVIDE ANY REQUIRED DRAWING AND CALCULATIONS ETC. OF HEATING AND AIR CONDITIONING SYSTEMS FOR PERMITS.
2. MECHANICAL CONTRACTOR SHALL PROVIDE APPROVED VENTS FOR ALL GAS APPLIANCES AND AN APPROVED GAS SHUT-OFF CONSPICUOUSLY MARKED AT OUTSIDE OF BUILDING.

ELECTRICAL CONTRACTOR'S NOTES

1. ELECTRICAL CONTRACTOR SHALL PROVIDE ANY REQUIRED LINE DIAGRAMS, LOAD CALCULATIONS, ETC. FOR PERMIT.
2. ELECTRICAL CONTRACTOR SHALL VERIFY SITE CONDITIONS, SERVICE REQUIREMENTS AND SHALL DETERMINE SIZE AND LOCATION OF ELECTRICAL MAIN IF NEEDED.
3. ELECTRICAL CONTRACTOR SHALL VERIFY WITH MECHANICAL CONTRACTOR FOR CONTROL WIRING DIAGRAMS, EXACT LOCATION AND SIZE OF EQUIPMENT.
4. ELECTRICAL CONTRACTOR SHALL CHECK WITH ALL OTHER TRADES FOR THE LOCATION OF EQUIPMENT WHICH REQUIRES ANY HOOK-UP, DISCONNECT SWITCHES, RELAYS ETC. PRIOR TO START OF ANY WORK.

PLUMBING CONTRACTOR'S NOTES

1. PLUMBING CONTRACTOR SHALL PROVIDE ANY DRAWINGS OR REQUIRED DIAGRAMS, CALCULATIONS, ETC. FOR PERMIT.
2. PLUMBING CONTRACTOR SHALL VERIFY SITE CONDITIONS, SERVICE REQUIREMENTS AND SHALL DETERMINE SIZE AND LOCATION OF SERVICE FIXTURES AS NEEDED.
3. PLUMBING CONTRACTOR SHALL CHECK WITH ALL OTHER TRADES FOR THE LOCATION OF EQUIPMENT WHICH REQUIRES ANY CONSIDERATION, PRIOR TO START OF ANY WORK.

LEGEND ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	DWG	DRAWING	F.O. GYP	FACE OF GYPSUM BOARD	SMI	SIMILAR
AHJ	AUTHORITY HAVING JURISDICTION	(E)	EXISTING	GYP BD	GYPSUM BOARD	SS	STAINLESS STEEL
CB	CONTRIBUTION BOX	ELEC	ELECTRICAL	HDR	HEADER	STL	STEEL
CL	CENTERLINE	ELEV	ELEVATION	INT	INTERIOR	TOM	TOP OF MASONRY
CLR	CLEAR	ETR	EXISTING TO REMAIN	MDF	MEDIUM-DENSITY FIBERBOARD	TYP	TYPICAL
CMU	CONCRETE MASONRY UNIT	EXT	EXTERIOR	(N)	NEW	UON	UNLESS OTHERWISE NOTED
CONC	CONCRETE	FE	FIRE EXTINGUISHER	NTS	NOT TO SCALE		
CONF	CONFERENCE	FF	FINISHED FLOOR	P.E.N.	PLYWOOD EDGE NAILING		
CJ	CONTROL JOINT	F.O.	FACE OF	REX	REMOVE EXISTING		
DF	DRINKING FOUNTAIN	FRP	FIBERGLASS REINFORCED PLASTIC	RO	ROUGH OPENING		
DEMO	DEMOLISH / REMOVE			S.O.W.	SCOPE OF WORK		

DESIGNER SIGNATURE

COVER AND NOTES

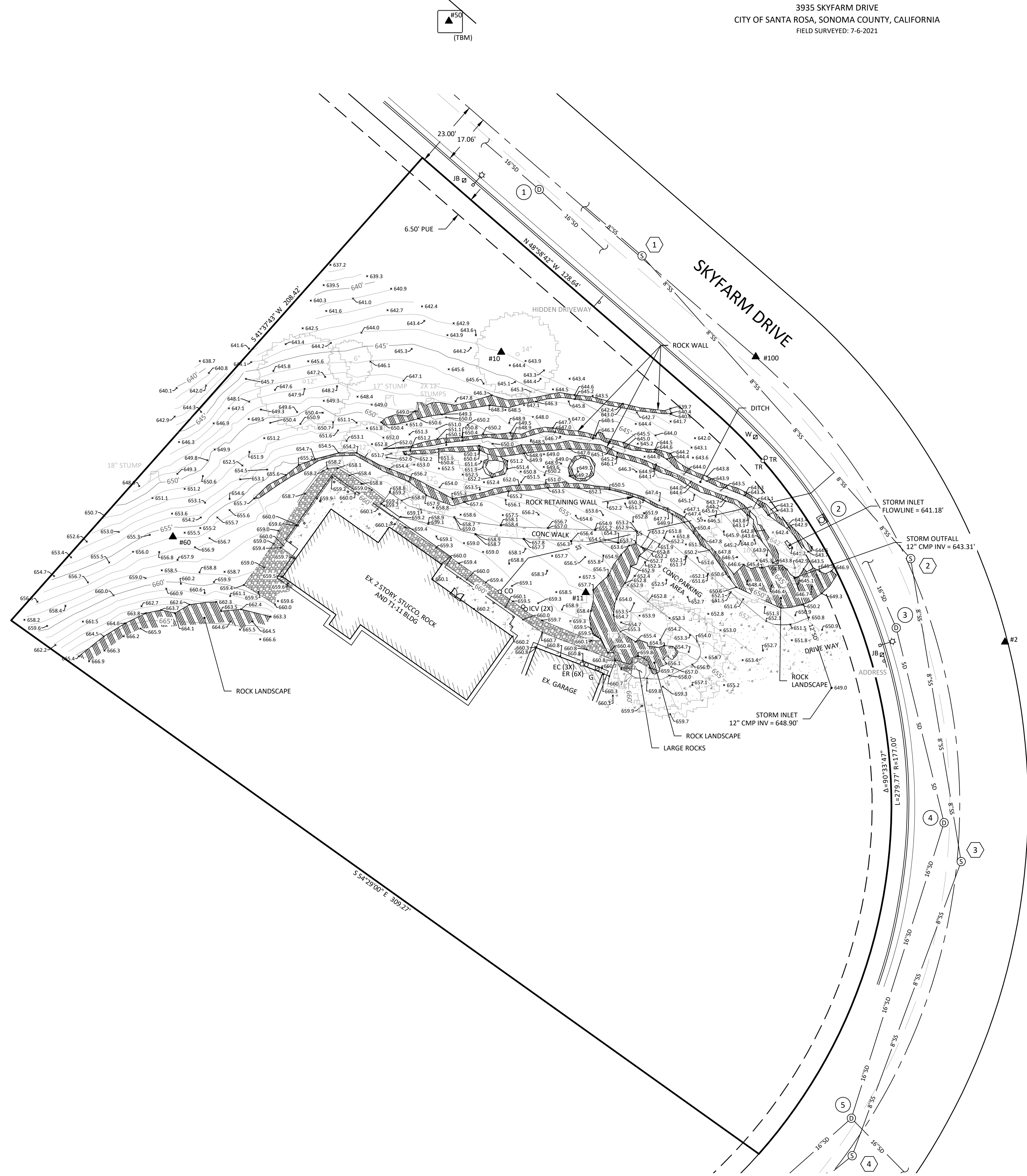
DATE: 05.27.21
 JOB # :
 DRAWN BY: OTB
 SCALE: AS NOTED
 SHEET NO.

G-001

TOPOGRAPHIC SURVEY
 3935 SKYFARM DRIVE
 CITY OF SANTA ROSA, SONOMA COUNTY, CALIFORNIA
 FIELD SURVEYED: 7-6-2021



VICINITY MAP
NOT TO SCALE



STORM TABLE:

- 1 STORM MANHOLE
RIM = 622.46'
IE 16" IN (SE) = 617.06'
IE 16" OUT (NW) = 616.81'
- 2 CURB INLET
RIM = 644.35'
UNABLE TO OPEN
- 3 STORM MANHOLE
RIM = 651.04'
IE 16" IN (S) = 645.44'
IE 16" OUT (NW) = 644.94'
- 4 STORM MANHOLE
RIM = 662.02'
IE 16" IN (SW) = 656.67'
IE 16" OUT (N) = 656.12'
- 5 STORM MANHOLE
RIM = 680.22'
IE 16" IN (SW) = 673.07'
IE 16" IN (SW) = 672.62'
IE 16" OUT (NE) = 672.02'

SANITARY TABLE:

- 1 SANITARY MANHOLE
RIM = 628.50'
IE 8" IN (SE) = 622.33'
IE 8" OUT (NW) = 618.20'
- 2 SANITARY MANHOLE
RIM = 648.26'
IE 8" IN (S) = 641.61'
IE 8" OUT (NW) = 640.61'
- 3 SANITARY MANHOLE
RIM = 664.40'
IE 8" IN (SW) = 658.20'
IE 8" OUT (N) = 656.65'
- 4 SANITARY MANHOLE
RIM = 682.32'
IE 8" THRU = 673.72'

LEGEND:

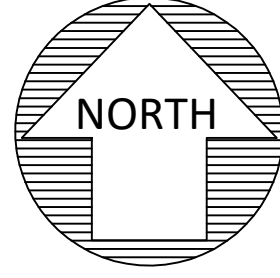
	BUILDING OUTLINE WITH DOOR
	CONCRETE SURFACE
	RIP RAP
	WALL
	CURB LINE
	RIGHT-OF-WAY LINE
	ROAD CENTERLINE
	EASEMENT LINE
	PROPERTY LINE
	PAINT STRIPE
	CONCRETE EDGE
	FLOW LINE
	ELECTRICAL LINE
	STORM LINE
	SANITARY SEWER LINE
	GAS LINE
	SIGN
	GRATE
	ELECTRICAL JUNCTION BOX
	ELECTRICAL RISER
	ELECTRICAL CABINET
	OVERHEAD LIGHT
	GAS METER
	SANITARY MANHOLE WITH STRUCTURE
	STORM MANHOLE WITH STRUCTURE
	CURB INLET
	AREA DRAIN
	SANITARY/STORM CLEAN OUT
	SANITARY/STORM STRUCTURE #
	TELECOMMUNICATIONS RISER
	WATER METER
	IRRIGATION CONTROL VALVE
	DECIDUOUS TREE W/ TRUNK DIAMETER - PERIMETER REPRESENTS DRIPLINE
	STUMP
	PROJECT CONTROL POINT

NOTES:

- 1. VERTICAL DATUM: NAVD88 (GEOID 18)
BENCHMARK: CONTROL POINT NO. 50 - ELEVATION WAS DERIVED THROUGH STATIC OBSERVATION AND PROCESSED THROUGH OPUS.
ELEVATION = 598.43'
- 2. BASIS OF BEARINGS FOR THIS SURVEY OF 543°31'48"E WAS ASSUMED ON THE LINE BETWEEN STATION 2 AND 50 AS SHOWN IN THE PROJECT CONTROL TABLE.
- 3. UTILITY LOCATIONS SHOWN ARE PER OBSERVED FIELD EVIDENCE [AND FIELD LOCATED UTILITY PAINT MARKS & REFERENCE MAPS MADE AVAILABLE BY THE VARIOUS UTILITY PROVIDERS]. UNLESS INDICATED, DEPTHS OF UTILITY LINES ARE NOT AVAILABLE. ALL UTILITY LOCATIONS SHOULD BE FIELD VERIFIED (POTHOLED) PRIOR TO CONSTRUCTION.

PROJECT CONTROL:

STATION	DESCRIPTION	NORTHING	EASTING	ELEVATION
2	SCRIBED "X" IN CONCRETE	1,944,983.27	6,355,174.91	654.42'
10	5/8" IR W/ RED PLASTIC CAP "KPFF CONTROL"	1,945,080.85	6,355,005.32	644.03'
11	5/8" IR W/ RED PLASTIC CAP "KPFF CONTROL"	1,944,999.93	6,355,033.80	658.04'
50	SCRIBED "X" IN CONCRETE	1,945,249.70	6,354,921.81	598.43'
60	5/8" IR W/ RED PLASTIC CAP "KPFF CONTROL"	1,945,018.71	6,354,894.80	655.98'
100	1-1/8" BRASS CAP	1,945,079.32	6,355,090.98	635.00'



PRELIMINARY

	SURVEYED BY: TS	DATE: 7/22/2021
	DRAWN BY: TS	CONTOUR INTERVAL: 1 FOOT
	CHECKED BY: EG	SHEET NO. 1 OF 1
	PROJECT NO.: 2100-111	
	FILE: 2100-111.SB	
TOPOGRAPHIC SURVEY 3935 SKYFARM DRIVE OUTSIDE THE BOX CITY OF SANTA ROSA / SONOMA COUNTY / CALIFORNIA		

PRELIMINARY GRADING & UTILITY PLAN SKYFARM IMPROVEMENTS

3935 SKYFARM DRIVE SANTA ROSA, CA

APN #173-760-023

kpff

2250 Douglas Blvd, Suite 200
Roseville, CA 95661
O: 916.772.7688
F: 916.772.7699
www.kpff.com

Engineer's Stamp

PRELIMINARY
NOT FOR
CONSTRUCTION

Project

SKYFARM IMPROVEMENTS
3935 SKYFARM DRIVE
SANTA ROSA, CA

Sheet Title

COVER
SHEET

NO.	Date	Description	Approved

DATE 09/01/2021

Designed MP

Drawn FZ

Checked RC

JOB NO. #2100-111

Drawing No.

C1.0

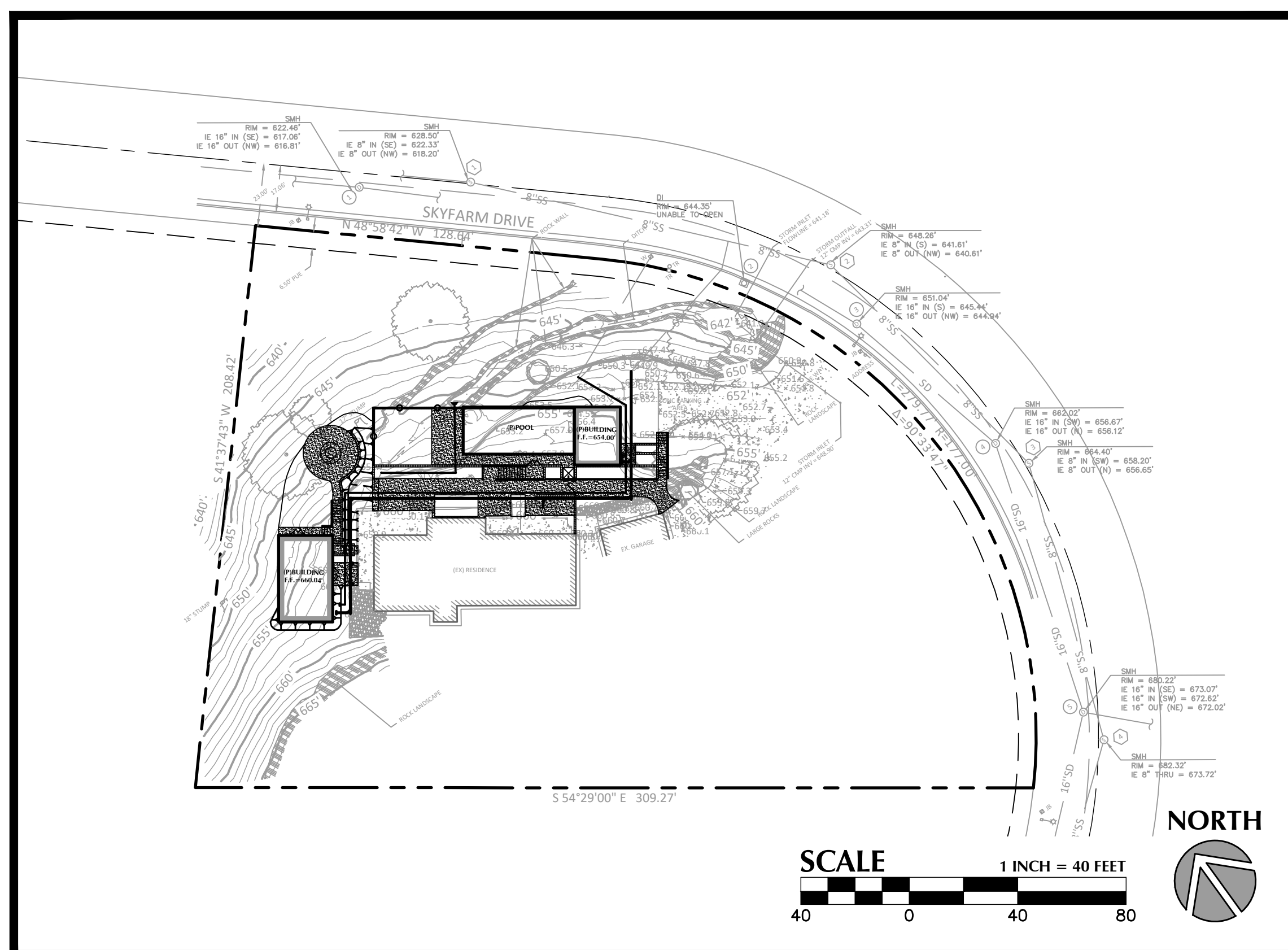
LEGEND

	PROPOSED	EXISTING
PROPERTY LINE / RIGHT-OF-WAY LINE	---	---
EASEMENT LINE	---	---
CENTERLINE	---	---
BUILDING OUTLINE	▬▬▬▬	▬▬▬▬
BUILDING OVERHANG	▬▬▬▬	▬▬▬▬
CURB	▬▬▬▬	▬▬▬▬
CURB AND GUTTER	▬▬▬▬	▬▬▬▬
SAWCUT LINE	▬▬▬▬	▬▬▬▬
ASPHALT PAVEMENT	▬▬▬▬	▬▬▬▬
ASPHALT PAVEMENT (HEAVY)	▬▬▬▬	▬▬▬▬
CONCRETE PAVEMENT	▬▬▬▬	▬▬▬▬
MAJOR CONTOUR	100	100
MINOR CONTOUR	99	99
GRADE BREAK	GB	GB
RETAINING WALL	▬▬▬▬	▬▬▬▬
GRADING SLOPE	▬▬▬▬	▬▬▬▬
DAYLIGHT LINE	▬▬▬▬	▬▬▬▬
GAS LINE	G	G
ELECTRIC LINE	E	E
FIBER OPTIC LINE	FO	FO
TELECOMMUNICATIONS LINE	T	T
JOINT TRENCH	JT	JT
SWALE	▬▬▬▬	▬▬▬▬
FENCE	▬▬▬▬	▬▬▬▬
STORM DRAIN LINE	12" W	SD
SANITARY SEWER LINE	8" SS	SS
WATER MAIN LINE	12" W	W
STORM DRAIN MANHOLE	●	●
STORM DRAIN INLET	■	■
GRATED STORM DRAIN MANHOLE	▬▬▬▬	▬▬▬▬
FLARED END SECTION	▬▬▬▬	▬▬▬▬
CLEANOUT	○	○
SANITARY SEWER MANHOLE	●	●
GREASE INTERCEPTOR	▬▬▬▬	▬▬▬▬
FIRE HYDRANT	●	●
FIRE DEPARTMENT CONNECTION	▬▬▬▬	▬▬▬▬
BACKFLOW PREVENTOR/DDCV	▬▬▬▬	▬▬▬▬
GATE VALVE	▬▬▬▬	▬▬▬▬
POST INDICATOR VALVE	▬▬▬▬	▬▬▬▬
BLOW-OFF VALVE	▬▬▬▬	▬▬▬▬
AIR-RELEASE VALVE	▬▬▬▬	▬▬▬▬
WATER METER	▬▬▬▬	▬▬▬▬
CONCRETE THRUST BLOCK	▬▬▬▬	▬▬▬▬
LIGHT POLE - MAST ARM	▬▬▬▬	▬▬▬▬
LIGHT POLE	▬▬▬▬	▬▬▬▬
ELECTRIC BOX	▬▬▬▬	▬▬▬▬
TELEPHONE BOX	▬▬▬▬	▬▬▬▬
HANDICAP PARKING	▬▬▬▬	▬▬▬▬
POWER POLE	▬▬▬▬	▬▬▬▬
TREE PROTECTION	▬▬▬▬	▬▬▬▬
SPOT ELEVATIONS	XXXX TC XXXX FS	(XXXX TC) (XXXX FS)
GRADING SLOPE	2.00%	(2.00%)

ABBREVIATIONS

AC	ASPHALT CONCRETE
AD	AREA DRAIN
ADA	AMERICAN DISABILITIES ACT
APPROX.	APPROXIMATE
B	BOLLARD
BLDG	BUILDING
BOT	BOTTOM OF PIPE
BOW	BACK OF WALK
BS	BOTTOM OF STAIR
BW	BOTTOM OF WALL
CB	CATCH BASIN
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE MASONRY UNIT
CO	CLEANOUT
CONC.	CONCRETE
COTG	CLEANOUT TO GRADE
CP	CONTROL POINT
Δ	DELTA
D/W	DRIVEWAY
DDC	DRAIN CLEANOUT
DI	DRAIN INLET
DIA_Ø	DIAMETER
DIP	DUCTILE IRON PIPE
E	ELECTRICAL
EG	EXISTING GRADE
(E)	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISH FLOOR ELEVATION
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOWLINE
FND	FOUNDATION
FS	FINISHED SURFACE
G	GAS
GB	GRADE BREAK
GL	GAS LINE
GR	GRATE ELEVATION
GV	GATE VALVE
H	HEIGHT
HP	HIGH POINT
ID	INSIDE DIAMETER
IE	INVERT ELEVATION
INV	INVERT
IRR.	IRRIGATION
JT	JOINT TRENCH
LF	LINEAR FEET
LP	LIGHT POLE
MH	MANHOLE
MIN	MINIMUM
N	NORTHING
O.D.	OUTSIDE DIAMETER
OF	OUTFALL
OVH/OH	OVERHEAD
(P)	PROPOSED
P/L	PROPERTY LINE
PED	PEDESTRIAN
PIV	POST INDICATOR VALVE
PM	PARKING METER
POC	POINT ON CURVE
PP	POWER POLE
PRC	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENT
P.U.E	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE
PVMT	PAVEMENT
PVT	PRIVATE
RIM	RIM ELEVATION
RD	ROOF DRAIN
R.O.W	RIGHT-OF-WAY
S	SLOPE (FT/FT)
SCO	SEWER CLEAN OUT
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SF	SQUARE FEET
SHT	SHEET
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
ST	STREET
STA	STATION
STD	STANDARD
S/W	SIDEWALK
TC	TOP OF CURB
TD	TRENCH DRAIN
TOP	TOP OF PIPE
TRANS.	TRANSFORMER
TS	TOP OF STAIR
TW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
UGE	UNDERGROUND ELECTRIC
UNO	UNLESS NOTED OTHERWISE
VF	VERIFY IN FIELD
W	WATER
W/	WITH
WCR	WHEEL CHAIR RAMP
WM	WATER METER
WV	WATER VALVE

SITE MAP

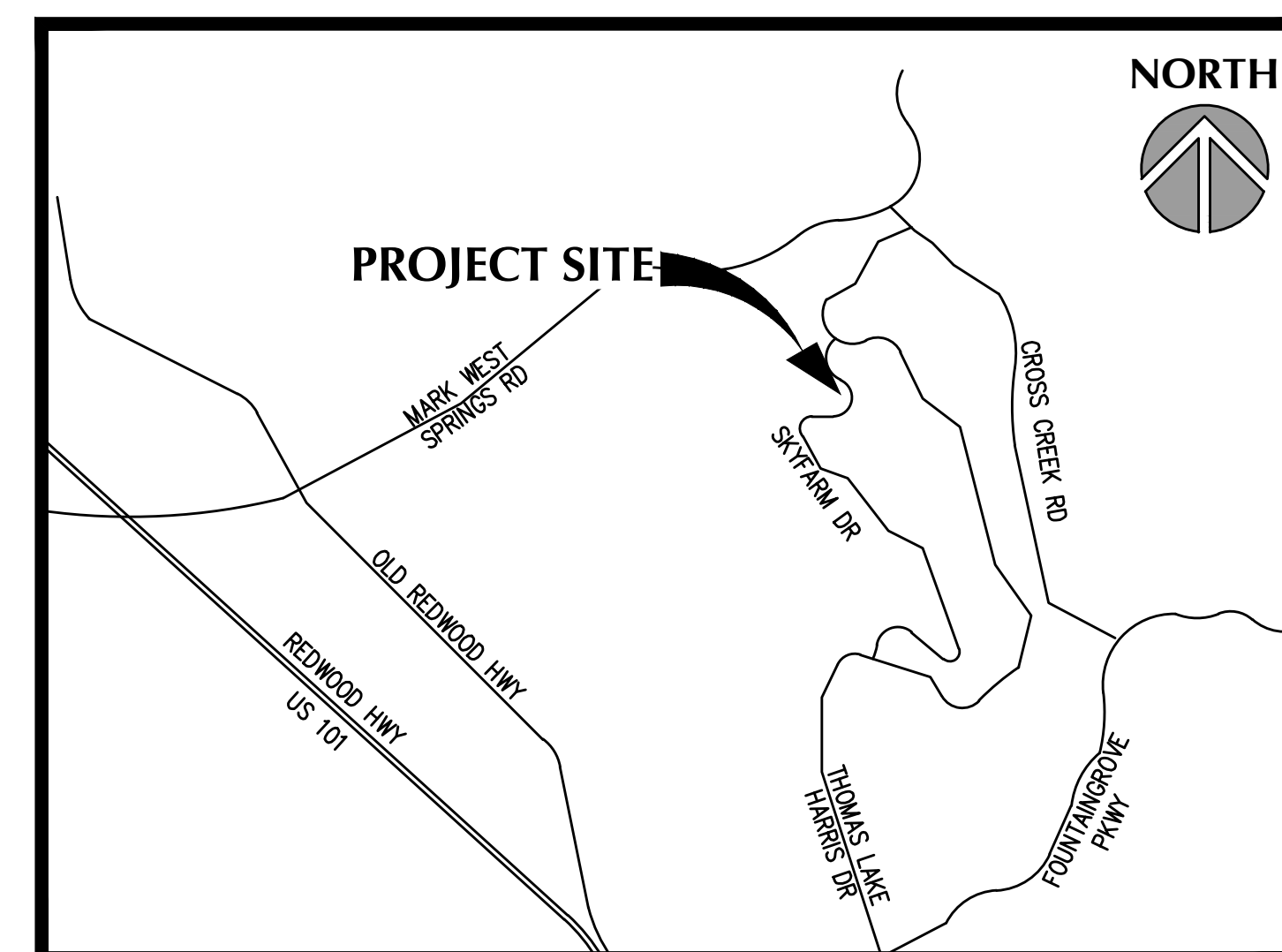


VERTICAL DATUM: CITY OF SANTA ROSA
BENCHMARK: 10.00 FEET NORTHWEST OF THE MIDDLE PG&E LINE TOWER, AND ABOUT 25 FEET NORTH OF THE TRACK ROAD, A STANDARD DISK SET FLUSH WITH THE GROUND AND STAMPED GROVE 1956.

PID: JT2450
EL: 904'

VICINITY MAP

SCALE: NTS



PROJECT CONTACTS

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CIVIL ENGINEER:
KPFF CONSULTING ENGINEERS
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ROSEVILLE, CA 95661
TEL: 916-772-7688
CONTACT: RYAN CARTER

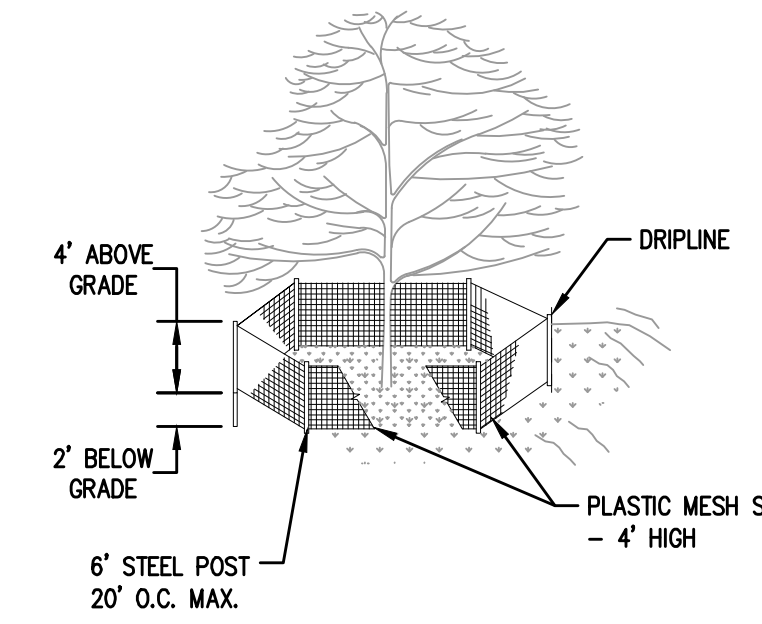
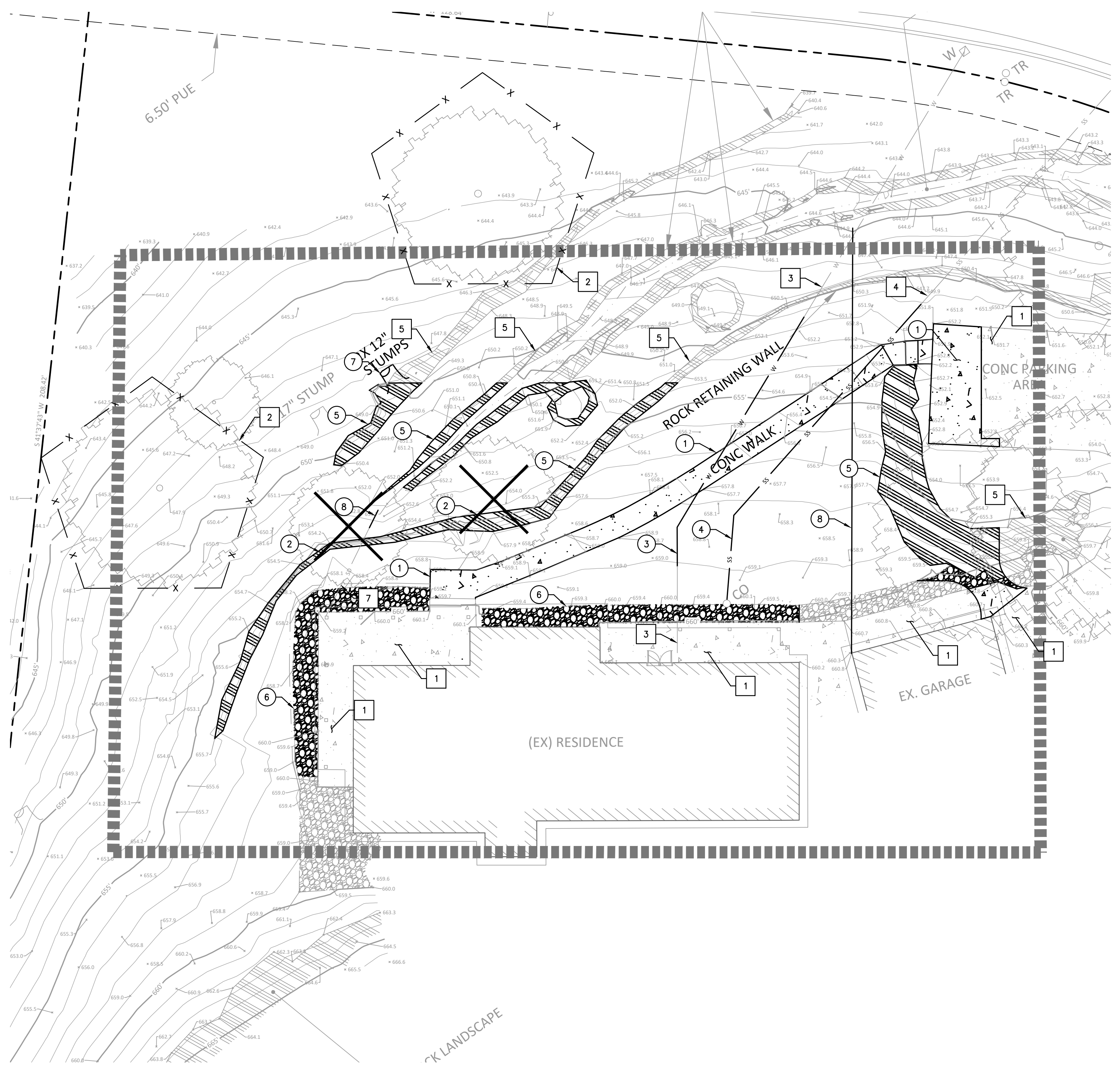
SHEET INDEX

COVER SHEET	C1.0
DEMOLITION PLAN	C2.0
GRADING & UTILITY PLAN	C3.0
SECTIONS	C3.1



CALL BEFORE YOU DIG

File: C2.0_Demolition_Plan.dwg, TAB:C2.0
 PlotSet: 9/1/21, 25000, Bx, fozzola
 XREFS: 2100-111, xib: 2100-111, xsv



TREE PROTECTION AND MITIGATION

TREE PROTECTION - ALL EXISTING TREES OR GROUPINGS OF TREES SHALL BE FENCED PRIOR TO ANY CONSTRUCTION ACTIVITIES. FENCING AND TREE PROTECTION SHALL BE AS FOLLOWS:

- PLASTIC MESH SAFETY FENCING SHALL BE TIED SECURELY TO 6' STEEL POSTS, 20' ON CENTER MAXIMUM OR OTHER MEANS ACCEPTABLE TO THE COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO COMMENCEMENT OF WORK.
- FENCING SHALL BE PLACED AT THE APPROXIMATE DRIPLINE OF THE TREES CANOPY OR THE LIMIT OF GRADING, WHICHEVER IS APPROPRIATE. SEE PLAN FOR APPROXIMATE FENCING LOCATIONS.
- FENCING SHALL REMAIN INTACT UNTIL CONSTRUCTION IS COMPLETED AND MAY NOT BE REMOVED WITHOUT THE WRITTEN APPROVAL OF THE COMMUNITY DEVELOPMENT DIRECTOR.
- ANY EXCAVATION, CUTTING, FILLING, PAVING OR COMPACTION OF THE EXISTING GROUND SURFACES WITHIN THE PROTECTED ZONE SHALL BE MINIMIZED. NO ADVERSE SIGNIFICANT CHANGE IN EXISTING GROUND LEVEL SHALL OCCUR WITHIN THE DRIPLINE OF ANY PROTECTED TREE.
- CONSTRUCTION EQUIPMENT SHALL NOT BE STORED WITHIN THE PROTECTED ZONE. OIL, GAS, CHEMICALS OR OTHER SUBSTANCES THAT MAY BE HARMFUL TO TREES WILL NOT BE STORED OR DUMPED WITHIN THE PROTECTED ZONE, OR ANY OTHER LOCATION ON THE SITE FROM WHICH SUCH SUBSTANCES MIGHT ENTER THE PROTECTED ZONE.
- TRENCHING, INCLUDING UNDERGROUND TRENCHING, WITHIN THE PROTECTED ZONE SHALL BE AVOIDED TO THE GREATEST EXTENT POSSIBLE. UNDERGROUND TRENCHING FOR UTILITIES SHALL AVOID MAJOR SUPPORT AND FEEDER ROOTS OF PROTECTED TREES TO THE GREATEST EXTENT POSSIBLE. IF AVOIDANCE IS IMPRACTICAL, TUNNELS SHALL BE MADE BELOW THE ROOTS.

DEMOLITION GENERAL NOTES

- CONTRACTOR TO CLEAR PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITIES, STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON THE PLAN.
- REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
- THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY.
- DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT DEBRIS AND UNSUITABLE MATERIALS FROM ENTERING STORM DRAINS, SANITARY SEWERS AND STREETS.
- DUST CONTROL SHALL BE IMPLEMENTED DURING DEMOLITION.
- DEMOLITION IS LIMITED TO WITHIN DEMOLITION LIMIT LINE UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND QUANTITY OF EXISTING SURFACE STRUCTURES AND SHALL BE SOLELY RESPONSIBLE FOR ANY UNIDENTIFIED UTILITIES, IMPROVEMENTS, TREES, ETC. TO BE DEMOLISHED AND REMOVED WITHIN THE DEMOLITION LIMIT LINE, INCLUDING APPURTENANT FOUNDATIONS OR SUPPORTS.
- DEMOLITION CALLOUTS IN THIS SECTION ARE REPRESENTATIVE OF WHAT IS TO BE DONE, NOT AN ITEMIZED ACCOUNTING FOR EACH PIPE, CATCH BASIN, MANHOLE, VAULT, ETC. THAT IS TO BE DEMOLISHED, REMOVED AND DISPOSED OF.

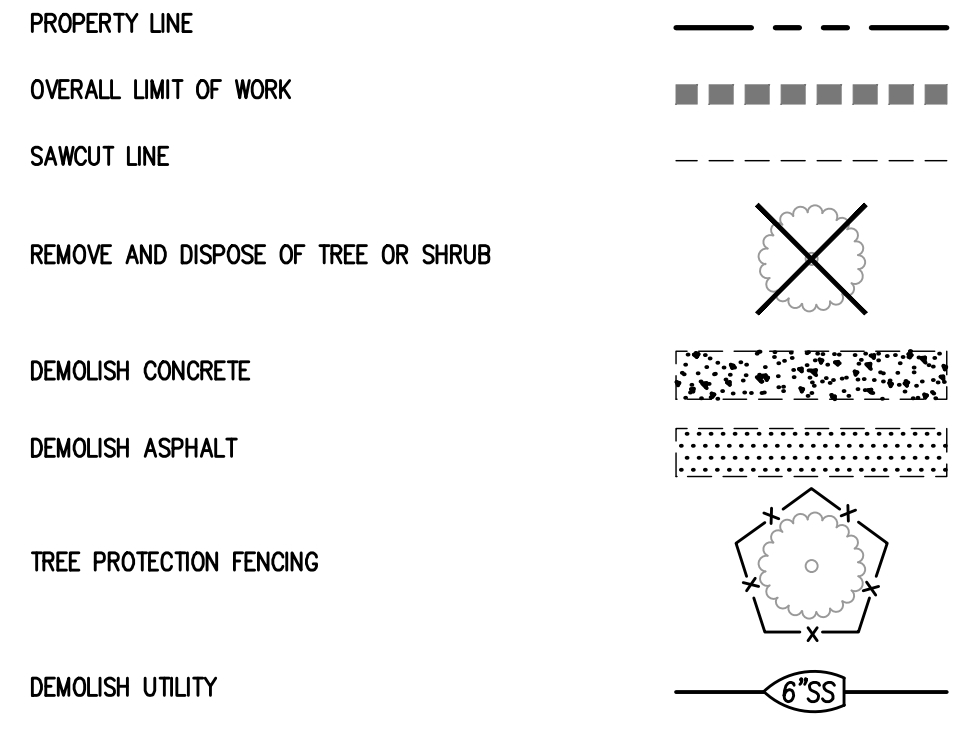
DEMOLITION KEY NOTES

- SAWCUT AND REMOVE EXISTING CONCRETE PAVEMENT AND AGGREGATE BASE
- REMOVE EXISTING TREE
- DEMOLISH EXISTING WATER LINE
- DEMOLISH EXISTING SEWER LINE
- DEMOLISH EXISTING ROCK WALL AND SWALE
- DEMOLISH EXISTING PEBBLE LANDSCAPING
- DEMOLISH EXISTING TREE STUMP
- DEMOLISH EXISTING STORM DRAIN LINE

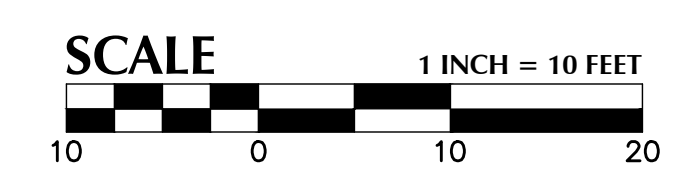
PROTECTION KEY NOTES

- PROTECT IN PLACE EXISTING CONCRETE PAVEMENT
- PROTECT IN PLACE EXISTING TREE
- PROTECT IN PLACE EXISTING WATER LINE
- PROTECT IN PLACE EXISTING SEWER LINE
- PROTECT IN PLACE EXISTING ROCK WALL AND SWALE
- PROTECT IN PLACE EXISTING PEBBLE LANDSCAPING
- PROTECT IN PLACE EXISTING STORM DRAIN LINE

DEMOLITION LEGEND



NOTE: LIMITS OF DEMOLITION ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY LIMITS PRIOR TO BEGINNING OF CONSTRUCTION



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DEMOLITION PLAN

NO.	Date	REVISIONS	
		Description	Approved

DATE 09/01/2021

Designed MP

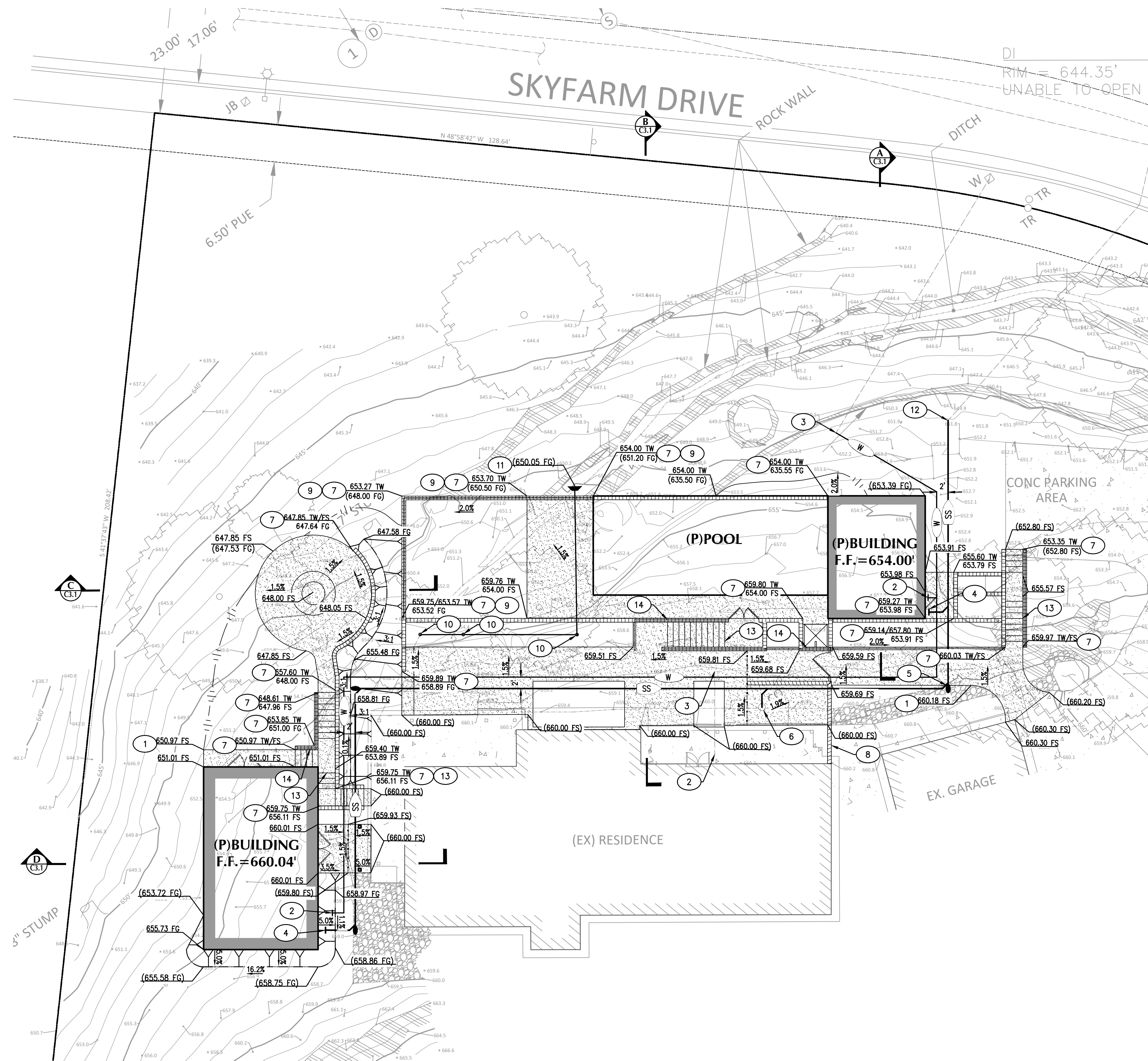
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Checked RC

JOB NO. #2100-111

Drawing No.

C2.0



GRADING & UTILITY KEY NOTES

- 1 PROPOSED CONCRETE SIDEWALK
- 2 DOMESTIC WATER SERVICE POINT OF CONNECTION
- 3 CONNECT WATER SERVICE TO EXISTING WATER LINE
- 4 PROPOSED SANITARY SEWER POINT OF CONNECTION
- 5 PROPOSED SANITARY CLEANOUT
- 6 CONNECT SEWER LINE TO EXISTING CLEANOUT
- 7 PROPOSED RETAINING WALL. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 8 PROPOSED SCREEN WALL. SEE ARCHITECTURAL PLANS FOR DETAILS
- 9 GUARD RAIL. SEE ARCHITECTURAL PLANS FOR DETAILS
- 10 PROPOSED AREA DRAIN
- 11 PROPOSED STORM DRAIN OUTLET
- 12 CONNECT SEWER SERVICE TO EXISTING SEWER LINE
- 13 PROPOSED STAIRS. SEE ARCHITECTURAL PLANS FOR DETAILS
- 14 PROPOSED HANDRAIL. SEE ARCHITECTURAL PLANS FOR DETAILS



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GRADING &
UTILITY PLAN**

NO.	Date	Description	Approved

DATE 09/01/2021

Designed MP

Drawn FZ

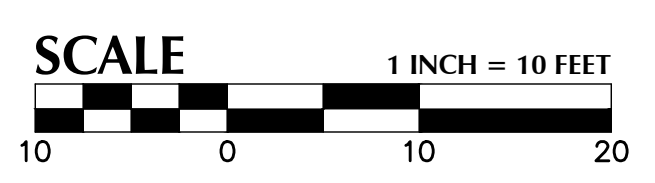
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Drawing No.

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SECTIONS

NO.	Date	Description	Approved	
			By	Date

DATE 09/01/2021

Designed MP

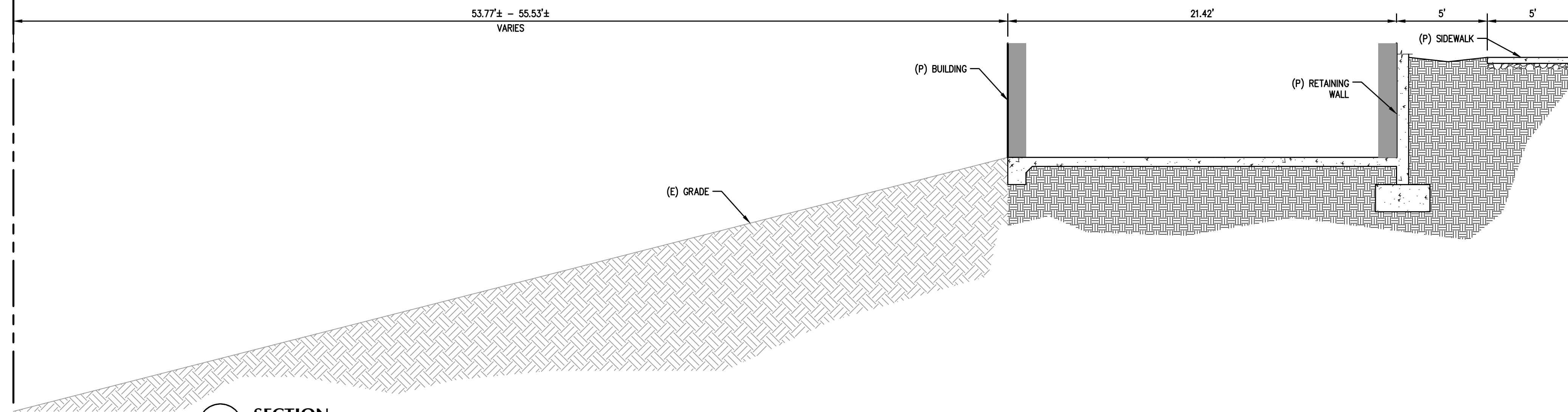
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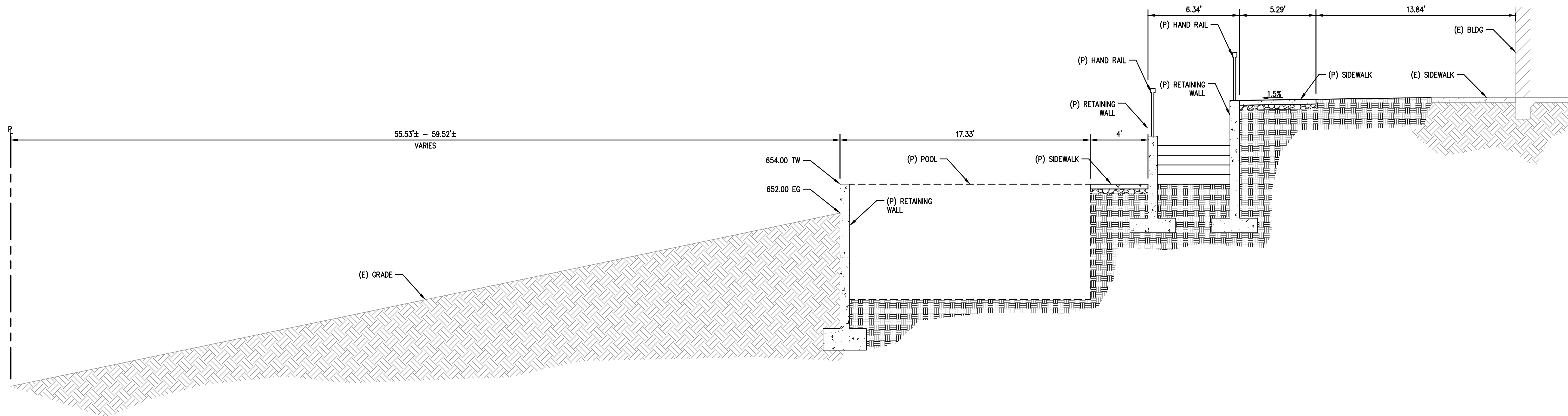
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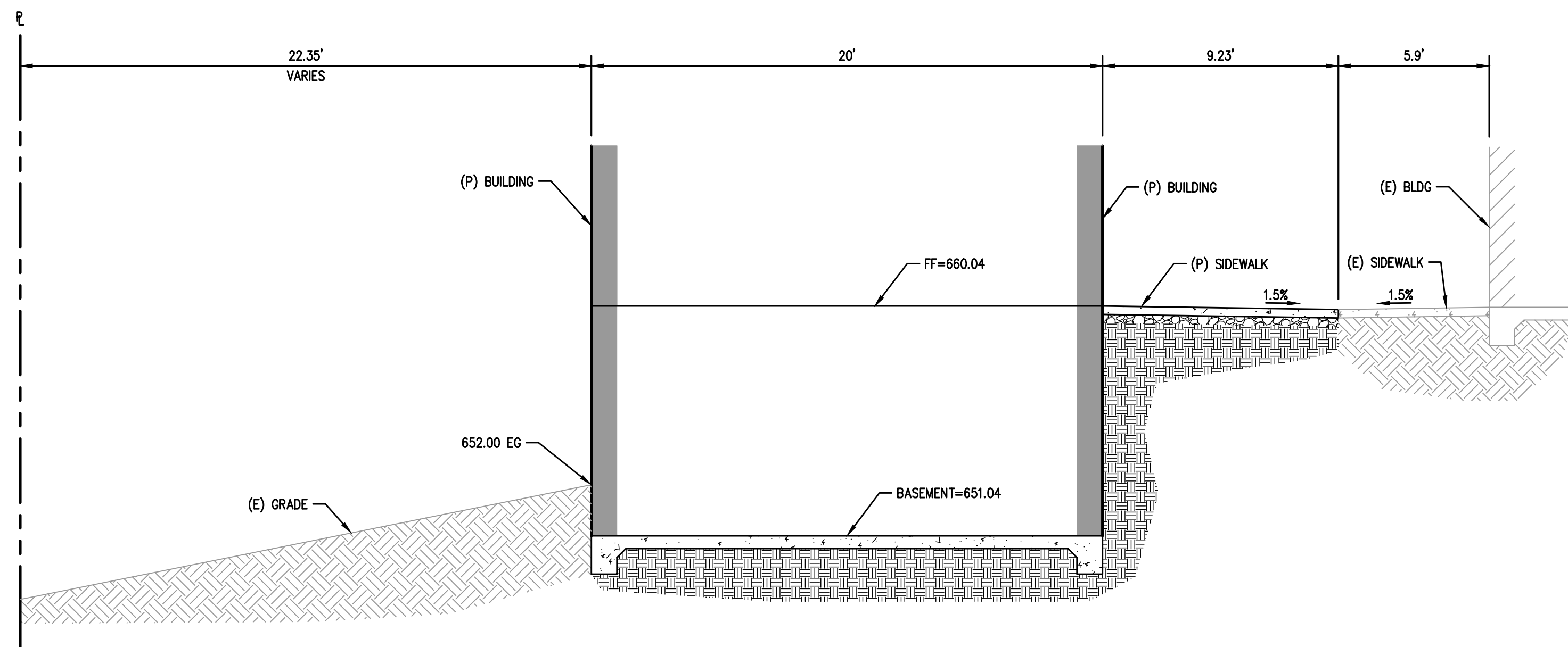
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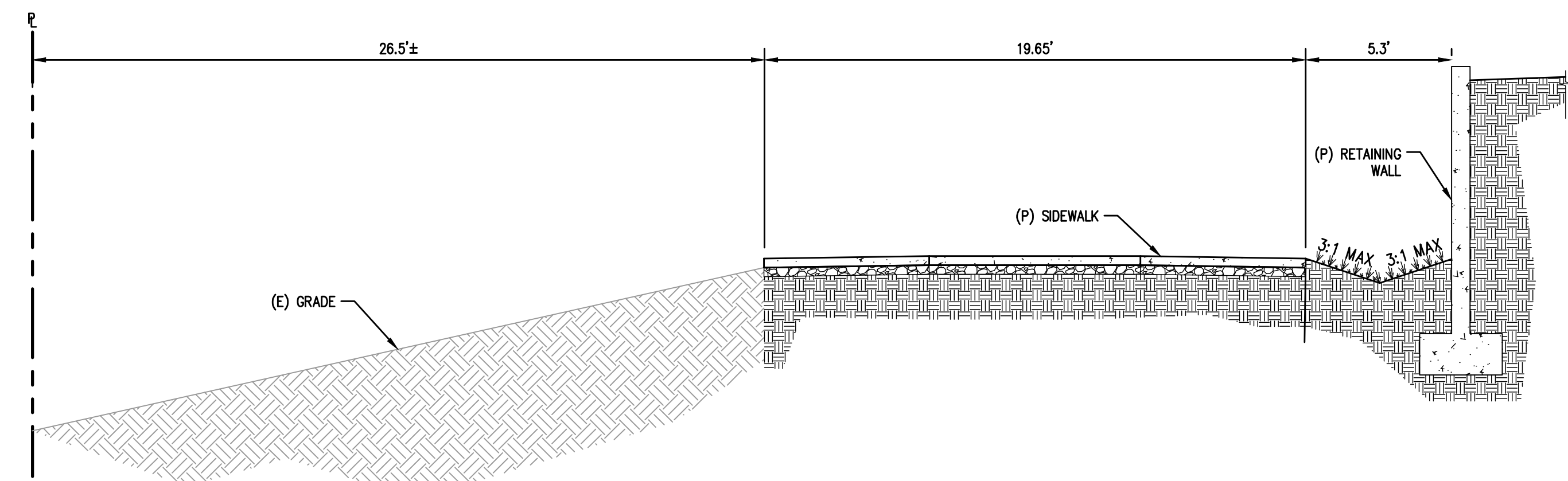
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B SECTION
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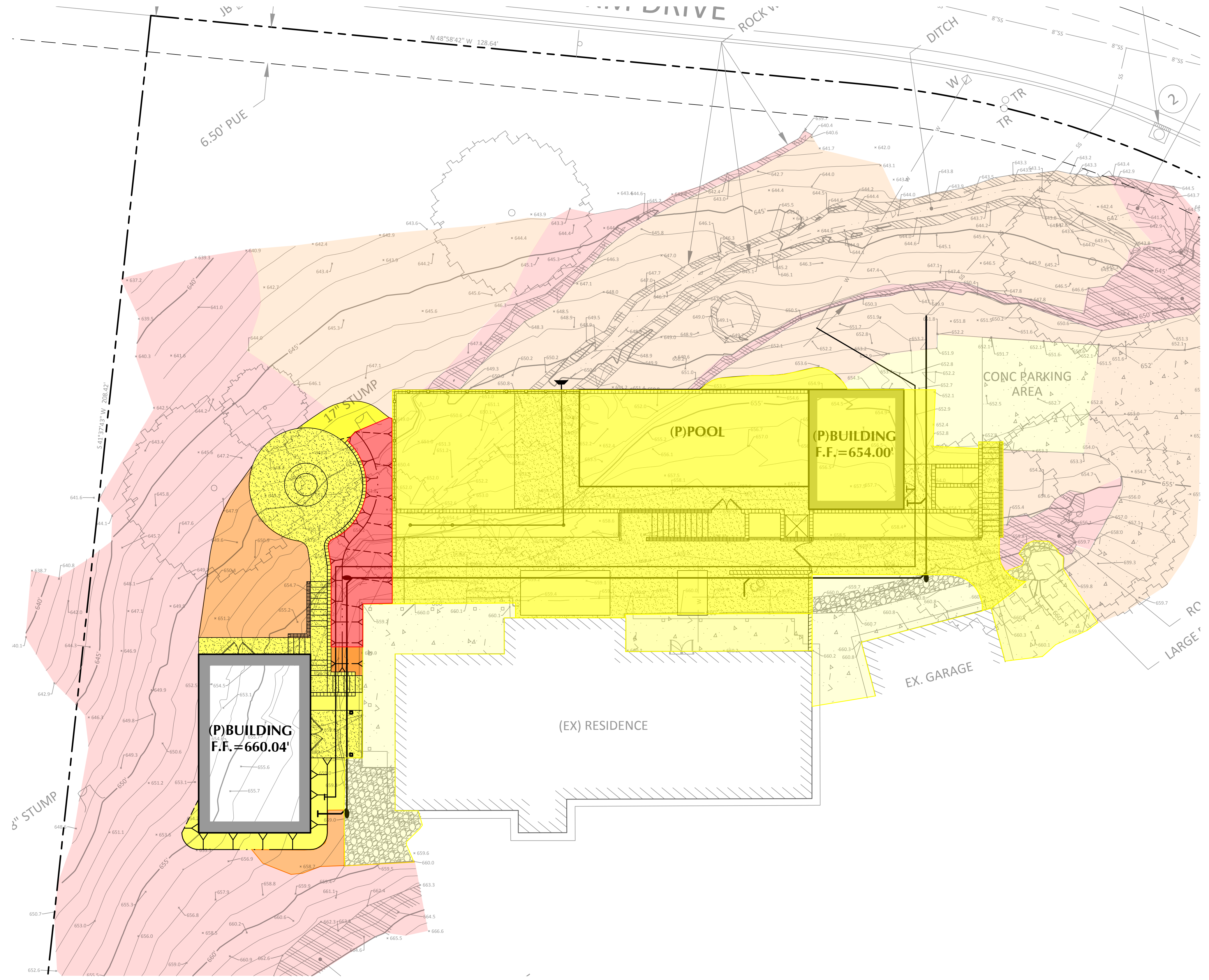


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C SECTION
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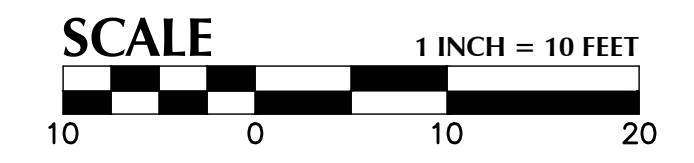
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SLOPE ANALYSIS LEGEND

EXISTING	PROPOSED	
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		SLOPES BETWEEN 10 AND 25%
		SLOPES ABOVE OR EQUAL TO 25%

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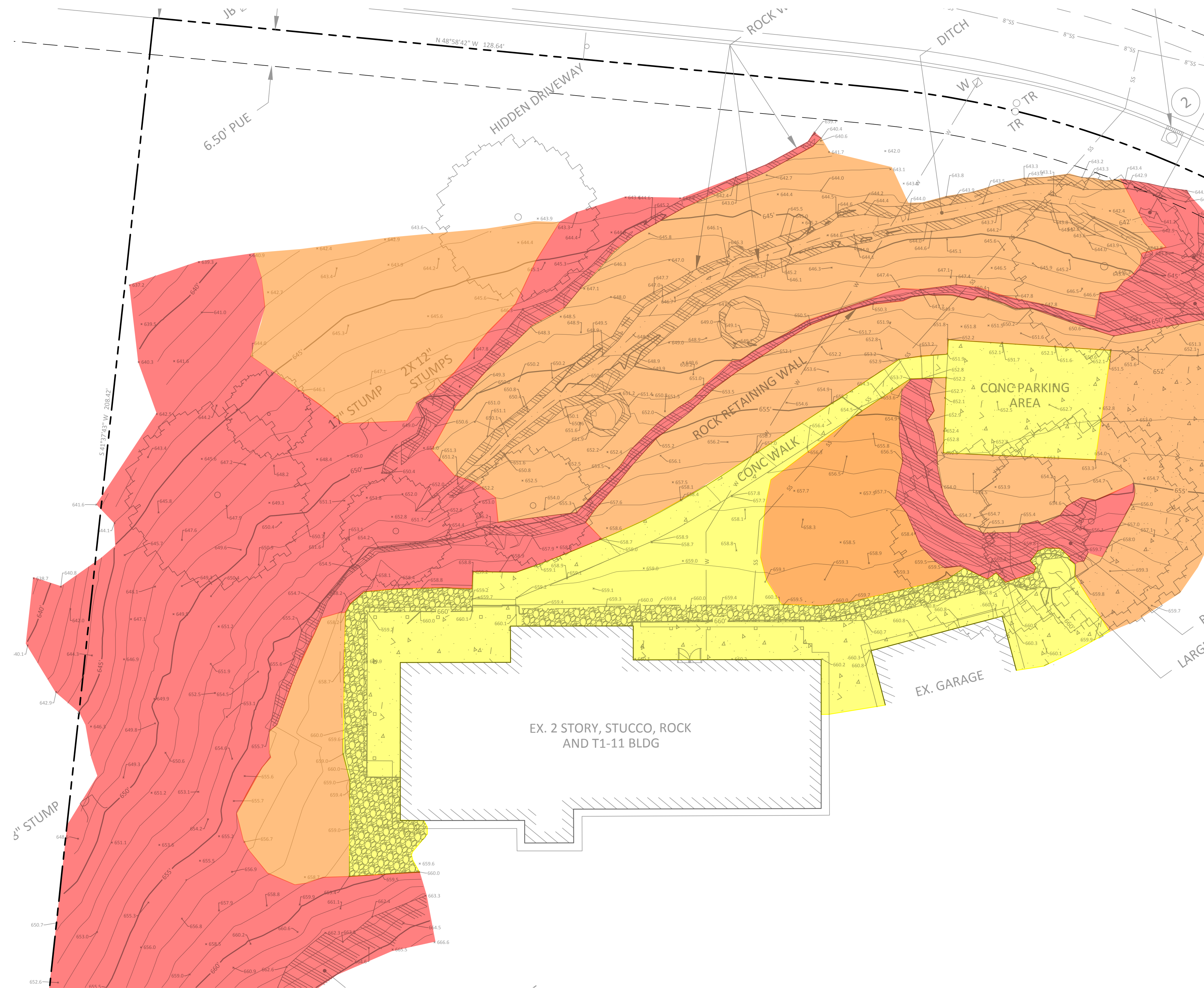

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SLOPE ANALYSIS
EXHIBIT
PROPOSED SITE

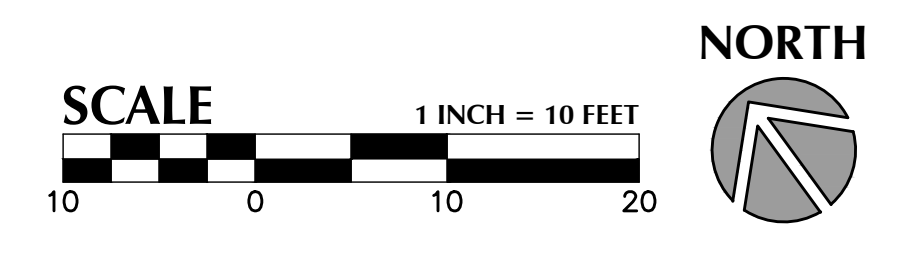
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Checked	RC
JOB NO.	2100-111
Drawing No.	



SLOPE ANALYSIS LEGEND

- SLOPES LESS THAN OR EQUAL TO 10%
- SLOPES BETWEEN 10 AND 25%
- SLOPES ABOVE OR EQUAL TO 25%

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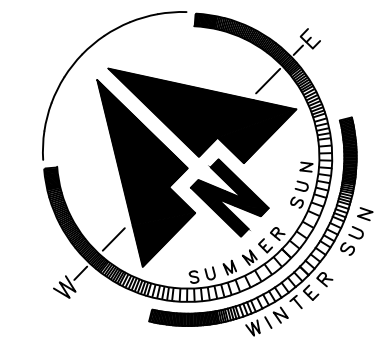
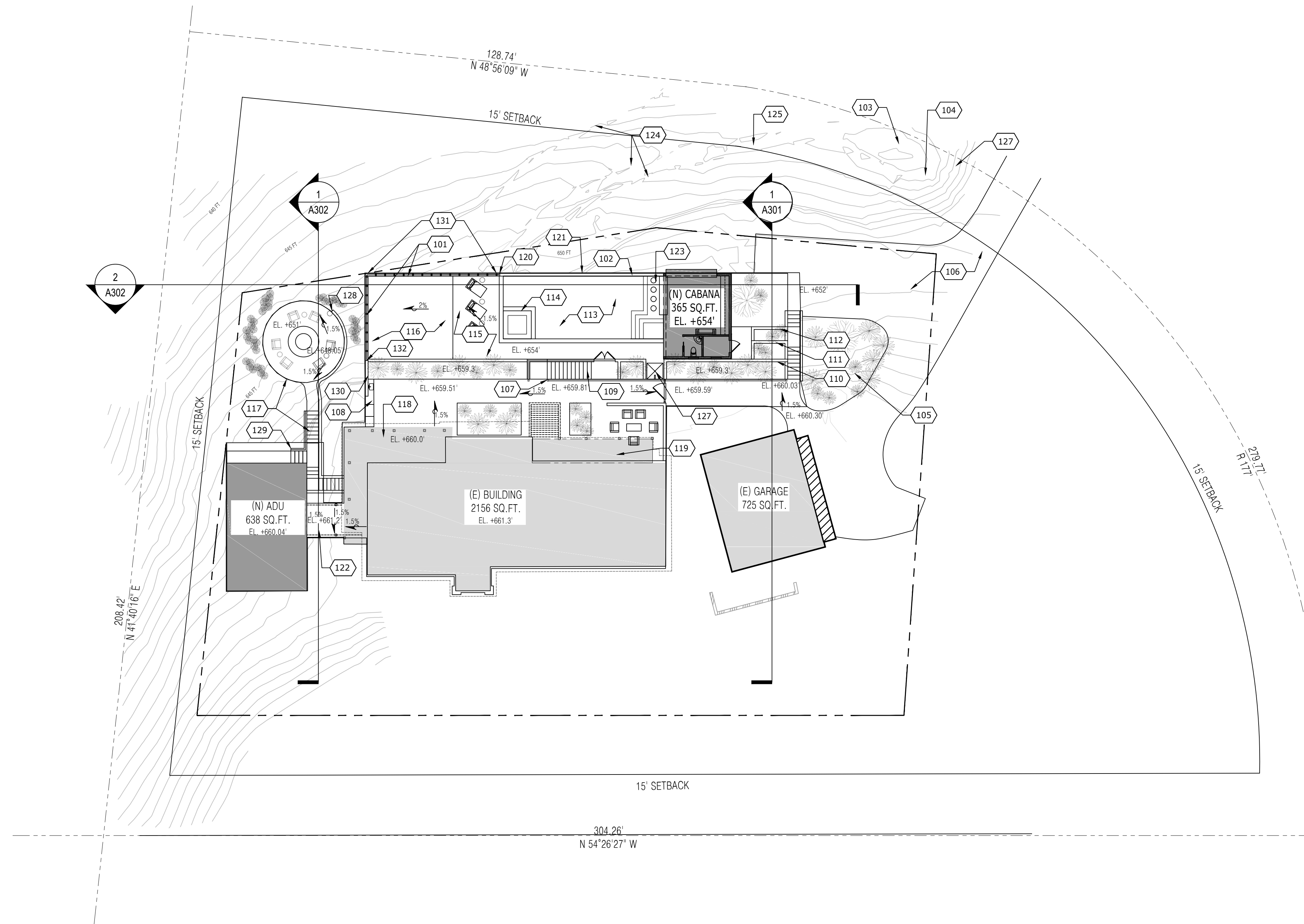
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SLOPE ANALYSIS
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EXISTING SITE

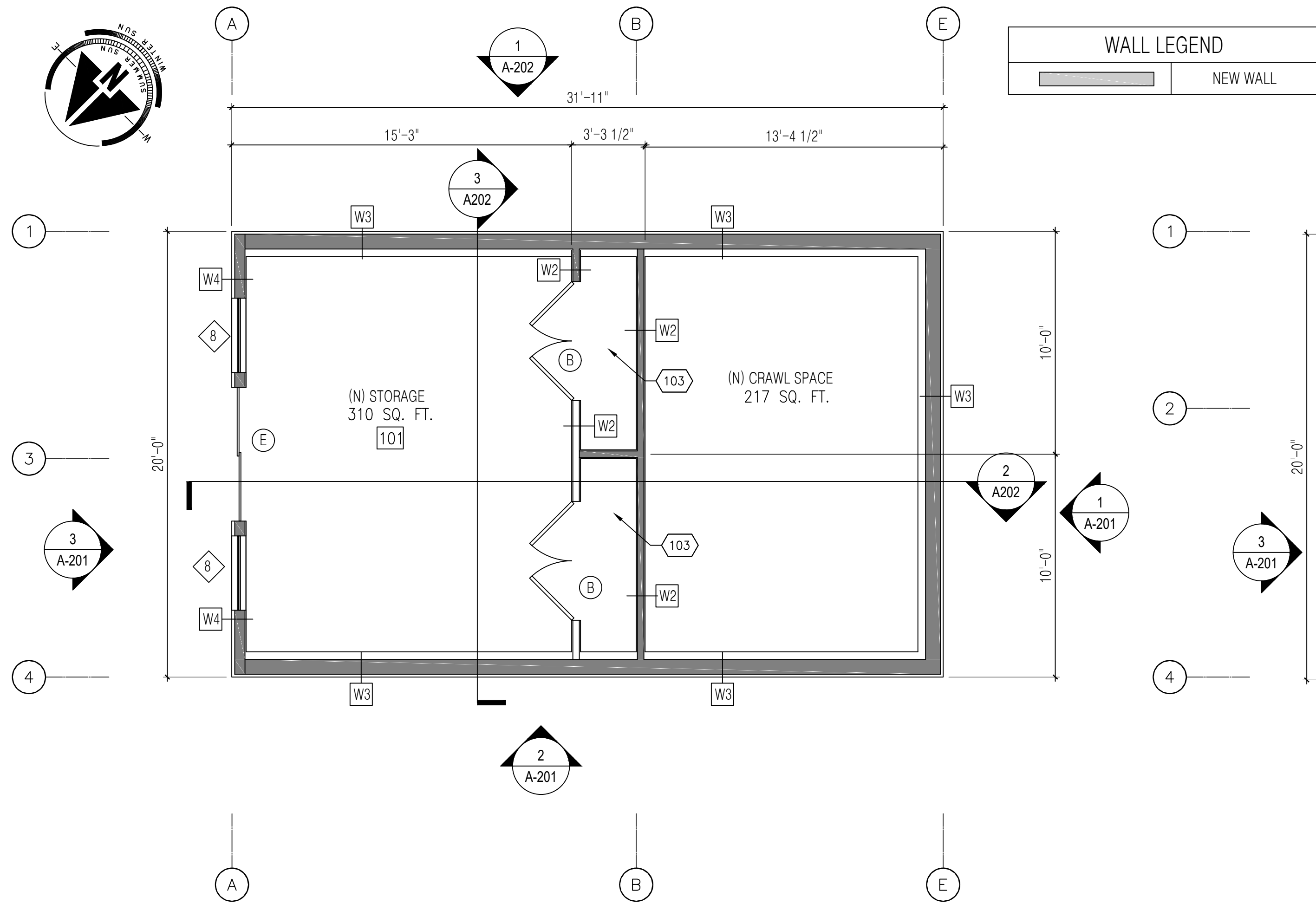
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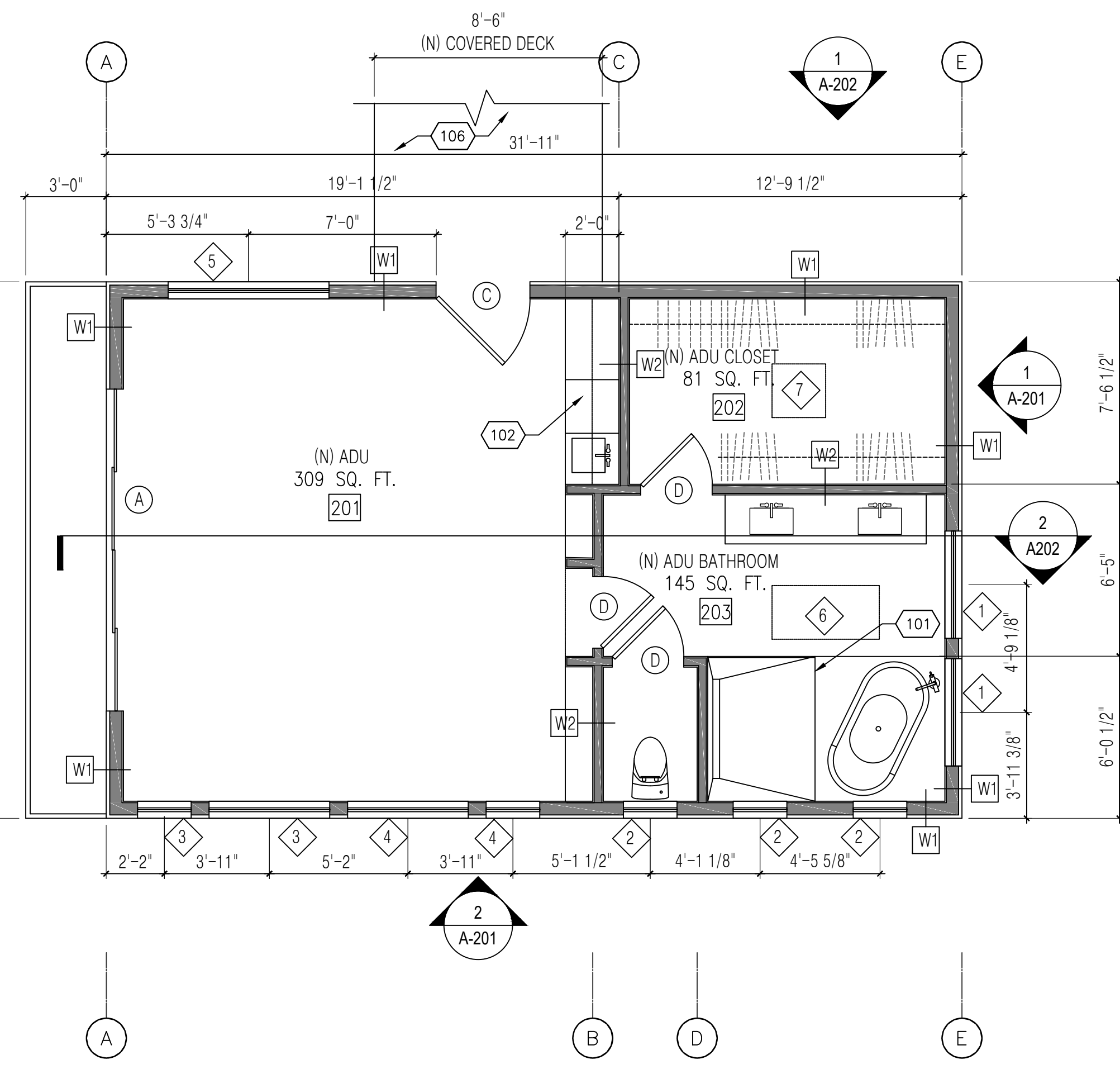
SHEET KEYNOTES	
NO.	NOTE
101	(N) 46" HIGH MINIMUM GUARD RAIL
102	(N) RETAINING WALL - T.W. 654'
103	(E) STORM INLET
104	(E) STORM OUTFAL
105	(E) ROCK LANDSCAPE
106	(E) DRIVEWAY
107	(N) RETAINING WALL T.W. 659.81', T. RAIL 663.31
108	(N) BBQ AREA
109	(N) STAIRS
110	(N) RETAINING WALL, T.W. 659.59'
111	(N) RETAINING WALL. T.W. 657.59'
112	(N) RETAINING WALL T.W. 655.6'
113	(N) 40' x 16' x 5.5' DEEP POOL -DESIGN & PERMIT BY OTHERS
114	(N) POOL SPA
115	(N) POOL DECK- EL. 654'
116	(N) GRASS AREA
117	(N) FIREPIT AREA + STAIRS
118	(E) COVERED DECK
119	(E) COVERED ENTRY PORCH
120	(N) RETAINING WALL EXPANSION GAP
121	(N) RETAINING WALL SURROUNDING POOL BY OTHERS - T.W. 654'
122	(N) COVERED DECK
123	(N) POOL BAR - DESIGN & PERMIT BY OTHERS
124	(E) ROCK WALL
125	(E) DITCH
126	(E) STORM INLET
127	(N) OUTDOOR SHOWER - EL +654
128	(N) RETAINING WALL T.W. +647.85
129	(N) WALL +HANDRAIL T.W. 650.97-T. RAIL 654.47
130	(N) RETAINING WALL T.W. 159.89
131	(N) RETAINING WALL T.W. 654 - 653.27
132	(N) RETAINING WALL T.W. 653.52

LOT INFO	
LOT SIZE	49938 SQ. FT.
MAX LOT COVERAGE	--%
(E) BUILDING FOOTPRINT	2156 SQ. FT.
(E) COVERED ENTRY PORCH	181 SQ. FT.
(E) COVERED DECK	420 SQ. FT.
(E) GARAGE	725 SQ. FT.
(N) ADU	638 SQ.FT.
(N) CABANA	365 SQ. FT.
GRAND TOTAL	4485 SQ. FT.
LOT COVERAGE	8.9811 %

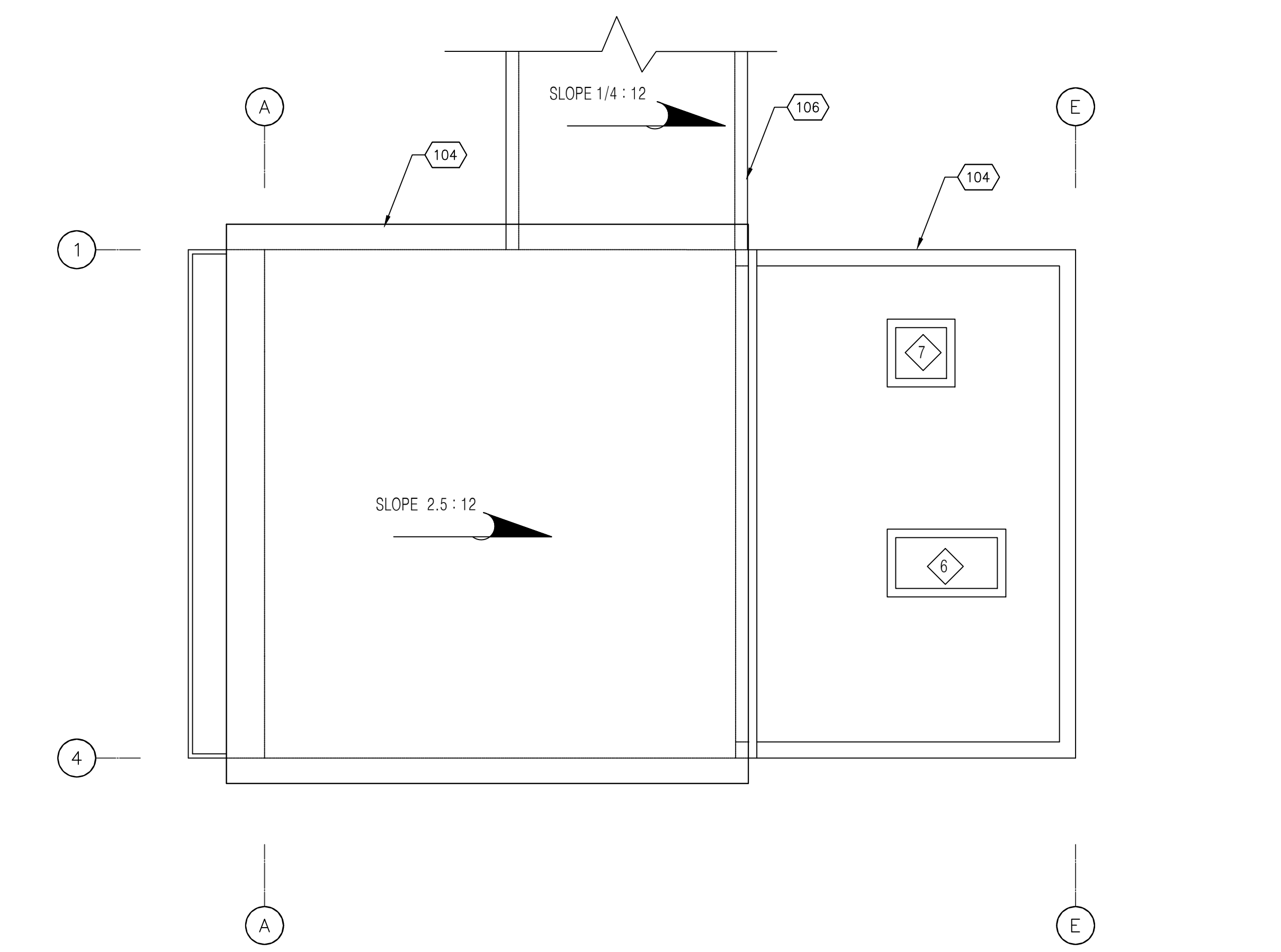
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SCALE:	AS NOTED
SHEET NO.	



1 LOWER FLOOR PLAN (ADU) SCALE: 1/4"=1'-0"



2 MAIN FLOOR PLAN (ADU) SCALE: 1/4"=1'-0"



3 ROOF PLAN (ADU) SCALE: 1/4"=1'-0"

WALL LEGEND	
[Pattern]	NEW WALL

WALL TYPES LEGEND	
W1	(N) EXTERIOR WALL 2 X 6 DF #2 @ 16" O.C. W/ 5/8" GYPSUM BOARD INTERIOR & HARDIE BOARD SIDING EXTERIOR, STRUCTURAL PLYWOOD (SSD) OVER TYVEK OR EQUIV. MOISTURE BARRIER, R-21 INSULATION. (NOTE: SEE SHEARWALL SCHEDULE FOR NAILING REQUIREMENTS)
W2	(N) INTERIOR WALL 2 X 4 DF #2 @ 16" O.C. W/ 5/8" GYPSUM BOARD BOTH SIDES
W3	(N) 8" EXTERIOR CONCRETE WALL
W4	(N) EXTERIOR WALL 2 X 6 DF #2 @ 16" O.C. W/ 5/8" GYPSUM BOARD INTERIOR & PLASTER EXTERIOR, STRUCTURAL PLYWOOD (SSD) OVER TYVEK OR EQUIV. MOISTURE BARRIER.

DOOR SCHEDULE					
MARK	SIZE		TYPE	MATERIAL	NOTES
	WIDTH	HEIGHT			
A	12'-0"	6'-8"	4 DOOR SLIDER (3' W EACH)	GASS	NEW/EXTERIOR
B	5'-4"	6'-8"	DOUBLE SWING	VINYL	NEW/INTERIOR
C	3'-6"	6'-8"	SWING	VINYL	NEW/EXTERIOR
D	2'-8"	6'-8"	SWING	VINYL	NEW/INTERIOR
E	6'-0"	8'-0"	2 DOOR SLIDER	VINYL	NEW/EXTERIOR

WINDOW SCHEDULE					
MARK	SIZE		TYPE	MATERIAL	NOTES
	WIDTH	HEIGHT			
1	4'-0"	3'-0"	SLIDER	VINYL	NEW
2	2'-0"	3'-0"	HUNG	VINYL	NEW
3	2'-0"	7'-6"	CASEMENT	VINYL	NEW
4	4'-6"	3'-0"	SLIDER	VINYL	NEW
5	6'-0"	8'-0"	SLIDER	VINYL	NEW/ HDR 9'6" HIGH
6	2'-0"	4'-0"	SKYLIGHT	VINYL	NEW
7	2'-0"	2'-0"	SKYLIGHT	VINYL	NEW
8	3'-4"	5'-0"	CASEMENT	VINYL	NEW/ HDR 8' HIGH

SHEET KEYNOTES	
NO.	NOTE
101	TILE SURROUND 72" TALL AT ALL SHOWER ENCLOSURE
102	LINEN CABINET
103	STORAGE CLOSET
104	CLASS A COMPOSITION ROOF
105	LINE OF NEW PARAPET AT FLAT ROOF
106	(N) COVERED DECK

LIGHT/ VENT CALCULATIONS							
ROOM NUMBER	ROOM NAME	ROOM SQ. FT.	EXISTING WINDOWS & DOORS	LIGHT		VENT	
				REQUIRED 8%	PROVIDED	REQUIRED 4%	PROVIDED
101	(N) STORAGE	310 SQ. FT.	DOOR A	24.8 SQ. FT.	80 SQ/FT.	12.4 SQ. FT.	40 SQ.FT.
201	(N) ADU	309 SQ. FT.	DOOR A	24.7 SQ. FT.	80 SQ/FT.	12.4 SQ. FT.	40 SQ.FT.

- SAFETY NOTES**
- PROVIDE ANTI-SCALD VALVES AT NEW TUB/SHOWER.
 - NOTE: SHOWER DOORS SHALL BE TEMPERED AND OPEN OUTWARD.
 - NOTE: ALL WINDOWS WITHIN 60" OF A BATH OR SHOWER DRAIN SHALL BE TAMPERED OR APPROVED SAFETY GLAZING.
 - NOTE: ALL WINDOWS WITHIN 24" RADIUS FROM THE EDGE OF A CLOSED DOOR SHALL BE TEMPERED OR APPROVED SAFETY GLAZING.
 - BEDROOM EGRESS WINDOWS SHALL BE INSTALLED TO A MAXIMUM OF 44" FROM FINISHED FLOOR TO OPENING.
 - BEDROOM EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. EXCEPTION: GRADE-FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQ. FT. IF TOP OF LOWER WINDOW SILL PLATE IS <44" ABOVE FINISH GRADE
 - BEDROOM EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING HEIGHT OF 24 INCHES AND A NET CLEAR OPENING WIDTH OF 20 INCHES.
 - BEDROOM EGRESS WINDOWS SHALL BE MAINTAINED FREE OF ANY OBSTRUCTIONS AND SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS, OR SPECIAL KNOWLEDGE.

- GREEN BUILDING NOTES**
- 4.3 WATER EFFICIENCY AND CONSERVATION
SECTION 4.403 INDOOR WATER USE
- 4.303.1 PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) INSTALLED IN RESIDENTIAL BUILDINGS SHALL COMPLY WITH THE PRESCRIPTIVE REQUIREMENTS OF SECTIONS 4.303.1 THROUGH 4.303.1.4.4.
- 4.303.1.1. WATER CLOSETS:
THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.
- NOTE: THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.
- 4.303.1.2. URINALS:
THE EFFECTIVE FLUSH VOLUME OF URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH.
- 4.303.1.3. SHOWERHEADS:
4.303.1.3.1 SINGLE SHOWERHEAD: SINGLE SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 P.S.I. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATER SENCE SPECIFICATION FOR SHOWERHEADS.
- 4.303.1.3.2 MULTIPLE SHOWERHEADS SERVING ONE SHOWER: WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1/8 GALLONS PER MINUTE AT 80 P.S.I., OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER TO BE IN OPERATION AT A TIME.
- NOTE: A HANDED-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.
- 4.303.1.4 FAUCETS:
4.303.1.4.1 RESIDENTIAL LAVATORY FAUCETS. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 P.S.I.. THE MINIMUM FLOW RATE OF RESIDENTIAL FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTES AT 20 P.S.I..
- 4.303.1.4.2 LAVATORY FAUCETS IN COMMON AND PUBLIC AREAS. THE MAXIMUM FLOW RATE OF LAVATORY FAUCETS INSTALLED IN COMMON AND PUBLIC USE AREAS (OUTSIDE OF DWELLING OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GALLONS PER MINUTE AT 60 P.S.I..
- 4.303.1.4.3 METERING FAUCETS. METERING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.25 GALLON PER CYCLE.
- 4.303.1.4.4 KITCHEN FAUCETS. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLON PER MINUTE AT 60 P.S.I.. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 P.S.I., AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 P.S.I..
- NOTE: WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.
- 4.303.2 PLUMBING FIXTURES AND FITTINGS REQUIRE IN SECTION 4.303.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1401.
- AUTOMATIC IRRIGATION SYSTEMS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-OR SOIL MOISTURE BASED.
- ANY EXISTING 'NONCOMPLIANT' FIXTURES (TOILETS THAT USE MORE THAN 1.6 GALLONS OF WATER PER FLUSH, URINALS THAT USE MORE THAN ONE GALLON OF WATER PER FLUSH, SHOWERHEADS THAT HAVE A FLOW CAPACITY OF MORE THAN 2.5 GALLONS OF WATER PER MINUTE, AND INTERIOR FAUCETS THAT EMIT MORE THAN 2.2 GALLONS OF WATER PER MINUTE) SHALL BE REPLACED.



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CHAN/
STRAUB
RESIDENCE

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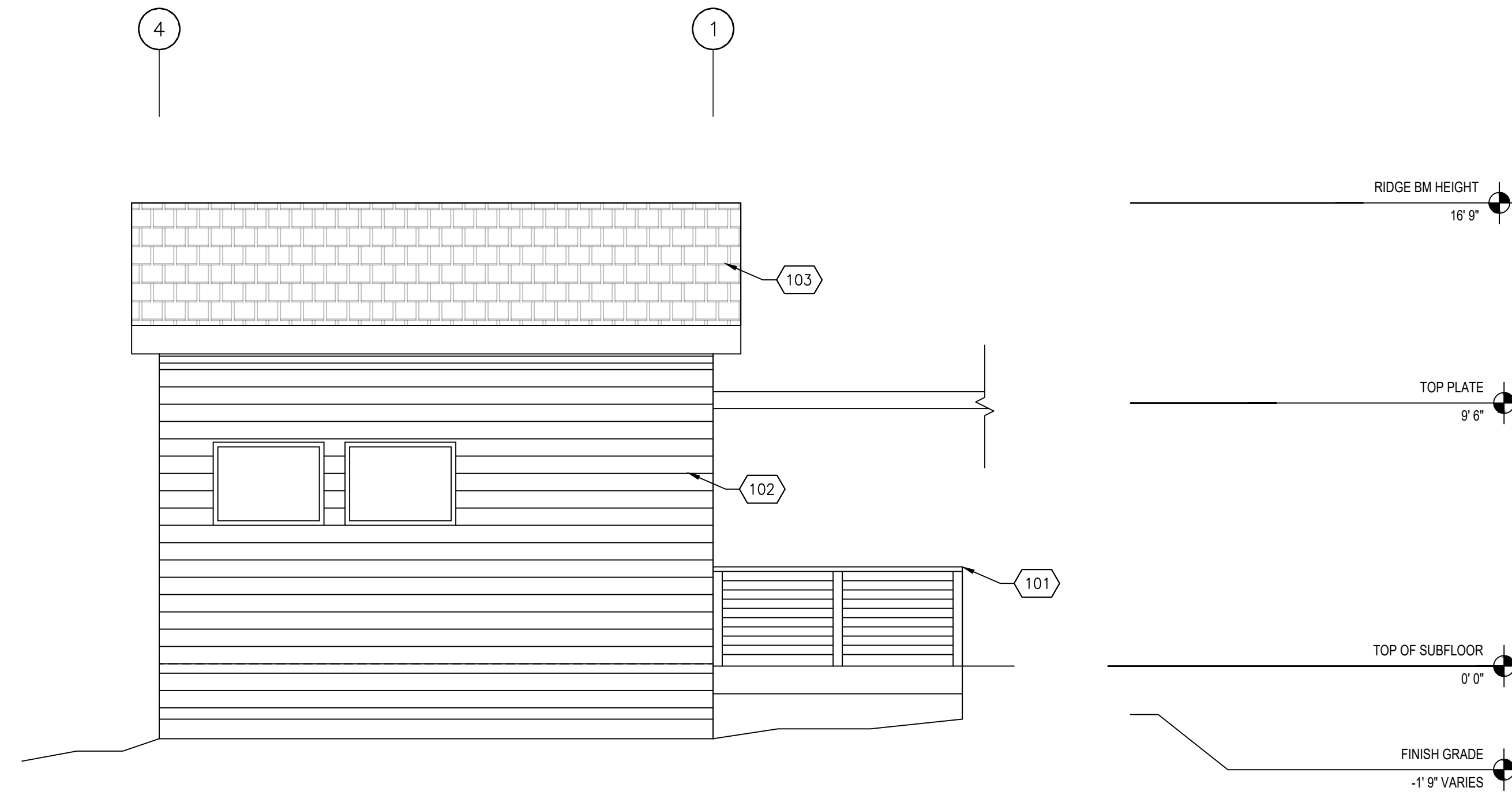
REVISIONS

DESIGNER SIGNATURE
Seth Gilley

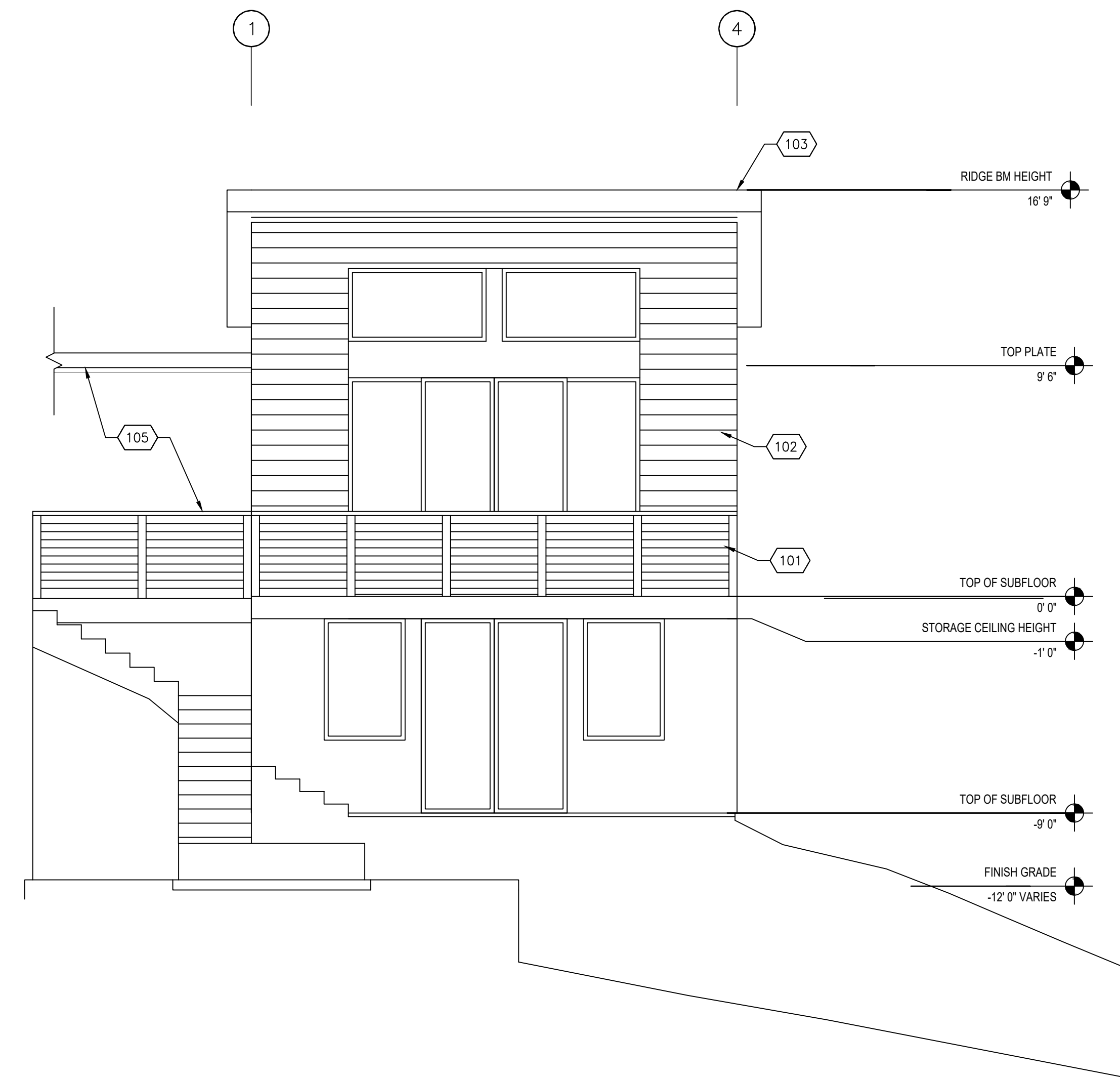
PROPOSED
ACCESSORY
DWELLING
UNIT FLOOR
PLAN &
ROOF PLAN

DATE:	05.27.21
JOB #	-
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SHEET NO.	

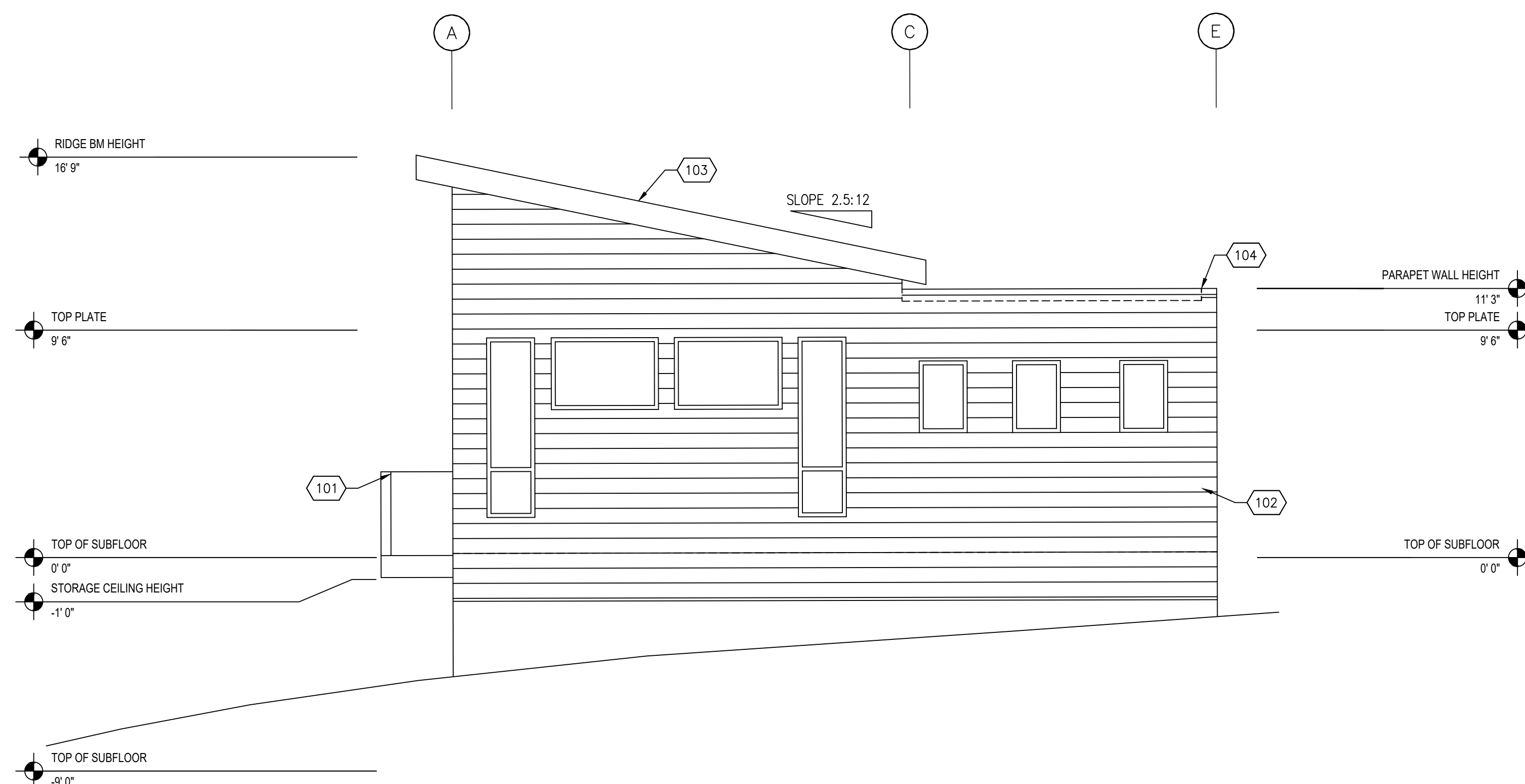
SHEET KEYNOTES	
NO.	NOTE
101	3/6" HIGH, METAL + CABLE GUARDRAIL AT BALCONY- SEE G-002
102	HARDIE BOARD SIDING WUI COMPLIANCE
103	CLASS A COMPOSITION ROOF
104	FLAT ROOF
105	(N) COVERED DECK



1 PROPOSED SOUTH ELEVATION (ADDITIONAL DWELLING UNIT) SCALE: 1/4"=1'-0"

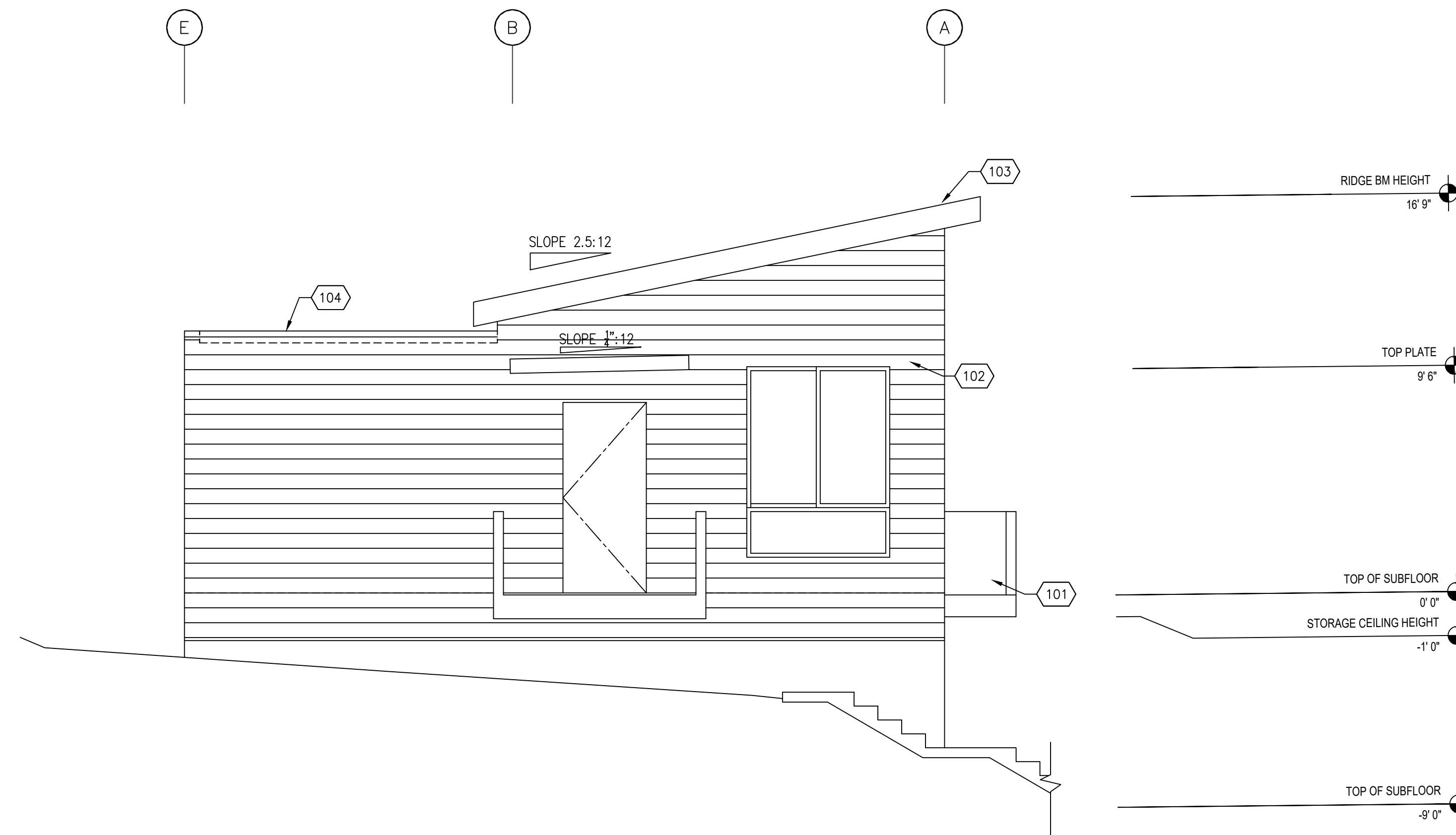


3 PROPOSED SOUTH ELEVATION (ADDITIONAL DWELLING UNIT) SCALE: 1/4"=1'-0"



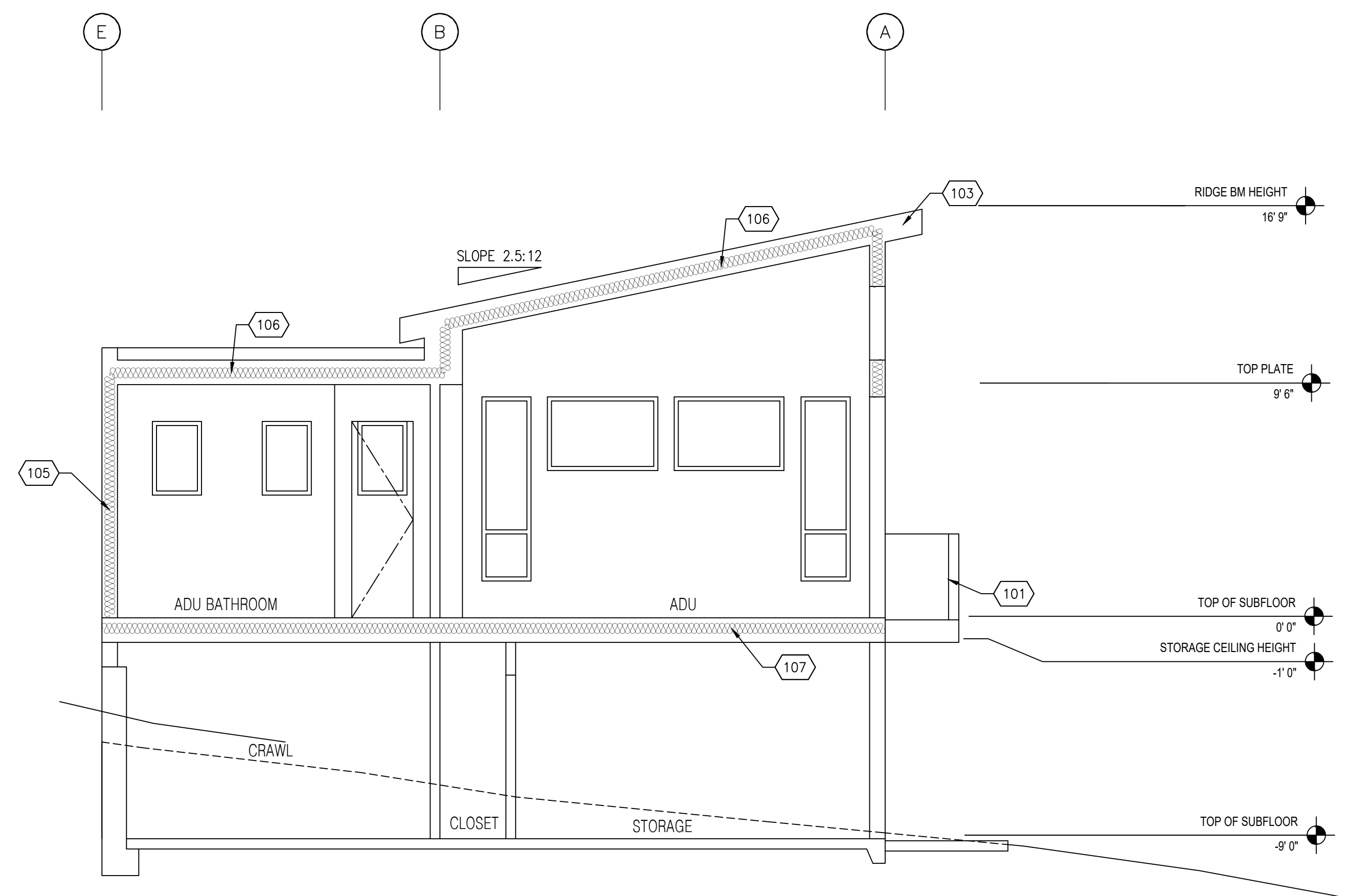
2 PROPOSED EAST ELEVATION (ADDITIONAL DWELLING UNIT) SCALE: 1/4"=1'-0"

SHEET KEYNOTES	
NO.	NOTE
101	3'6" HIGH, METAL + CABLE GUARDRAIL AT BALCONY SEE G-002
102	HARDIE BOARD SIDING WUI COMPLIANT
103	CLASS A COMPOSITION ROOF
104	FLAT ROOF
105	R-21 WALL INSULATION
106	R-38 ROOF INSULATION
107	R-19 FLOOR INSULATION
108	(N) ROOF



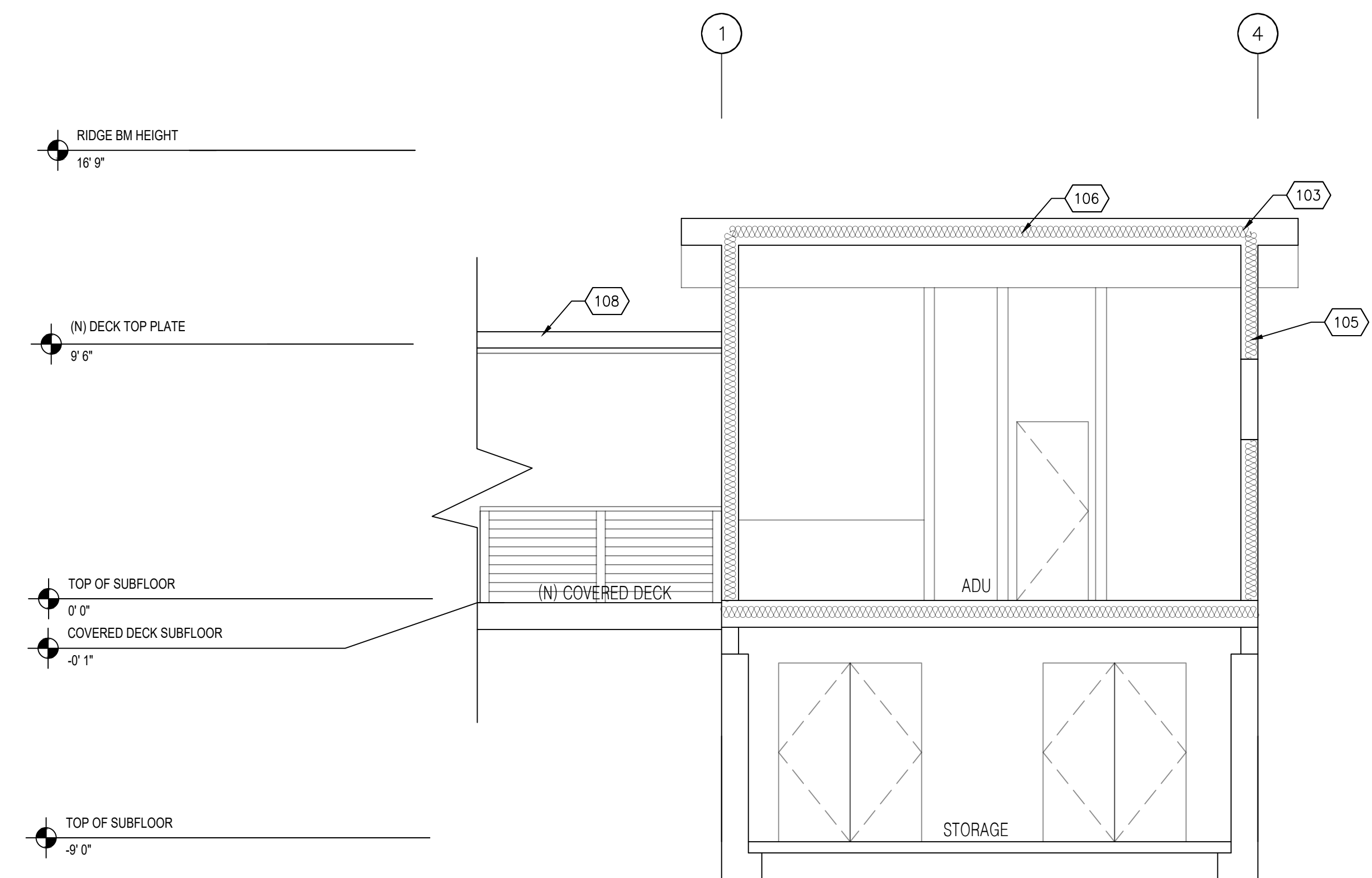
1 PROPOSED WEST ELEVATION (ADDITIONAL DWELLING UNIT)

SCALE: 1/4"=1'-0"



2 PROPOSED SECTION (ADDITIONAL DWELLING UNIT)

SCALE: 1/4"=1'-0"

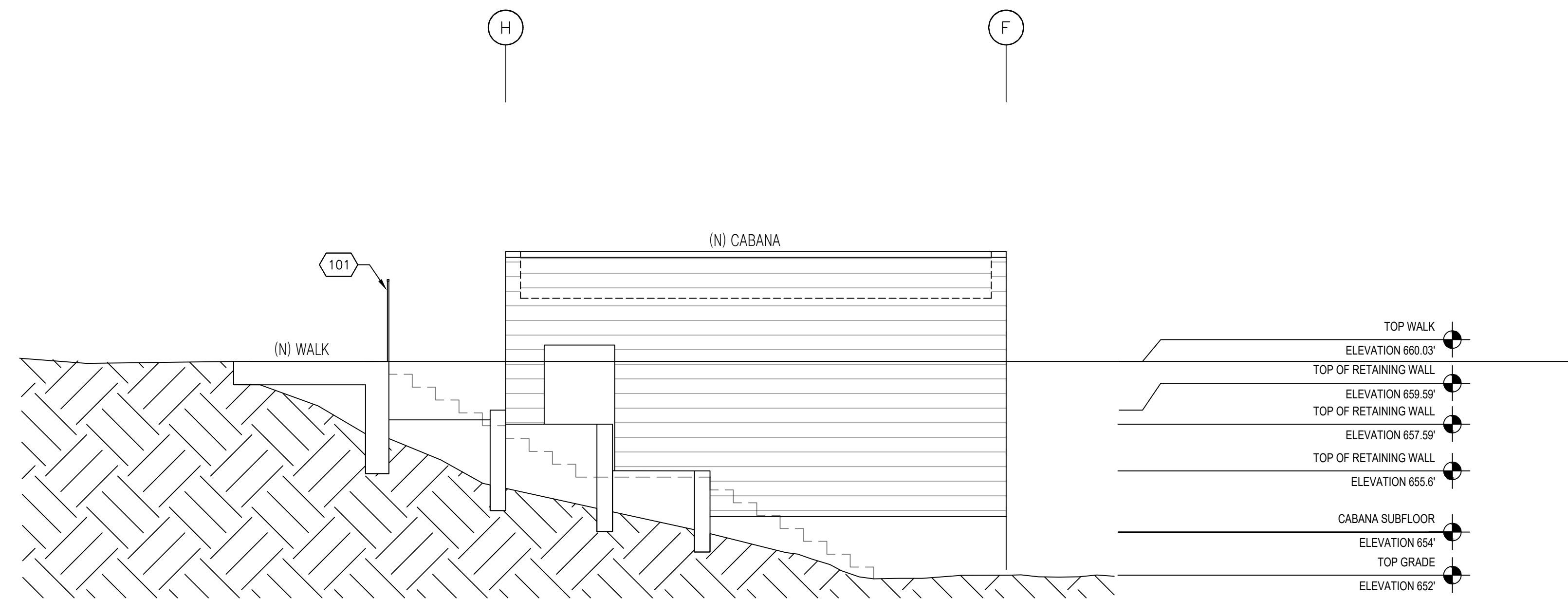


3 PROPOSED SECTION (ADDITIONAL DWELLING UNIT & NEW COVERED DECK)

SCALE: 1/4"=1'-0"



SHEET KEYNOTES	
NO.	NOTE
101	(N) 3.5' MIN. HIGH GUARDRAIL



1 PROPOSED LANDSCAPE RETAINING WALLS AT CABANA

SCALE: 1/4"=1'-0"

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SANTA ROSA, CA 95403

APN: 173-760-023

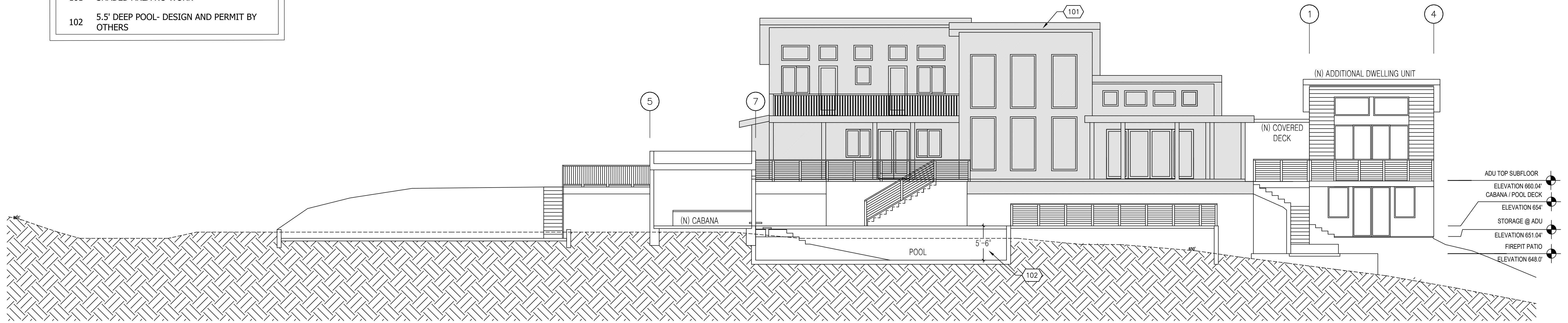
REVISIONS

DESIGNER SIGNATURE

SITE
SECTIONS/
ELEVATIONS

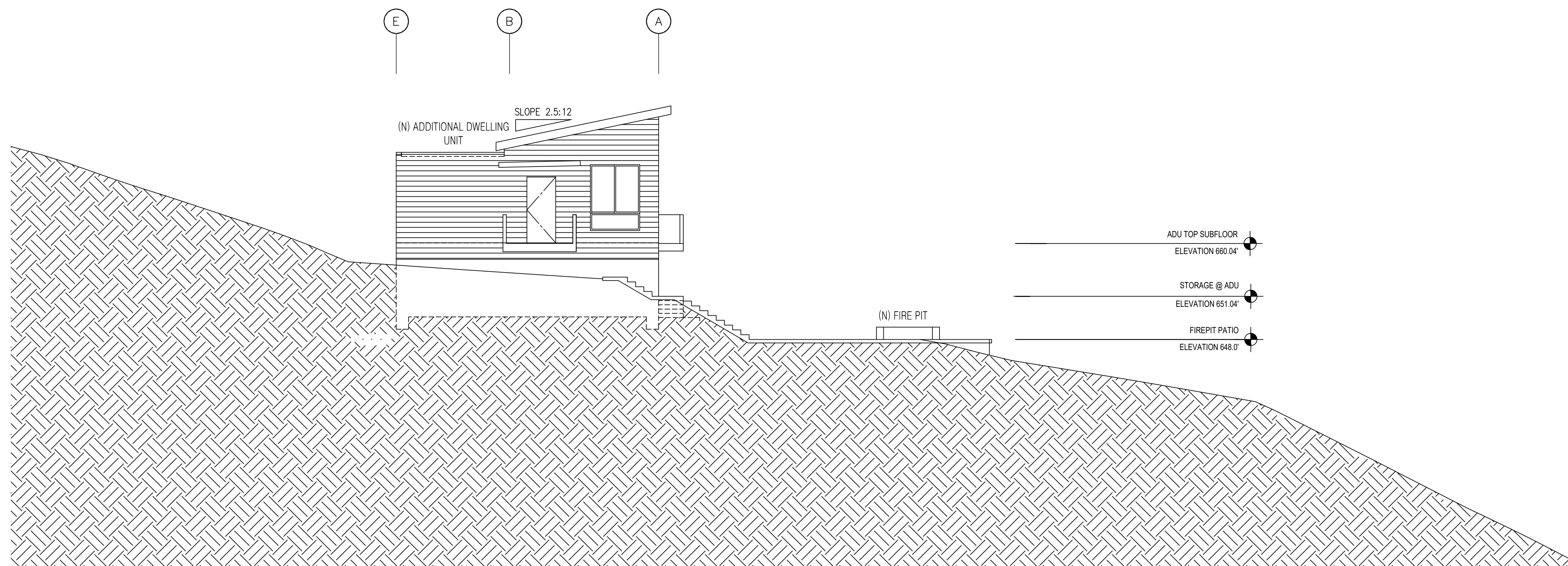
DATE: 05.27.21
JOB #
DRAWN BY: OTB
SCALE: AS NOTED
SHEET NO.

SHEET KEYNOTES	
NO.	NOTE
101	SHADED AREA NO WORK
102	5.5' DEEP POOL- DESIGN AND PERMIT BY OTHERS



1 PROPOSED SITE ELEVATION / ELEVATION

SCALE: 1/8"=1'-0"



2 PROPOSED SITE ELEVATION /SECTION

SCALE: 1/8"=1'-0"

CHAN/
STRAUB
RESIDENCE

3935 SKYFARM
SANTA ROSA, CA 95403

APN: 173-760-023

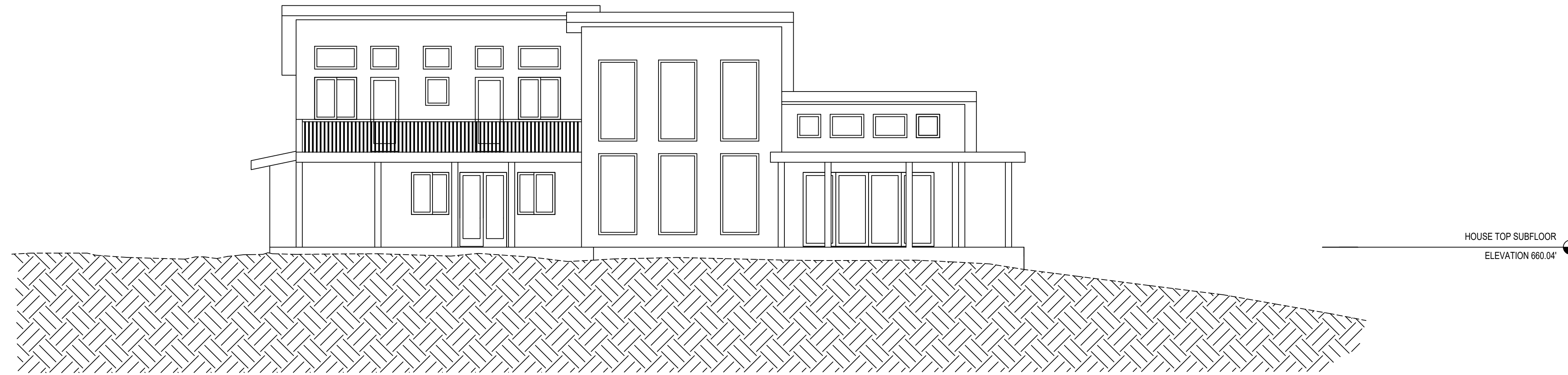
REVISIONS

DESIGNER SIGNATURE



EXISTING
ELEVATION

DATE: 05.27.21
JOB # —
DRAWN BY: OTB
SCALE: AS NOTED
SHEET NO.



1 EXISTING HOUSE NORTH ELEVATION

SCALE: 1/8"=1'-0"