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40	

BUILDING CODE SUMMARY

THIS PROJECT SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING STANDARDS CODE.

PARCEL A: CARITAS CENTER

TYPE IIB CONSTRUCTION, FIRE SPRINKLERS NFPA-13
EMERGENCY ESCAPE OPENINGS ARE REQUIRED AT RESIDENTIAL OCCUPANCIES.
MIXED OCCUPANCY INCLUDES:
A ASSEMBLY <50 (BOARD ROOM)
A-2 ASSEMBLY FOOD/DRINK (DINING ROOM)
A-3 ASSEMBLY >50 (CLASSROOM, HOMELESS SERVICE CENTER)
B BUSINESS (PROFESSIONAL/SERVICE OFFICES)
E CHILDREN'S PROGRAM ROOMS
R-1 TRANSIENT RESIDENTIAL OVER 30 (FAMILY SUPPORT CENTER) 16,115 SF
R-2 CONGREGATE RESIDENCE (TRANSITIONAL RESIDENTIAL PROGRAM) 2,099 SF
S STORAGE
U UTILITY

ANY REQUIRED OCCUPANCY SEPARATIONS ARE 1 HOUR PER CBC TABLE 508.4.
FIRE SEPARATION DISTANCE IS > 30' ON ALL SIDES.
EXTERIOR WINDOWS MAY BE NON-RATED PER CBC TABLE 705.8.
PARAPETS MAY BE NON-RATED.
ALLOWABLE BUILDING AREA IS SUFFICIENT TO OMIT FIRE WALLS.
ACCESSIBILITY IS PER CBC CH. 11B
TRANSIENT LODGING GUEST ROOM ACCESSIBILITY PER 11B-224, 11B-806
ALL BATHING/TOILET FACILITIES TO BE FULLY ACCESSIBLE.
MOBILITY AND HEARING/VISION ACCESSIBLE ROOMS PER CBC TABLES 11B-224.2 AND 4.

PARCELS C AND B: CARITAS HOMES PHASE I, AND CARITAS HOMES PHASE II:

TYPE VA CONSTRUCTION, FIRE SPRINKLERS NFPA-13R
EMERGENCY ESCAPE OPENINGS ARE REQUIRED AT RESIDENTIAL OCCUPANCIES.
GROUND FLOOR CONCRETE GARAGE PODIUM CONSTRUCTION IS ALSO TYPE VA.
MIXED OCCUPANCY INCLUDES:
A-3 ASSEMBLY >50 (COMMUNITY ROOM)
B BUSINESS (MANAGEMENT/SERVICE OFFICES)
R-2 RESIDENTIAL APARTMENT BUILDING
S STORAGE (GARAGE, BICYCLES)
U UTILITY

ANY REQUIRED OCCUPANCY SEPARATIONS ARE 1 HOUR PER CBC TABLE 508.4.
FIRE SEPARATION DISTANCE IS > 30' ON TWO SIDES.
EXTERIOR WINDOWS MAY BE NON-RATED PER CBC TABLE 705.8.
PARAPETS MAY BE NON-RATED.
ALLOWABLE BUILDING AREA IS SUFFICIENT TO OMIT FIRE WALLS.
ACCESSIBILITY IS PER CBC CH. 11B AND 11A. ELEVATOR-SERVED BUILDING.
10% MOBILITY ACCESSIBLE AND 4% HEARING/VISION ACCESSIBLE UNITS PER CH 11B.
ALL OTHER UNITS TO BE FULLY ADAPTABLE PER CH. 11A.

THESE BUILDINGS WILL APPLY FOR GREENPOINT RATING AND EXPECT TO SCORE GOLD.

PROJECT DESCRIPTION

CATHOLIC CHARITIES OF THE DIOCESE OF SANTA ROSA AND BURBANK HOUSING DEVELOPMENT CORPORATION ARE PARTNERING ON THIS PROJECT TO BRING FORWARD A PROJECT THAT ADDRESSES THE URGENT HOUSING NEEDS OF OUR COMMUNITY. CARITAS VILLAGE HAS TWO COMPONENTS: CARITAS CENTER AND CARITAS HOMES. THE CARITAS CENTER WILL CENTRALIZE CATHOLIC CHARITIES' SERVICES AND PROGRAMS CURRENTLY ON THE SITE - THE FAMILY SUPPORT CENTER AND HOMELESS SERVICES CENTER - BY CONSOLIDATING THEM INTO A SINGLE COMPREHENSIVE HOMELESS SUPPORT SERVICES FACILITY. BURBANK HOUSING WILL DEVELOP AND MANAGE CARITAS HOMES AND WILL PROVIDE UP TO 128 UNITS OF PERMANENT, AFFORDABLE RENTAL HOUSING.

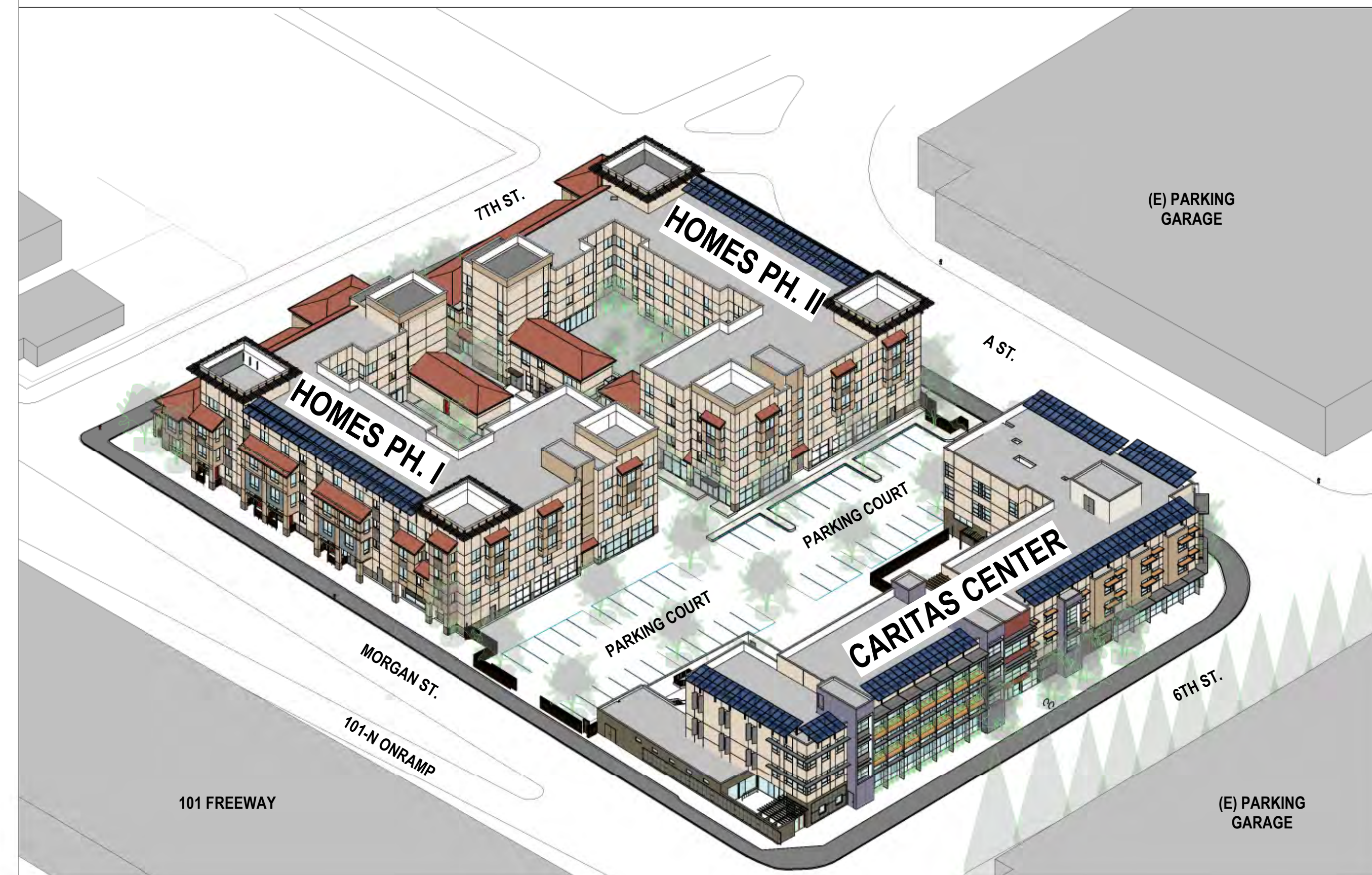
CARITAS VILLAGE INCLUDES THE FOLLOWING:

1. PARCEL A: CARITAS CENTER (MIXED USE SERVICE AND EMERGENCY SHELTER FACILITY INCLUDING TRANSITIONAL HOUSING)
2. PARCEL C: CARITAS HOMES PHASE I (64 UNITS AFFORDABLE HOUSING)
3. PARCEL B: CARITAS HOMES PHASE II (64 UNITS AFFORDABLE HOUSING)

THIS PROJECT REQUESTS THE FOLLOWING ENTITLEMENTS:

1. GENERAL PLAN AMENDMENT
2. SPECIFIC PLAN AMENDMENT
3. REZONING
4. PARCEL MAP
5. CONDITIONAL USE PERMIT (SHELTER USE)
6. HOUSING ALLOCATION PLAN HEIGHT CONCESSION
7. LANDMARK ALTERATION PERMIT(S)
8. PRELIMINARY AND FINAL DESIGN REVIEW
9. PARKING REDUCTION
10. SIGN PERMIT
11. TREE REMOVAL PERMIT
12. AFFORDABILITY AGREEMENT
13. REQUEST FOR RESERVE A.LLOTMENTS

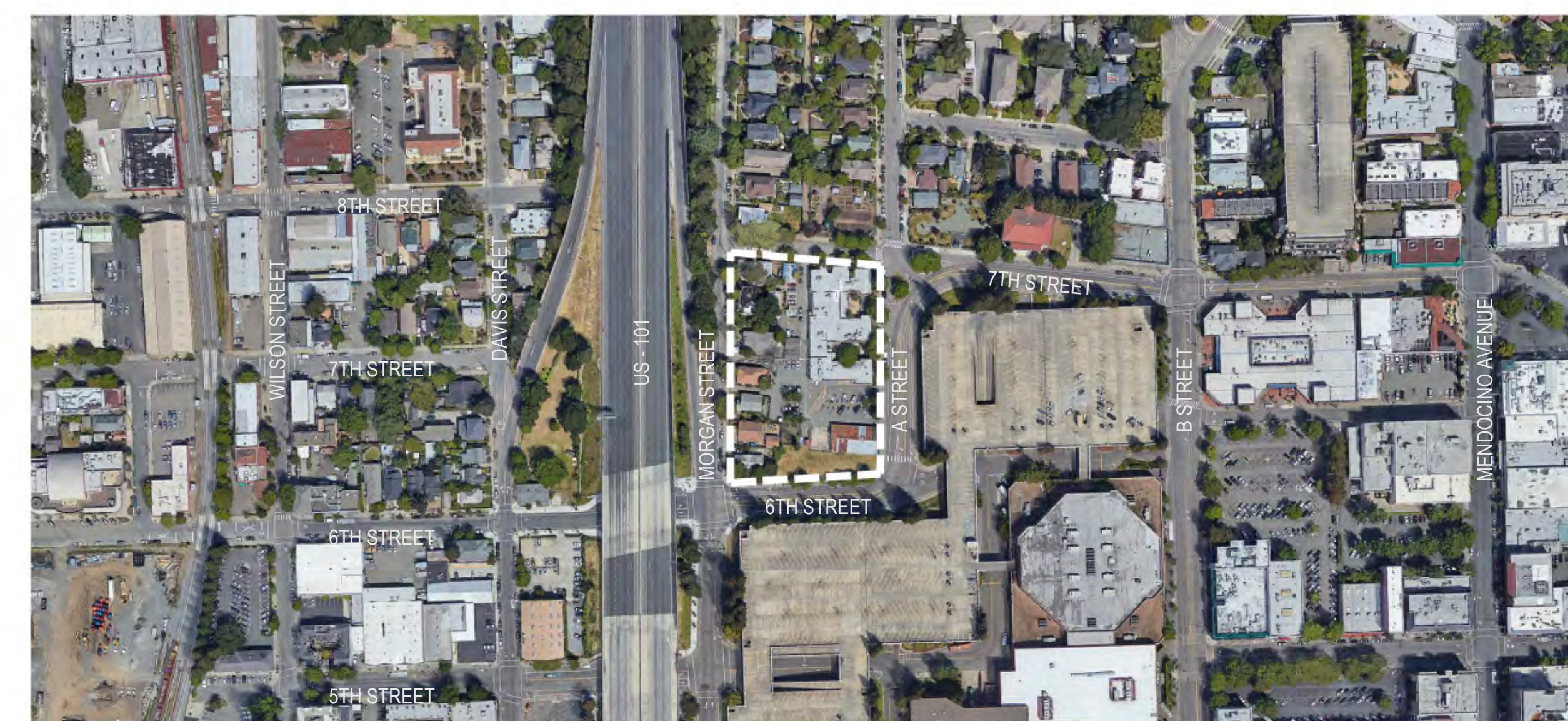
CARITAS VILLAGE
PLANNING DEPARTMENT RE-SUBMITTAL - JULY 22, 2019



PROJECT TEAM

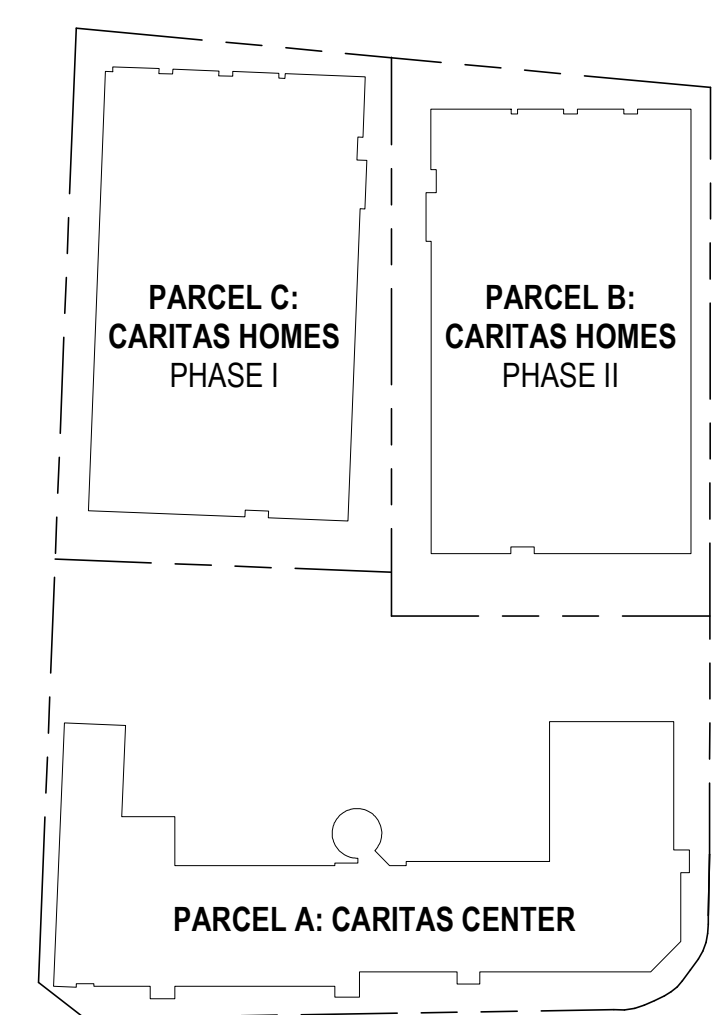
OWNERS:	CIVIL ENGINEER:	STRUCTURAL ENGINEER:
CATHOLIC CHARITIES 987 AIRWAY COURT SANTA ROSA, CA 95402	BKF ENGINEERS 200 4TH ST, STE 300 SANTA ROSA, CA 95401	DCI ENGINEERS ONE POST STREET, SUITE 1050 SAN FRANCISCO, CA 94104
CONTACT: BERT BANGSBERG EMAIL: BCGROUP@EARTHLINK.NET	CONTACT: GEOFF COLEMAN EMAIL: GCOLEMAN@BKF.COM	CONTACT: KYLE HOLMAN EMAIL: KHOLMAN@DCI-ENGINEERS.COM
BURBANK HOUSING 790 SONOMA AVENUE SANTA ROSA, CA 95404	LANDSCAPE ARCHITECT:	FOODSERVICE CONSULTANT:
CONTACT: MARK KRUG EMAIL: MKRUG@BURBANKHOUSING.ORG	QUADRIGA 1212 4TH STREET, STUDIO K SANTA ROSA, CA 95404	NG ASSOCIATES 11135 SAN PABLO AVENUE #1782 EL CERRITO, CA 94530
ARCHITECT:	CONTACT: CHRISTINE TALBOT EMAIL: CHRISTINE@QUADRIGA-INC.COM	CONTACT: NAHUM GOLDBERG EMAIL: NGOLDBERG@NG-ASSOCIATES.COM
PYATOK ARCHITECTS 1611 TELEGRAPH AVENUE, STE. 200 OAKLAND, CA 94612	MECHANICAL/ELECTRICAL/PLUMBING/LIGHTING:	
CONTACT: THERESA BALLARD EMAIL: TBALLARD@PYATOK.COM	INTEGRAL GROUP 427 13TH STREET OAKLAND, CA 94612	
	CONTACT: NATE EPPLEY EMAIL: NEPPLEY@INTEGRALGROUP.COM	

SITE AERIAL PLAN



PROPOSED DEVELOPMENT STATISTICS BY PARCEL

PARCEL B: CARITAS HOMES PHASE II	PARCEL C: CARITAS HOMES PHASE I	PARCEL A: CARITAS CENTER
MULTIFAMILY RESIDENTIAL 4-STORY BUILDING SITE AREA: 30.183 SF (0.69 ACRES) RESIDENTIAL UNITS PROVIDED: 64 TOTAL 31 STUDIOS (48%), 23 1-BR (36%), 10 2-BR (16%) RESIDENTIAL DENSITY: 92.6 DUA BUILDING AREA: 61,246 SF TOTAL 37,828 SF RESIDENTIAL 11,405 SF UNOCCUPIED GARAGE/UTILITY/SERVICE 11,379 SF SF CIRCULATION/COMMON AREAS 634 SF VERTICAL CIRCULATION BUILDING HEIGHT: 2-4 STORIES 42' TO TOP OF PRIMARY ROOF STRUCTURE 47' TO TOP OF PRIMARY PARAPET 53' 4" TO HIGHEST ARCHITECTURAL ELEMENT SETBACKS PROVIDED: FRONT (7TH ST) 7'-0" TO 19'-11" (INCLUDES 7' P.U.E.) SIDE (A ST) 3'-0" TO 9'-7" (NO P.U.E. PROPOSED) SIDE (MEWS) 13'-0" TO 15'-0" REAR (SOUTH) 24'-0" USABLE OPEN SPACE PROVIDED: 6,143 SF NO PRIVATE OUTDOOR SPACE IS PROVIDED 3,378 SF PROVIDED AT PODIUM 2,765 SF PROVIDED AT "MEWS" AND SIDE PARKING PROVIDED: 27 GARAGE SPACES 0.42 AUTOS PER UNIT INCLUDES 2 ACCESSIBLE SPACES BICYCLE PARKING: 64 LONG-TERM SECURE BICYCLE SPACES SIGNAGE: PER SHEET A3.5	MULTIFAMILY RESIDENTIAL 4-STORY BUILDING SITE AREA: 29,561 SF (0.68 ACRES) RESIDENTIAL UNITS PROVIDED: 64 TOTAL 31 STUDIOS (48%), 23 1-BR (36%), 10 2-BR (16%) RESIDENTIAL DENSITY: 94.3 DUA BUILDING AREA: 61,246 SF TOTAL 37,828 SF RESIDENTIAL 11,405 SF UNOCCUPIED GARAGE/UTILITY/SERVICE 11,379 SF CIRCULATION/COMMON AREAS 634 SF VERTICAL CIRCULATION BUILDING HEIGHT: 2-4 STORIES 42' TO TOP OF STRUCTURE 47' TO TOP OF PRIMARY PARAPET 53' 4" TO HIGHEST ARCHITECTURAL ELEMENT SETBACKS PROVIDED: FRONT (7TH ST) 7'-0" TO 8'-10" (INCLUDES 7' P.U.E.) SIDE (MORGAN ST) 7'-0" TO 13'-10" (INCLUDES 7' P.U.E.) SIDE (MEWS) 10'-0" TO 17'-0" REAR (SOUTH) 19'-0" USABLE OPEN SPACE PROVIDED: 5,907 SF NO PRIVATE OUTDOOR SPACE IS PROVIDED 3,378 SF PROVIDED AT PODIUM 2,529 SF PROVIDED AT "MEWS" AND SIDE PARKING PROVIDED: 27 GARAGE SPACES 0.42 AUTOS PER UNIT INCLUDES 2 ACCESSIBLE SPACES BICYCLE PARKING: 64 LONG-TERM SECURE BICYCLE SPACES 4 SHORT-TERM BICYCLE SPACES FOR VISITORS PH I & II SIGNAGE: PER SHEET A3.5 TREES: A HERITAGE OAK TREE WILL BE REMOVED. IT WILL BE REPLACED WITH STREET TREES AT A GREATER THAN 2:1 RATIO.	MIXED-USE SERVICE AND EMERGENCY SHELTER BUILDING SITE AREA: 48,310 SF (1.11 ACRES) BUILDING AREA: 46,587 SF TOTAL EMERGENCY SHELTER: 26,527 SF EMERGENCY SHELTER - FAMILY SUPPORT CENTER INCLUDES 16,115 SF OF RESIDENTIAL USE (50 FAMILY GUEST ROOMS) INCLUDES EMERGENCY SHELTER - NIGHTINGALE PROGRAM 2,389 SF MEDICAL SERVICE - DOCTOR'S OFFICE 3,487 SF EMERGENCY SHELTER - NAVIGATION CENTER 2,253 SF WRAPAROUND SERVICES 8,840 SF ADMINISTRATIVE OFFICES/MEETING TRANSITIONAL LIVING SPACE / TRANSITIONAL RESIDENCY PROGRAM (TRP): 2,099 SF CONGREGATE RESIDENCE BUILDING HEIGHT: 1-3 STORIES 41' TO TOP OF STRUCTURE 46' TO TOP OF PRIMARY PARAPET 51' 3" TO HIGHEST ARCHITECTURAL ELEMENT SETBACKS PROVIDED: FRONT (6TH ST) 7'-0" TO 15'-10" (INCLUDES 7' P.U.E.) SIDE (A ST) 7'-0" TO 15'-0" (NO P.U.E. PROPOSED) SIDE (MORGAN ST) 7'-0" (INCLUDES 7' P.U.E.) REAR 44'-0" TO 68'-0" USABLE OPEN SPACE PROVIDED: 9,557 SF 2,524 SF AT FAMILY SUPPORT CENTER COURTYARD 628 SF AT NAVIGATION CENTER ENTRY COURT 2,416 SF AT NAVIGATION CENTER COURTYARD 3,392 SF AT PLAZA 335 SF AT NIGHTINGALE PATIO 262 SF AT ADMINISTRATION BALCONY (3RD FLR) PARKING PROVIDED: 45 OPEN SPACES INCLUDES 5 COMPACT SPACES, 2 ACCESSIBLE SPACES REQUIRED PARKING: 1 SPACE PER 10 BEDS, PLUS 1:1 STAFF 50 FAMILY GUEST ROOMS WITH 4 BEDS EACH = 20 SPACES 3 STAFF PERSONS ON DUTY (ONE PER FLOOR) = 3 SPACES 20 BEDS AT TRANSITIONAL RESIDENCY PROGRAM = 2 SPACES TOTAL REQUIRED PARKING: 23 SPACES BICYCLE PARKING: PROVIDED 18 MINIMUM SPACES (18 REQUIRED) GUEST ROOMS: 1 SPACE, PLUS 1 PER 10 ROOMS = 6 SPACES REQUIRED FOR EMERGENCY SHELTER - FAMILY SUPPORT CENTER PROVIDED: 8 LONG-TERM SPACES (FAMILY SUPPORT CENTER COURTYARD) MULTIFAMILY: 1 SPACE PER 4 UNITS = 5 SPACES FOR TRANSITIONAL RESIDENCY PROGRAM PROVIDED: 8 LONG-TERM SPACES (NAVIGATION CENTER COURTYARD) 1 SPACE PER 4,000 SF OF "MEETING FACILITY", OR 5,000 SF SERVICE USES = 7 SPACES FOR REMAINING 28,373 SF BLDG AREA PROVIDED: 8 SHORT-TERM SPACES (NAVIGATION CENTER ENTRY) PROVIDED: 4 SHORT-TERM SPACES (LOBBY STREET ENTRY) PROVIDED: 4 SHORT-TERM SPACES (LOBBY REAR ENTRY) SIGNAGE: PER SHEET A3.5



REQUESTED ENTITLEMENTS

REQUESTED ENTITLEMENTS FOR CARITAS VILLAGE

CARITAS VILLAGE IS COMPRISED PRIMARILY OF THREE SITES:

1. PARCEL A: CARITAS CENTER (MIXED USE SERVICE/SHELTER FACILITY)
2. PARCEL C: CARITAS HOMES PHASE I (AFFORDABLE HOUSING)
3. PARCEL B: CARITAS HOMES PHASE II (AFFORDABLE HOUSING)

PARCELS A-C: CARITAS VILLAGE (CARITAS CENTER AND CARITAS HOMES PH I & II)
PARCEL MAP (CREATE TOTAL OF 3 PARCELS FOR ENTIRE BLOCK)
LANDMARK ALTERATION PERMIT (REMOVAL OR DEMOLITION OF EXISTING STRUCTURES)
PROPOSED ZONING:
TV-M (TRANSIT VILLAGE - MIXED)
PROPOSED GENERAL PLAN DESIGNATION:
TRANSIT VILLAGE - MIXED USE
SPECIFIC PLAN:
NO CHANGE PROPOSED TO EXISTING-H OVERLAY.
AMEND SPECIFIC PLAN SO ALL PARCELS ARE IN COURTHOUSE SQUARE SUB-AREA

PARCEL A: CARITAS CENTER
SIGN PERMIT
CONDITIONAL USE PERMIT: EMERGENCY SHELTER AND TRANSITIONAL HOUSING

PARCEL C: CARITAS HOMES PHASE I (100% AFFORDABLE HOUSING)
SIGN PERMIT
TREE REMOVAL PERMIT: REMOVAL OF HERITAGE TREE
REMOVING: ONE (1) 27"-DIAMETER QUERCUS AGRIFOLIA (VALLEY LIVE OAK)
REPLACING WITH: ADDITIONAL STREET TREES
HOUSING ALLOCATION PLAN: HEIGHT CONCESSION
AFFORDABILITY AGREEMENT
RESERVE A.LLOTMENTS: 64 UNITS FOR 2020

PARCEL B: CARITAS HOMES PHASE II (100% AFFORDABLE HOUSING)
SIGN PERMIT
HOUSING ALLOCATION PLAN: HEIGHT CONCESSION
AFFORDABILITY AGREEMENT
RESERVE A.LLOTMENTS: 64 UNITS FOR 2028

STAMP:

B	PLANNING RESUBMITTAL UPDATE	07/22/19
A	PLANNING RESUBMITTAL	10/31/18

JOB NUMBER: 1815
DRAWN BY: TB
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DATE: 7/22/19
SCALE: 1" = 80'-0"
TITLE: TITLE SHEET

SHEET:
GO.00



A | 7TH STREET



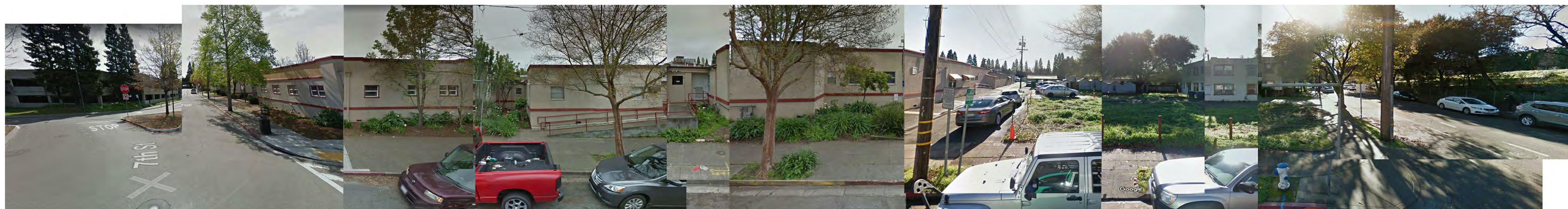
A | 7TH STREET

MORGAN ST - EAST TOWARD SITE



6TH STREET

MORGAN ST - LOOKING WEST FROM SITE



A STREET

MORGAN STREET

7TH ST - LOOKING SOUTH TOWARD SITE



MORGAN STREET

510 A STREET

A STREET

7TH ST - LOOKING NORTH FROM SITE

STAMP:

JOB NUMBER: 1815
 DRAWN BY: TK
 CHECKED BY: TB
 DATE: 7/22/19

SCALE:
 TITLE:
 EXISTING CONDITIONS
 PHOTOGRAPHS - MORGAN
 STREET AND 7TH STREET

SHEET:
G1.01

PRELIMINARY - Not for Construction -



MORGAN STREET

A STREET

6TH ST - LOOKING NORTH TOWARD SITE



MORGAN STREET

6TH ST - LOOKING SOUTH FROM SITE



B 7TH STREET

501 A STREET

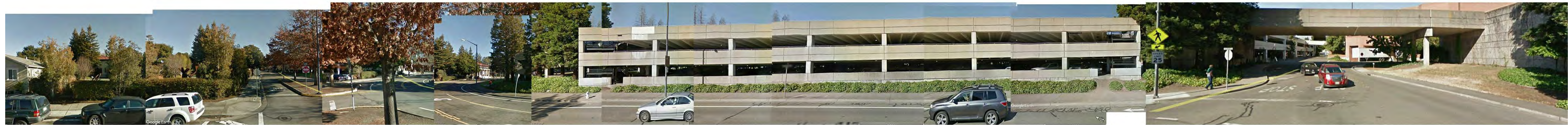
507 A STREET



6TH STREET

B 7TH STREET

A ST - LOOKING WEST TOWARD SITE



7TH STREET

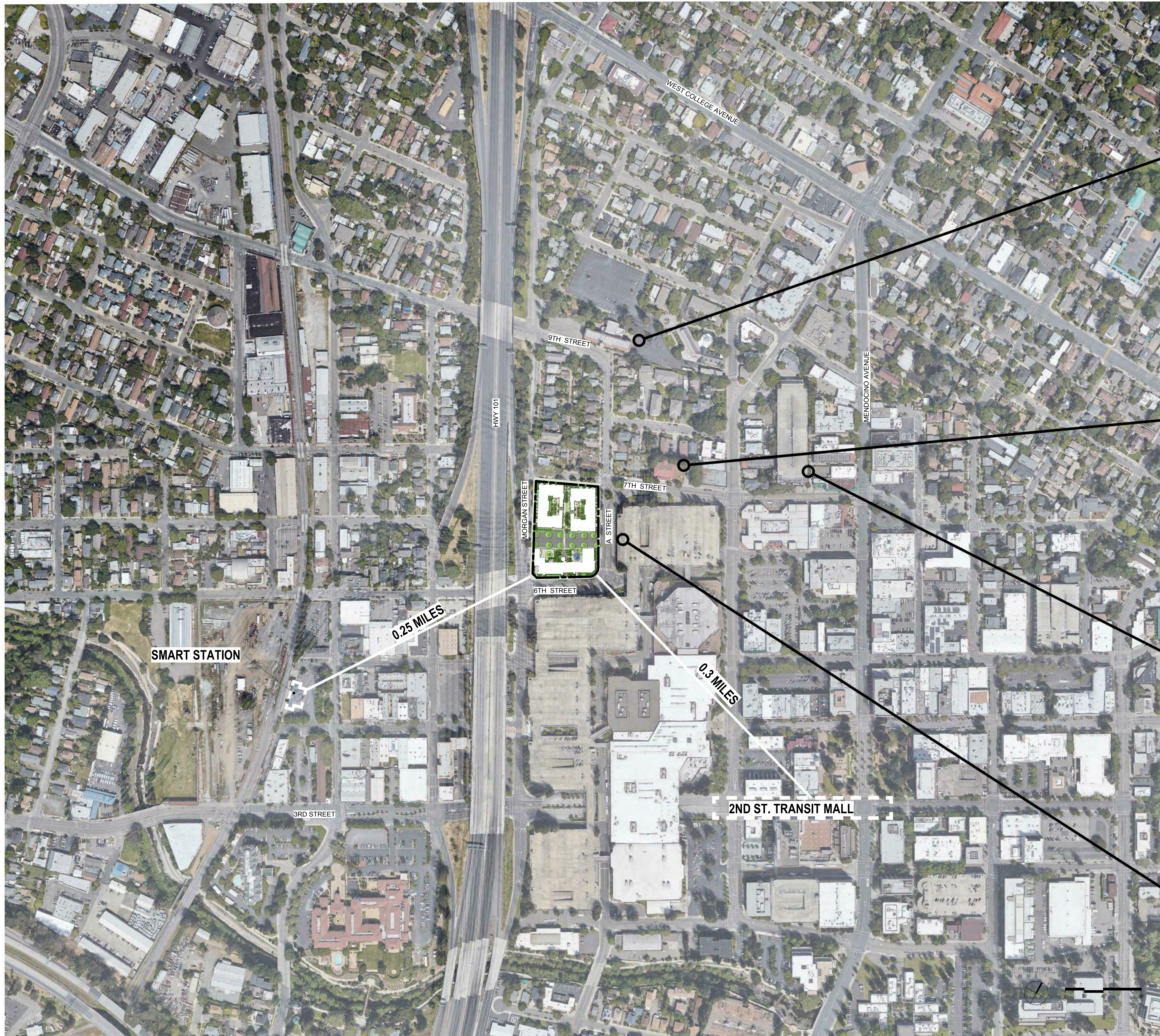
A ST - LOOKING EAST FROM SITE

STAMP:

JOB NUMBER: 1815
 DRAWN BY: TK
 CHECKED BY: TB
 DATE: 7/22/19
 SCALE:
 TITLE:
 EXISTING CONDITIONS
 PHOTOGRAPHS - 6TH STREET
 AND A STREET

SHEET:
G1.02

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NEARBY



**ST. ROSE
PROFESSIONAL
OFFICES**
47' ESTIMATED HEIGHT



**SONOMA COUNTY
HISTORY MUSEUM**
41' ESTIMATED HEIGHT



**PARKING GARAGE AT
521 7TH STREET**
44' ESTIMATED HEIGHT



**PARKING GARAGE AT
SANTA ROSA PLAZA**
28' ESTIMATED HEIGHT

STAMP:

B	PLANNING RESUBMITTAL UPDATE	07/22/19
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JOB NUMBER: 1815
DRAWN BY: GP, ARK
CHECKED BY: TB
DATE: 7/22/19
SCALE: 1" = 160'-0"
TITLE:
VICINITY MAP

SHEET:
G1.03

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VICINITY MAP
1" = 160'-0" ①

CARITAS VILLAGE
CARITAS VILLAGE, SANTA ROSA CA

STAMP:

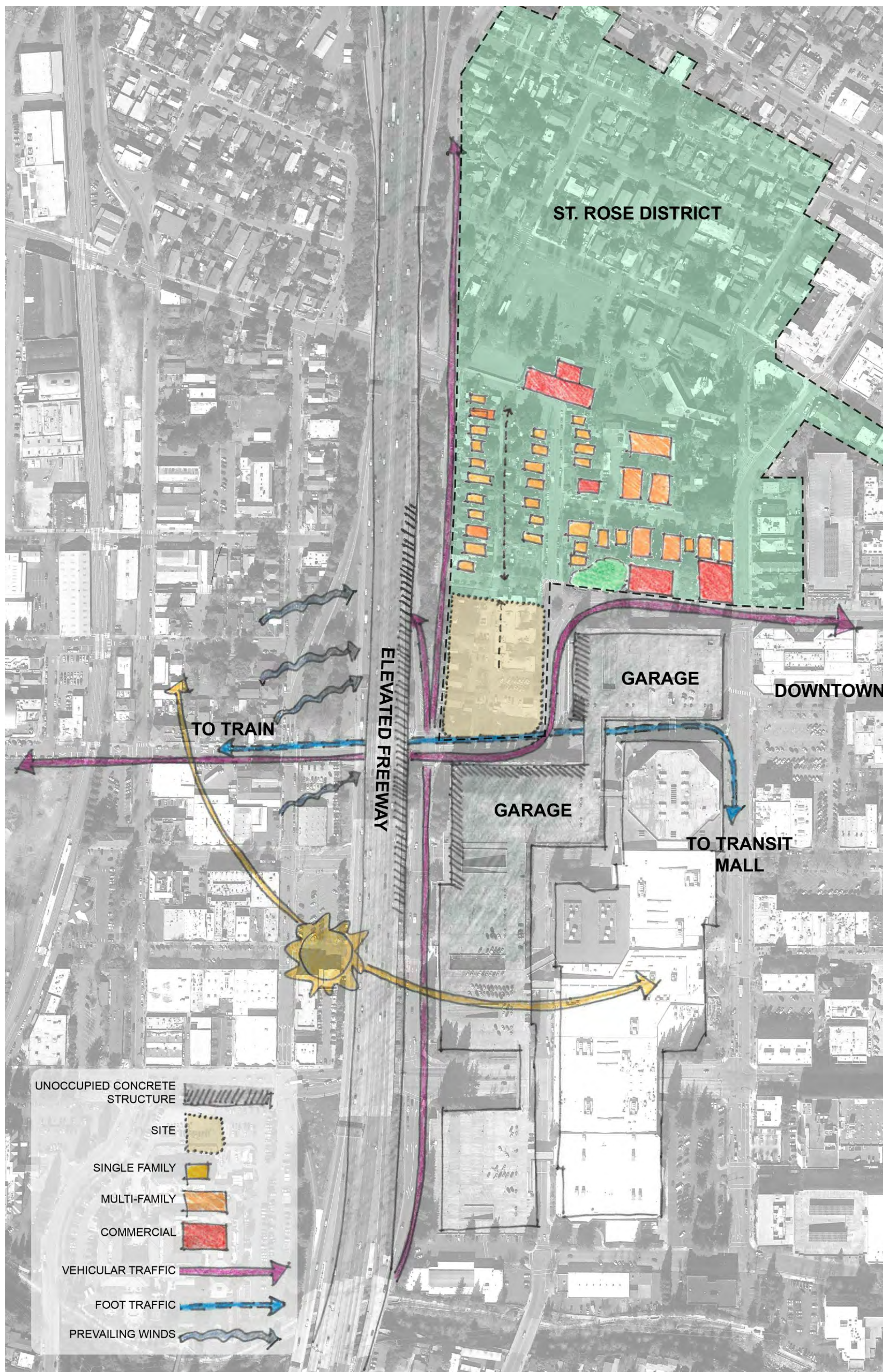
B	PLANNING RESUBMITTAL UPDATE	07/22/19
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JOB NUMBER: 1815
 DRAWN BY: GP
 CHECKED BY: TB
 DATE: 7/22/19
 SCALE: 1" = 40'-0"
 TITLE:
 EXISTING CONDITIONS MAP WITH PROPOSED STRUCTURES

SHEET:
G1.04



8/2/2019 11:11:06 AM

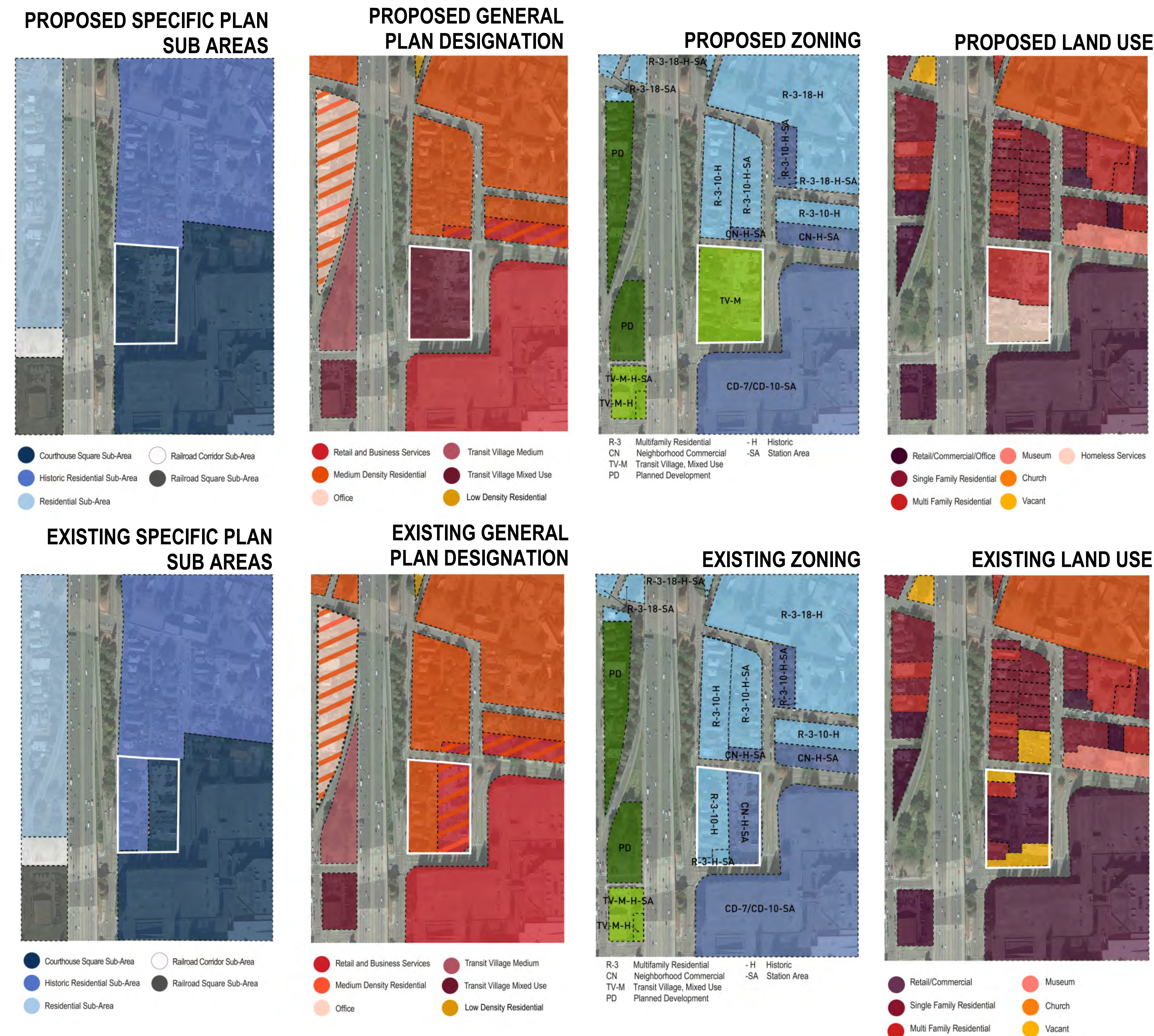


SITE ANALYSIS DIAGRAM



OPEN SPACE ANALYSIS - LEVEL 2
1" = 40'-0"

OPEN SPACE ANALYSIS - LEVEL 1
1" = 40'-0"

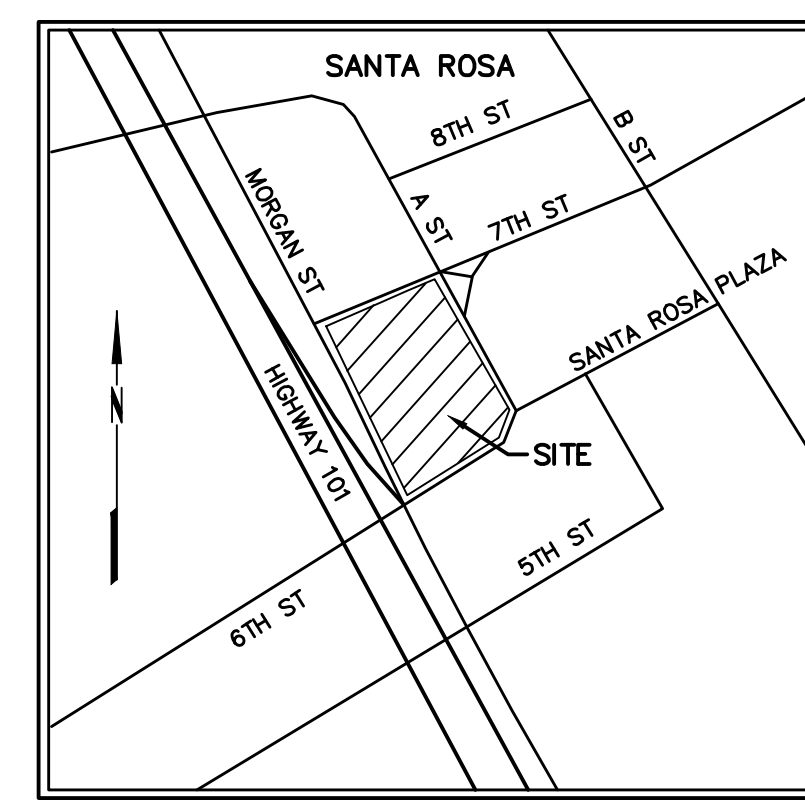


STAMP:

B PLANNING RESUBMITTAL UPDATE 07/22/19

JOB NUMBER: 1815
DRAWN BY: GP, TK, DA
CHECKED BY: TB
DATE: 7/22/19
SCALE: 1" = 40'-0"
TITLE: **SITE ANALYSIS AND ZONING DIAGRAMS**

SHEET:
G1.05



VICINITY MAP
NOT TO SCALE

SYMBOLS & LEGEND

- EXISTING**
- IRON PIPE
 - CENTERLINE MONUMENT
 - GATE VALVE
 - FIRE HYDRANT
 - STREET SIGN
 - STREET LIGHT
 - UTILITY POLE
 - GUY ANCHOR
 - CATCH BASIN
 - DROP INLET
 - MANHOLE
 - CLEANOUT
 - TREE
 - X TREE TO BE REMOVED
 - PROPERTY LINE
 - EASEMENT
 - CENTERLINE
 - GRADE BREAK
 - FLOW LINE
 - FENCE
 - FACE OF CURB
 - SANITARY SEWER
 - STORM DRAIN
 - WATER
 - OVERHEAD UTILITY LINE
 - UNDERGROUND UTILITY LINE
 - UNDERGROUND ELECTRIC LINE
 - UNDERGROUND GAS LINE
 - ASPHALT
 - CONCRETE

ABBREVIATIONS

- AC ASPHALT CONCRETE
- APN ASSESSOR'S PARCEL NUMBER
- BFP BACKFLOW PREVENTOR
- BLDD BUILDING
- BLRD BOLLARD
- BM BENCHMARK
- BO BLOWOFF
- BSL BUILDING SETBACK LINE
- CB CATCH BASIN
- CL CENTERLINE
- CO CLEAN OUT
- CONC CONCRETE
- CYP CYPRESS TREE
- DI DROP INLET
- DN DOCUMENT NUMBER
- DW DRIVEWAY
- E ELECTRIC
- EG EXISTING GROUND
- ELEV ELEVATION
- EP EDGE OF PAVEMENT
- ESMT EASEMENT
- EX EXISTING
- FDC FIRE DEPARTMENT CONNECTION
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FH FIRE HYDRANT
- FL SURFACE FLOWLINE
- FND FOUND
- FT FOOT
- G GAS
- GB GRADE BREAK
- GI GRATE INLET
- HORZ HORIZONTAL
- IFO IN FAVOR OF
- INV BOTTOM INSIDE OF PIPE
- L LENGTH
- MAX MAXIMUM
- MH MANHOLE
- MIN MINIMUM
- MON MONUMENT
- NO NUMBER
- NTS NOT TO SCALE
- OH OVERHEAD UTILITY LINE
- PAD PAD GRADE
- PG&E PACIFIC GAS & ELECTRIC
- PL PROPERTY LINE
- PM PARKING METER
- PSDE PRIVATE STORM DRAIN EASEMENT
- PUE PUBLIC UTILITY EASEMENT
- PVT PRIVATE
- R RADIUS
- R/W RIGHT OF WAY
- S SLOPE
- SD STORM DRAIN
- SDE PUBLIC STORM DRAIN EASEMENT
- SDCO STORM DRAIN CLEAN OUT
- SDMH SANITARY SEWER MANHOLE
- SF SQUARE FEET
- SL STREETLIGHT
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEAN OUT
- SSIM SANITARY SEWER MANHOLE
- STA STATION
- STD STANDARD
- TB TOP OF BOX
- TC TOP OF CURB
- TEL TELECOMMUNICATION LINE
- TFC TOP OF FLUSH CURB
- TG TOP OF GRATE
- TS TRAFFIC SIGNAL
- TW TOP OF WALL
- TYP TYPICAL
- UB UTILITY BOX
- UT UNDERGROUND UTILITY LINE
- W WATER
- WM WATER METER

OWNER/DEVELOPER: CATHOLIC CHARITIES
867 AIRWAY DR.
SANTA ROSA, CA 95402
PH: (707) 528-8712

BURBANK HOUSING
790 SONOMA AVE.
SANTA ROSA, CA 95404

CIVIL ENGINEER: BKF ENGINEERS
200 4TH ST., SUITE 300
SANTA ROSA, CA 95401
PH: (707) 583-8500

GENERAL NOTES

THE PROPOSED DEVELOPMENT WILL BE IN CONFORMANCE WITH THE CITY OF SANTA ROSA ZONING CODE, GENERAL PLAN AND DESIGN & CONSTRUCTION STANDARDS OR AS MODIFIED BY THIS TENTATIVE MAP AND AS APPROVED BY THE REVIEWING AGENCY.

WATER SUPPLY: CITY OF SANTA ROSA

SEWAGE DISPOSAL: CITY OF SANTA ROSA

PRESENT ZONING: RESIDENTIAL R-3-10; C (NEIGHBORHOOD COMMERCIAL)

PROPOSED ZONING: TV-M (TRANSIT VILLAGE MIXED)

THIS SUBDIVISION IS NOT WITHIN AN AREA DESIGNATED AS A HIGH FIRE SEVERITY ZONE.

THIS IS A DEVELOPMENT PERMIT.

GRADING NOTES

SOILS ON THIS SITE ARE NOT ANTICIPATED TO PROHIBIT THIS TYPE OF DEVELOPMENT.

ALL LOTS AND PADS SHALL BE GRADED IN A MANNER WHICH DRAINS STORMWATER TO PUBLIC STREETS.

THE ENGINEER AND DEVELOPER ARE NOT AWARE OF HAZARDOUS MATERIALS ON THIS SITE.

FEMA FLOOD MAPS REVEAL THAT THE SITE IS OUTSIDE THE 0.2 PERCENT CHANCE FLOOD HAZARD AREA ZONE X.

PROVISIONS FOR EROSION CONTROL WILL BE INCORPORATED INTO THIS PROJECT.

UTILITY NOTES

ALL PROPOSED UTILITY IMPROVEMENTS SHALL BE INSTALLED AS PUBLIC UTILITIES.

EXISTING SEWER AND WATER SERVICES WHICH WILL NOT BE USED WITH THESE SUBDIVISION IMPROVEMENTS WILL BE ABANDONED IN ACCORDANCE WITH THE CITY OF SANTA ROSA DESIGN AND CONSTRUCTION STANDARDS.

EXISTING SEPTIC SYSTEMS WILL BE ABANDONED IN ACCORDANCE WITH PERMITS FROM THE CITY BUILDING DEPARTMENT AND THE SONOMA COUNTY PERMIT AND RESOURCE MANAGEMENT DEPARTMENT.

EXISTING WELLS WILL BE ABANDONED IN ACCORDANCE WITH CITY WELL ORDINANCE AS ADMINISTERED BY THE CITY BUILDING OFFICIAL.

ELECTRICAL SERVICE FOR THIS SUBDIVISION WILL BE UNDERGROUND.

GENERAL MAP INFORMATION

TOPOGRAPHIC INFORMATION SHOWN HEREON WAS OBTAINED FROM FIELD SURVEYS CONDUCTED BY BKF ENGINEERS ON DECEMBER 11, 14, 16, 23, 24, & 28, 2015.

DISTANCES AND ELEVATIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.

BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM RECORD DATA. THE BEARINGS AND DISTANCES DO NOT REFLECT A FIELD SURVEY AND DOES NOT CONSTITUTE A FORMAL BOUNDARY DETERMINATION.

BASIS OF BEARINGS: BETWEEN AN IRON PIPE FOUND IN A WELL MONUMENT AT SIXTH AND 'A' STREET AND A PIN FOUND IN A MONUMENT WELL APPROXIMATELY 886 FEET NORTHERLY ALONG 'A' STREET AS N26°21'00"W AS SHOWN ON THAT RECORD OF SURVEY OF THE LANDS OF MICHAEL K. FEENEY, FILED IN BOOK 709 OF MAPS AT PAGE 43, SONOMA COUNTY RECORDS.

BENCHMARK: BENCHMARK: CITY OF SANTA ROSA BENCHMARK C330 DESCRIBED AS "SEVENTH ST. AND 'A' ST.; 2" BRASS DISC MARKED "CITY OF SANTA ROSA" BRASS IN WELL MONUMENT, AT CL INTERSECTION" (LOCATION SHOWN HEREON), ELEVATION = 156.59' (DATUM NAVD 1929).

EXISTING LOTS					
APN	Owner	Address	Document #	Area	Acres
				Square Feet	
010-041-001	Catholic Charities	321 7th St.	2015057776	7,193	0.17
010-041-004	Catholic Charities	439 A St.	2015057776	6,464	0.15
010-041-005	Catholic Charities	437 A St.	2015057776	6,143	0.14
010-041-008	City of Santa Rosa	307 W 6th St.	2011022659	4,352	0.10
010-041-009	City of Santa Rosa	498 Washington St.	2011022659	728	0.02
010-041-010	City of Santa Rosa	500 Washington St.	2011022659	3,964	0.09
010-041-011	Catholic Charities	506 Morgan St.	2018050270	3,831	0.09
010-041-013	Catholic Charities	516 Morgan St.	2015057776	6,923	0.16
010-041-014	Catholic Charities	520 Morgan St.	2015057776	7,115	0.16
010-041-015	Catholic Charities	600 Morgan St.	2015057776	14,102	0.32
010-041-016	Catholic Charities	608 Morgan St.	2015057776	6,987	0.16
010-041-017	Catholic Charities	512 Morgan St.	2015010968	4,539	0.10
010-041-018	Catholic Charities	(unidentified)	2015057776	2,174	0.05
010-041-019	City of Santa Rosa	431 A St.	2011022659	14,105	0.32
010-041-020	Catholic Charities	465 A St.	2015057776	32,289	0.74
				120,908	2.78

EXISTING CONDITIONS MAP

TENTATIVE PARCEL MAP
FOR
CARITAS VILLAGE
3 LOTS

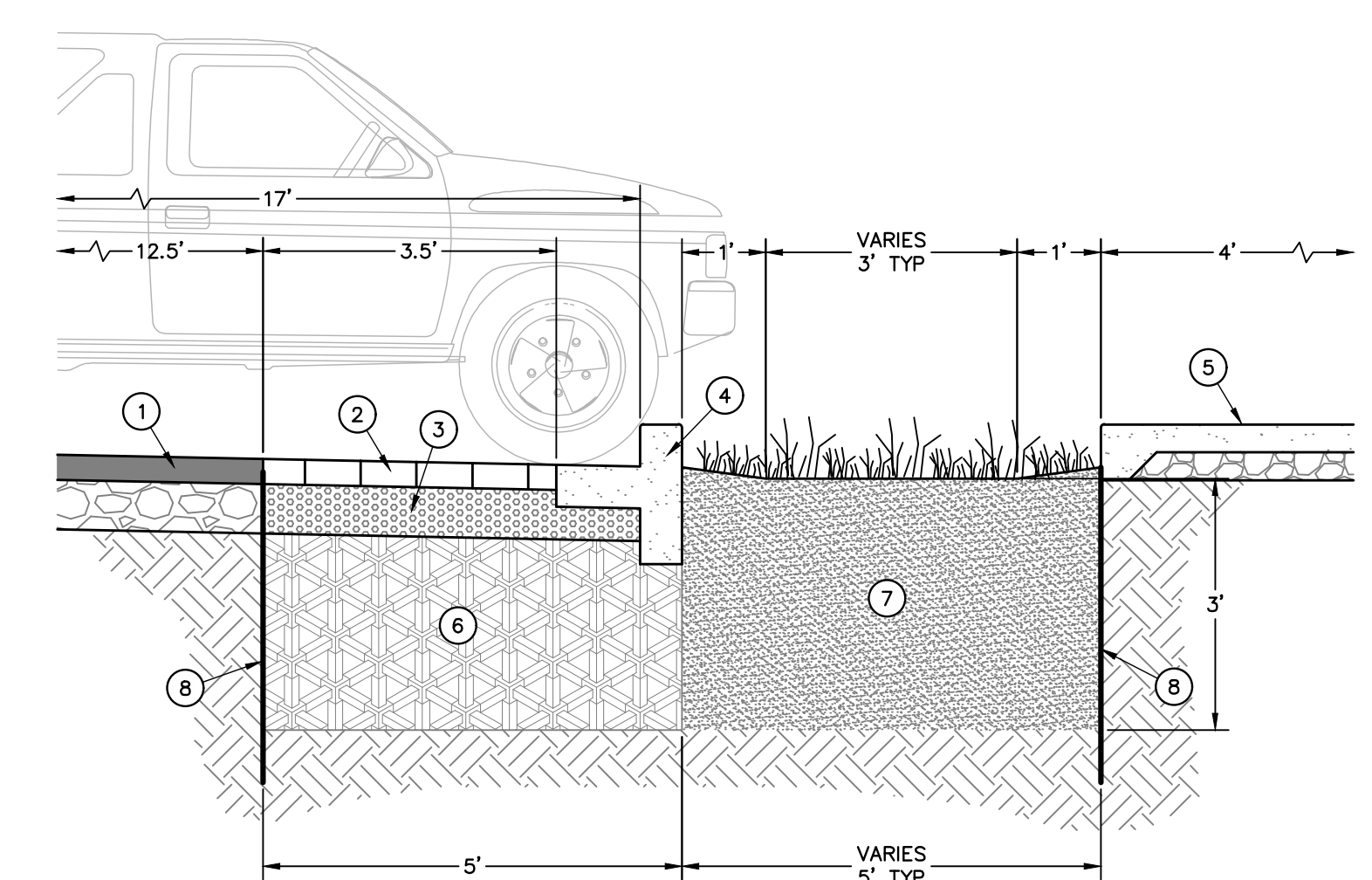
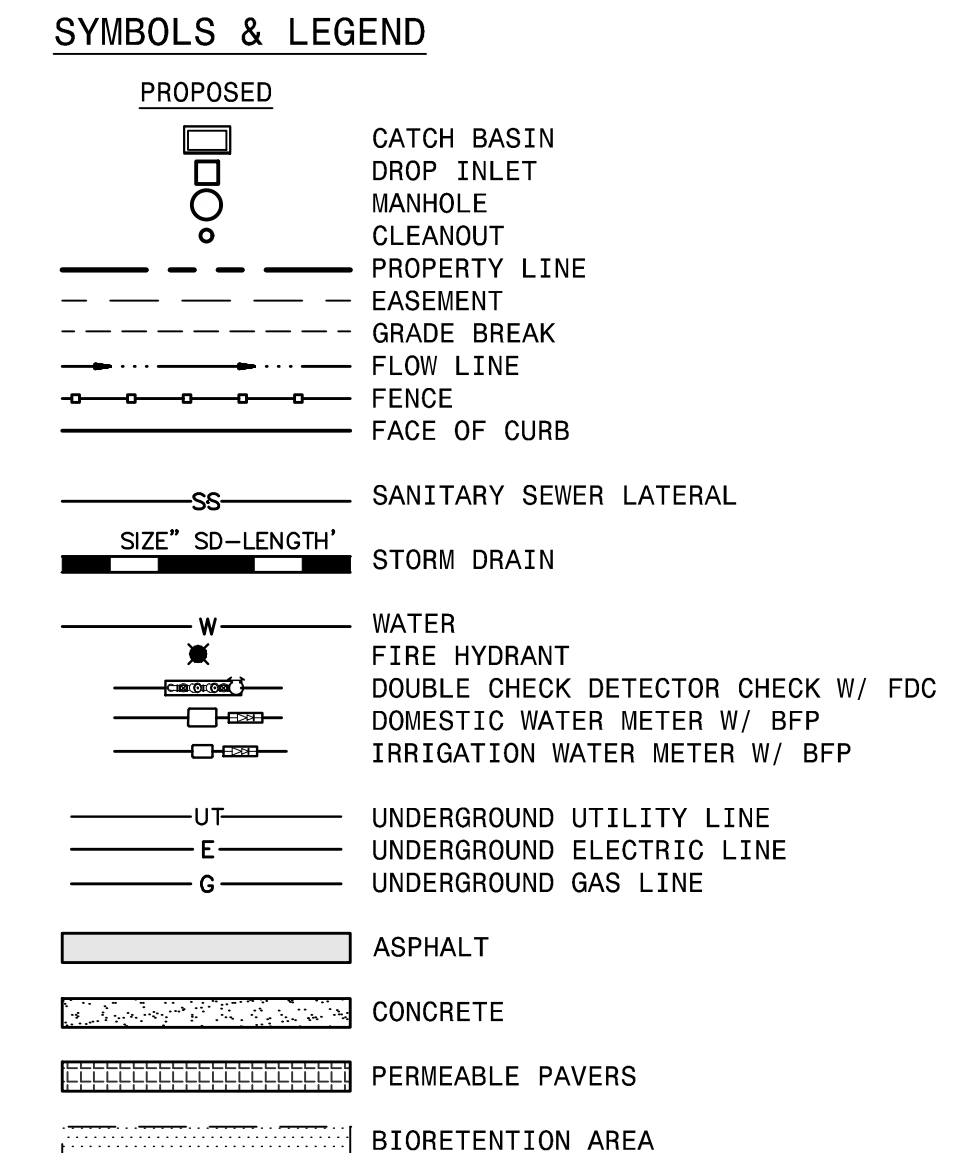
BEING A RE-SUBDIVISION OF 15 LOTS, AS DESCRIBED IN THE GRANT DEEDS FILED UNDER DOCUMENT NO. 2015057776, 2011022659, 2018050270, AND 2015010968, SONOMA COUNTY RECORDS.

465 A STREET
CITY OF SANTA ROSA, CALIFORNIA
APN 010-041-001, -004, -005, -008, -009,
-010, -011, -013, -014, -015, -016, -017,
-018, -019, -020
CONTAINING 2.78 ACRES



AUGUST 6, 2019



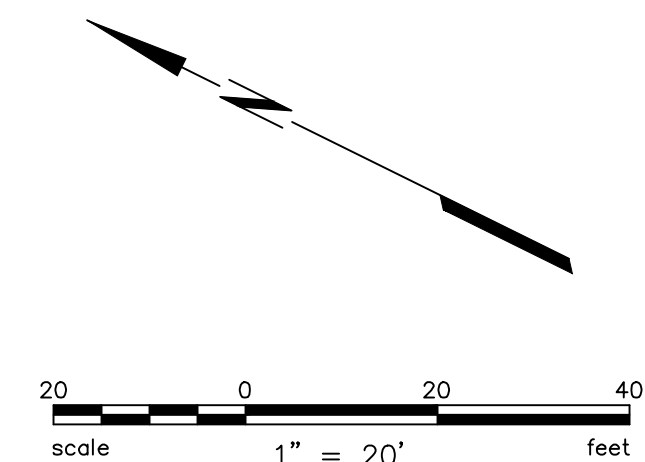


- 1 AC Pavement
- 2 Permeable Pavers
- 3 Permeable Class 2 AB
- 4 Curb and Gutter w/ Openings
- 5 Sidewalk
- 6 ACO Storm Brix (95% Porosity)
- 7 Bio-Soil (50% Porosity)
- 8 Moisture Barrier

BIO-RETENTION AND STORAGE
NO SCALE

PROPOSED LOTS

Lot	Area	
	Square Feet	Acres
Lot 1	48,310	1.11
Lot 2	30,183	0.69
Lot 3	29,561	0.68
R/W Dedication	12,855	0.30
	120,909	2.78



PRELIMINARY GRADING AND UTILITY PLAN

TENTATIVE PARCEL MAP FOR CARITAS VILLAGE
3 LOTS

BEING A RE-SUBDIVISION OF 15 LOTS, AS DESCRIBED IN THE GRANT DEEDS FILED UNDER DOCUMENT NO. 2015057776, 2011022659, 2018050270, AND 2015010968, SONOMA COUNTY RECORDS.

465 A STREET
CITY OF SANTA ROSA, CALIFORNIA
APN 010-041-001, -004, -005, -008, -009,
-010, -011, -013, -014, -015, -016, -017,
-018, -019, -020
CONTAINING 2.78 ACRES



August 6, 2019



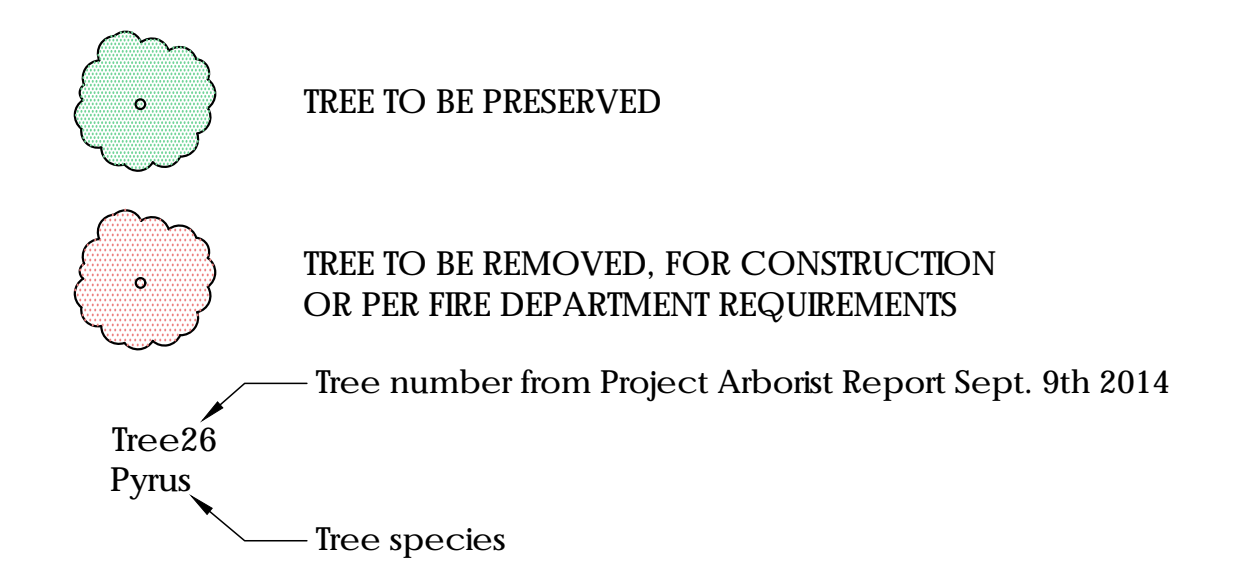


ARBORIST EVALUATION

Only a single native tree #56, a 27' Coast Live Oak, is present on site. The Oak is to be removed due to conflicts with proposed improvements.

The bulk of the trees on site are ornamental species that have either been planted or volunteered.

TREE PRESERVATION AND REMOVAL



TREE PROTECTION NOTES

1. Prior to initiation of any construction activity in the area, including demolition or grading, temporary protective fencing shall be installed at each site tree in the immediate vicinity of construction. Fencing is to be located at a minimum of one foot beyond the canopy drip line.
2. Fencing shall be a minimum of four foot height at all locations, and shall form a continuous barrier without entry points and around all individual trees, or groups of trees. Barrier type fencing such as chain link or tensar plastic fencing is suggested, but any fencing system which adequately prevents entry of equipment and activity will be acceptable. Post and cable fencing is not recommended. Fencing shall be installed in a professional manner with adequate uprights and appropriate attachments. Concrete footings are not required. Any encroachment into the drip line of for fencing or construction purposes should be discussed and agreed upon in advance.
3. The fencing shall serve as a barrier to prevent drip line encroachment of any type by construction activities, equipment, material storage, and personnel.
4. Contractors and subcontractors shall direct all equipment and personnel to remain outside the fenced area at all times until project is complete. Instruction shall be given as to the purpose and the importance of fencing and preservation.
5. Fencing should remain in place and not be removed until ALL construction activities are completed. Temporary access may be granted to facilitate work under specific circumstances when discussed and agreed upon in advance.
6. Roots of single standing trees often extend two-three times the distance of the actual drip line. As much area around the circumference of the tree beyond the drip line should have minimum instruction to further ensure tree survival and health.

STAMP:

JOB NUMBER: 1601
DRAWN BY: JAB
CHECKED BY: CT
DATE: 07/22/2019
SCALE: PER PLANS
TITLE:
TREE REMOVAL AND
PRESERVATION PLAN

SHEET:
L.01

CARITAS HOMES SITE LEGEND

- ① COVERED GATHERING AREA
- ② GATHERING AREA UNDER TREE CANOPY
- ③ COMMUNAL LAWN AREA
- ④ PET RELIEF AREA
- ⑤ STAIRS TO PODIUM LEVEL TERRACE
- ⑥ RAISED PODIUM PLANTERS
- ⑦ PODIUM SEATING AREAS
- ⑧ MEWS TRELLIS AND GATE
- ⑨ TENANT PORCH AND ENTRY
- ⑩ TENANT VEGETABLE GARDEN PLANTER
- ⑪ GARAGE ENTRY
- ⑫ LOADING ZONES
- ⑬ PROPERTY LINE

CARITAS CENTER SITE LEGEND

- ⑬ NAVIGATION CENTER ENTRY COURTYARD
- ⑭ NAVIGATION CENTER COURTYARD
- ⑮ FAMILY SUPPORT CENTER COURTYARD
- ⑯ PLAY STRUCTURE (2-12 AGE RANGE)
- ⑰ PLAZA
- ⑱ NIGHTINGALE PATIO
- ⑲ PROPERTY LINE
- ⑳ DROP OFF

PLANTING LEGEND

- LARGE SHADE TREE
- LARGE | MEDIUM TREE
- SMALL TREE
- NEW STREET TREE - HEIGHT LIMIT 15'-0" PER FIRE DEPT.
- EXISTING TREE TO REMAIN
- PLANTING
- VEGETATED STORM WATER PLANTING
- LAWN TURF PLANTING
- VINE PLANTING

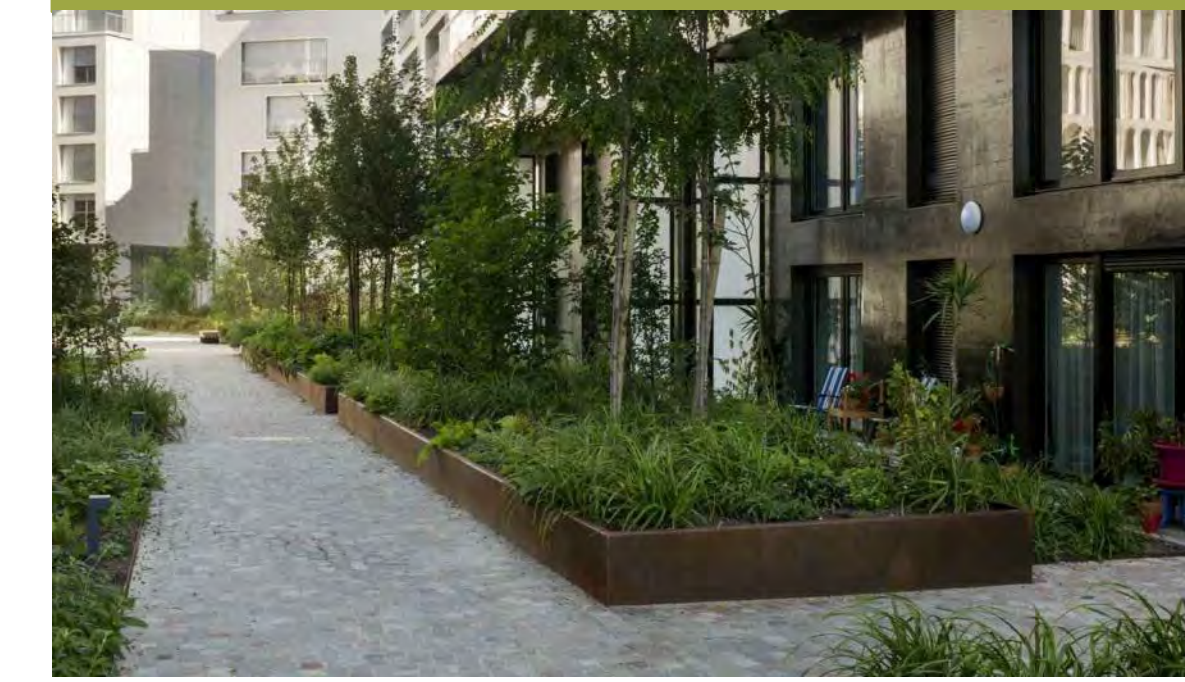
PAVEMENT & SITE LEGEND

- ENHANCED PAVEMENT
- ENHANCED PODIUM PAVEMENT
- CONCRETE PAVEMENT
- AC PAVEMENT
- SITE FURNISHINGS
- LANDSCAPE WALLS
- BIKE PARKING

CARITAS VILLAGE SITE PLAN



CHARACTER IMAGERY



GREEN, LUSH HEALING GARDEN CONCEPT



BUILT GATHERING AREAS



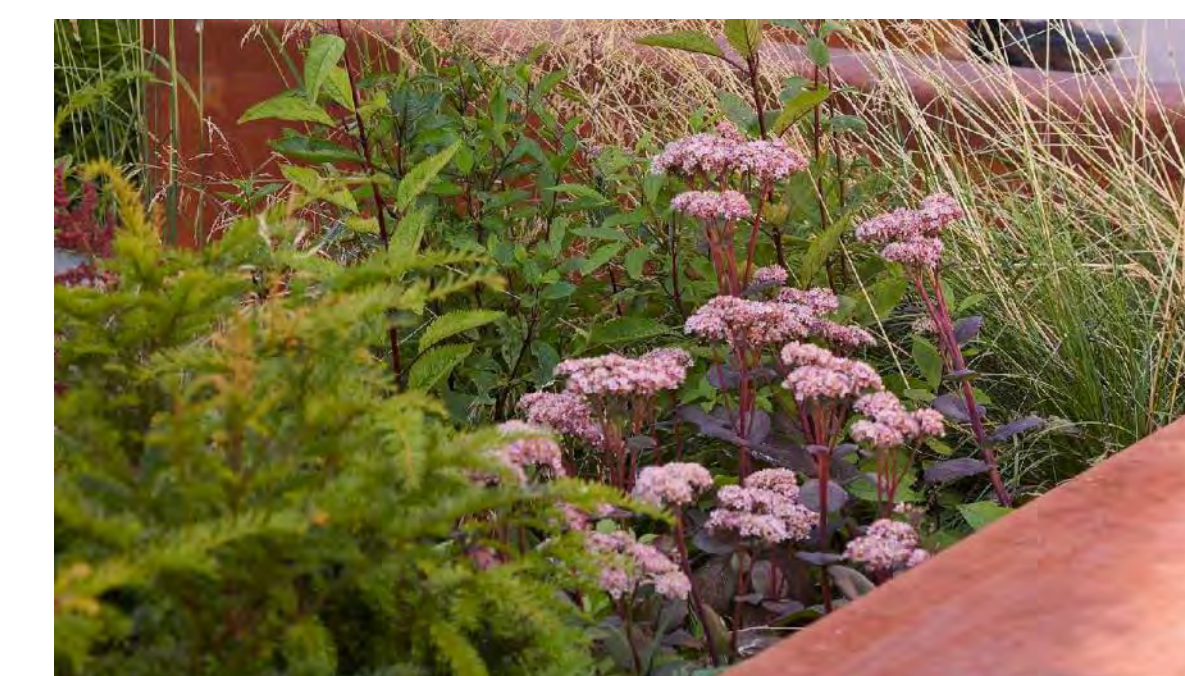
VINE AND SHADE STRUCTURES



FLOWERING VINES ON FACADES OF BUILDING



TENANT VEGETABLE GARDEN



DROUGHT TOLERANT, LOW MAINTENANCE, AND VARIED PLANTING

STAMP:

JOB NUMBER: 1601
DRAWN BY: JAB
CHECKED BY: CT
DATE: 07/22/2019
SCALE: PER PLANS
TITLE: LANDSCAPE SITE PLAN

SHEET:

L.02

PRELIMINARY - Not for Construction -

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PLANTING CANDIDATE LIST

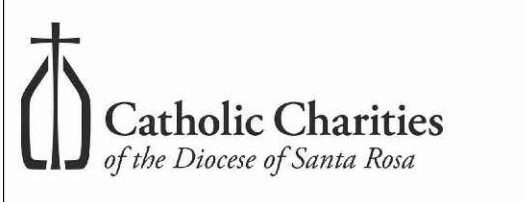
STREET FRONTAGE AND COURTYARDS	WUCOLS	MEWS AND PODIUM PLANTERS	WUCOLS	STORM WATER	WUCOLS
Achillea millefolium 'Sonoma Coast'	Low	Abutilon striatum	Medium	Asclepias fascicularis	Low
Agave 'Mr. Ripple'	Low	Aristea inaequalis	Low	Bidens laevis	Medium
Agave stricta	Low	Aspidistra elatior	Low	Chondropetalum t. 'El Campo'	Low
Agave weberii	Low	Banksia ericifolia 'Fireworks'	Low	Iris douglasiana 'Canyon Snow'	Low
Agave 'Whale's Tongue'	Low	Beschorneria albiflora	Low	Juncus patens 'Elk Blue'	Low
Akebia quinata	Medium	Beschorneria sp. 'Queretaro'	Low	Lomandra l. 'Breeze'	Low
Anchusa 'Dropmore'	Medium	Bouteloua gracilis 'Blonde Ambition'	Low	SITE TREES	
Arctostaphylos d. 'Howard McMinn'	Low	Buddija lindleyana	Low	Acacia stenophylla	Low
Atriplex lentiformis ssp. Breweri	Very Low	Callistemon 'Green John'	Low	Acer Circinatum	Medium
Beschorneria albiflora	Low	Callistemon 'Little John'	Low	Acer griseum	Medium
Bulbine 'African Yellow'	Low	Callistemon viridiflorus	Low	Acer macrophyllum	Medium
Callistemon 'Cane's Hybrid'	Low	Choisya ternata	Medium	Arbutus 'Marina'	Low
Callistemon 'Green John'	Low	Cordylone 'Renegade'	Low	Cercidiphyllum japonicum	Medium
Callistemon viridiflorus	Low	Dianella tasmanica	Medium	Cupressus cashmeriana	Medium
Cannomois grandis	Medium	Dicksonia antarctica	High	Fagus sylvatica 'Dawyck Green'	Medium
Choisya ternata	Medium	Echeveria agavoides	Low	Ginkgo biloba 'Fastigiata'	Low
Chondropetalum ch. 'El Campo'	Low	Echeveria imbricata	Low	Lyonothamnus f. ssp. Asplenifolius	Low
Clematis armandii	Medium	Grevillea victoriae	Low	Luma apiculata	Medium
Correa sp.	Low	Heuchera maxima	Medium	Parrotia persica	Medium
Dasylyrion longissimum	Low	Inula magnifica	Medium	Podocarpus gracillior	Medium
Dodonaea viscosa (green)	Low	Iris confusa	Medium	Qurecus agrifolia	Low
Echeveria sp.	Low	Mahonia x media 'Marvel'	Medium	Qurecus lobata	Low
Eriogonum umbellatum 'Shasta Sulfur'	Low	Mahonia x 'Soft Caress'	Low	Pterostyrax hispida	Medium
Garrya elliptica	Low	Manfreda maculosa	Low	Ulmus parvifolia 'Allee'	Low
Grevillea 'Jade Mound'	Low	Melianthus major 'Purple Haze'	Low	Ulmus parvifolia 'BSNUPF'	Low
Grevillea victoriae	Low	Nandina domestica 'Emerald Sea'	Low	Ulmus parvifolia 'UPMTF'	Low
Hesperaloe parvifolia 'Yellow'	Low	Nandina domestica 'Flirt'	Low	X chitalpa tashkentensis	Low
Heuchera maxima	Medium	Nandina domestica 'Lemon Lime'	Low	Zelkova serrata	Low
Holodiscus discolor 'Oceanspray'	Low	Olea europaea 'Little Ollie'	Low	STREET TREES	
Humulus lupulus	Low	Otatea acuminata ssp. Aztecorum	Medium	Acer buergeranum	Medium
Kniphofia thomsonii	Low	Pelargonium sidoides	Low	Cercis canadensis	Medium
Laurus nobilis 'Emerald Wave'	Low	Rudbeckia californica	Medium	Chinoanthus retusa	Medium
Lomandra longifolia 'Breeze'	Low	Saliva spathacea 'Las Pilitas'	Low	Koeleruteria bipinnata	Low
Mahonia x media 'Marvel'	Medium	Sedum palmeri	Low	Lagerstroemia indica cv.	Low
Mahonia x 'Soft Caress'	Low	Sedum spathulifolium	Low	Laurus nobilis 'Saratoga'	Low
Manfreda maculosa	Low	Sedum spurium	Low	Parrotia persica	Medium
Melianthus major 'Purple Haze'	Low	Westringia 'Morning Light'	Low	Pistacia chinensis	Low
Nandina domestica 'Emerald Sea'	Low	Woodwardia fimbriata	Medium		
Nandina domestica 'Lemon Lime'	Low	Yucca gloriosa	Low		
Olea europaea 'Little Ollie'	Low	WINDOW BOX PLANTERS			
Panicum virgatum 'Dallas Blues'	Medium	Aeonium sp.	Low		
Parthonocissus tricuspidata 'Veitchii'	Low	Beschorneria sp. 'Queretaro'	Low		
Phormium 'Dark Delight'	Low	Bulbine frutescens	Low		
Phormium 'Sea Jade'	Low	Calandrinia spectabilis	Low		
Phormium tenax green	Low	Cotyledon orbiculata var. oblonga 'Flavida'	Low		
Polystichum munitum	Medium	Dichondra 'Silver Falls'	Medium		
Puya mirabilis	Low	Dyckia 'Burgundy Ice'	Low		
Rhamnus alaternus	Low	Echeveria agavoides	Low		
Ribes viburnifolium	Low	Echeveria imbricata	Low		
Rosa chinensis 'Mutabilis'	Medium	Graptoveria 'Fred Ives'	Low		
Rosa rugosa	Low	Grevillea 'Jade Mound'	Low		
Rosa 'Cecile Brunner'	Low	Grevillea juniperina 'Gold Cluster'	Low		
Rosmarinus officinalis 'Roman Beauty'	Low	Lomandra l. 'Breeze'	Low		
Salvia clevelandii	Low	Puya mirabilis	Low		
Salvia officinalis	Low	Sedum palmeri	Low		
Salvia reptans 'Giant'	Low	Sedum spathulifolium	Low		
Salvia 'Phyllis Fancy'	Medium	Sedum spectabile	Low		
Salvia 'Waverly'	Medium	Sedum spurium	Low		
Sarcococca sp.	Low				
Sideritis cypria	Low				
Stipa gigantea	Low				
Vitis californica	Low				
Westringia fruticosa	Low				
Woodwardia fimbriata	Medium				
Yucca filamentosa 'Hairy'	Low				
Yucca gloriosa	Low				
Yucca rigida	Low				

IRRIGATION STATEMENT

All irrigation will be designed to meet 2015 Sonoma County Water Efficient Landscape Ordinance and will contain the following components:

- The irrigation system will be designed and installed to meet irrigation efficiency described in the maximum applied water allowance.
- Weather based, self-adjusting irrigation controller with a rain sensor.
- Emitters to include subsurface drip irrigation and tree bubblers.
- Spray irrigation will be designed with water-efficient spray heads and to minimize run-off.
- Trees to be placed on separate valves.
- Container planting to be placed on separate valves.
- Isolation valves to be installed at point of connection and before each valve or manifold.
- Pressure regulation to be installed.
- Separate valves to be installed to irrigate zones of low, medium, and high water use plantings.
- Check valves will be installed to prevent low point drainage.

PLANTING IMAGERY



STAMP:

JOB NUMBER: 1601
DRAWN BY: JAB
CHECKED BY: CT
DATE: 07/22/2019
SCALE: PER PLANS
TITLE: PLANTING CANDIDATE LIST & IRRIGATION STATEMENT

SHEET:
L.03

CARITAS VILLAGE
 CARITAS VILLAGE, SANTA ROSA CA

STAMP:

B	PLANNING RESUBMITTAL UPDATE	07/22/19
A	PLANNING RESUBMITTAL	10/31/18

JOB NUMBER: 1815
 DRAWN BY: TK
 CHECKED BY: TB
 DATE: 7/22/19
 SCALE: 1" = 80'-0"
 TITLE: **3D VIEWS**

SHEET: **A0.01**
 PRELIMINARY - Not for Construction -
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INTERIOR COURTYARD ④



CENTER ENTRANCE (6TH ST) ②

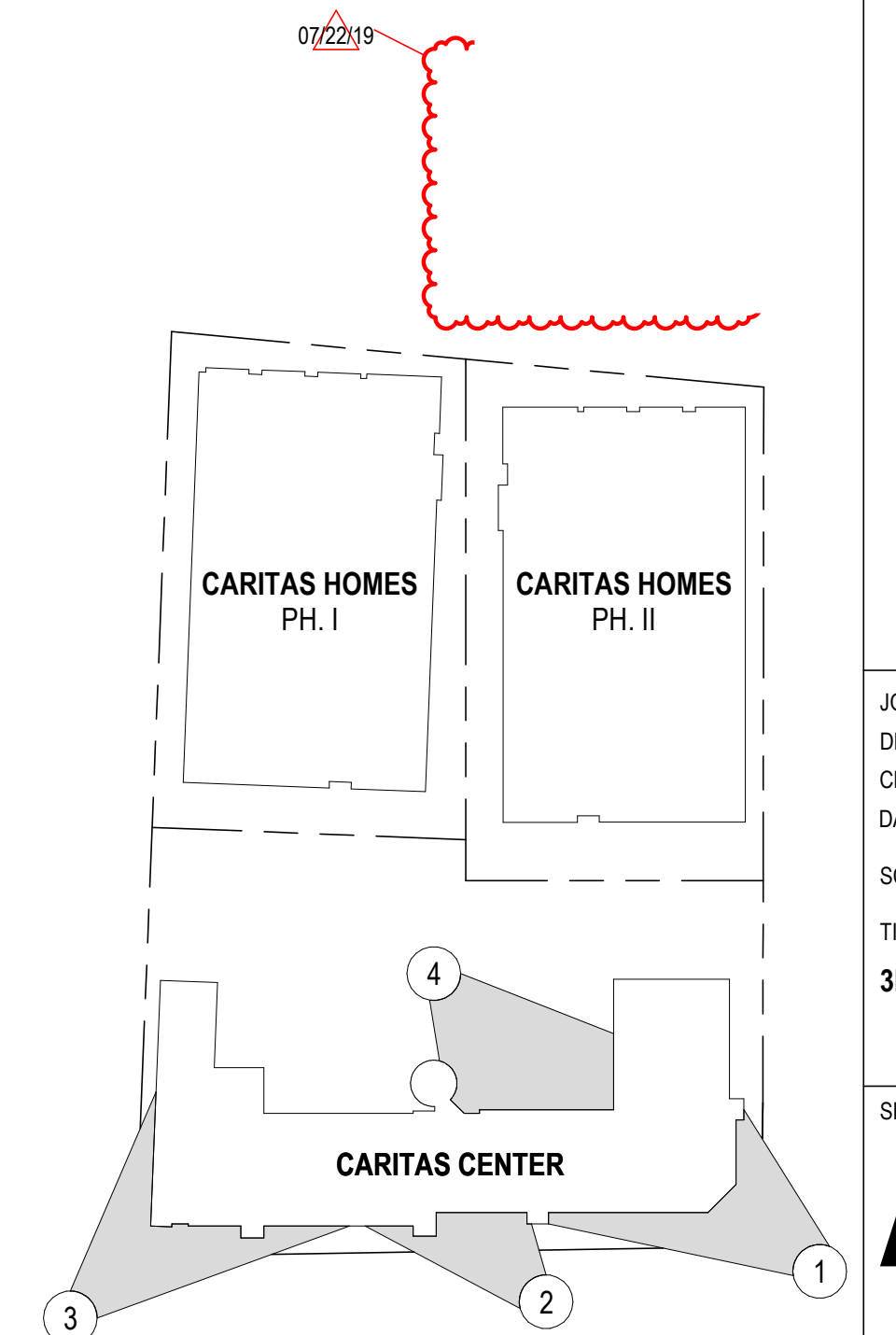


6TH AND MORGAN ST ③



6TH AND A ST ①

KEY PLAN



CARITAS VILLAGE
 CARITAS VILLAGE, SANTA ROSA CA

STAMP:

JOB NUMBER: 1815
 DRAWN BY: TK
 CHECKED BY: TB
 DATE: 7/22/19
 SCALE: 1" = 80'-0"
 TITLE:
3D VIEWS

SHEET:
A0.02

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HOMES ENTRANCE (7TH ST) 7



7TH AND MORGAN ST 6



MORGAN ST 5

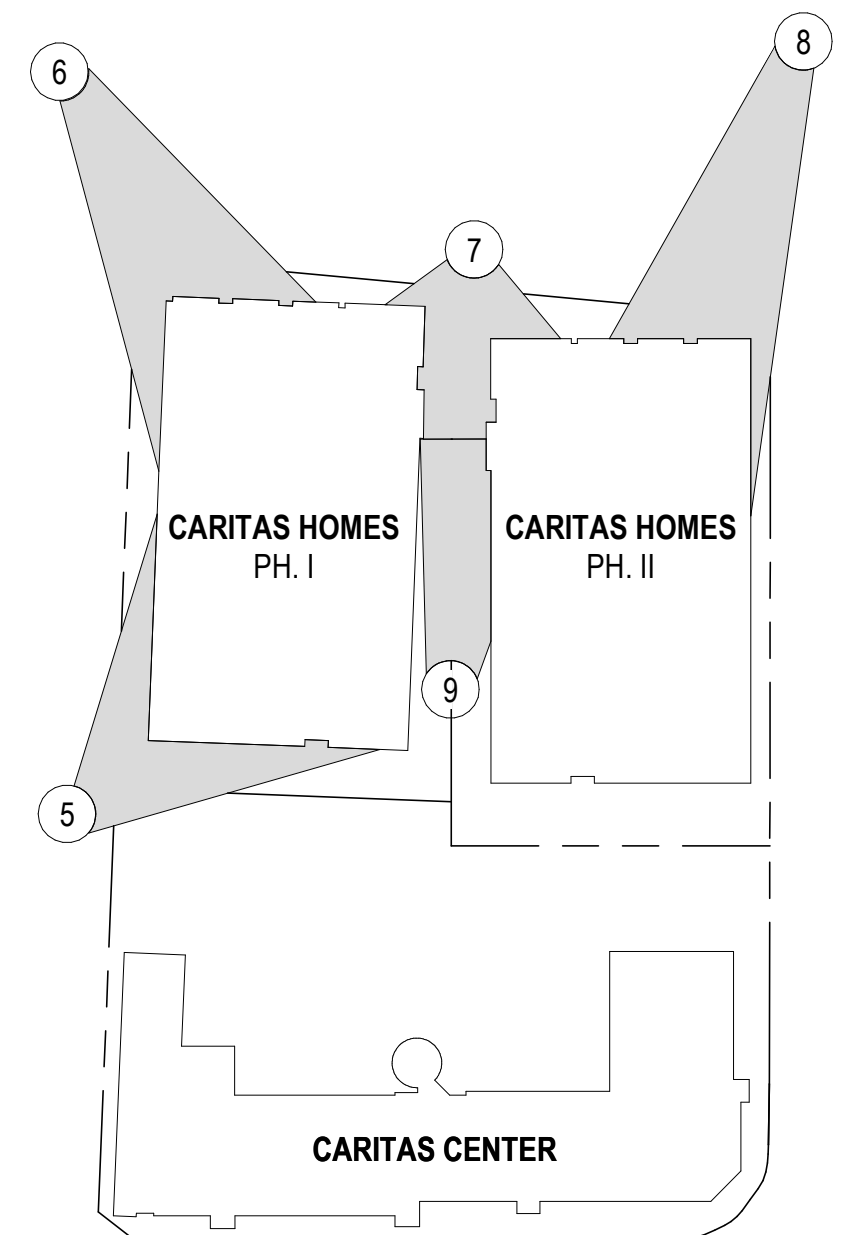


MEWS INTERIOR 9



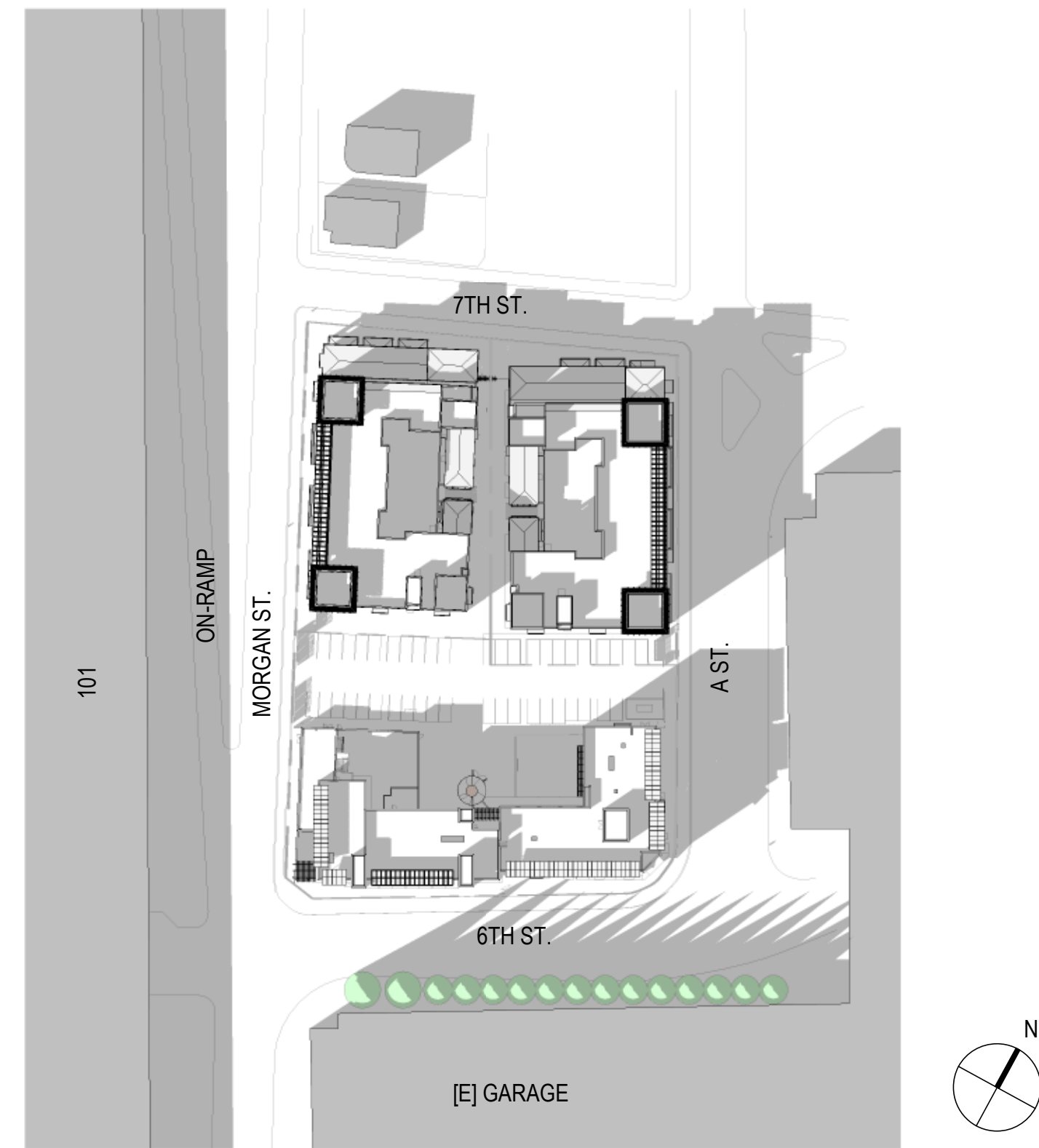
7TH AND A ST 8

KEY PLAN



DECEMBER 21

3 PM



SHADOW STUDY - DECEMBER 21ST, 3PM
1" = 100'-0" 9

SEPTEMBER 21



SHADOW STUDY - SEPTEMBER 21ST, 3PM
1" = 100'-0" 6

JUNE 21



SHADOW STUDY - JUNE 21ST, 3PM
1" = 100'-0" 3

12 PM



SHADOW STUDY - DECEMBER 21ST, 12PM
1" = 100'-0" 8

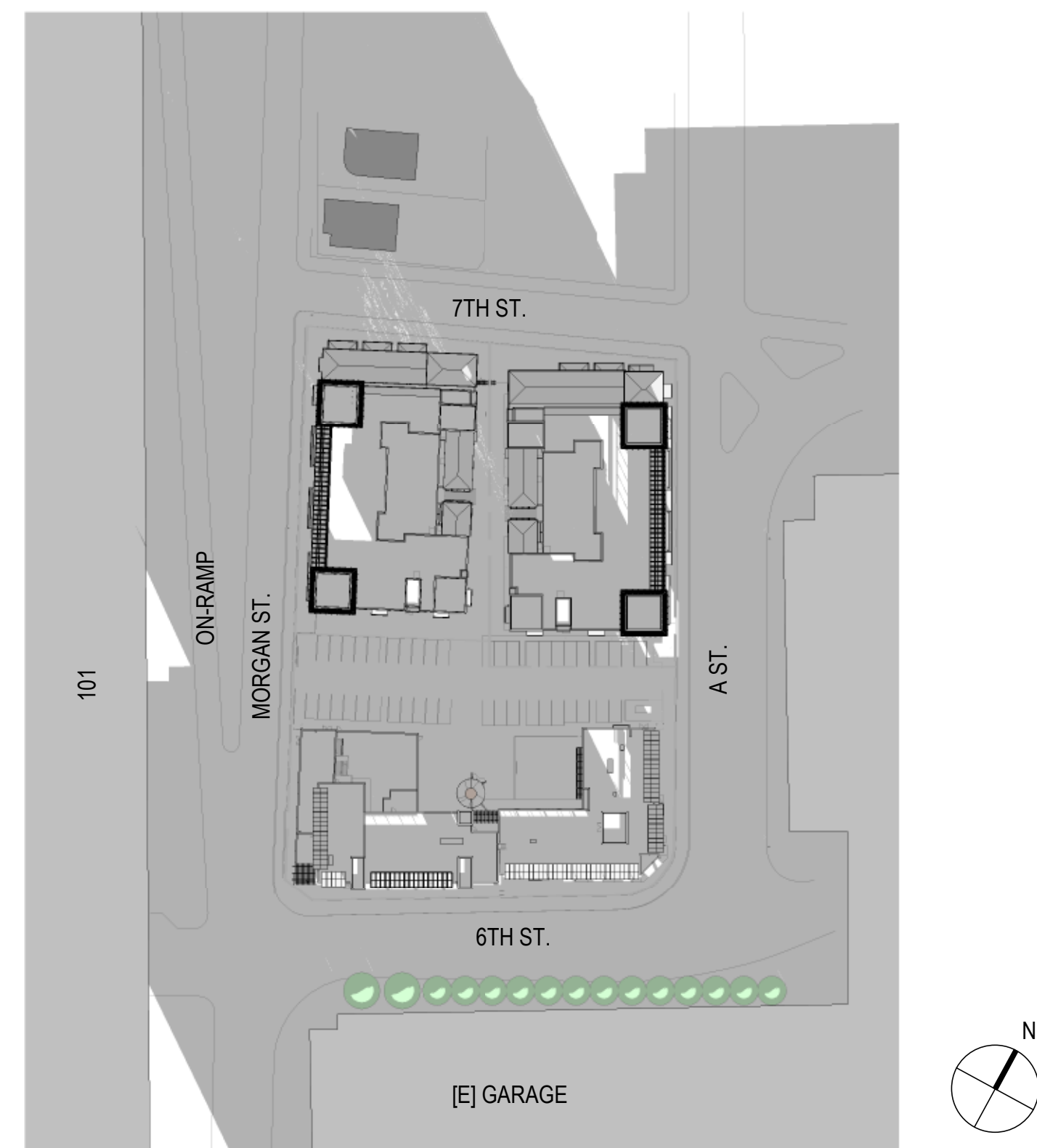


SHADOW STUDY - SEPTEMBER 21ST, 12PM
1" = 100'-0" 5

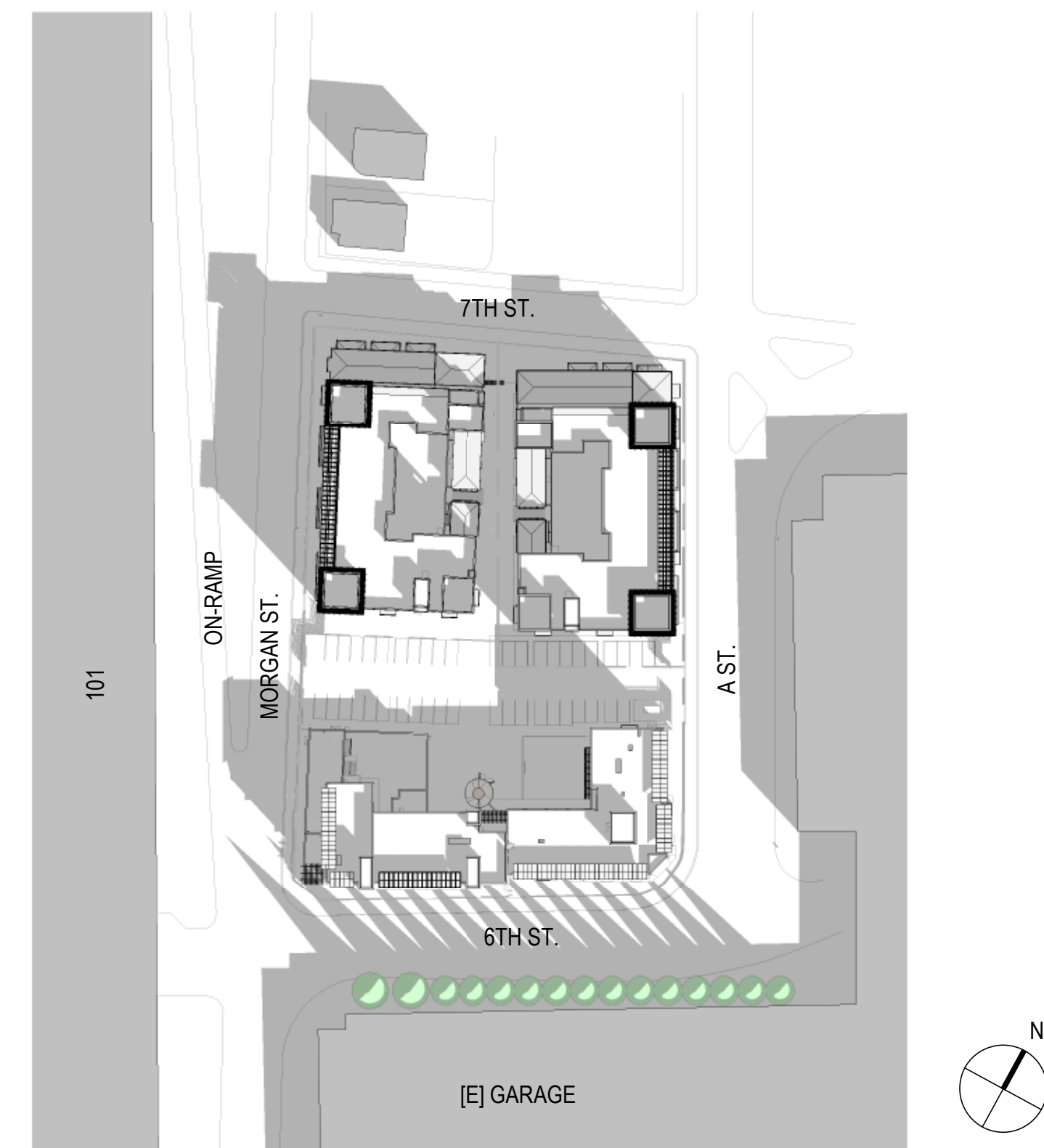


SHADOW STUDY - JUNE 21ST, 12PM
1" = 100'-0" 2

9 AM



SHADOW STUDY - DECEMBER 21ST, 9AM
1" = 100'-0" 7



SHADOW STUDY - SEPTEMBER 21ST, 9AM
1" = 100'-0" 4



SHADOW STUDY - JUNE 21ST, 9AM
1" = 100'-0" 1

STAMP:

B	PLANNING RESUBMITTAL UPDATE	07/22/19
A	PLANNING RESUBMITTAL	10/31/18

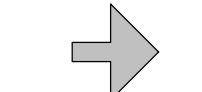

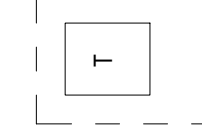
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DRAWN BY: KS
CHECKED BY: TB
DATE: 7/22/19
SCALE: 1" = 100'-0"
TITLE: SHADOW STUDIES

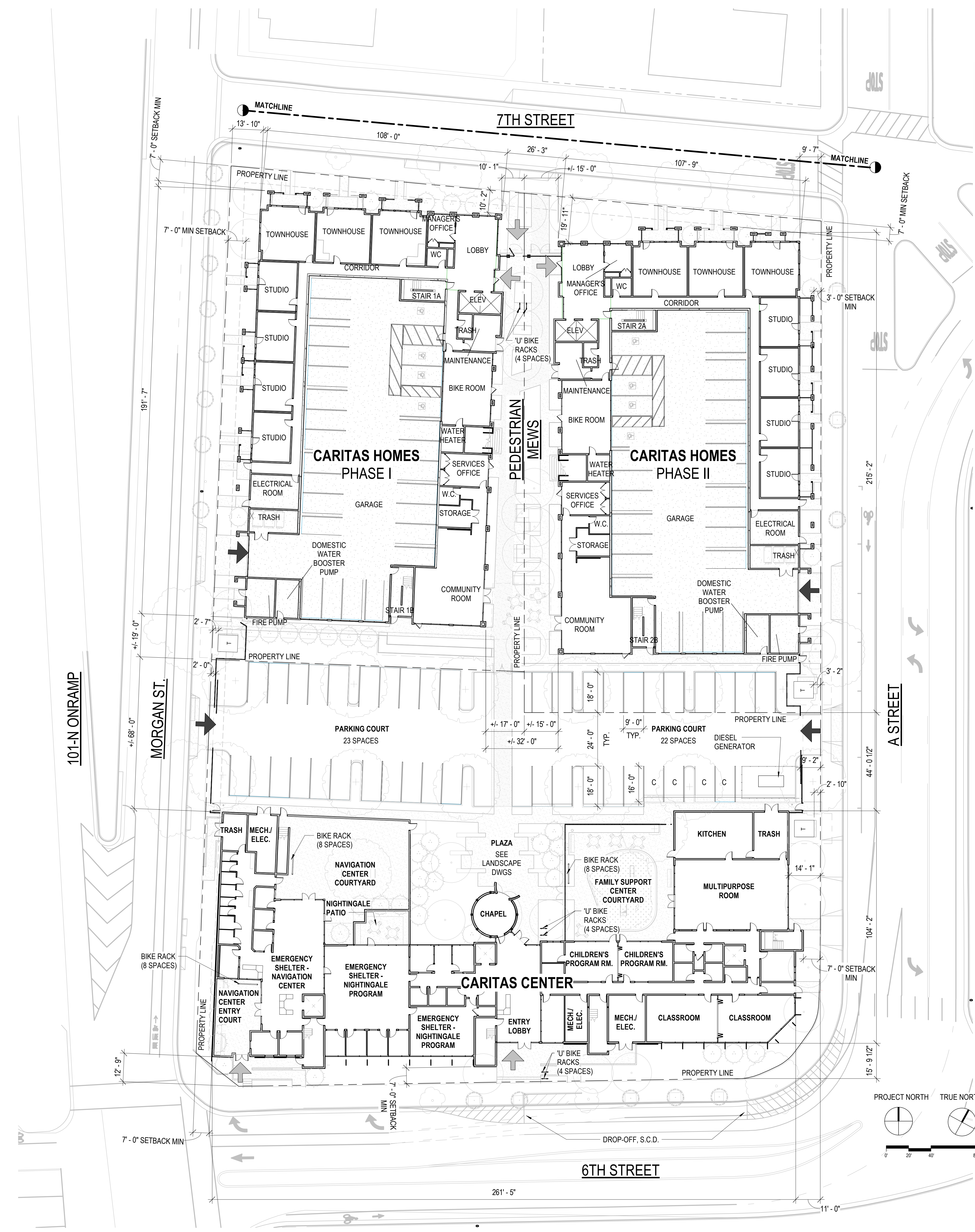
SHEET:
A0.04

PRELIMINARY - Not for Construction -

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SITE PLAN LEGEND

-  = PEDESTRIAN ENTRY
-  = VEHICULAR ENTRY
-  = TRANSFORMER



CARITAS VILLAGE
 CARITAS VILLAGE, SANTA ROSA CA

STAMP:

B	PLANNING RESUBMITTAL UPDATE	07/22/19
A	PLANNING RESUBMITTAL	10/31/18

JOB NUMBER: 1815
 DRAWN BY: TK, KS
 CHECKED BY: TB
 DATE: 7/22/19
 SCALE: 1" = 20'-0"
 TITLE: SITE PLAN

SHEET:
A1.01
 PRELIMINARY - Not for Construction -

CARITAS VILLAGE
 CARITAS VILLAGE, SANTA ROSA CA

STAMP:

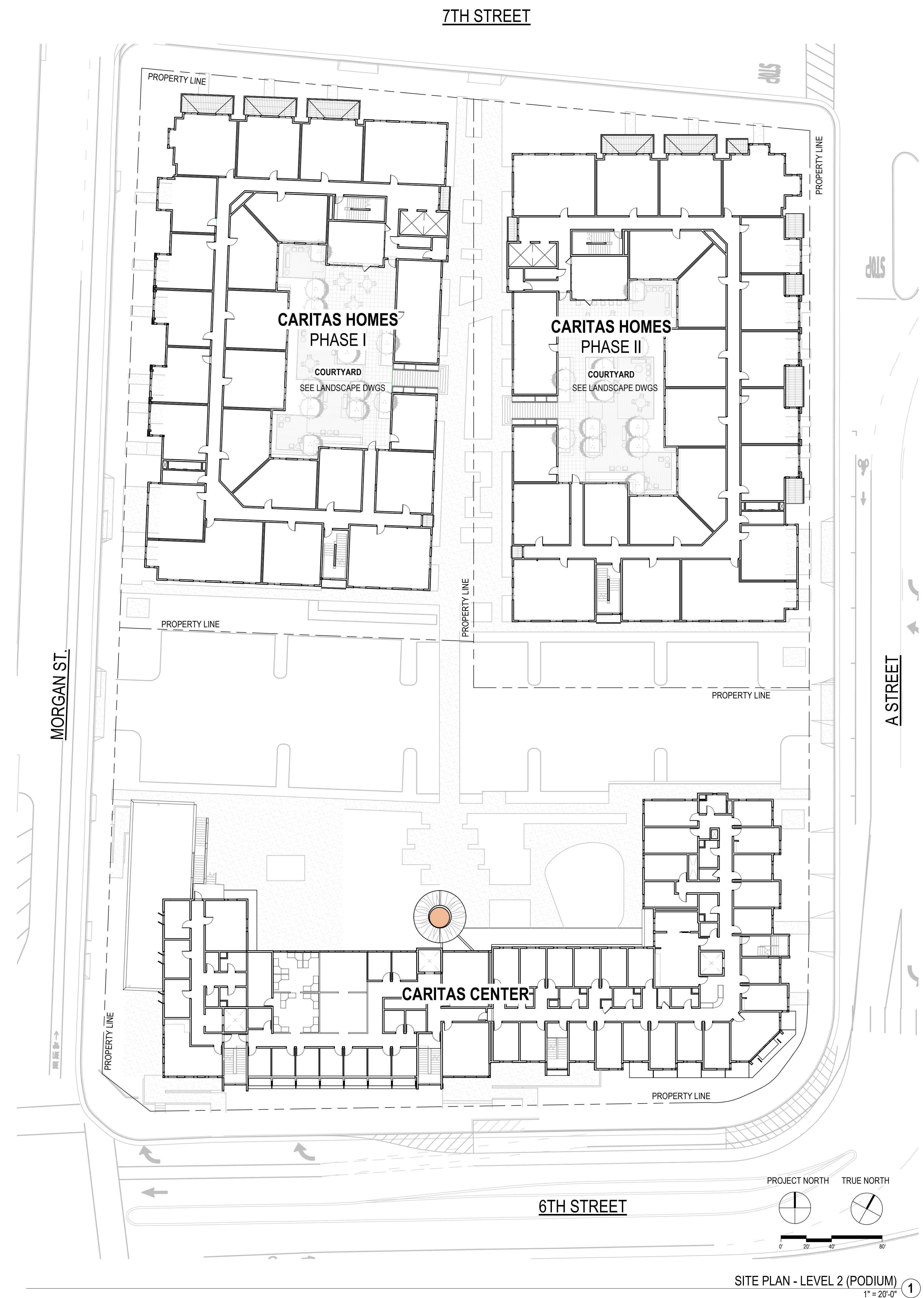
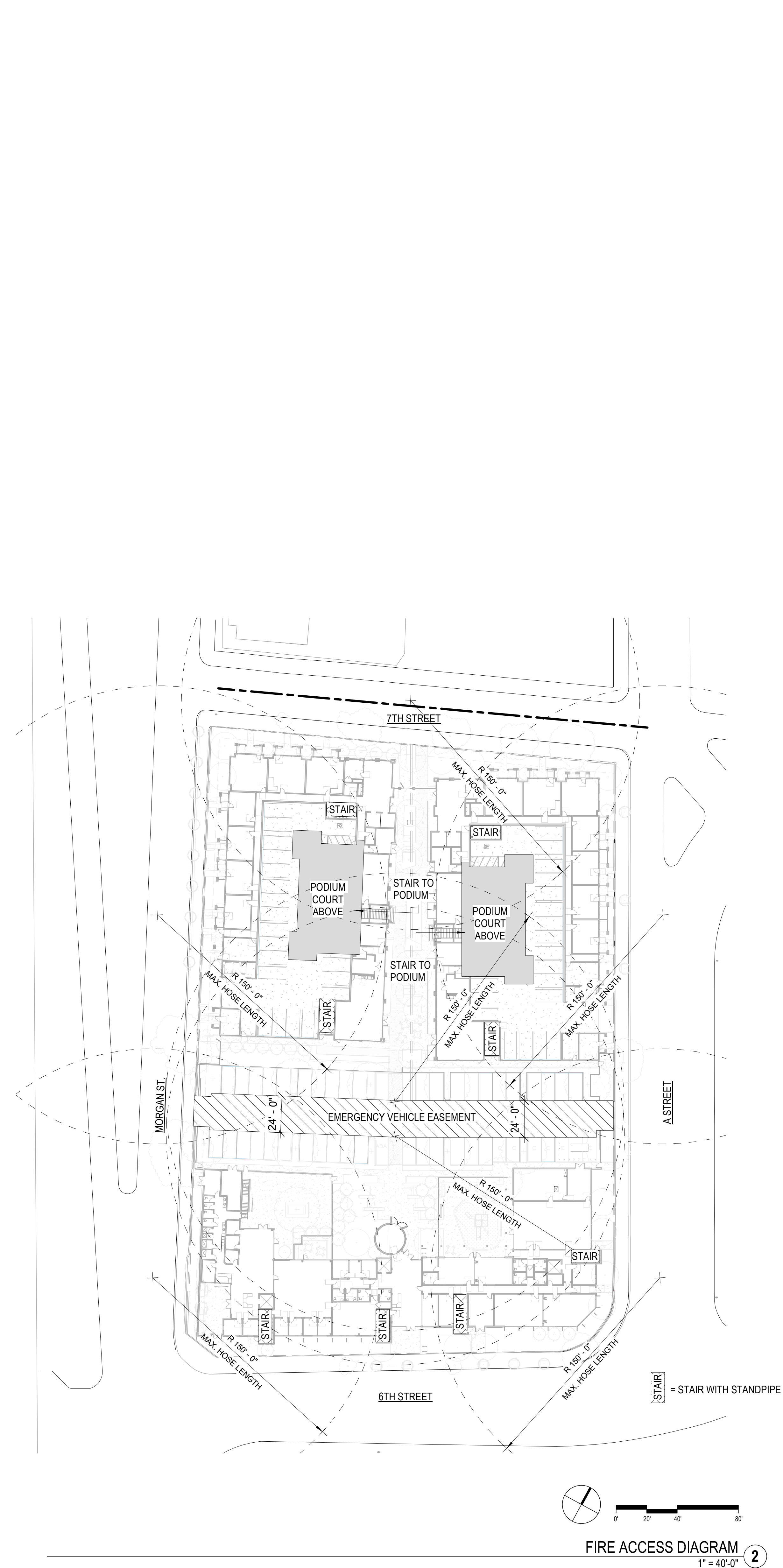
JOB NUMBER: 1815
 DRAWN BY: TK, KS
 CHECKED BY: TB
 DATE: 7/22/19
 SCALE: As indicated
 TITLE:
SITE PLAN - PODIUM AND FIRE ACCESS DIAGRAM

SHEET:

A1.02

PRELIMINARY - Not for Construction -

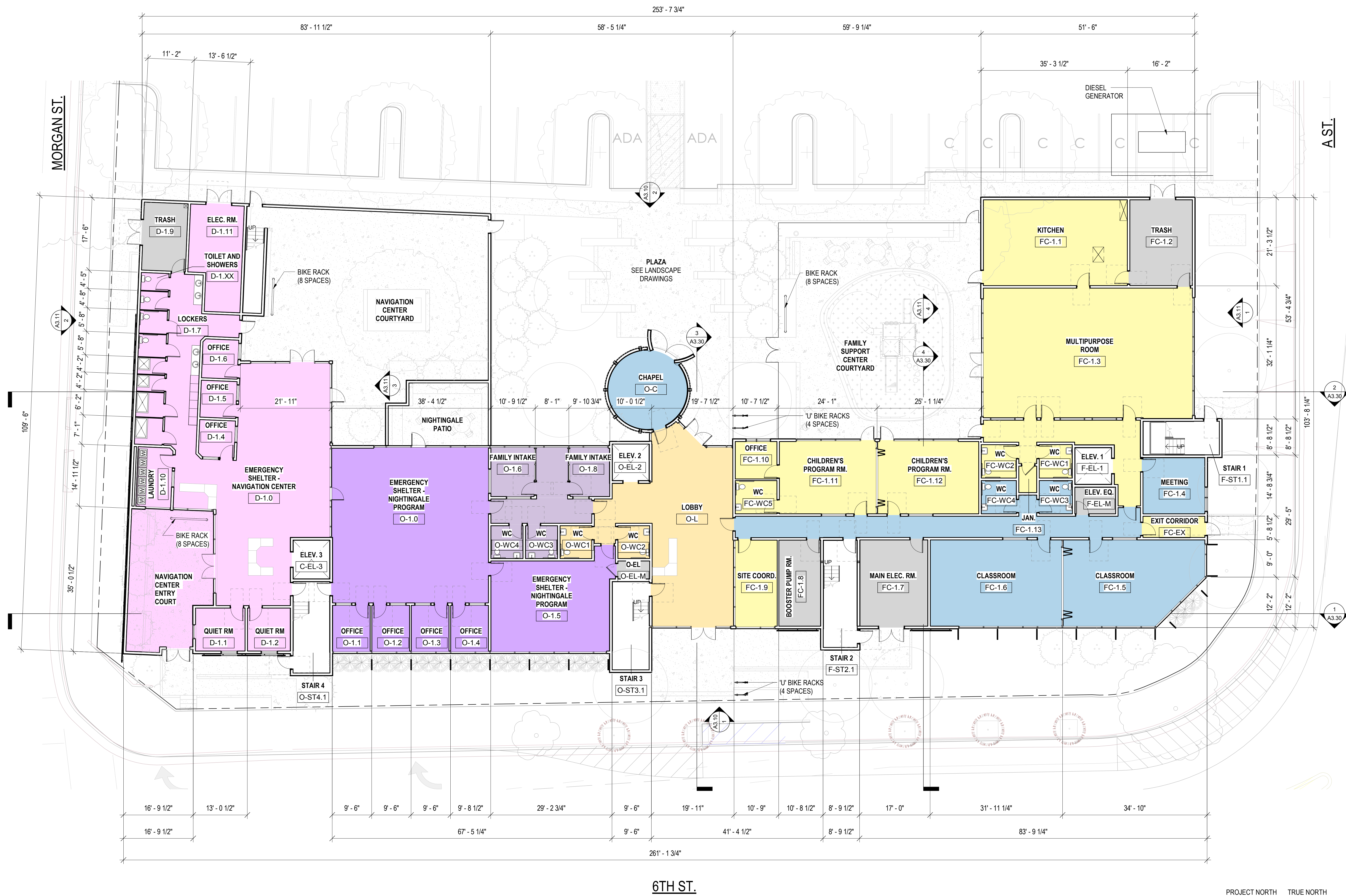
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Program Legend

- COMMUNITY CLASSROOM & CHAPEL
- EMERGENCY SHELTER - NAVIGATION CENTER
- EMERGENCY SHELTER - NIGHTINGALE PROGRAM
- FAMILY INTAKE
- FAMILY SUPPORT CENTER
- LOBBY
- SERVICE
- VERT. CIRCULATION

BUILDING AREA SCHEDULE		
Level	Name	Area
LEVEL 1	EMERGENCY SHELTER - FAMILY SUPPORT CENTER	10412 SF
LEVEL 1	EMERGENCY SHELTER - NAVIGATION CENTER	3487 SF
LEVEL 1	VERTICAL CIRCULATION	992 SF
LEVEL 1	WRAPAROUND SERVICES	17145 SF
LEVEL 2	ADMINISTRATIVE OFFICES/MEETING	2205 SF
LEVEL 2	EMERGENCY SHELTER - FAMILY SUPPORT CENTER	8059 SF
LEVEL 2	MEDICAL SERVICE - DOCTOR'S OFFICE	2389 SF
LEVEL 2	TRANSITIONAL LIVING SPACE / TRANSITIONAL RESIDENCY PROGRAM (TRP)	2099 SF
		14752 SF
LEVEL 3 (HOUSING)		
LEVEL 3 (HOUSING)	ADMINISTRATIVE OFFICES/MEETING	6635 SF
LEVEL 3 (HOUSING)	EMERGENCY SHELTER - FAMILY SUPPORT CENTER	8056 SF
		14690 SF
		46587 SF

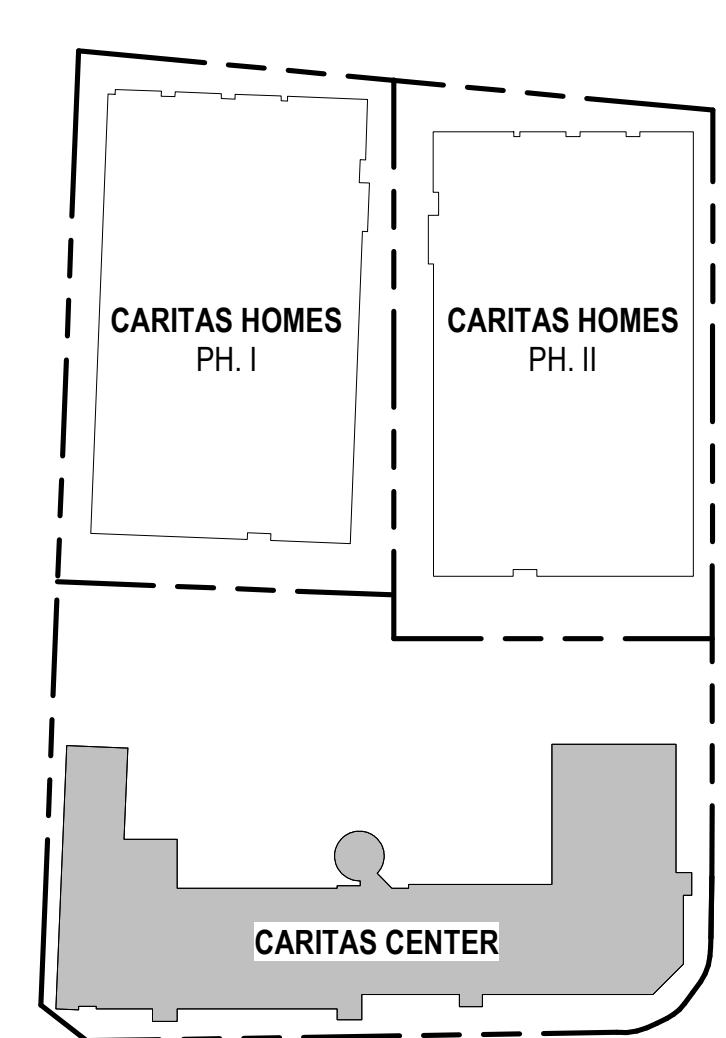


CARITAS VILLAGE
CARITAS CENTER, SANTA ROSA, CA

STAMP:

B	PLANNING RESUBMITTAL UPDATE	07/22/19
A	PLANNING RESUBMITTAL	10/31/18

KEY PLAN



JOB NUMBER: 1815
DRAWN BY: TK, KS, KM
CHECKED BY: TB
DATE: 7/22/19
SCALE: As indicated
TITLE: CENTER - FLOOR PLAN - LEVEL 1

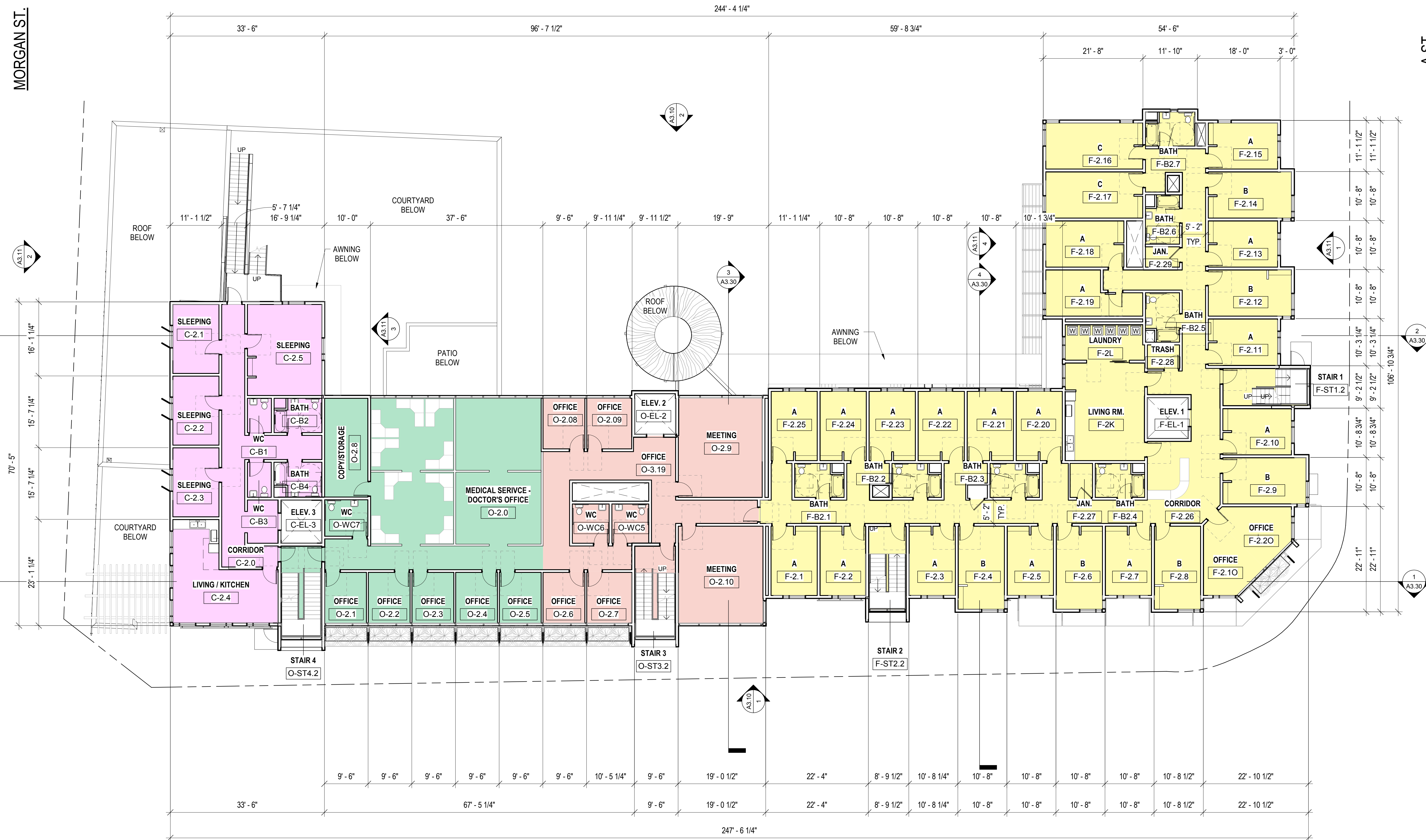
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A2.01
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CARTIAS CENTER - FLOOR PLAN - LEVEL 1
1" = 10'-0" 1

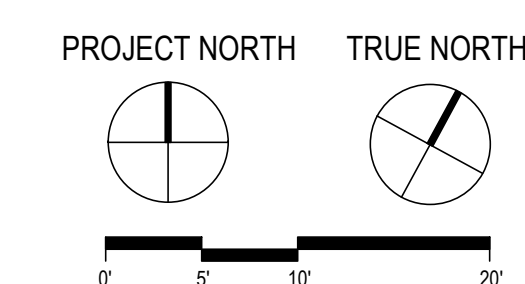
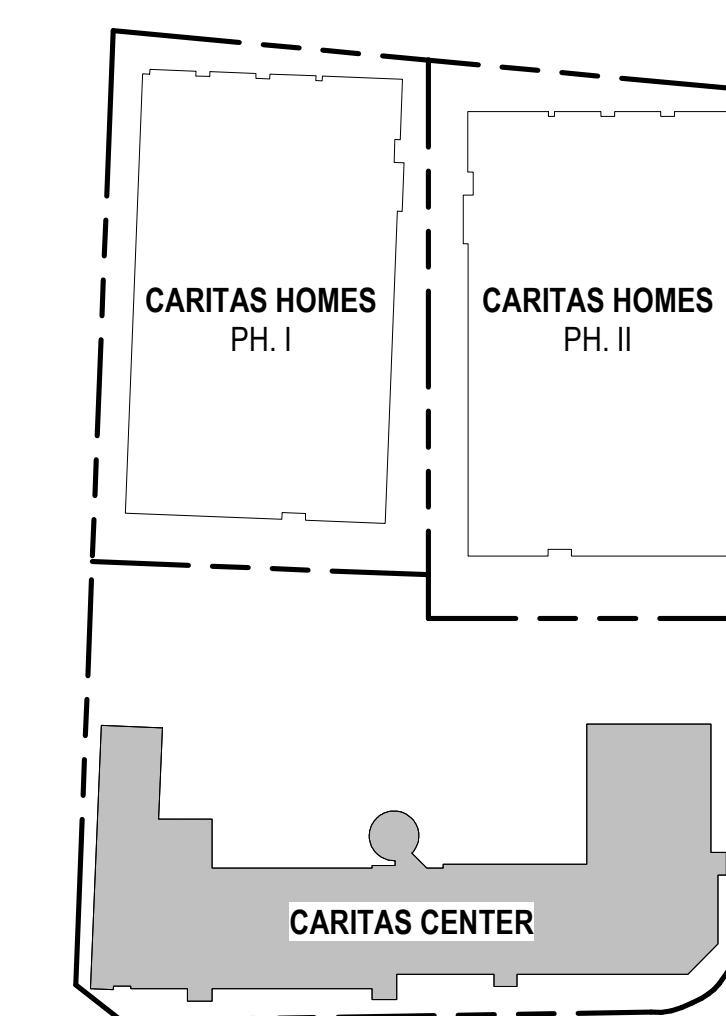
Program Legend

- EMERGENCY SHELTER - FAMILY SUPPORT CENTER
- MEDICAL SERVICE - DOCTOR'S OFFICE
- OFFICES
- TRANSITIONAL LIVING SPACE / TRANSITIONAL RESIDENCY PROGRAM (TRP)
- VERT. CIRCULATION

BUILDING AREA SCHEDULE		
Level	Name	Area
LEVEL 1	EMERGENCY SHELTER - FAMILY SUPPORT CENTER	10412 SF
LEVEL 1	EMERGENCY SHELTER - NAVIGATION CENTER	3487 SF
LEVEL 1	VERTICAL CIRCULATION	992 SF
LEVEL 1	WRAPAROUND SERVICES	2253 SF
		17145 SF
LEVEL 2	ADMINISTRATIVE OFFICES/MEETING	2205 SF
LEVEL 2	EMERGENCY SHELTER - FAMILY SUPPORT CENTER	8059 SF
LEVEL 2	MEDICAL SERVICE - DOCTOR'S OFFICE	2389 SF
LEVEL 2	TRANSITIONAL LIVING SPACE / TRANSITIONAL RESIDENCY PROGRAM (TRP)	2099 SF
		14752 SF
LEVEL 3 (HOUSING)	ADMINISTRATIVE OFFICES/MEETING	6635 SF
LEVEL 3 (HOUSING)	EMERGENCY SHELTER - FAMILY SUPPORT CENTER	8056 SF
		14690 SF
		46587 SF



KEY PLAN



CARITAS CENTER - FLOOR PLAN - LEVEL 2
 1" = 10'-0" 1

CARITAS VILLAGE
 CARITAS CENTER, SANTA ROSA, CA

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JOB NUMBER: 1815
 DRAWN BY: TK, KS, KM
 CHECKED BY: TB
 DATE: 7/22/19
 SCALE: As indicated
 TITLE: CENTER - FLOOR PLAN - LEVEL 2

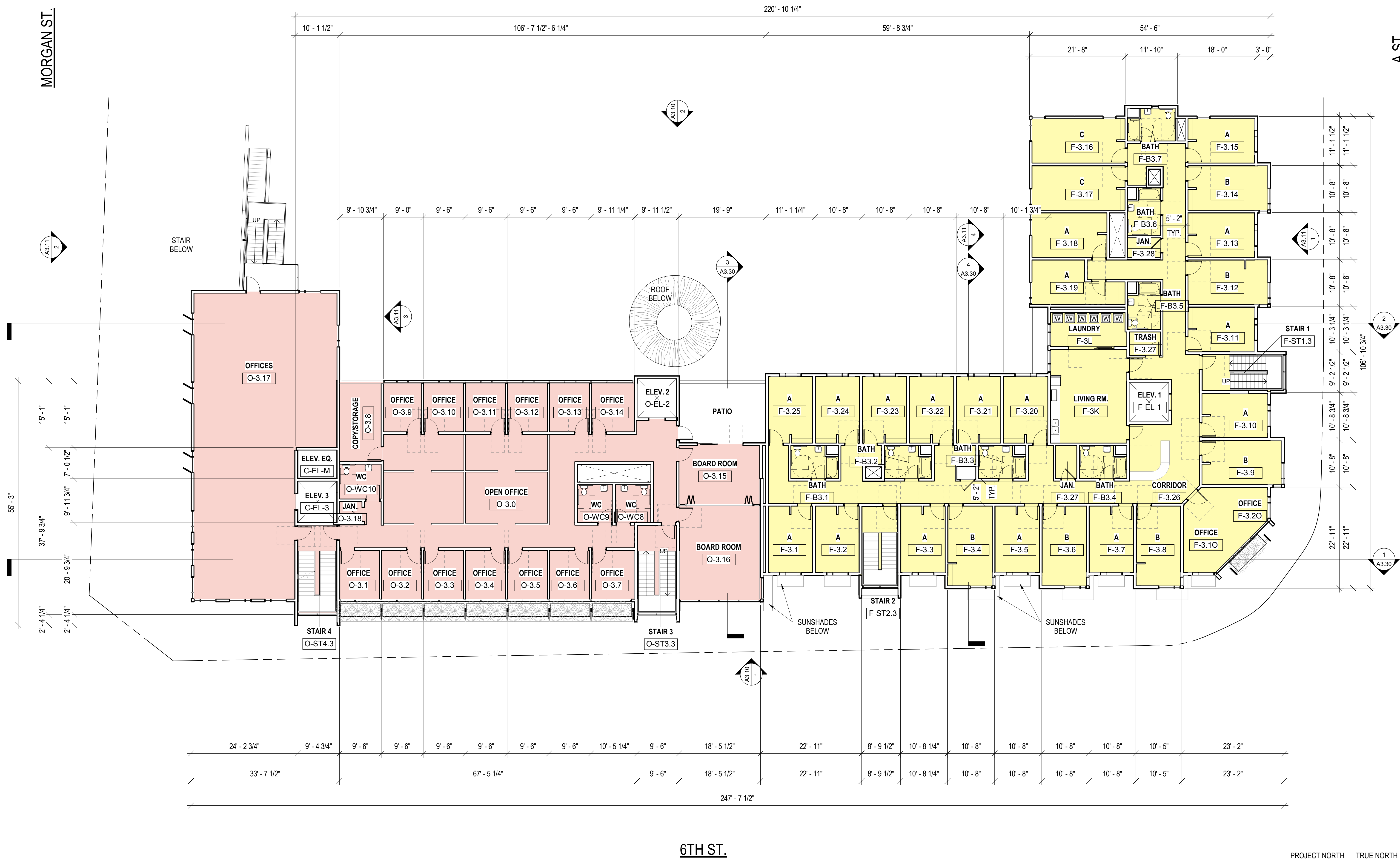
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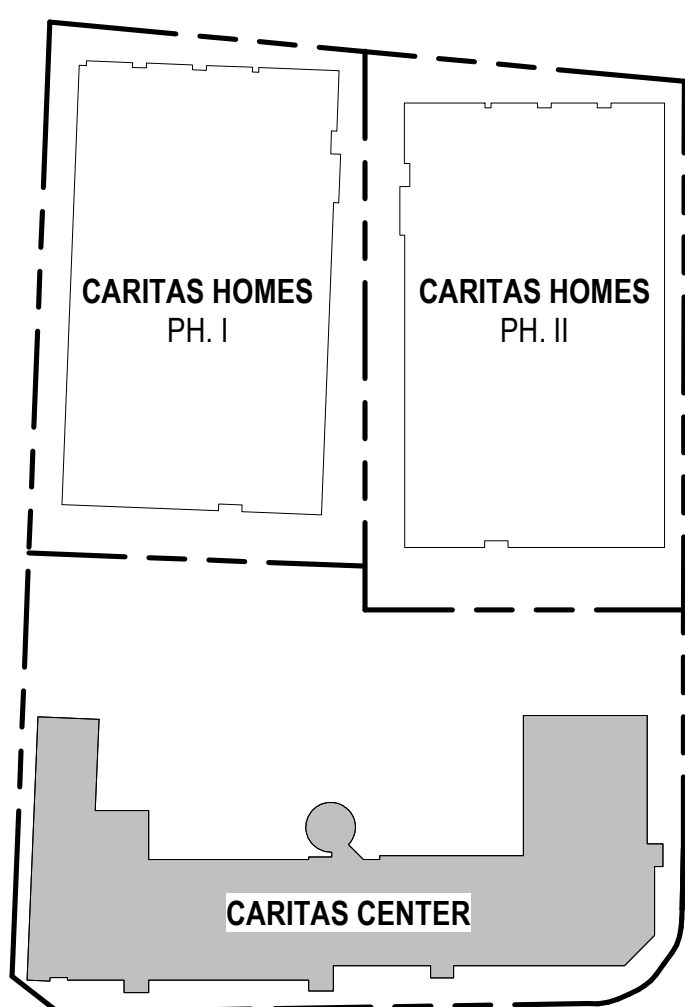
Program Legend

- EMERGENCY SHELTER - FAMILY SUPPORT CENTER
- OFFICES
- VERT. CIRCULATION

BUILDING AREA SCHEDULE		
Level	Name	Area
LEVEL 1	EMERGENCY SHELTER - FAMILY SUPPORT CENTER	10412 SF
LEVEL 1	EMERGENCY SHELTER - NAVIGATION CENTER	3487 SF
LEVEL 1	VERTICAL CIRCULATION	992 SF
LEVEL 1	WRAPAROUND SERVICES	2253 SF
		17145 SF
LEVEL 2	ADMINISTRATIVE OFFICES/MEETING	2205 SF
LEVEL 2	EMERGENCY SHELTER - FAMILY SUPPORT CENTER	8059 SF
LEVEL 2	MEDICAL SERVICE - DOCTOR'S OFFICE	2389 SF
LEVEL 2	TRANSITIONAL LIVING SPACE / TRANSITIONAL RESIDENCY PROGRAM (TRP)	2099 SF
		14752 SF
LEVEL 3 (HOUSING)		
LEVEL 3 (HOUSING)	ADMINISTRATIVE OFFICES/MEETING	6635 SF
LEVEL 3 (HOUSING)	EMERGENCY SHELTER - FAMILY SUPPORT CENTER	8056 SF
		14690 SF
		46587 SF



KEY PLAN



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A	PLANNING RESUBMITTAL	10/31/18

JOB NUMBER: 1815
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DATE: 7/22/19
SCALE: As indicated
TITLE: CENTER - FLOOR PLAN - LEVEL 3

SHEET:
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PRELIMINARY - Not for Construction -

CARITAS VILLAGE
 CARITAS CENTER, SANTA ROSA, CA

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A PLANNING RESUBMITTAL 10/31/18

JOB NUMBER: 1815
 DRAWN BY: KS
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 DATE: 7/22/19
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 TITLE: CENTER - FLOOR PLAN - ROOF

SHEET:
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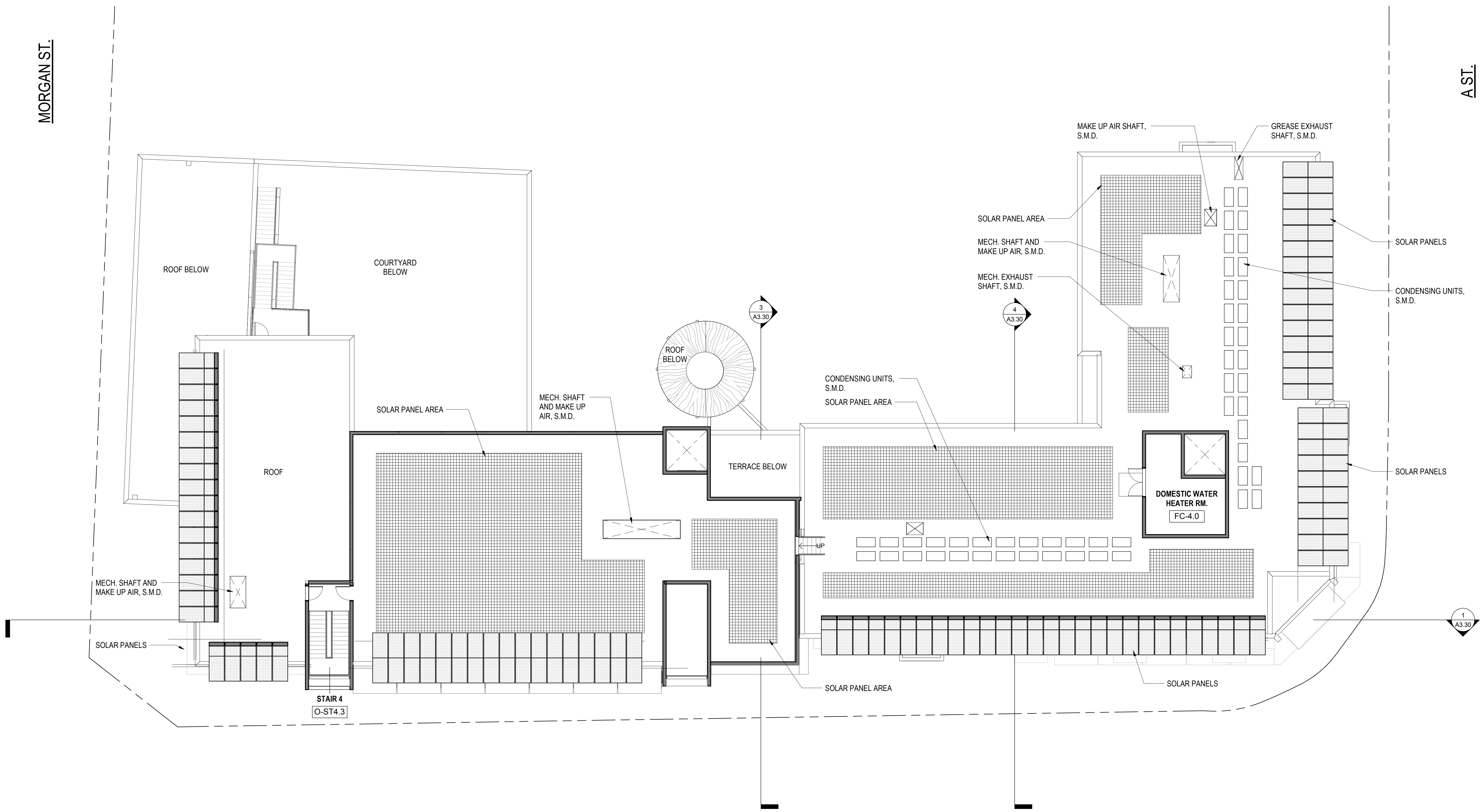
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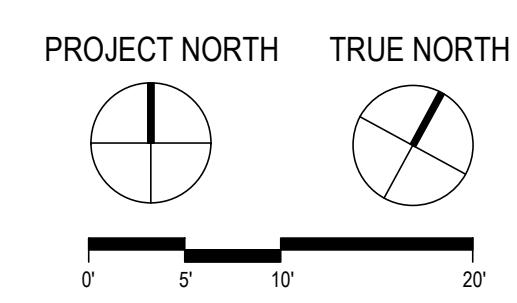
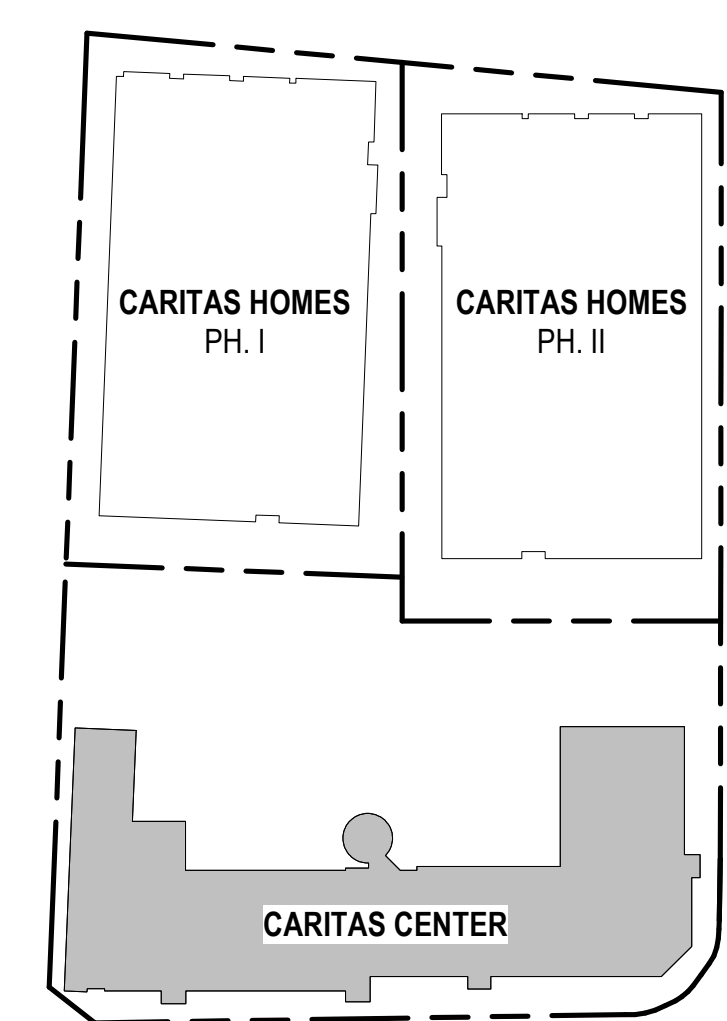
MORGAN ST.

AST.

6TH ST.



KEY PLAN



CARITAS CENTER - FLOOR PLAN - ROOF PLAN 1
 1" = 10'-0"

CARITAS VILLAGE
CARITAS VILLAGE, SANTA ROSA CA

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JOB NUMBER: 1815
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CHECKED BY: Checker
DATE: 7/22/19
SCALE: As indicated
TITLE: CARITAS HOMES - FLOOR PLAN - LEVEL 1

SHEET:
A2.11
PRELIMINARY - Not for Construction -
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PHASE II BUILDING AREA SCHEDULE (PHASE I SIM.)

Level	Name	Area
LEVEL 1	CIRCULATION/Common AREAS	4383 SF
LEVEL 1	RESIDENTIAL	3466 SF
LEVEL 1	UNOCCUPIED GARAGE/UTILITY	11159 SF
LEVEL 1	VERTICAL CIRCULATION	634 SF
LEVEL 2	CIRCULATION/Common AREAS	19641 SF
LEVEL 2	RESIDENTIAL	13609 SF
LEVEL 2	UNOCCUPIED GARAGE/UTILITY	134 SF
LEVEL 3	CIRCULATION/Common AREAS	16310 SF
LEVEL 3	RESIDENTIAL	10918 SF
LEVEL 3	UNOCCUPIED GARAGE/UTILITY	56 SF
LEVEL 4	CIRCULATION/Common AREAS	13188 SF
LEVEL 4	RESIDENTIAL	2215 SF
LEVEL 4	UNOCCUPIED GARAGE/UTILITY	56 SF
		12106 SF
		61246 SF

Phase I Unit Count

Level	Count
1BR	
LEVEL 2	8
LEVEL 3	7
LEVEL 4	7
2BR	
LEVEL 2	3
LEVEL 3	3
LEVEL 4	2
8	
STUDIO	
LEVEL 1	4
LEVEL 2	8
LEVEL 3	10
LEVEL 4	9
31	
TOWNHOUSE	
LEVEL 1	3
3	
TOTAL:	64

Phase II Unit Count

Level	Count
1BR	
LEVEL 2	8
LEVEL 3	8
LEVEL 4	7
2BR	
LEVEL 2	3
LEVEL 3	2
LEVEL 4	2
7	
STUDIO	
LEVEL 1	4
LEVEL 2	9
LEVEL 3	9
LEVEL 4	9
31	
TOWNHOUSE	
LEVEL 1	3
3	
TOTAL:	64

Phase I Unit Count

Level	Count
1BR	
LEVEL 2	8
LEVEL 3	7
LEVEL 4	7
2BR	
LEVEL 2	3
LEVEL 3	3
LEVEL 4	2
8	
STUDIO	
LEVEL 1	4
LEVEL 2	8
LEVEL 3	10
LEVEL 4	9
31	
TOWNHOUSE	
LEVEL 1	3
3	
TOTAL:	64

Phase II Unit Count

Level	Count
1BR	
LEVEL 2	8
LEVEL 3	8
LEVEL 4	7
2BR	
LEVEL 2	3
LEVEL 3	2
LEVEL 4	2
7	
STUDIO	
LEVEL 1	4
LEVEL 2	9
LEVEL 3	9
LEVEL 4	9
31	
TOWNHOUSE	
LEVEL 1	3
3	
TOTAL:	64

Phase I Unit Count

Level	Count
1BR	
LEVEL 2	8
LEVEL 3	7
LEVEL 4	7
2BR	
LEVEL 2	3
LEVEL 3	3
LEVEL 4	2
8	
STUDIO	
LEVEL 1	4
LEVEL 2	8
LEVEL 3	10
LEVEL 4	9
31	
TOWNHOUSE	
LEVEL 1	3
3	
TOTAL:	64

Phase II Unit Count

Level	Count
1BR	
LEVEL 2	8
LEVEL 3	8
LEVEL 4	7
2BR	
LEVEL 2	3
LEVEL 3	2
LEVEL 4	2
7	
STUDIO	
LEVEL 1	4
LEVEL 2	9
LEVEL 3	9
LEVEL 4	9
31	
TOWNHOUSE	
LEVEL 1	3
3	
TOTAL:	64

Phase I Unit Count

Level	Count
1BR	
LEVEL 2	8
LEVEL 3	7
LEVEL 4	7
2BR	
LEVEL 2	3
LEVEL 3	3
LEVEL 4	2
8	
STUDIO	
LEVEL 1	4
LEVEL 2	8
LEVEL 3	10
LEVEL 4	9
31	
TOWNHOUSE	
LEVEL 1	3
3	
TOTAL:	64

Phase II Unit Count

Level	Count
1BR	
LEVEL 2	8
LEVEL 3	8
LEVEL 4	7
2BR	
LEVEL 2	3
LEVEL 3	2
LEVEL 4	2
7	
STUDIO	
LEVEL 1	4
LEVEL 2	9
LEVEL 3	9
LEVEL 4	9
31	
TOWNHOUSE	
LEVEL 1	3
3	
TOTAL:	64

Phase I Unit Count

Level	Count
1BR	
LEVEL 2	8
LEVEL 3	7
LEVEL 4	7
2BR	
LEVEL 2	3
LEVEL 3	3
LEVEL 4	2
8	
STUDIO	
LEVEL 1	4
LEVEL 2	8
LEVEL 3	10
LEVEL 4	9
31	
TOWNHOUSE	
LEVEL 1	3
3	
TOTAL:	64

Phase II Unit Count

Level	Count
1BR	
LEVEL 2	8
LEVEL 3	8
LEVEL 4	7
2BR	
LEVEL 2	3
LEVEL 3	2
LEVEL 4	2
7	
STUDIO	
LEVEL 1	4
LEVEL 2	9
LEVEL 3	9
LEVEL 4	9
31	
TOWNHOUSE	
LEVEL 1	3
3	
TOTAL:	64

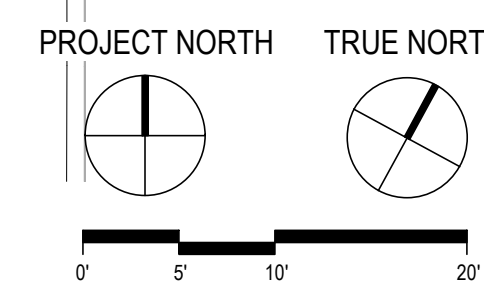
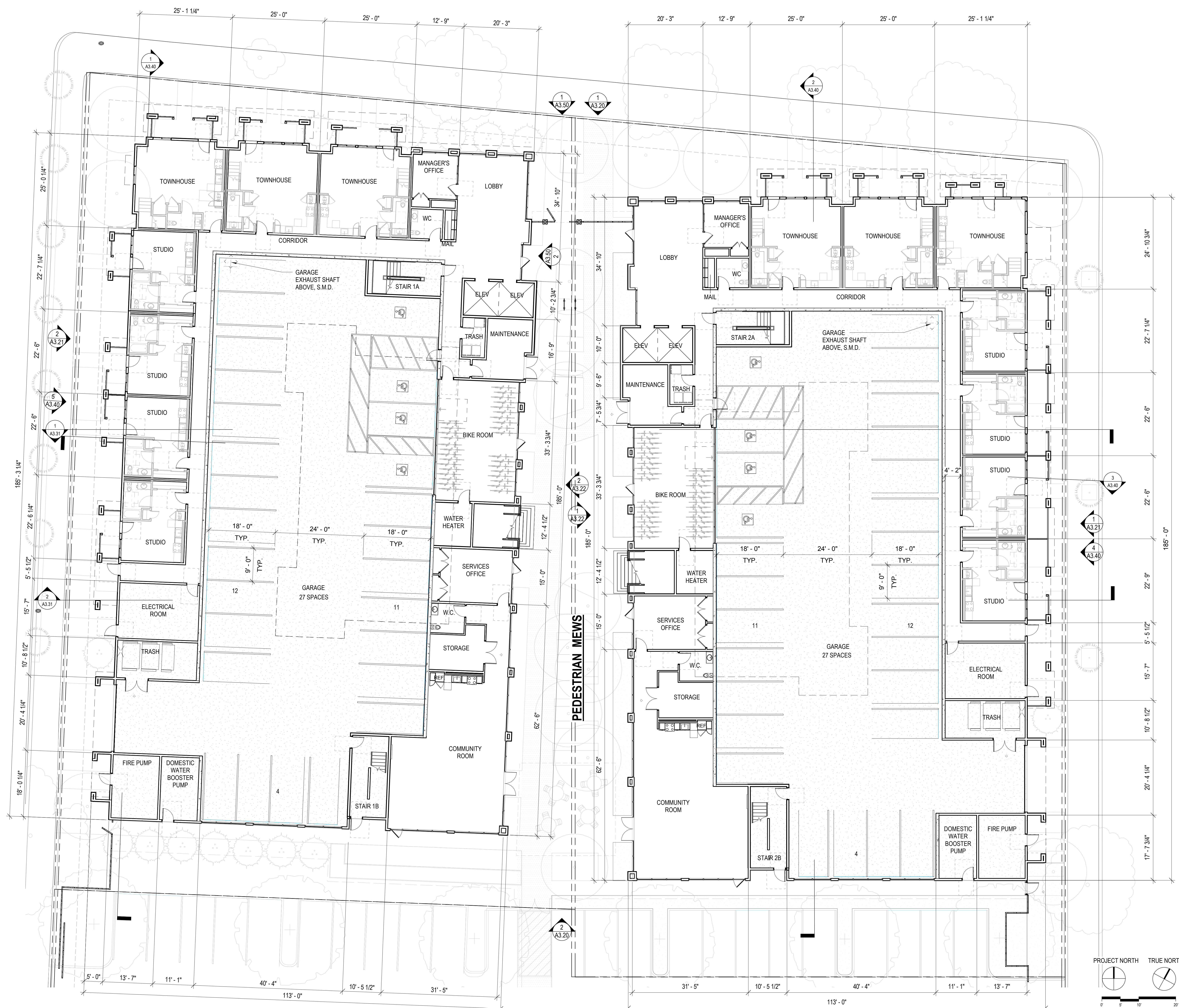
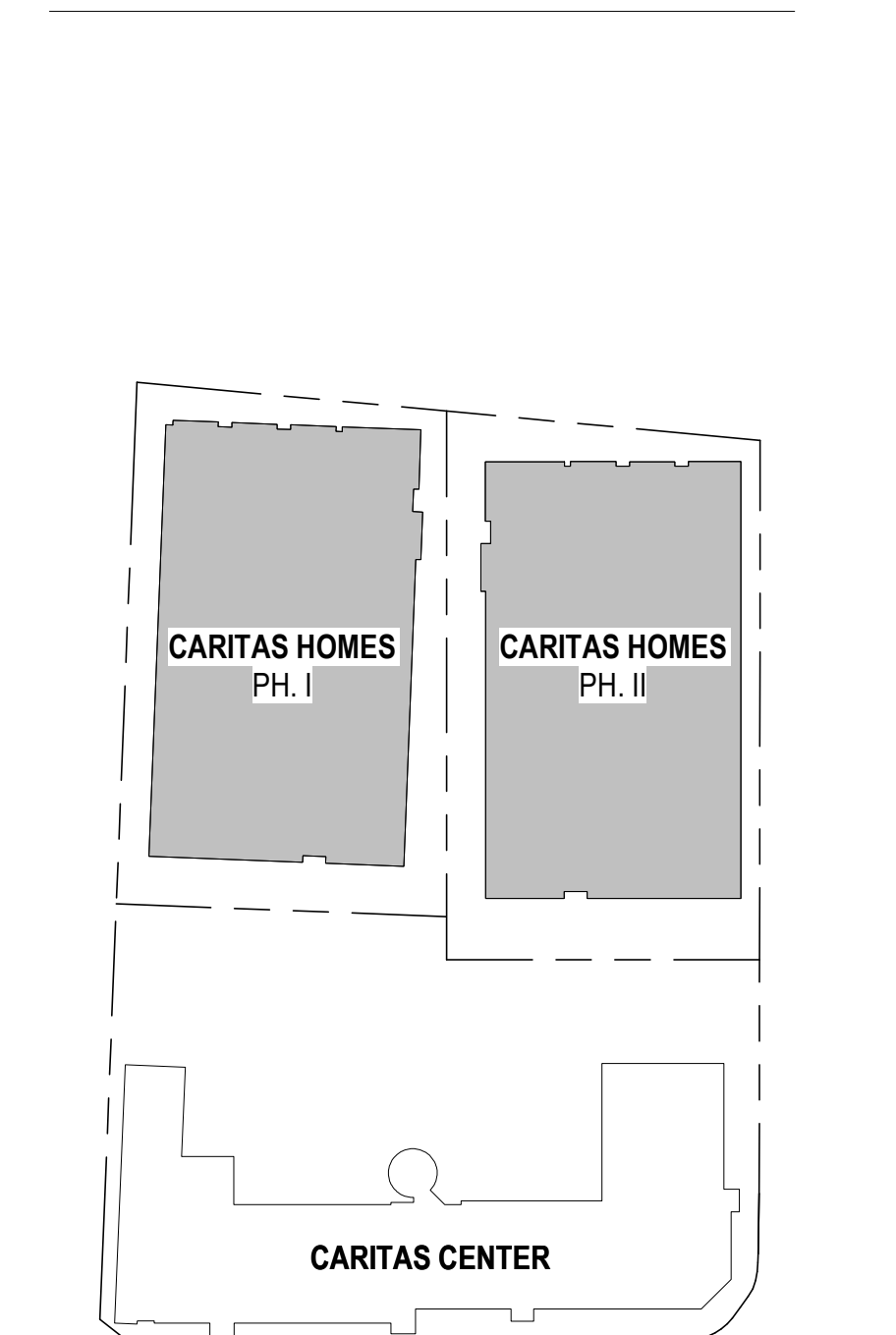
Phase I Unit Count

Level	Count
1BR	
LEVEL 2	8
LEVEL 3	7
LEVEL 4	7
2BR	
LEVEL 2	3
LEVEL 3	3
LEVEL 4	2
8	
STUDIO	
LEVEL 1	4
LEVEL 2	8
LEVEL 3	10
LEVEL 4	9
31	
TOWNHOUSE	
LEVEL 1	3
3	
TOTAL:	64

Phase II Unit Count

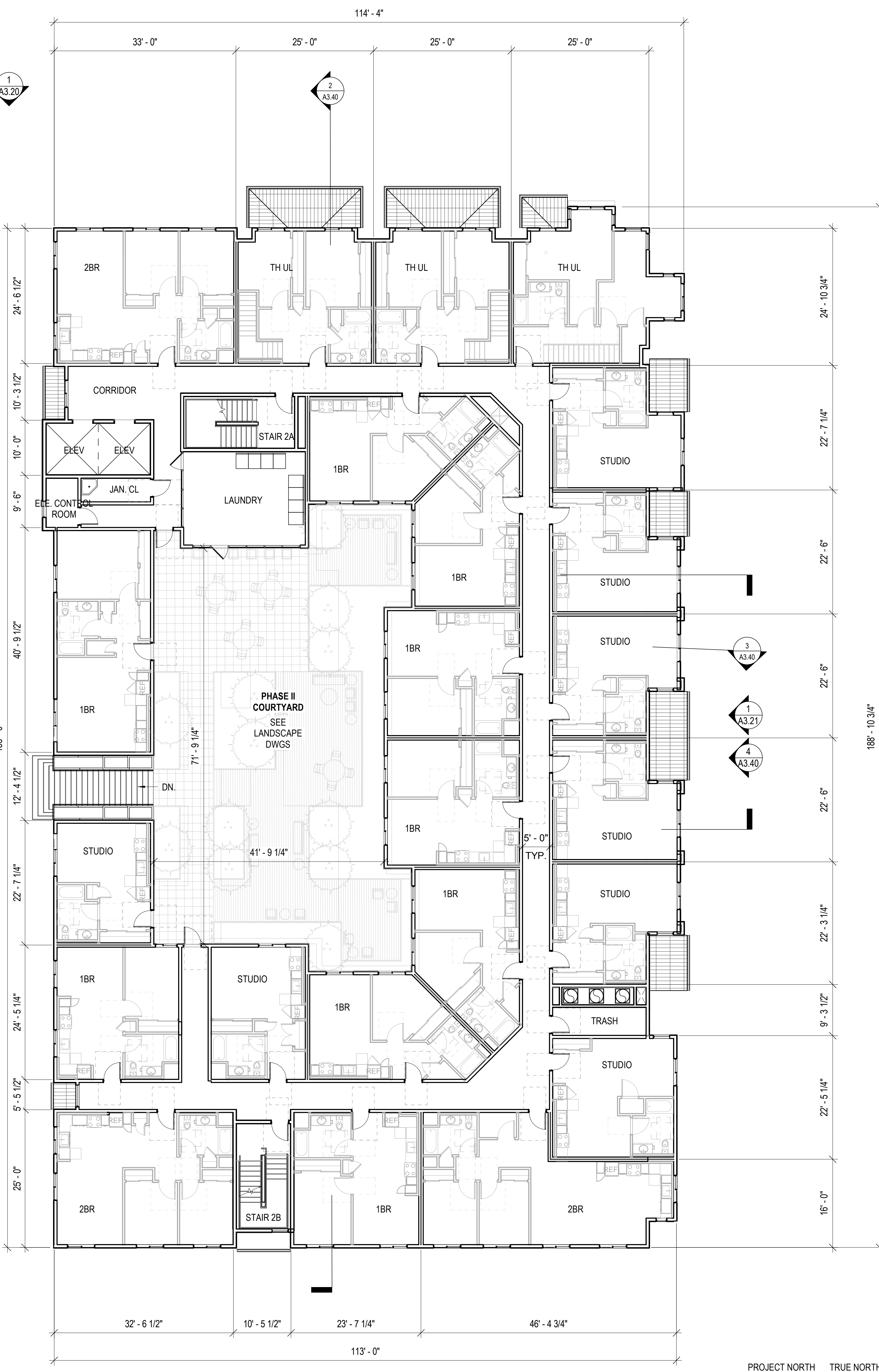
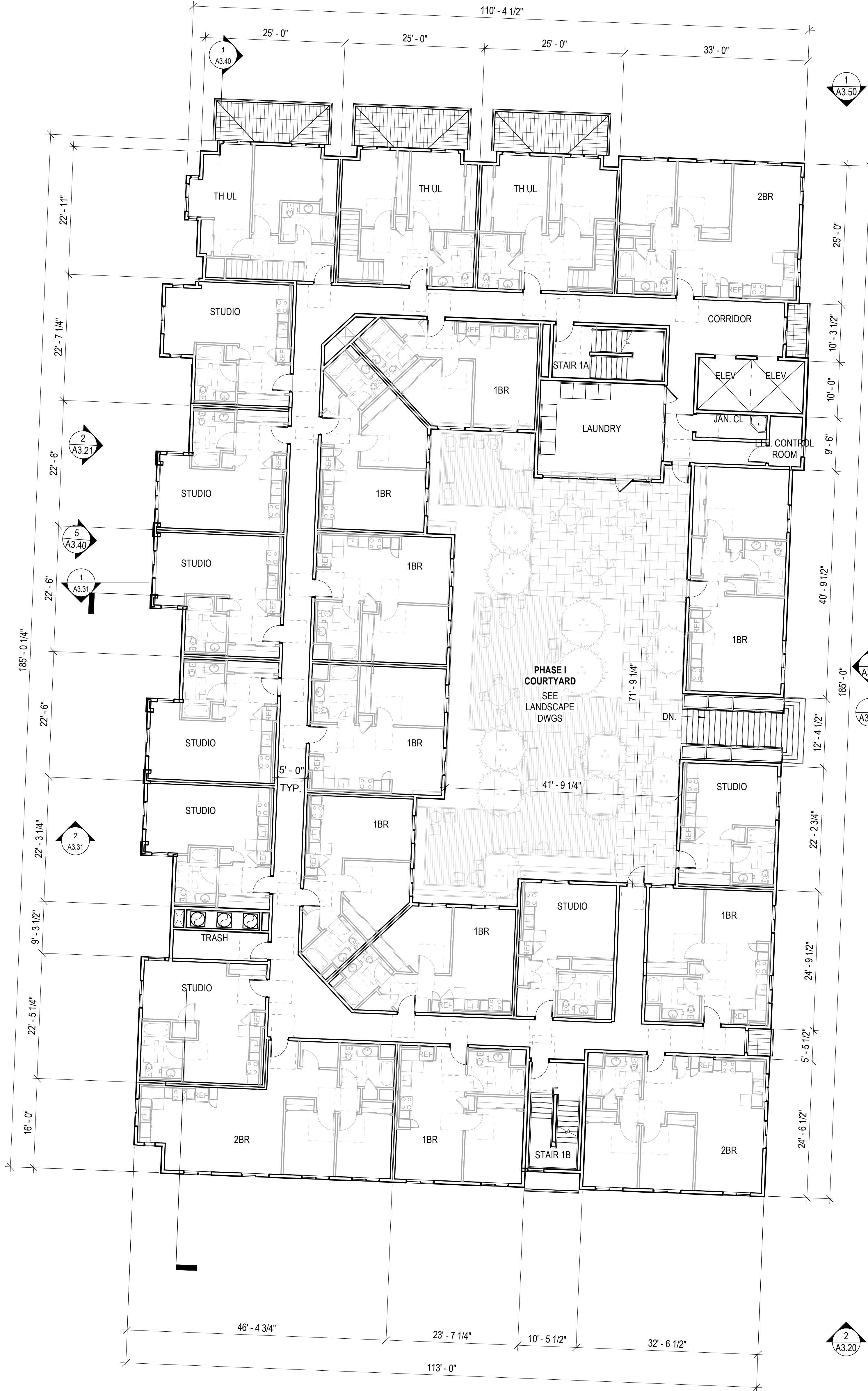
Level	Count
1BR	
LEVEL 2	8
LEVEL 3	8
LEVEL 4	7
2BR	
LEVEL 2	3
LEVEL 3	2
LEVEL 4	2
7	
STUDIO	
LEVEL 1	4
LEVEL 2	9
LEVEL 3	9
LEVEL 4	9
31	
TOWNHOUSE	
LEVEL 1	3
3	
TOTAL:	64

KEY PLAN

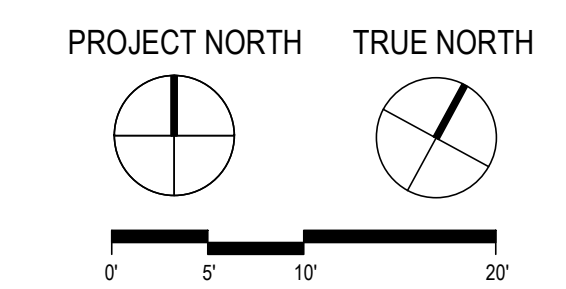
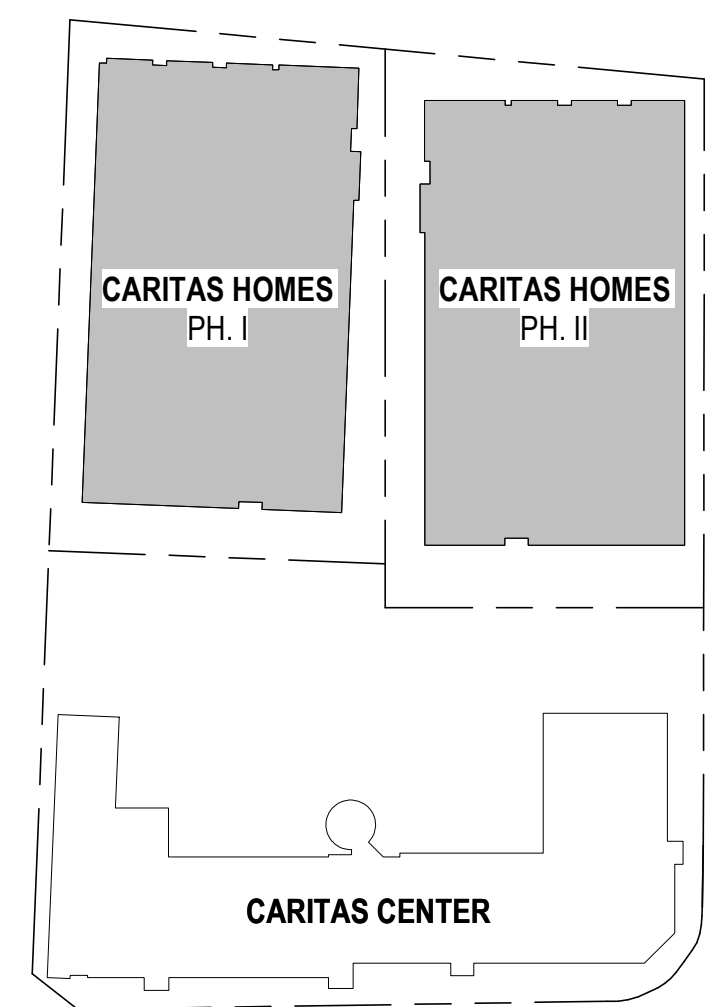


CARTAS HOMES - FLOOR PLAN - LEVEL 1
1" = 10'-0"

PHASE II BUILDING AREA SCHEDULE (PHASE I SIM.)		
Level	Name	Area
LEVEL 1	CIRCULATION/COMMON AREAS	4383 SF
LEVEL 1	RESIDENTIAL	3466 SF
LEVEL 1	UNOCCUPIED GARAGE/UTILITY	11159 SF
LEVEL 1	VERTICAL CIRCULATION	634 SF
		19641 SF
LEVEL 2	CIRCULATION/COMMON AREAS	2567 SF
LEVEL 2	RESIDENTIAL	13609 SF
LEVEL 2	UNOCCUPIED GARAGE/UTILITY	134 SF
		16310 SF
LEVEL 3	CIRCULATION/COMMON AREAS	2215 SF
LEVEL 3	RESIDENTIAL	10918 SF
LEVEL 3	UNOCCUPIED GARAGE/UTILITY	56 SF
		13188 SF
LEVEL 4	CIRCULATION/COMMON AREAS	2215 SF
LEVEL 4	RESIDENTIAL	9836 SF
LEVEL 4	UNOCCUPIED GARAGE/UTILITY	56 SF
		12106 SF
		61246 SF



KEY PLAN



CARITAS HOMES - FLOOR PLAN - LEVEL 2
1" = 10'-0"

CARITAS VILLAGE
CARITAS VILLAGE, SANTA ROSA CA

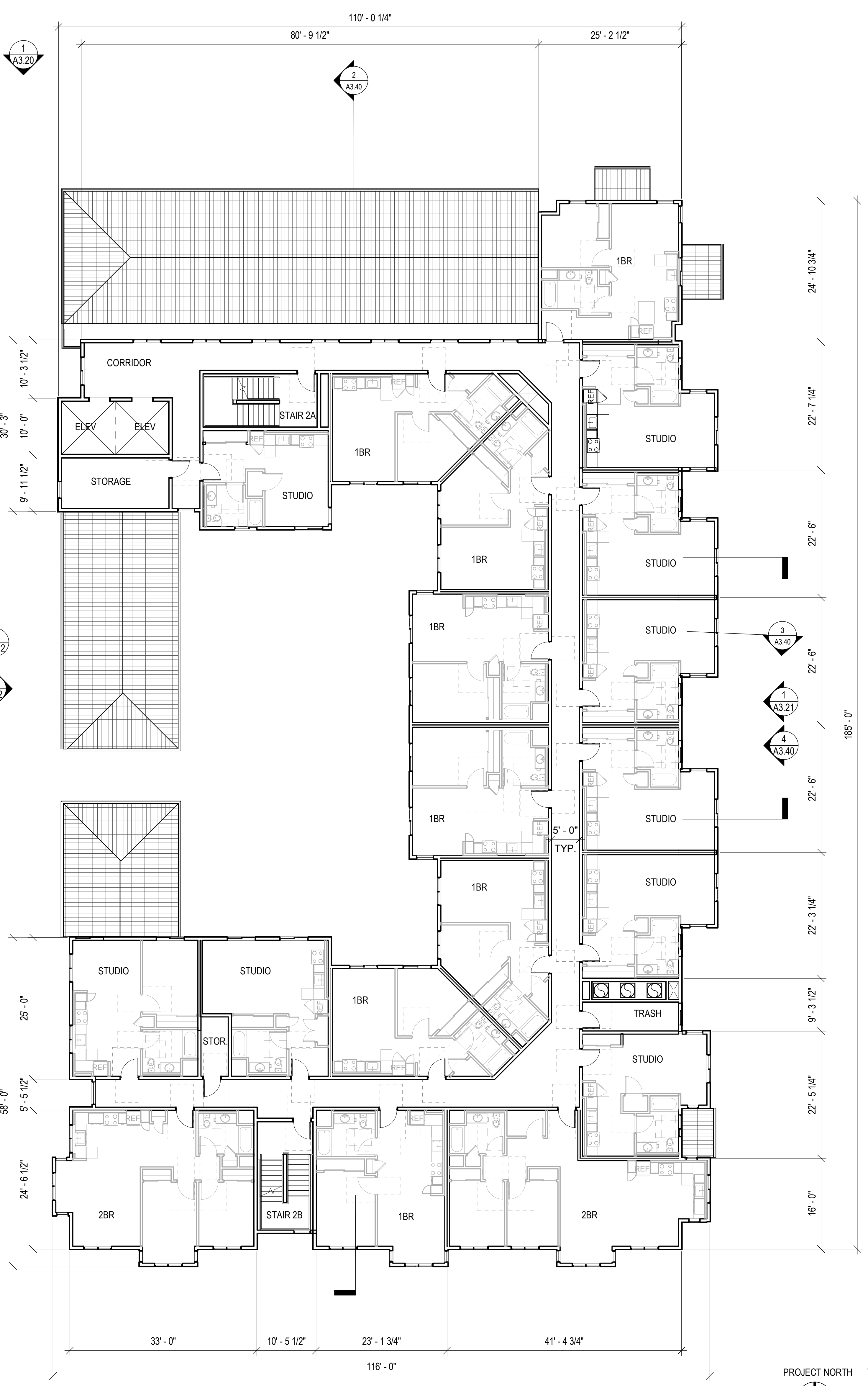
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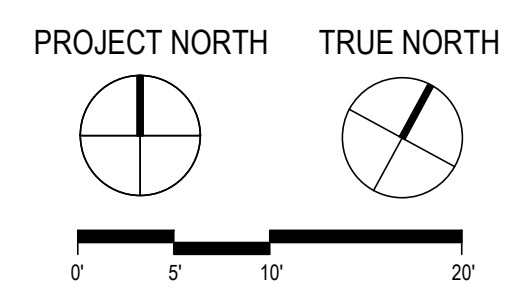
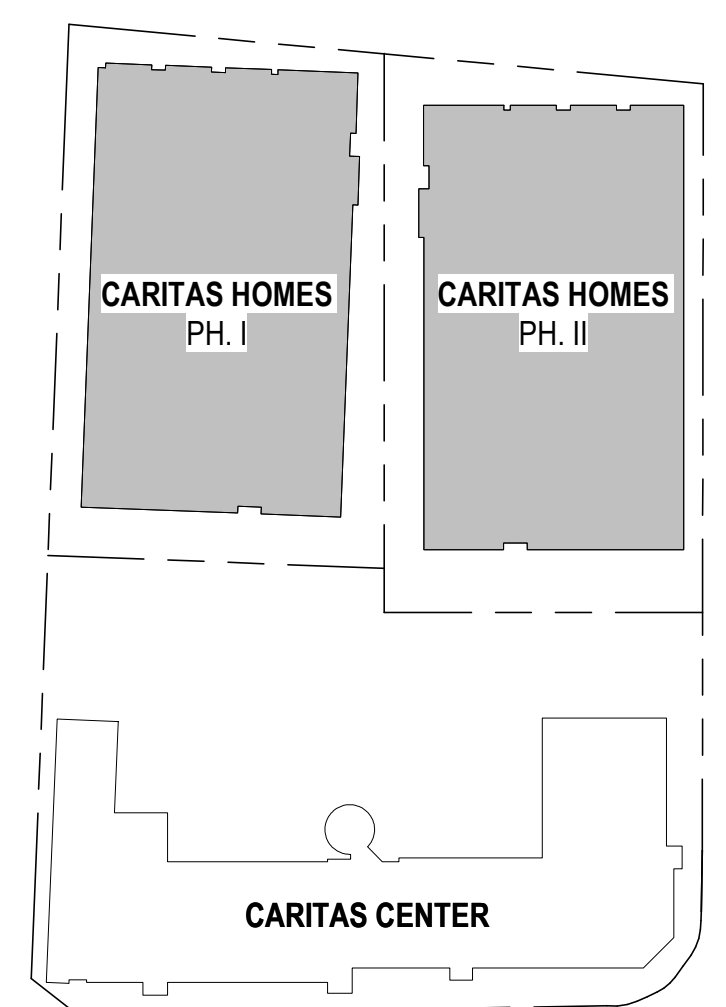
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SHEET:
A2.12
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PHASE II BUILDING AREA SCHEDULE (PHASE I SIM.)		
Level	Name	Area
LEVEL 1	CIRCULATION/COMMON AREAS	4383 SF
LEVEL 1	RESIDENTIAL	3466 SF
LEVEL 1	UNOCCUPIED GARAGE/UTILITY	11159 SF
LEVEL 1	VERTICAL CIRCULATION	634 SF
		19641 SF
LEVEL 2	CIRCULATION/COMMON AREAS	2567 SF
LEVEL 2	RESIDENTIAL	13609 SF
LEVEL 2	UNOCCUPIED GARAGE/UTILITY	134 SF
		16310 SF
LEVEL 3	CIRCULATION/COMMON AREAS	2215 SF
LEVEL 3	RESIDENTIAL	10918 SF
LEVEL 3	UNOCCUPIED GARAGE/UTILITY	56 SF
		13188 SF
LEVEL 4	CIRCULATION/COMMON AREAS	2215 SF
LEVEL 4	RESIDENTIAL	9836 SF
LEVEL 4	UNOCCUPIED GARAGE/UTILITY	56 SF
		12106 SF
		61246 SF



KEY PLAN



CARITAS HOMES - FLOOR PLAN - LEVEL 3
1" = 10'-0" 1

CARITAS VILLAGE
CARITAS VILLAGE, SANTA ROSA CA

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B	PLANNING RESUBMITTAL UPDATE	07/22/19
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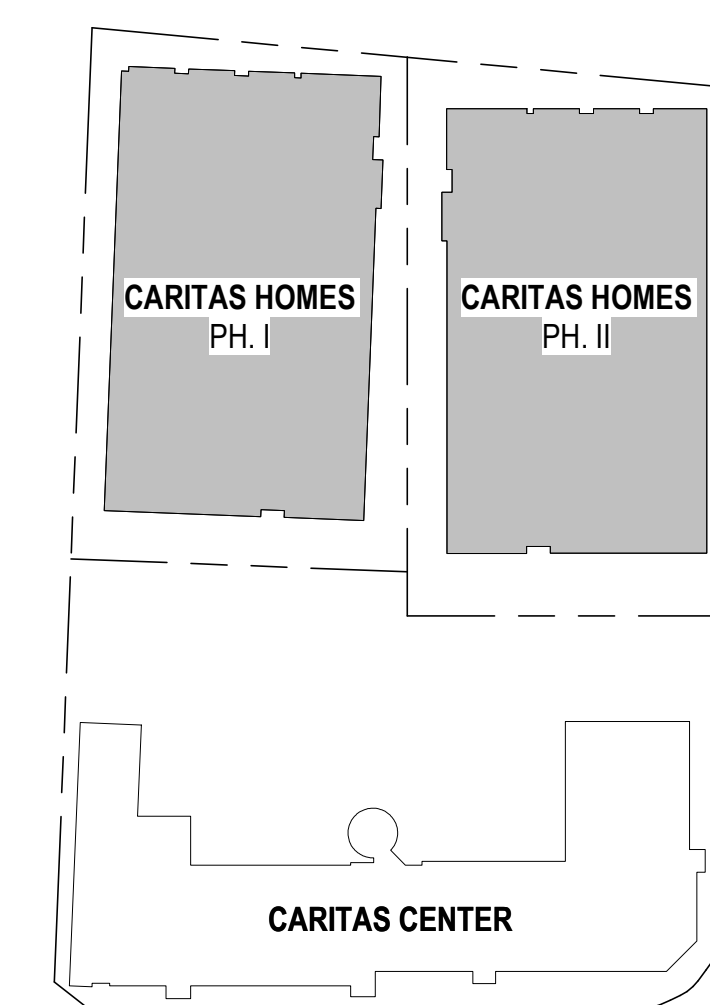
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SHEET:
A2.13
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PHASE II BUILDING AREA SCHEDULE (PHASE I SIM.)		
Level	Name	Area
LEVEL 1	CIRCULATION/Common Areas	4383 SF
LEVEL 1	RESIDENTIAL	3466 SF
LEVEL 1	UNOCCUPIED GARAGE/UTILITY	11159 SF
LEVEL 1	VERTICAL CIRCULATION	634 SF
		19641 SF
LEVEL 2	CIRCULATION/Common Areas	2567 SF
LEVEL 2	RESIDENTIAL	13609 SF
LEVEL 2	UNOCCUPIED GARAGE/UTILITY	134 SF
		16310 SF
LEVEL 3	CIRCULATION/Common Areas	2215 SF
LEVEL 3	RESIDENTIAL	10918 SF
LEVEL 3	UNOCCUPIED GARAGE/UTILITY	56 SF
		13188 SF
LEVEL 4	CIRCULATION/Common Areas	2215 SF
LEVEL 4	RESIDENTIAL	9836 SF
LEVEL 4	UNOCCUPIED GARAGE/UTILITY	56 SF
		12106 SF
		61246 SF



KEY PLAN



CARITAS HOMES - FLOOR PLAN - LEVEL 4
1" = 10'-0" 1

CARITAS VILLAGE
CARITAS VILLAGE, SANTA ROSA CA

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B	PLANNING RESUBMITTAL UPDATE	07/22/19
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JOB NUMBER: 1815
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SCALE: As indicated
TITLE: CARITAS HOMES - FLOOR PLAN - LEVEL 4

SHEET:
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CARITAS VILLAGE
 CARITAS VILLAGE, SANTA ROSA CA

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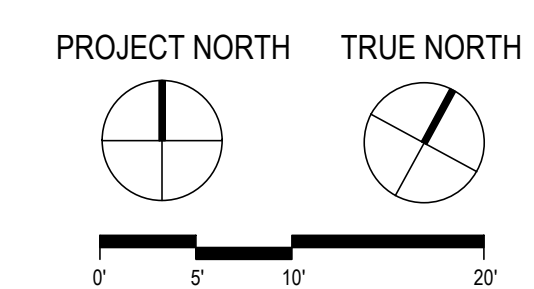
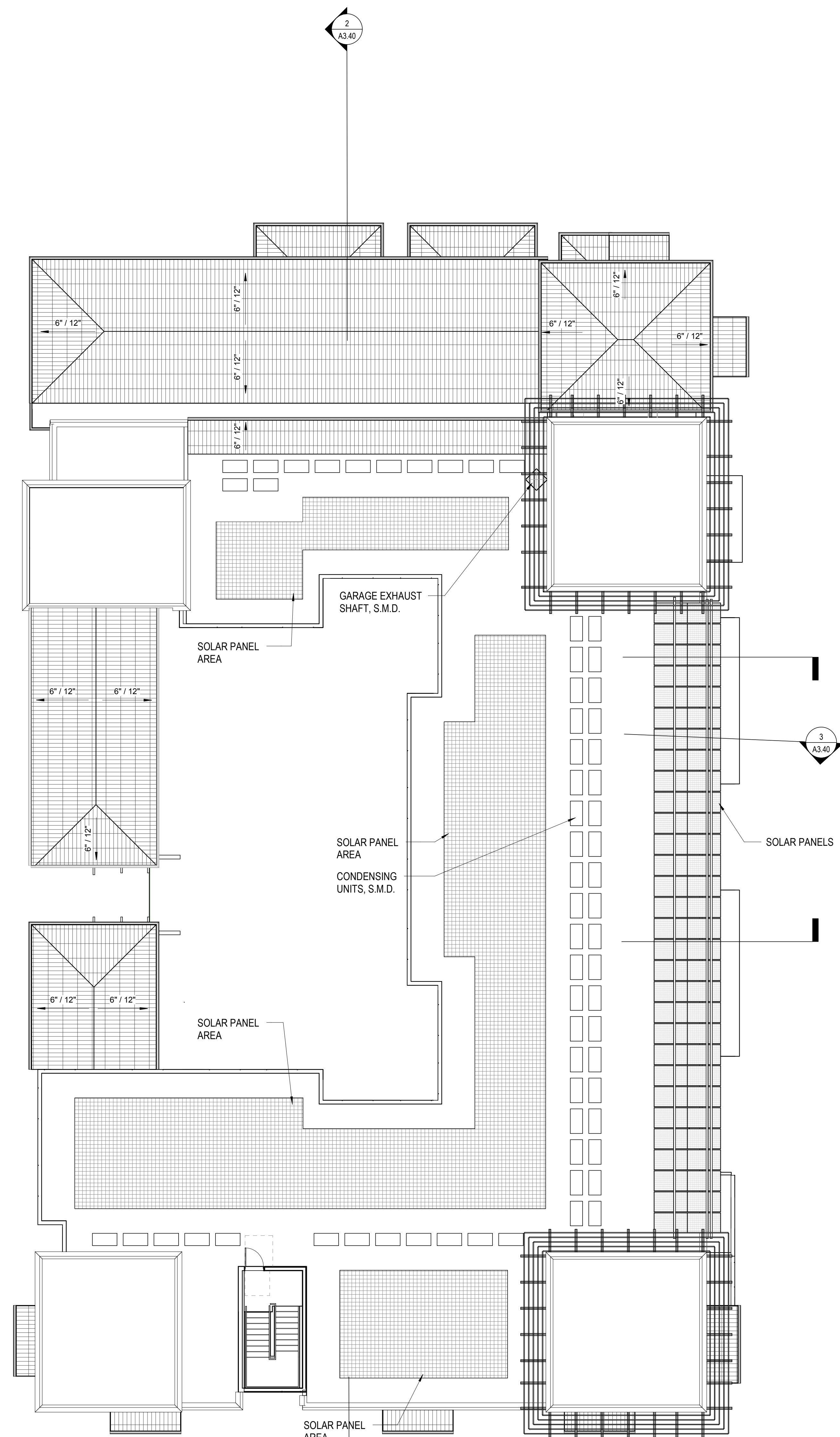
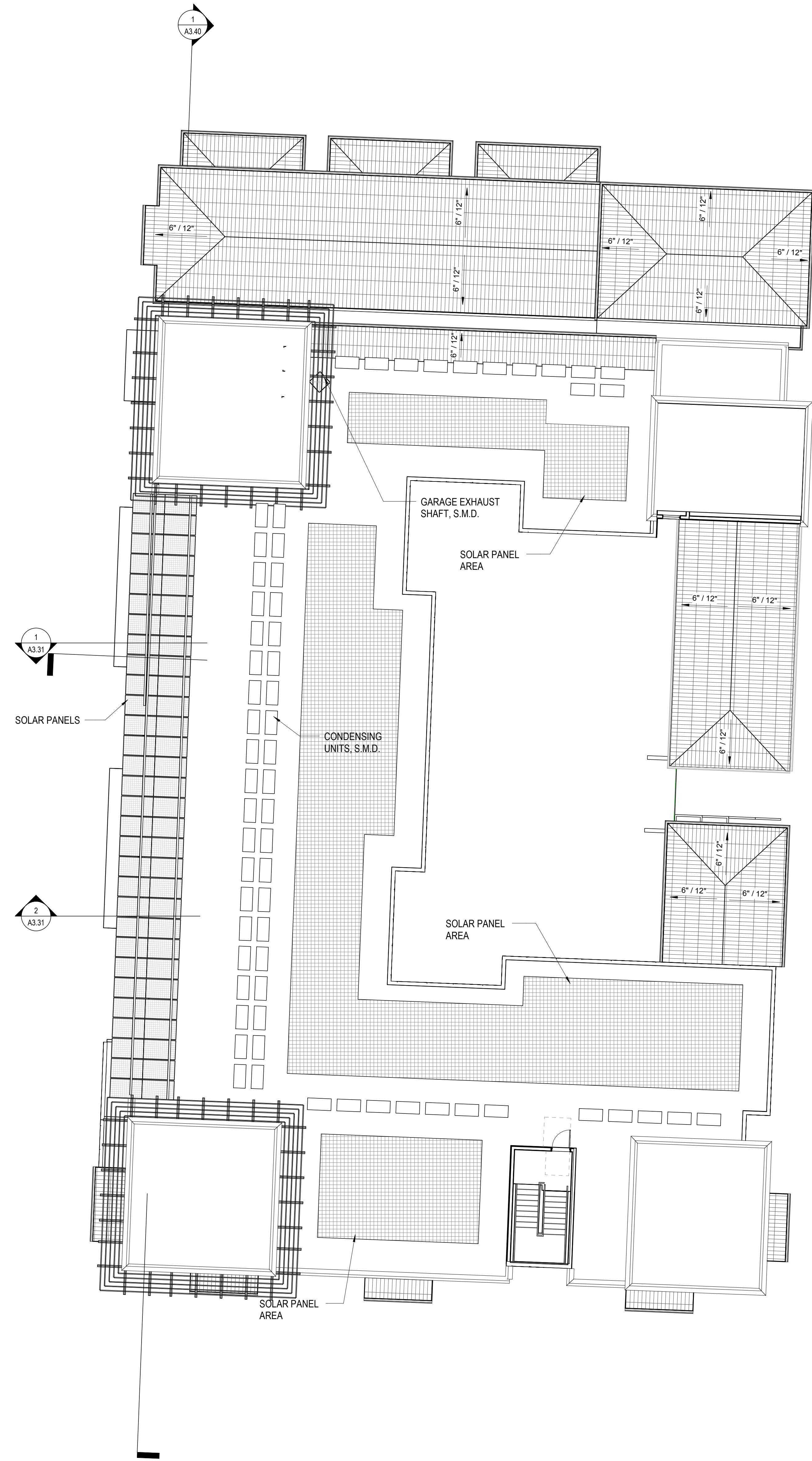
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 DATE: 7/22/19
 SCALE: As indicated
 TITLE: CARITAS HOMES - ROOF PLAN

SHEET:

A2.15

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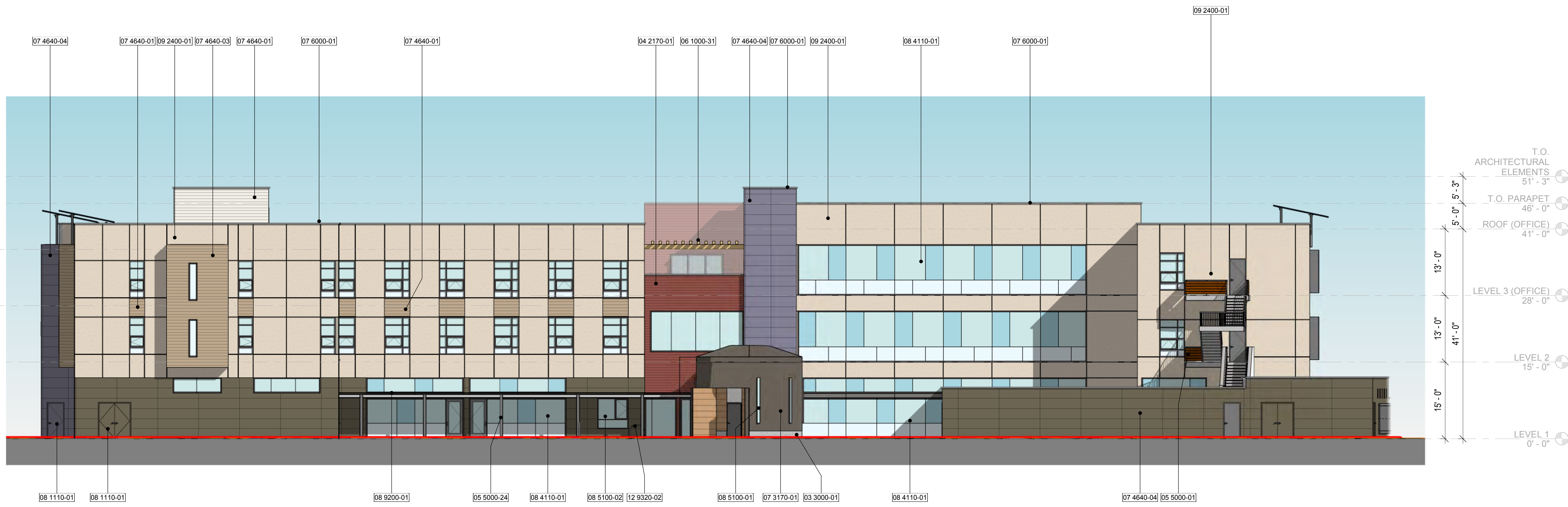


CARITAS HOMES - FLOOR PLAN - ROOF PLAN 1

KEY PLAN



KEYNOTE LEGEND	
Key Value	Keynote Text
03 3000-01	CAST IN PLACE CONCRETE, S.S.D.
04 2170-01	TERRACOTTA EXTERIOR WALL TILE
05 5000-01	METAL RAILING FRAME & BASE PLATE, PAINTED WITH INFILL SLATS
05 5000-24	6 1/2" DIAMETER ROUND POST, GALVANIZED
06 1000-31	HEAVY TIMBER TRELLIS
07 3170-01	WOOD SHINGLES/SHAKES
07 4640-01	MINERAL FIBER CEMENT - LAP SIDING, PTD
07 4640-03	MINERAL FIBER CEMENT - V RUSTIC SIDING, PTD
07 4640-04	MINERAL FIBER CEMENT - PANEL, PTD
07 6000-01	G.S.M. CAP FLASHING, PTD.
08 1110-01	HOLLOW METAL DOORS AND FRAMES, PAINTED
08 4100-06	ALUMINUM-FRAMED ENTRANCES & WINDOW WALL INFILL PANEL, MEDIUM BRONZE FINISH
08 4110-01	CUSTOM STOREFRONT WITH COLORED GLASS PANELS
08 5100-01	ALUMINUM WINDOWS, DARK BRONZE FINISH WITH COLORED GLAZING
08 5100-02	ALUMINUM WINDOWS, DARK BRONZE FINISH
08 9200-01	METAL HORIZONTAL SUNSHADES, POWDERCOATED
09 2400-01	7/8" THREE COAT PORTLAND CEMENT PLASTER, PAINTED
12 9320-02	BICYCLE RACK
12 9330-01	POWDER COATED STEEL PLANTERS
23 5600-01	SOLAR ENERGY PANELS
23 5600-02	SOLAR ENERGY PANEL METAL STRUCTURAL SUPPORT MEMBERS
33 9460-02	GREEN WALL SYSTEM - FREESTANDING SUNSHADE APPLICATION

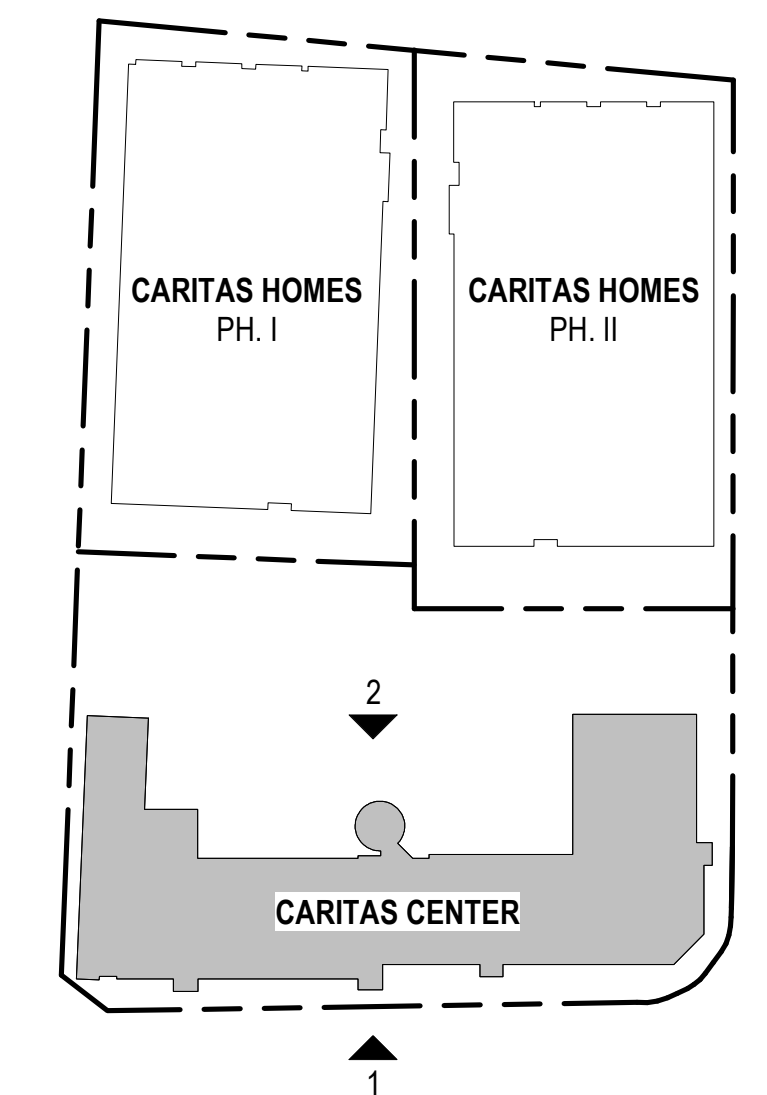


CARITAS CENTER - NORTH ELEVATION
1" = 10'-0" ②



CARITAS CENTER - SOUTH ELEVATION (6TH ST.)
1" = 10'-0" ①

KEY PLAN



CARITAS VILLAGE
CARITAS CENTER, SANTA ROSA, CA

STAMP:

B	PLANNING RESUBMITTAL UPDATE	07/22/19
A	PLANNING RESUBMITTAL	10/31/18

JOB NUMBER: 1815
DRAWN BY: GP, TK, KM
CHECKED BY: TB
DATE: 7/22/19
SCALE: As indicated
TITLE: CARITAS CENTER - ELEVATIONS - NS

SHEET:
A3.10

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KEYNOTE LEGEND	
Key Value	Keynote Text
05 5000-24	6 1/2" DIAMETER ROUND POST, GALVANIZED
05 5100-02	WALL MOUNTED STEEL LADDER
06 1000-31	HEAVY TIMBER TRELLIS
07 4640-01	MINERAL FIBER CEMENT - LAP SIDING, PTD
07 4640-03	MINERAL FIBER CEMENT - V RUSTIC SIDING, PTD
07 4640-04	MINERAL FIBER CEMENT - PANEL, PTD
07 6000-01	G.S.M. CAP FLASHING, PTD.
08 1110-01	HOLLOW METAL DOORS AND FRAMES, PAINTED
08 1113	
08 4110-01	CUSTOM STOREFRONT WITH COLORED GLASS PANELS
08 5100-02	ALUMINUM WINDOWS, DARK BRONZE FINISH
08 9200-01	METAL HORIZONTAL SUNSHADES, POWDERCOATED
09 2400-01	7/8" THREE COAT PORTLAND CEMENT PLASTER, PAINTED
12 9330-01	POWDER COATED STEEL PLANTERS
23 5600-01	SOLAR ENERGY PANELS
23 5600-02	SOLAR ENERGY PANEL METAL STRUCTURAL SUPPORT MEMBERS
33 9460-02	GREEN WALL SYSTEM - FREESTANDING SUNSHADE APPLICATION

PYATOK
1611 TELEGRAPH AVE. SUITE 200
OAKLAND, CA 94612
510.465.7010 p | 510.465.8575 f
www.pyatok.com

Catholic Charities
of the Diocese of Santa Rosa

BURBANK HOUSING

CARITAS VILLAGE
CARITAS CENTER, SANTA ROSA, CA

STAMP:

B	PLANNING RESUBMITTAL UPDATE	07/22/19
A	PLANNING RESUBMITTAL	10/31/18

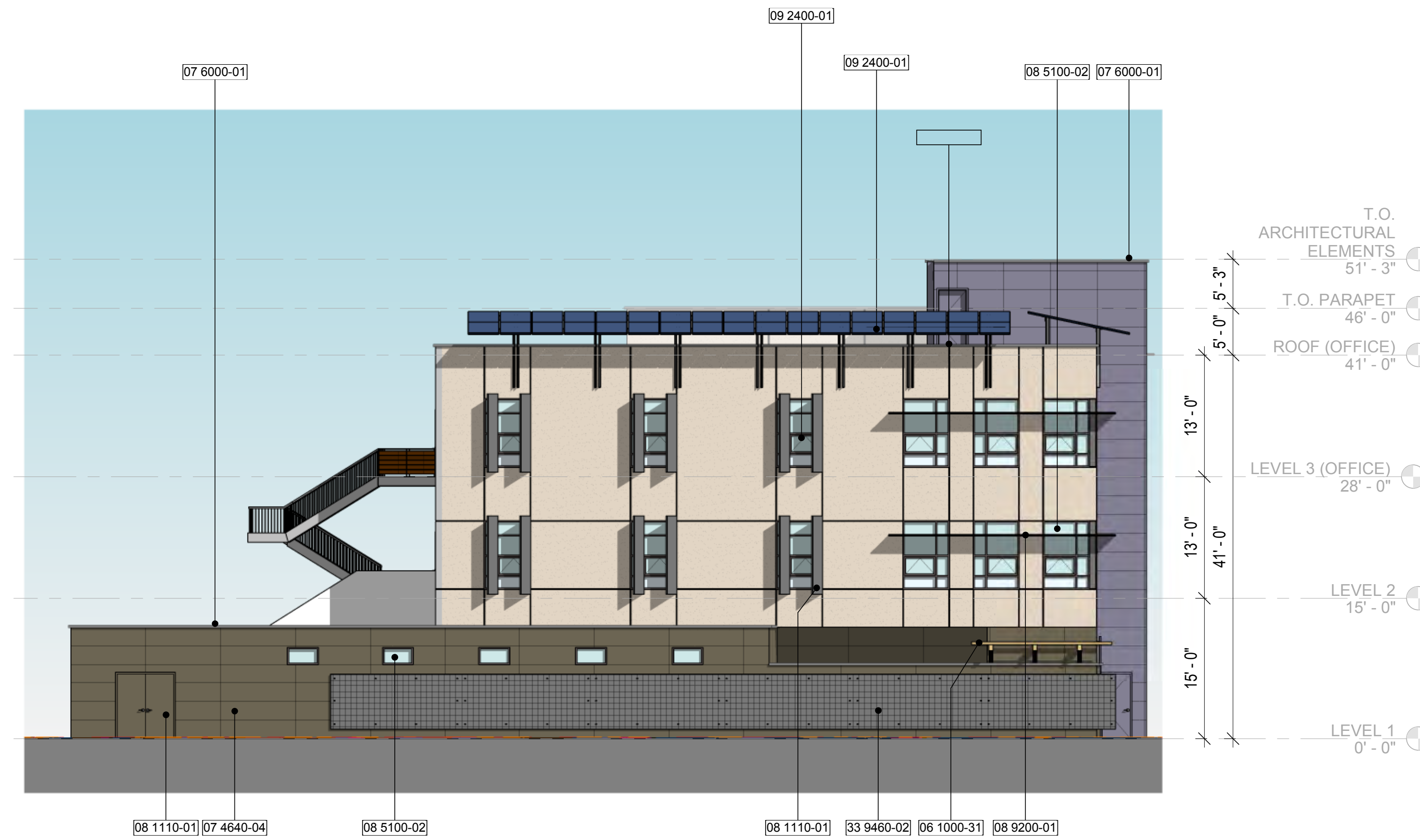
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DRAWN BY: GP, TK, KM
CHECKED BY: TB
DATE: 7/22/19
SCALE: As indicated
TITLE: CARITAS CENTER - ELEVATIONS - E/W

SHEET:
A3.11

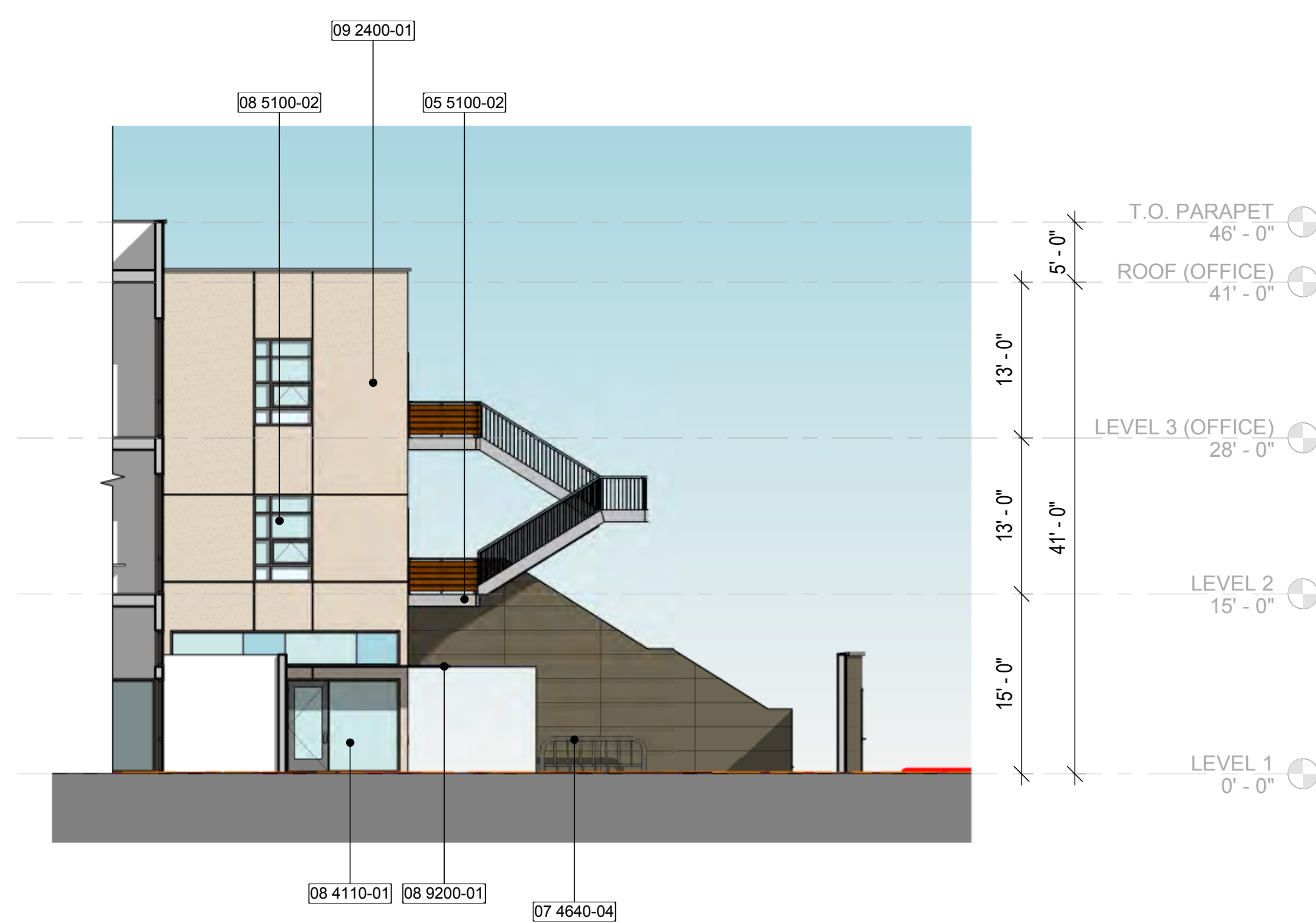
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CARITAS CENTER - WEST ELEVATION - INTERIOR ④
1" = 10'-0"



CARITAS CENTER - WEST ELEVATION - MORGAN ST. ②
1" = 10'-0"

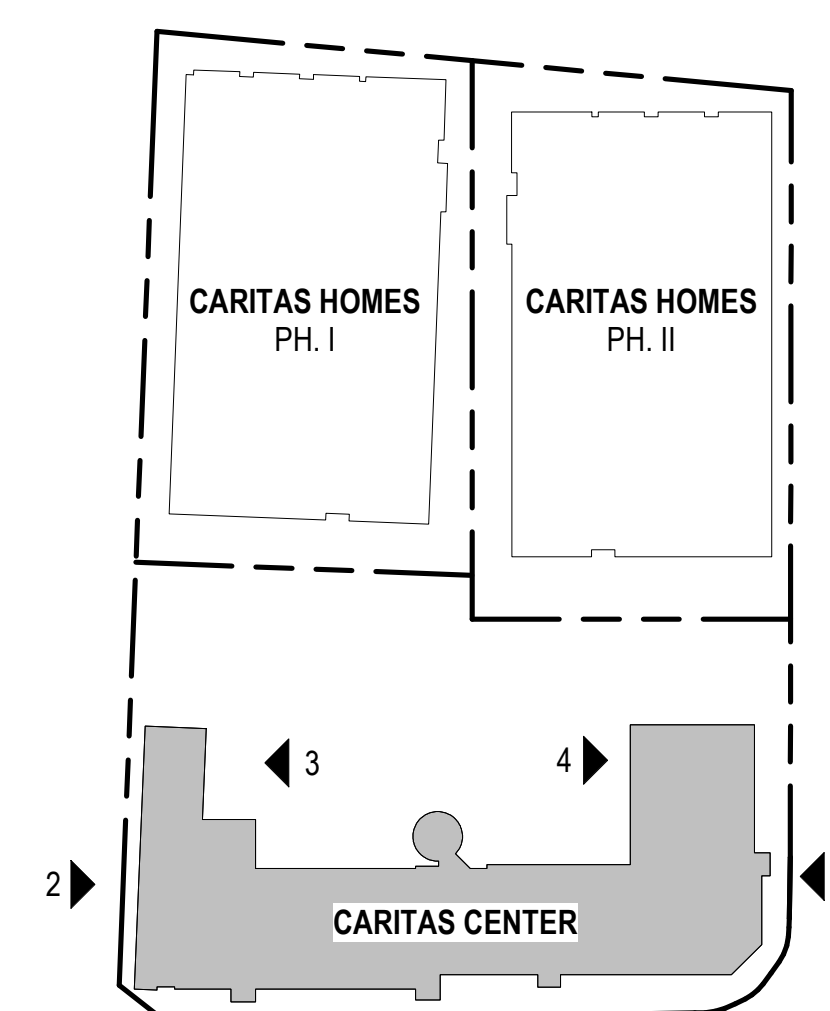


CARITAS CENTER - EAST ELEVATION - INTERIOR ③
1" = 10'-0"

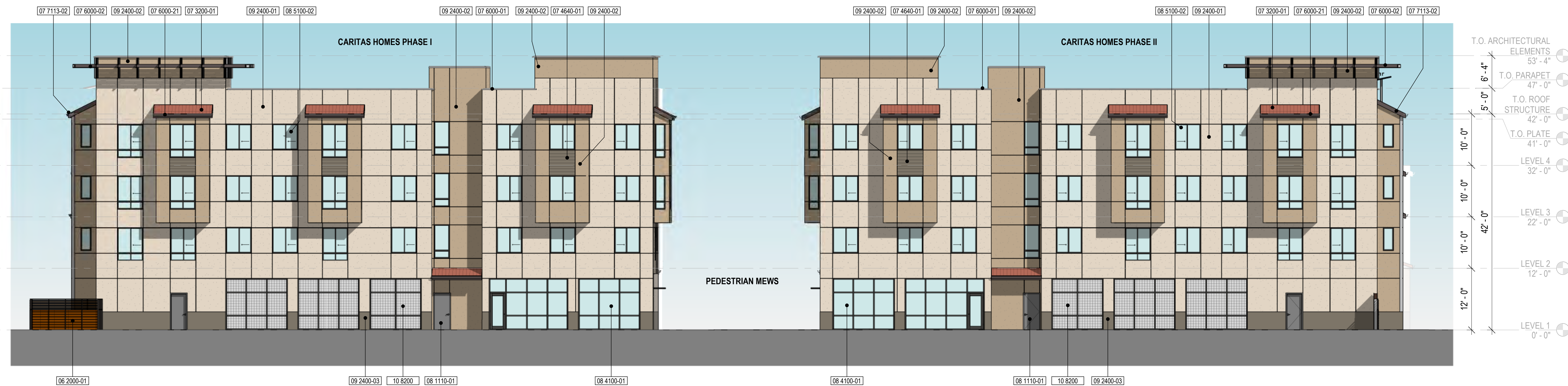


CARITAS CENTER - EAST ELEVATION - A ST. ①
1" = 10'-0"

KEY PLAN



KEYNOTE LEGEND	
Key Value	Keynote Text
06 2000-01	WOOD FENCES & GATES
06 4000-01	ARCHITECTURAL WOODWORK
07 3200-01	CONCRETE ROOFING TILES
07 4640-01	MINERAL FIBER CEMENT - LAP SIDING, PTD
07 6000-01	G.S.M. CAP FLASHING, PTD.
07 6000-02	DECORATIVE METAL CORNICE
07 6000-21	G.S.M. GUTTER, PAINTED
07 7113-02	ROOF FASCIA
08 1110-01	HOLLOW METAL DOORS AND FRAMES, PAINTED
08 1600-01	FIBERGLASS ENTRY DOOR, PAINTED FINISH
08 4100-01	ALUMINUM-FRAMED ENTRANCES & WINDOW WALL - EXTERIOR, MEDIUM BRONZE FINISH
08 5100-02	ALUMINUM WINDOWS, DARK BRONZE FINISH
09 2400-01	7/8" THREE COAT PORTLAND CEMENT PLASTER, PAINTED
09 2400-02	7/8" THREE COAT PORTLAND CEMENT PLASTER, PAINTED ACCENT COLOR
09 2400-03	7/8" THREE COAT PORTLAND CEMENT PLASTER, PAINTED WAINSCOTING
10 1400-01	SIGNAGE
10 8200	BAR GRATE METAL SCREEN, PAINTED
32 3460-01	ARCHITECTURAL WOOD TRELLIS

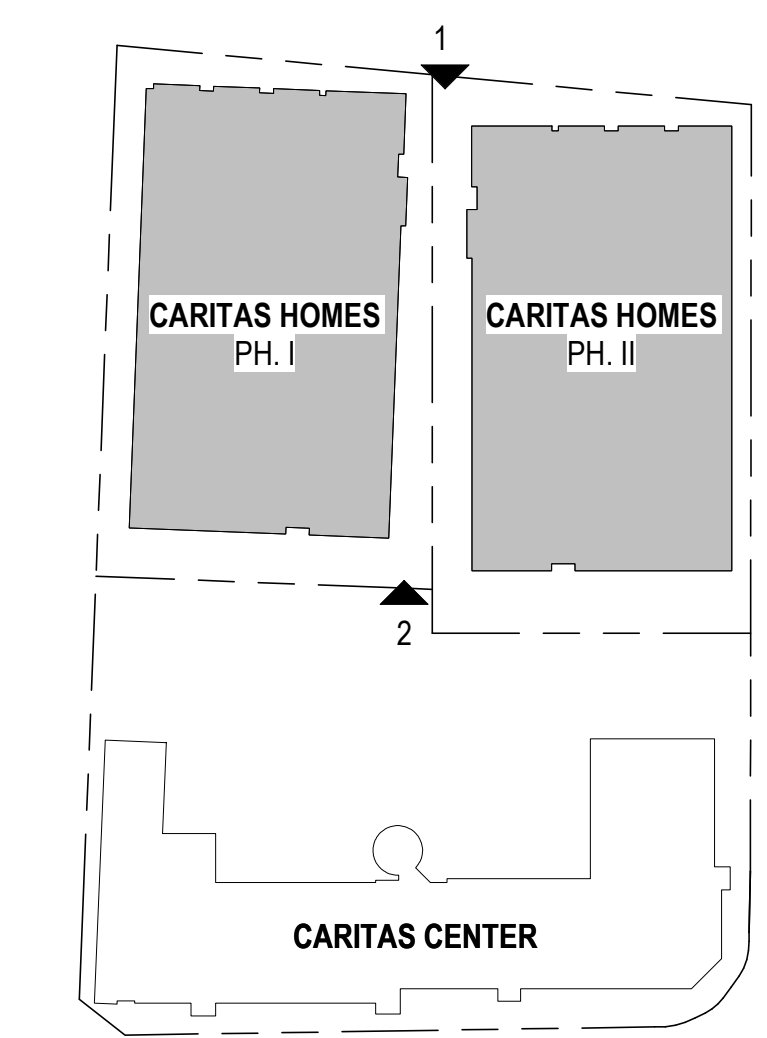


CARITAS HOMES - SOUTH ELEVATION ②
1" = 10'-0"



CARITAS HOMES - NORTH ELEVATION ①
1" = 10'-0"

KEY PLAN



CARITAS VILLAGE
CARITAS VILLAGE, SANTA ROSA CA

STAMP:

B PLANNING RESUBMITTAL UPDATE 07/22/19

JOB NUMBER: 1815
DRAWN BY: ARK, KS, GP
CHECKED BY: TB
DATE: 7/22/19
SCALE: As indicated
TITLE: CARITAS HOMES - ELEVATIONS - NORTH / SOUTH

SHEET:
A3.20
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KEYNOTE LEGEND	
Key Value	Keynote Text
04 2115-02	GLAZED THIN BRICK MASONRY
06 2000-01	WOOD FENCES & GATES
06 4000-01	ARCHITECTURAL WOODWORK
07 3200-01	CONCRETE ROOFING TILES
07 4640-01	MINERAL FIBER CEMENT - LAP SIDING, PTD
07 6000-01	G.S.M. CAP FLASHING, PTD.
07 6000-02	DECORATIVE METAL CORNICE
07 6000-21	G.S.M. GUTTER, PAINTED
07 7113-02	ROOF FASCIA
08 1110-01	HOLLOW METAL DOORS AND FRAMES, PAINTED
08 1600-01	FIBERGLASS ENTRY DOOR, PAINTED FINISH
08 3660-01	STEEL SECTIONAL GARAGE DOOR AND VENT PANELS
08 5100-02	ALUMINUM WINDOWS, DARK BRONZE FINISH
09 2400-01	7/8" THREE COAT PORTLAND CEMENT PLASTER, PAINTED
09 2400-02	7/8" THREE COAT PORTLAND CEMENT PLASTER, PAINTED ACCENT COLOR
09 2400-03	7/8" THREE COAT PORTLAND CEMENT PLASTER, PAINTED WAINSCOTING
23 5600-01	SOLAR ENERGY PANELS
23 5600-02	SOLAR ENERGY PANEL METAL STRUCTURAL SUPPORT MEMBERS

PYATOK
1611 TELEGRAPH AVE. SUITE 200
OAKLAND, CA 94612
510.465.7010 p | 510.465.8575 f
www.pyatok.com

Catholic Charities
of the Diocese of Santa Rosa

BURBANK HOUSING

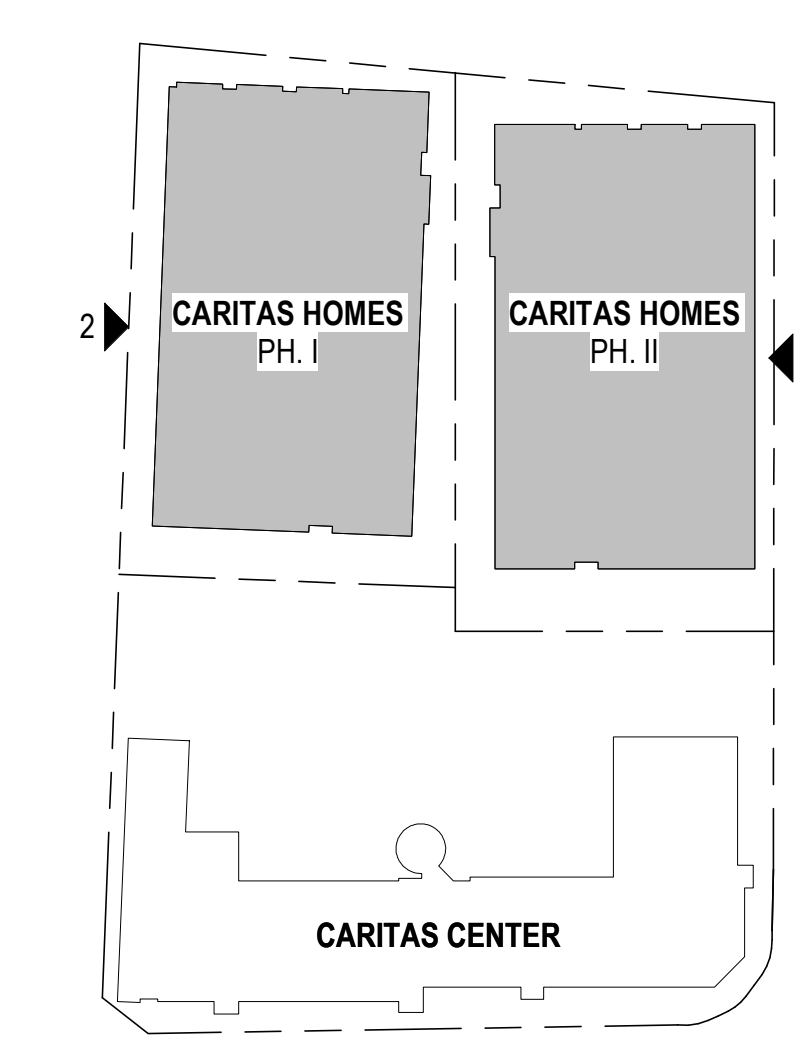


CARITAS HOMES PHASE I - WEST ELEVATION ②
1" = 10'-0"



CARITAS HOMES PHASE II - EAST ELEVATION ①
1" = 10'-0"

KEY PLAN



STAMP:

B PLANNING RESUBMITTAL UPDATE 07/22/19

JOB NUMBER: 1815
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DATE: 7/22/19
SCALE: As indicated
TITLE: CARITAS HOMES - ELEVATIONS - EAST / WEST - EXTERIOR

SHEET:
A3.21

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CARITAS VILLAGE
CARITAS VILLAGE, SANTA ROSA CA

KEYNOTE LEGEND	
Key Value	Keynote Text
03 4870-01	CAST-IN-PLACE CONCRETE STAIRS WITH PRE-CAST TREADS
05 5100-01	STAIR RAILING
06 2000-01	WOOD FENCES & GATES
06 6130	CUSTOM CONCRETE PLANTERS
07 3200-01	CONCRETE ROOFING TILES
07 4640-01	MINERAL FIBER CEMENT - LAP SIDING, PTD
07 6000-01	G.S.M. CAP FLASHING, PTD.
07 6000-21	G.S.M. GUTTER, PAINTED
07 7113-02	ROOF FASCIA
08 1110-01	HOLLOW METAL DOORS AND FRAMES, PAINTED
08 4100-01	ALUMINUM-FRAMED ENTRANCES & WINDOW WALL - EXTERIOR, MEDIUM BRONZE FINISH
08 5100-02	ALUMINUM WINDOWS, DARK BRONZE FINISH
08 5300-01	VINYL NAIL FIN WINDOW - BRONZE
08 9200-03	METAL AWNINGS, POWDERCOATED
09 2400-01	7/8" THREE COAT PORTLAND CEMENT PLASTER, PAINTED
09 2400-02	7/8" THREE COAT PORTLAND CEMENT PLASTER, PAINTED ACCENT COLOR
09 2400-03	7/8" THREE COAT PORTLAND CEMENT PLASTER, PAINTED WAINSCOTING
10 1400-01	SIGNAGE
10 8200	BAR GRATE METAL SCREEN, PAINTED
12 9320-02	BICYCLE RACK
32 3460-01	ARCHITECTURAL WOOD TRELLIS

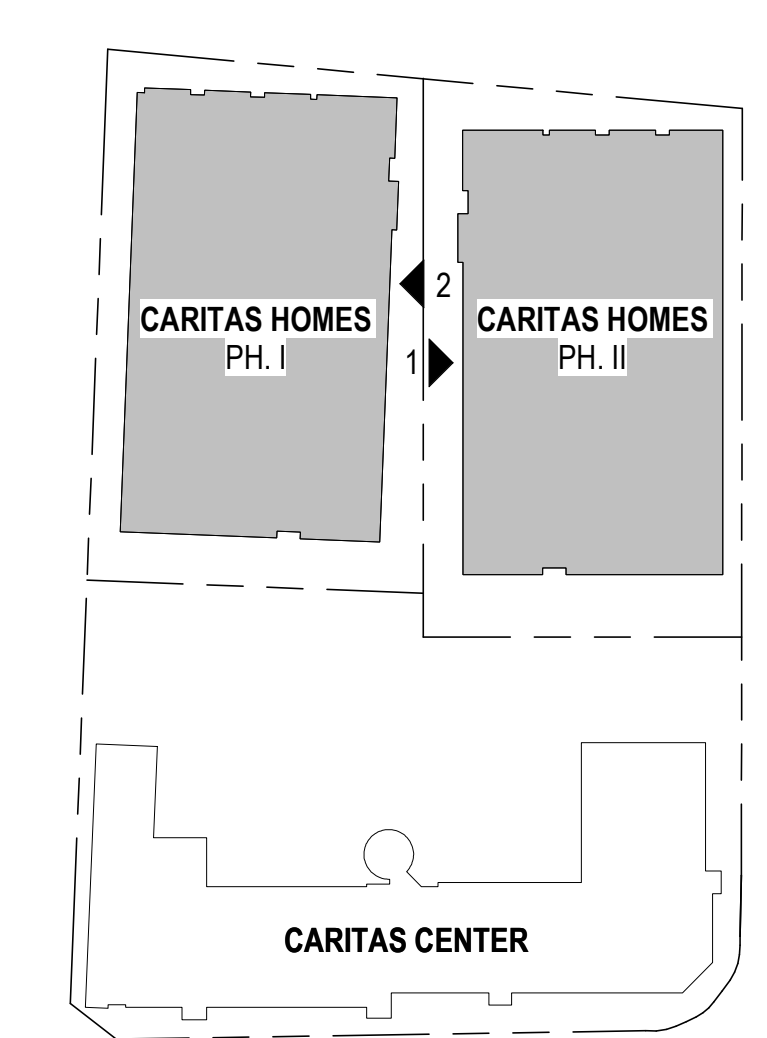


CARITAS HOMES PHASE I - EAST ELEVATION
 1" = 10'-0" ②



CARITAS HOMES PHASE II - WEST ELEVATION
 1" = 10'-0" ①

KEY PLAN



STAMP:

B	PLANNING RESUBMITTAL UPDATE	07/22/19
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JOB NUMBER: 1815
 DRAWN BY: ARK, GP, KS
 CHECKED BY: TB
 DATE: 7/22/19
 SCALE: As indicated
 TITLE: CARITAS HOMES - ELEVATIONS - EAST / WEST - MEWS

SHEET:
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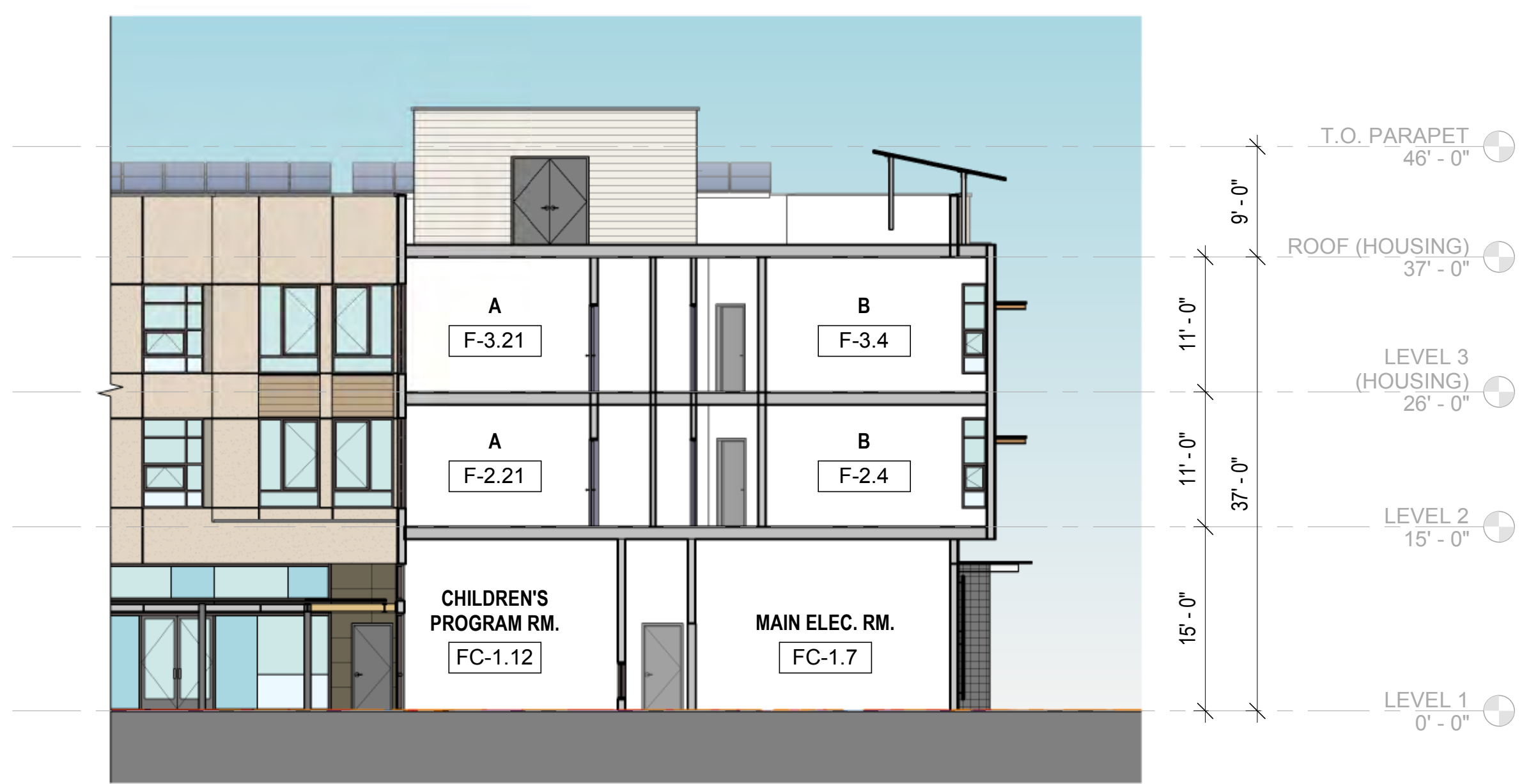
CARITAS VILLAGE
 CARITAS VILLAGE, SANTA ROSA CA

STAMP:

B	PLANNING RESUBMITTAL UPDATE	07/22/19
A	PLANNING RESUBMITTAL	10/31/18

JOB NUMBER: 1815
 DRAWN BY: ARK, KS, GP
 CHECKED BY: TB
 DATE: 7/22/19
 SCALE: As indicated
 TITLE: CARITAS CENTER - SECTIONS

SHEET:
A3.30
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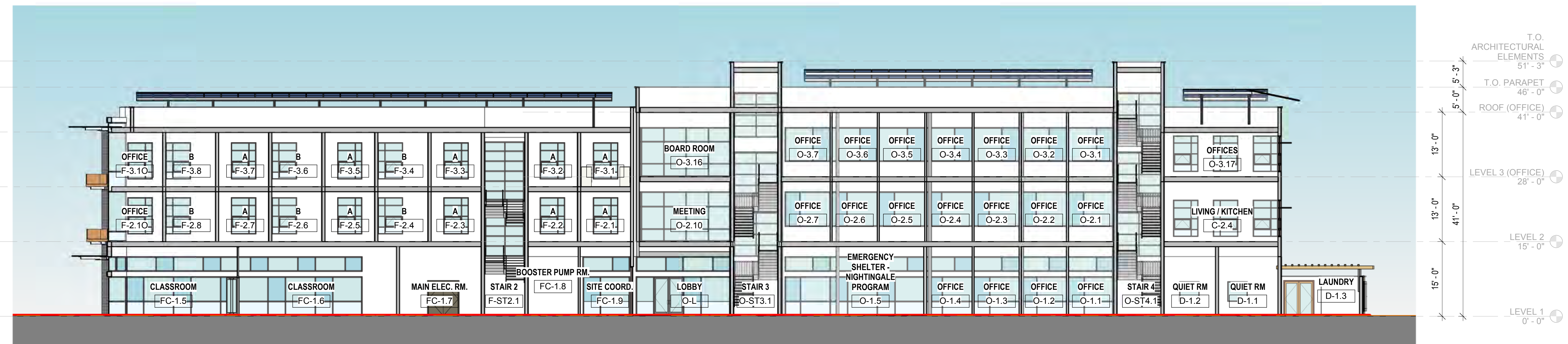
CARITAS CENTER - SECTION - EMERGENCY HOUSING ④
 1" = 10'-0"



CARITAS CENTER - SECTION - LOBBY/MEETING ROOMS ③
 1" = 10'-0"

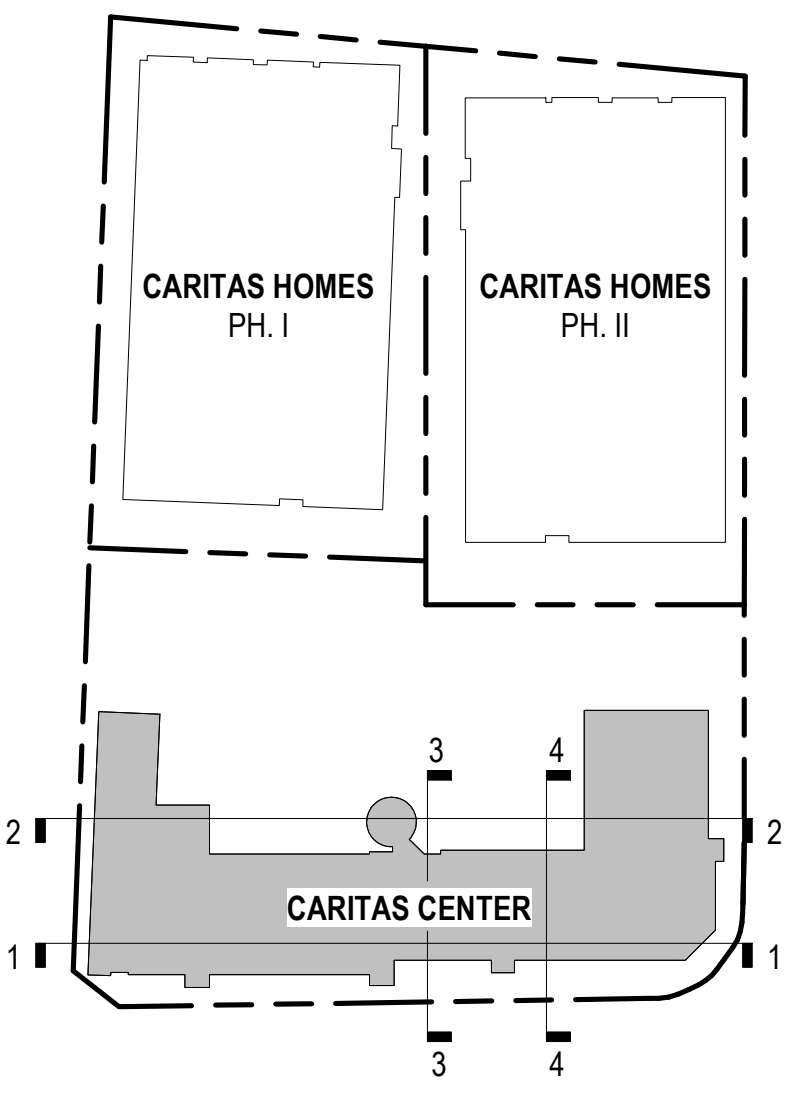


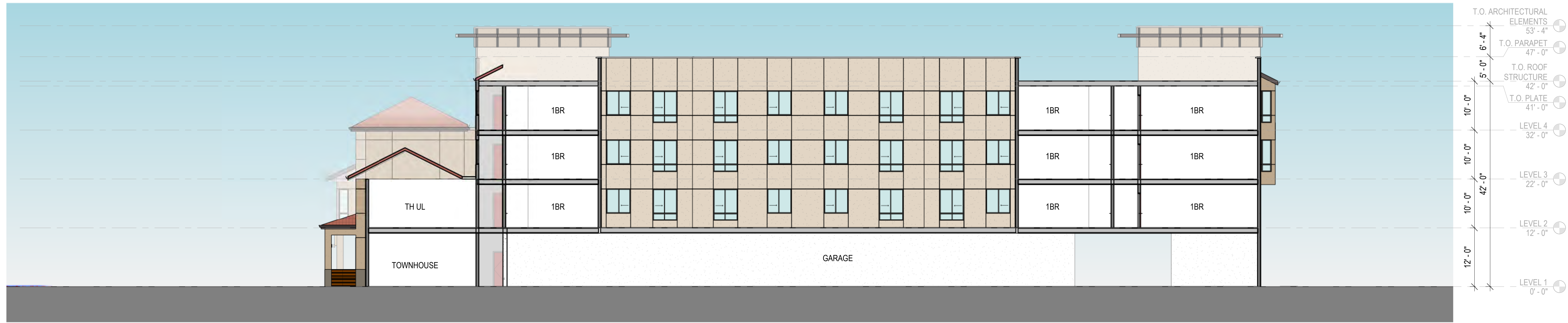
CARITAS CENTER - SECTION - COURTYARD ②
 1" = 10'-0"



CARITAS CENTER - SECTION - FULL BUILDING ①
 1" = 10'-0"

KEY PLAN





CARITAS HOMES PHASE II - NORTH/SOUTH SECTION 1
 1" = 10'-0" 3

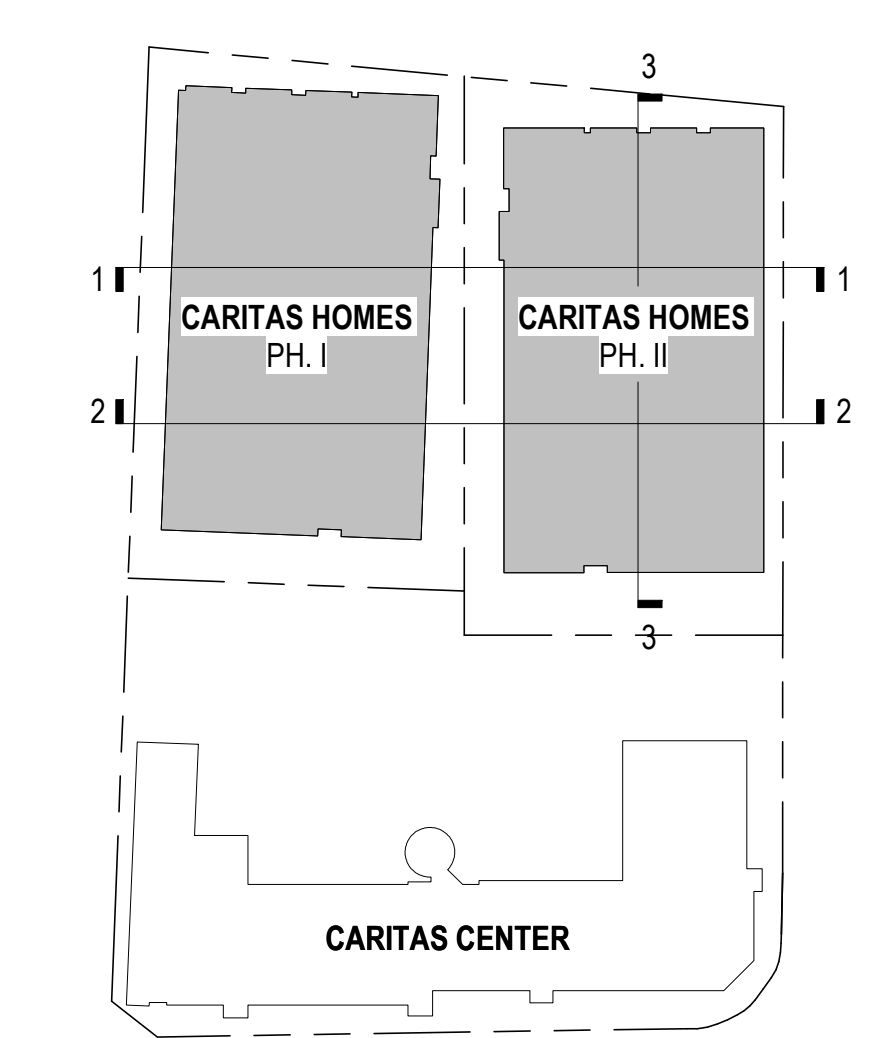


CARITAS HOMES - EAST/WEST SECTION 2
 1" = 10'-0" 2



CARITAS HOMES - EAST/WEST SECTION 1
 1" = 10'-0" 1

KEY PLAN



STAMP:

B PLANNING RESUBMITTAL UPDATE 07/22/19

JOB NUMBER: 1815
 DRAWN BY: ARK, GP, KS
 CHECKED BY: TB
 DATE: 7/22/19
 SCALE: As indicated
 TITLE: CARITAS HOMES - BUILDING SECTIONS

SHEET:
A3.31

PRELIMINARY - Not for Construction -

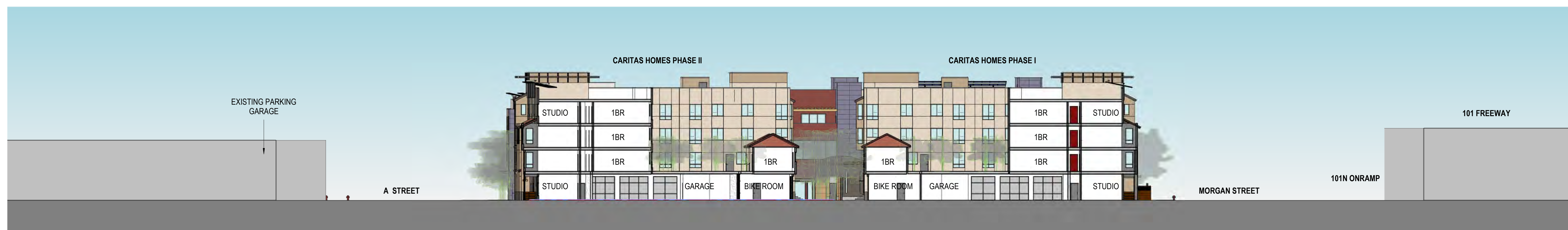
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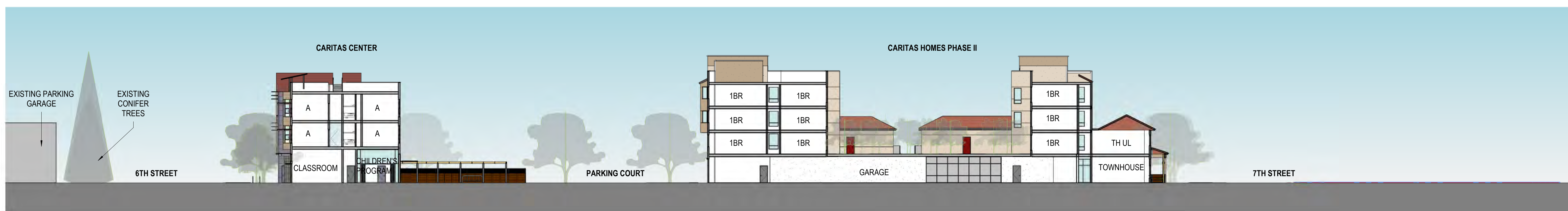
CARITAS VILLAGE - SITE ELEVATION - WEST ⑤
1" = 20'-0"



CARITAS VILLAGE - SITE ELEVATION - EAST ④
1" = 20'-0"



SITE SECTION 3 - CARITAS HOMES ③
1" = 20'-0"

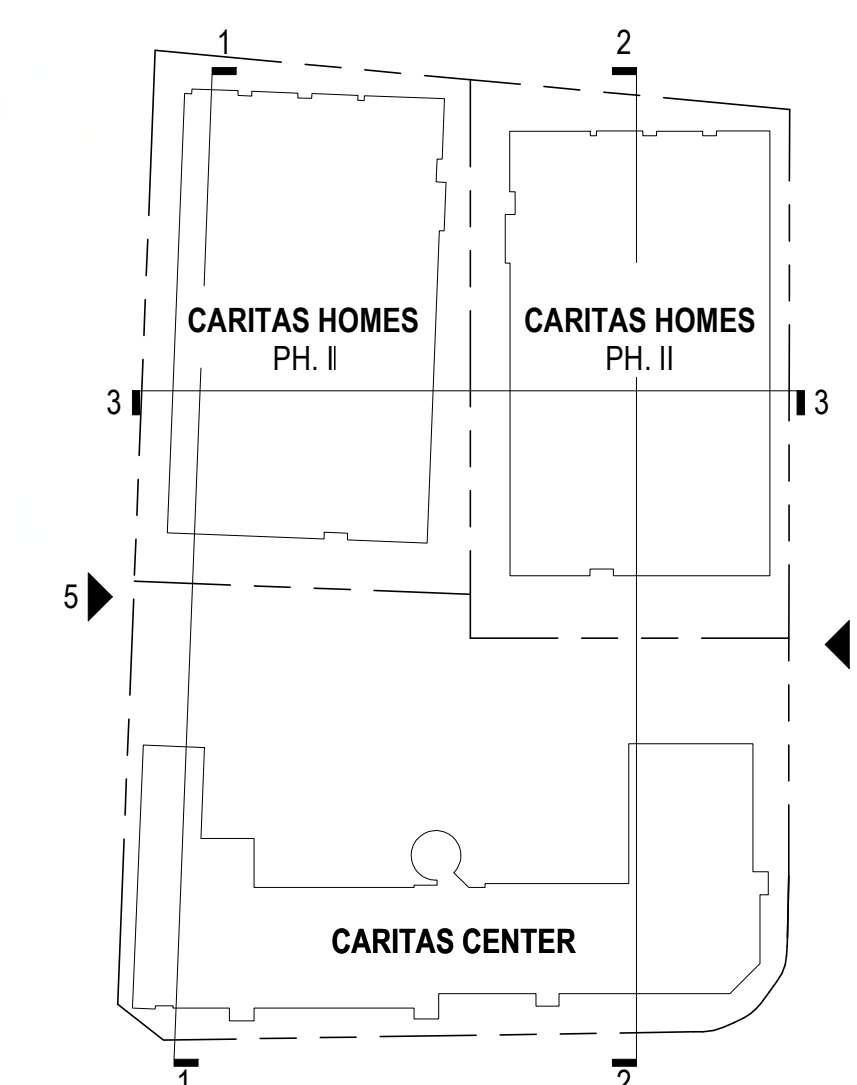


SITE SECTION 2 - CARITAS CENTER & HOMES PHASE II ②
1" = 20'-0"



SITE SECTION 1 - CARITAS CENTER & HOMES PHASE I ①
1" = 20'-0"

KEY PLAN



CARITAS VILLAGE
CARITAS VILLAGE, SANTA ROSA CA

STAMP:

B	PLANNING RESUBMITTAL UPDATE	07/22/19
A	PLANNING RESUBMITTAL	10/31/18

JOB NUMBER: 1815
DRAWN BY: ARK, GP, KS
CHECKED BY: TB
DATE: 7/22/19
SCALE: As indicated
TITLE: SITE ELEVATIONS AND SECTIONS

SHEET:
A3.40

PRELIMINARY - Not for Construction -

CARITAS VILLAGE
 CARITAS VILLAGE, SANTA ROSA CA

STAMP:

A PLANNING 10/31/18
 RESUBMITTAL

JOB NUMBER: 1815
 DRAWN BY: ARK, GP, KS
 CHECKED BY: TB
 DATE: 7/22/19
 SCALE: 1/4" = 1'-0"
 TITLE:
SIGNAGE

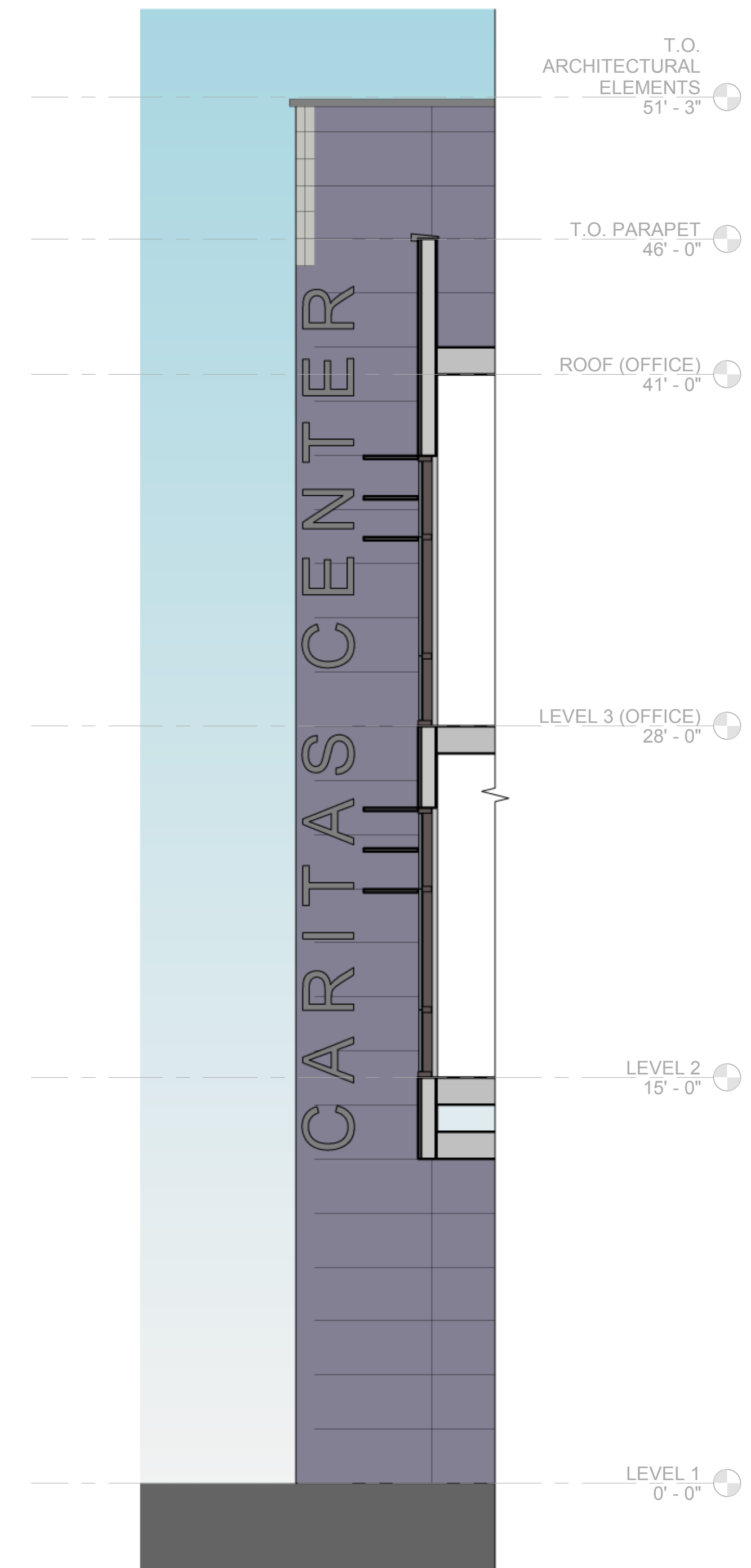
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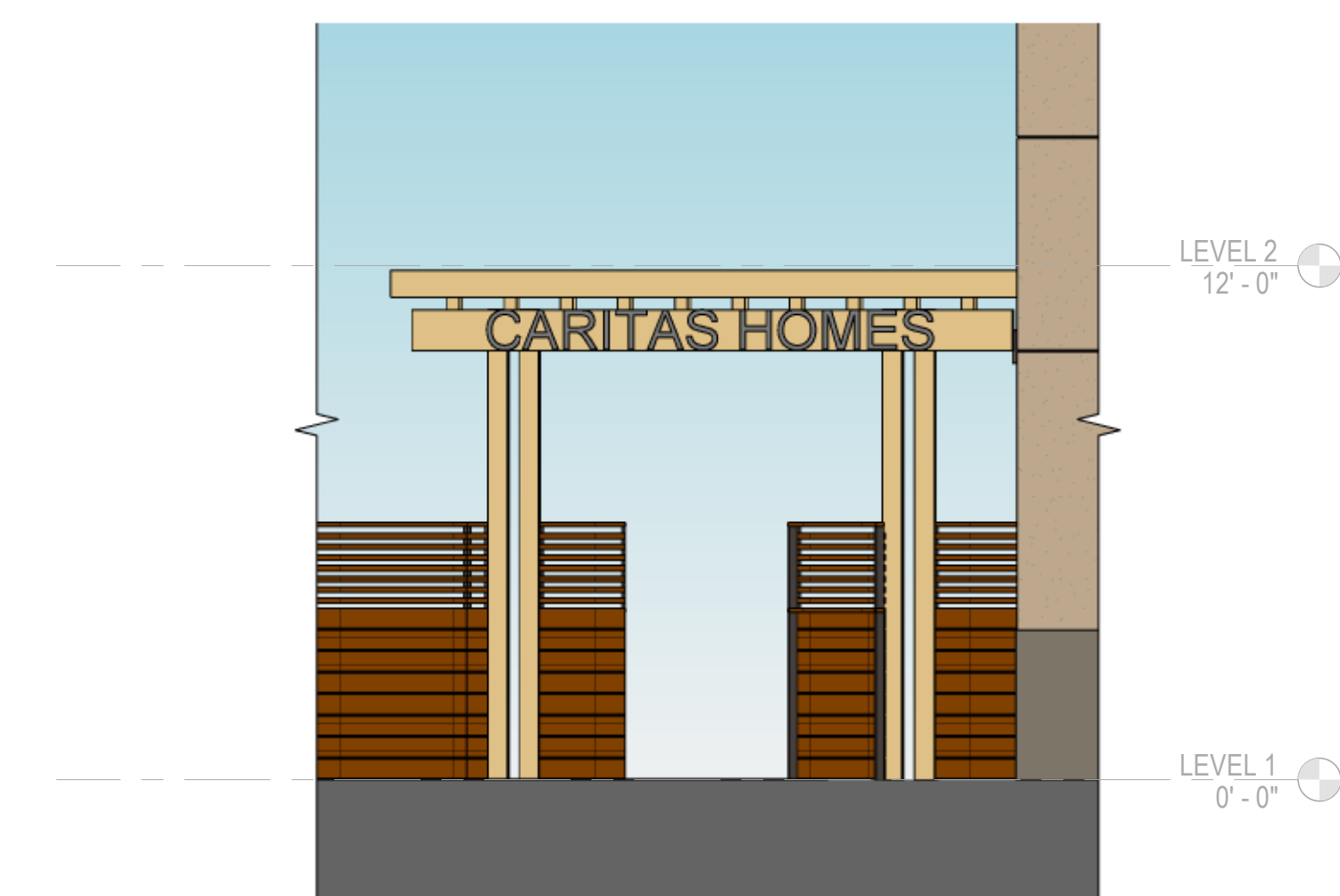
SIGNAGE - CARITAS CENTER ADDRESS NUMBERS
 1/4" = 1'-0" 5



SIGNAGE - CARITAS CENTER ENTRANCE
 1/4" = 1'-0" 3



SIGNAGE - CARITAS HOMES ADDRESS NUMBERS
 1/4" = 1'-0" 2



SIGNAGE - CARITAS HOMES ENTRANCE TO MEWS
 1/4" = 1'-0" 1



CARITAS CENTER - 6TH STREET



CARITAS HOMES - CORNER OF A ST AND 7TH ST

MATERIALS



1 STUCCO - LIGHT SAND FINISH, PAINTED



2 V-GROOVE CEMENT BOARD SIDING



3 PANELIZED BUILDING CLADDING SYSTEM



4 SOLAR PANELS



5 SELF RECESSED ALUMINUM WINDOW SYSTEM - DARK BRONZE WITH CLEAR AND OPAQUE GLAZING - ON STREET FACADES



6 VINYL WINDOW SYSTEM - DARK BRONZE WITH CLEAR GLAZING - ON COURTYARD FACING WINDOWS



7 ALUMINUM WINDOW STOREFRONT SYSTEM - DARK BRONZE WITH CLEAR AND OPAQUE GLAZING & METAL FASCIA TO MATCH



8 SOLID-CORE ENTRY DOOR



9 SUNSHADES



10 CEMENTITIOUS PANEL



11 GREENSCREEN



12 POWDER COATED STEEL PLANTERS



13 GLAZED BRICK



14 CONCRETE ROOF TILES



15 DECORATIVE METAL CORNICE

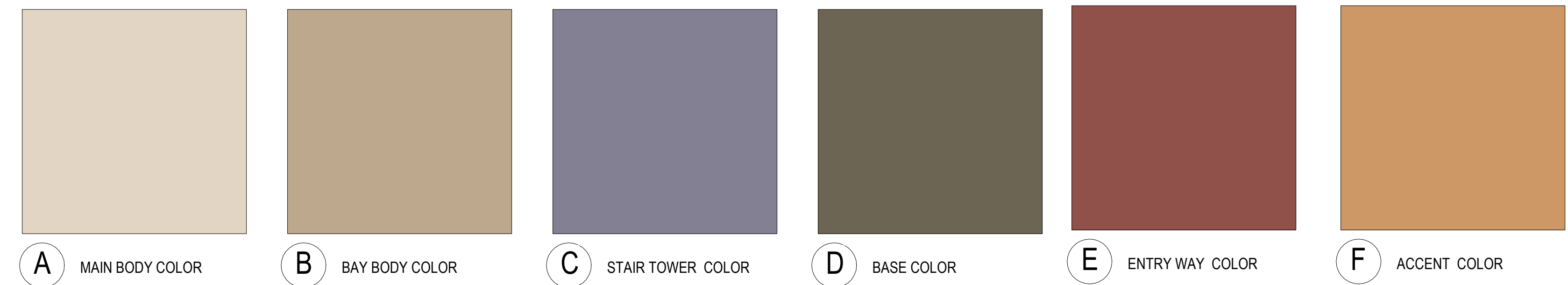


16 WOOD FENCING

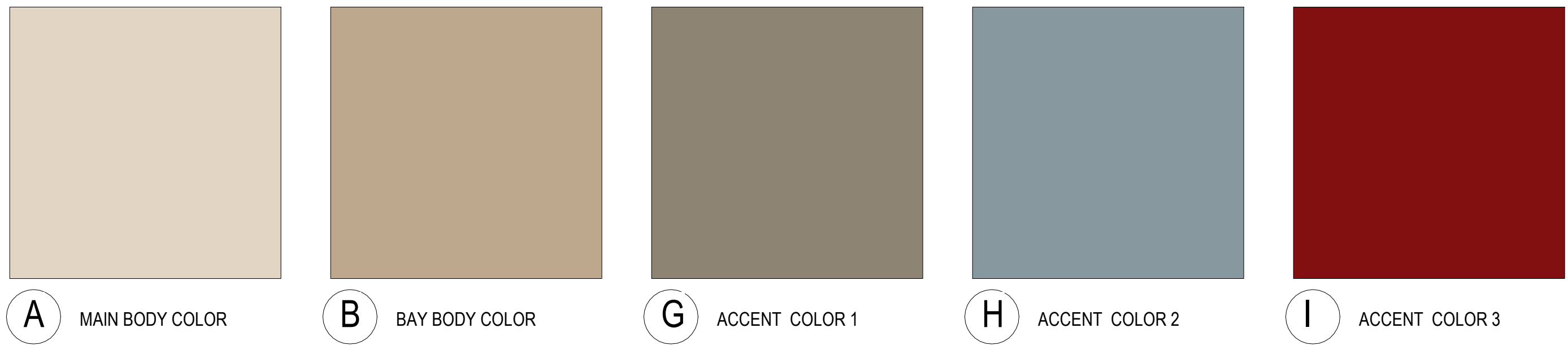


19 TILE

CENTER COLORS



HOMES COLORS



CARITAS VILLAGE
 CARITAS VILLAGE, SANTA ROSA CA

STAMP:

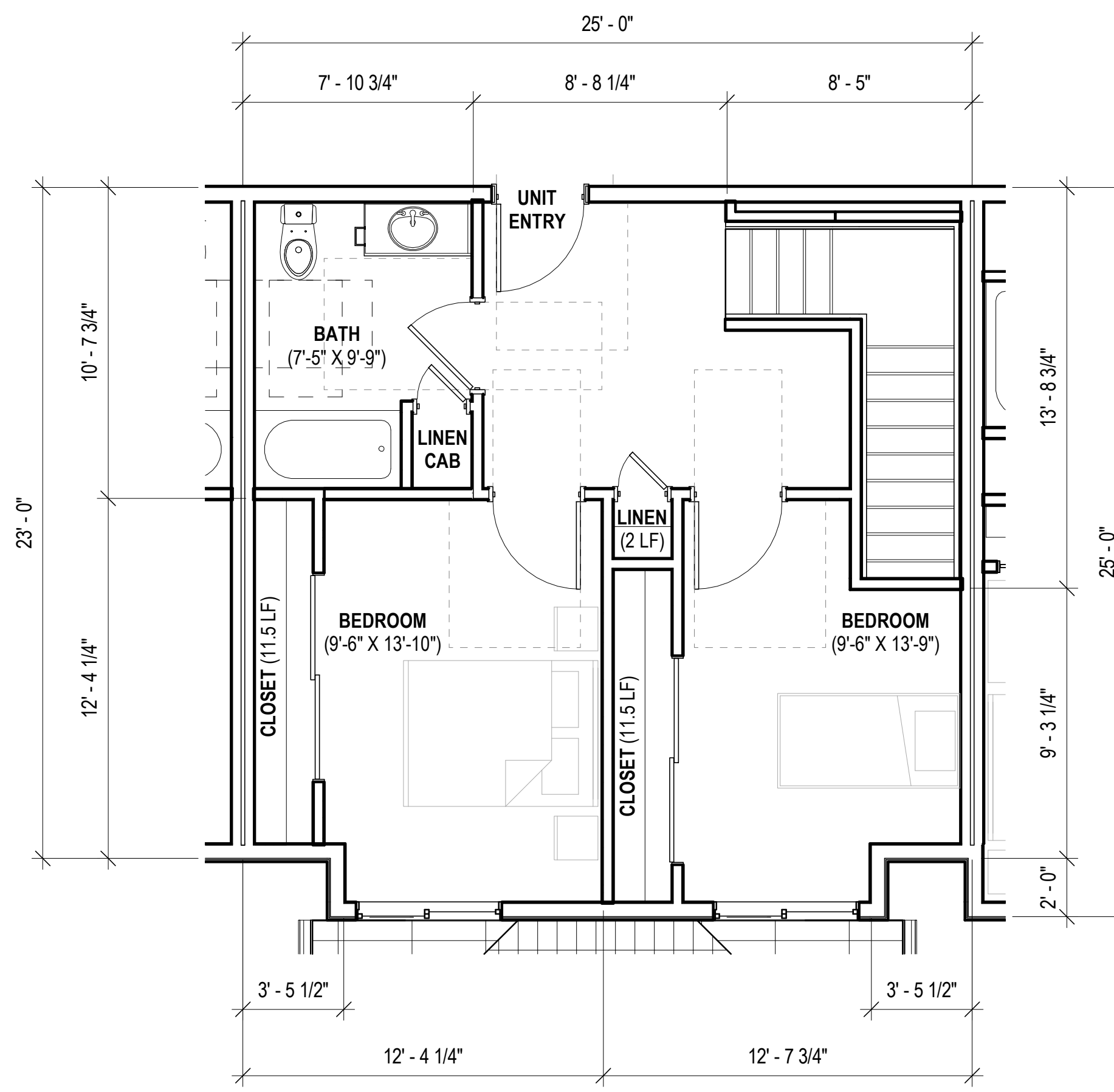
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 DRAWN BY: ARK, GP
 CHECKED BY: TB
 DATE: 7/22/19
 SCALE: 1/4" = 1'-0"

TITLE:
CARITAS HOMES - TYPICAL UNIT PLANS

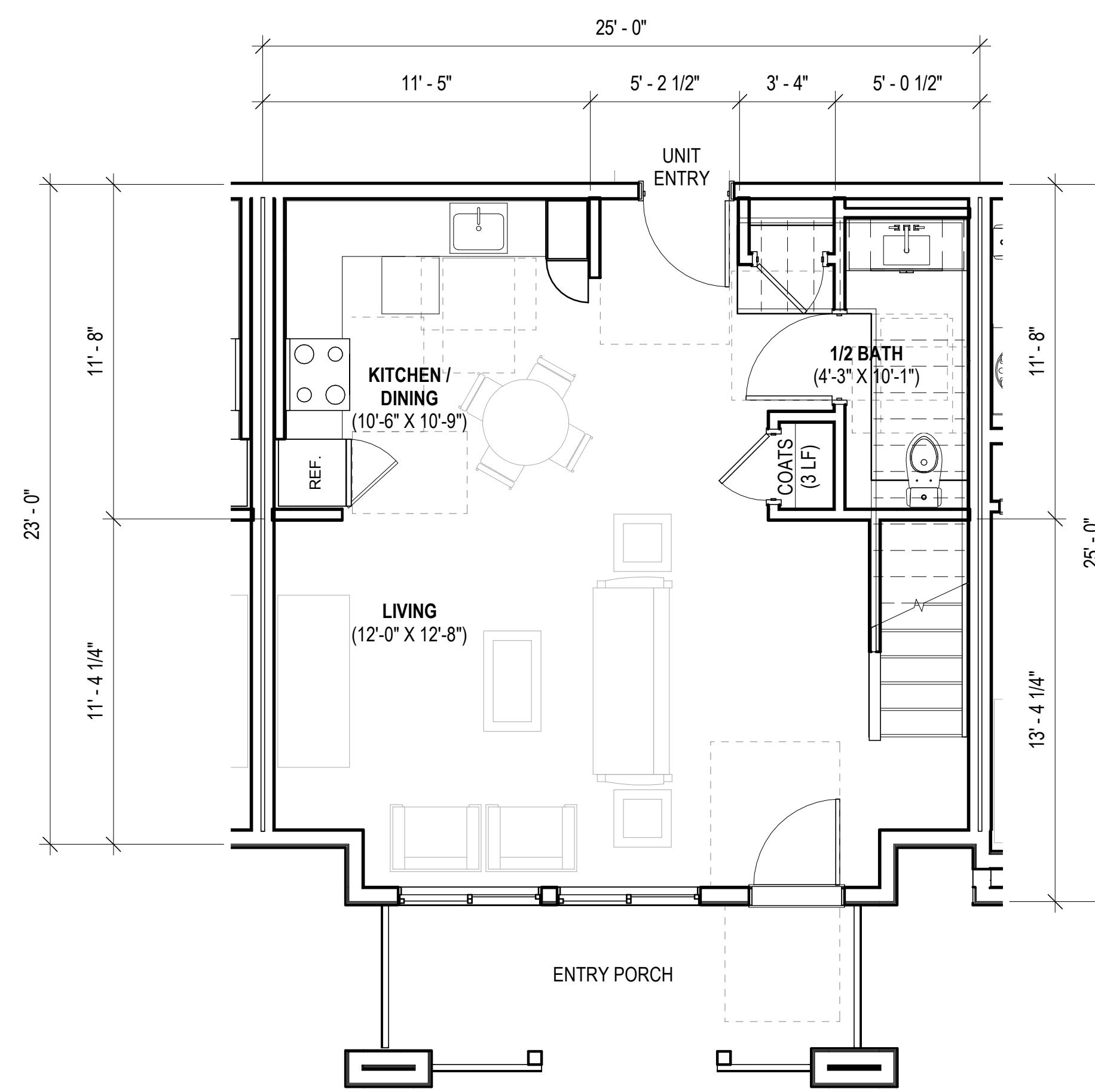
SHEET:
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PRELIMINARY - Not for Construction -

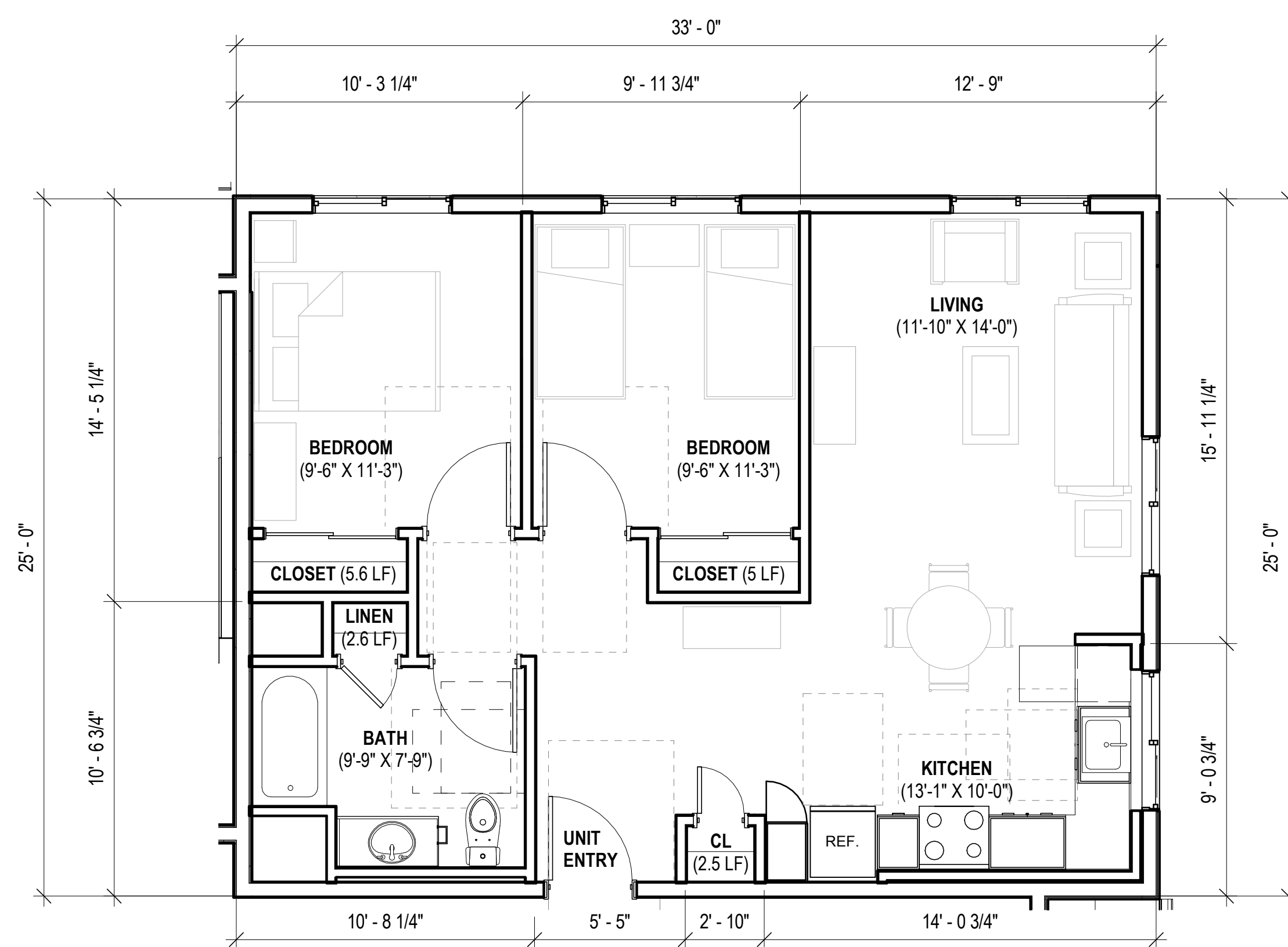
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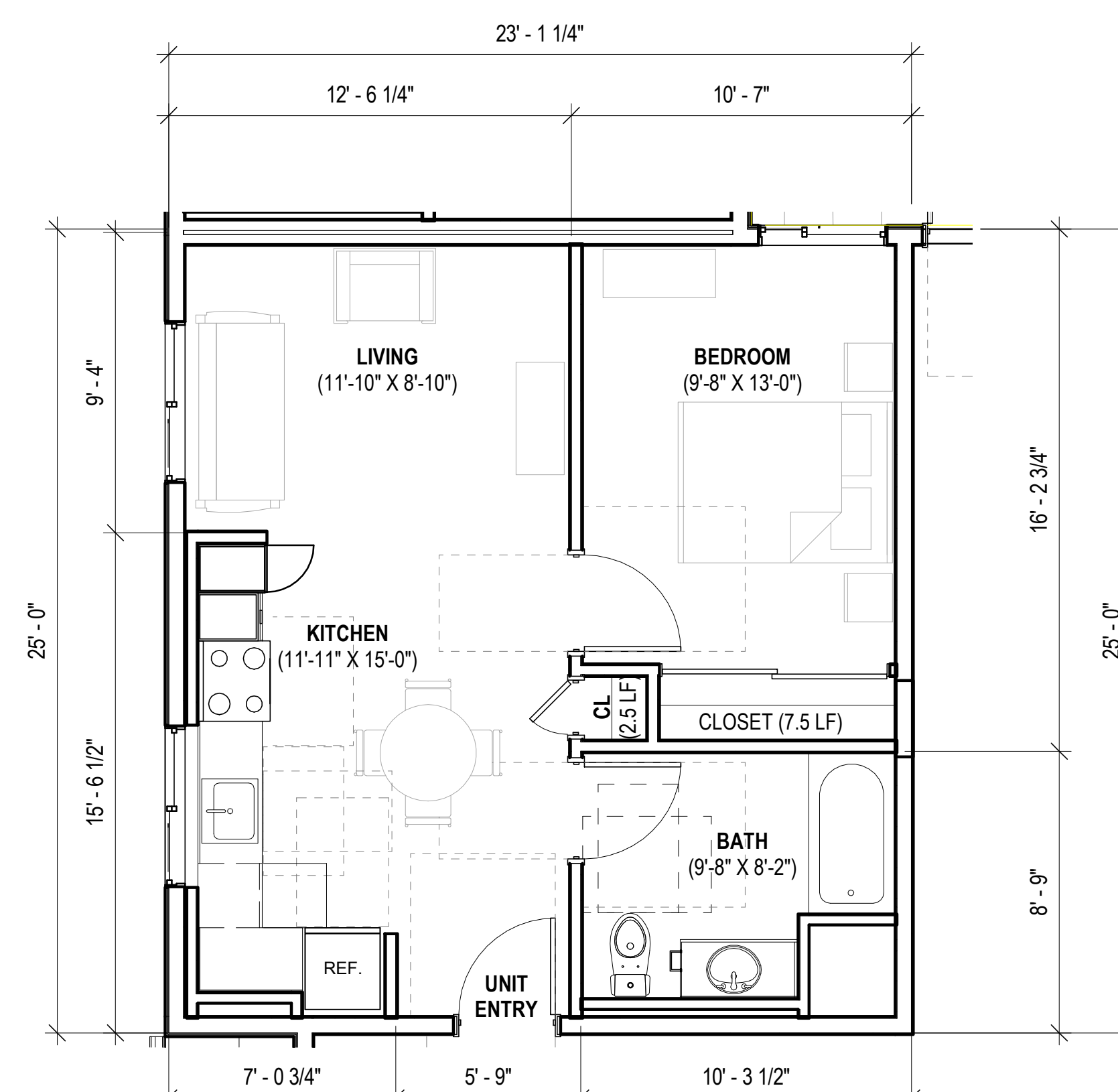
UNIT D - TH UL TYP. ⑤
 498 SF
 1/4" = 1'-0"



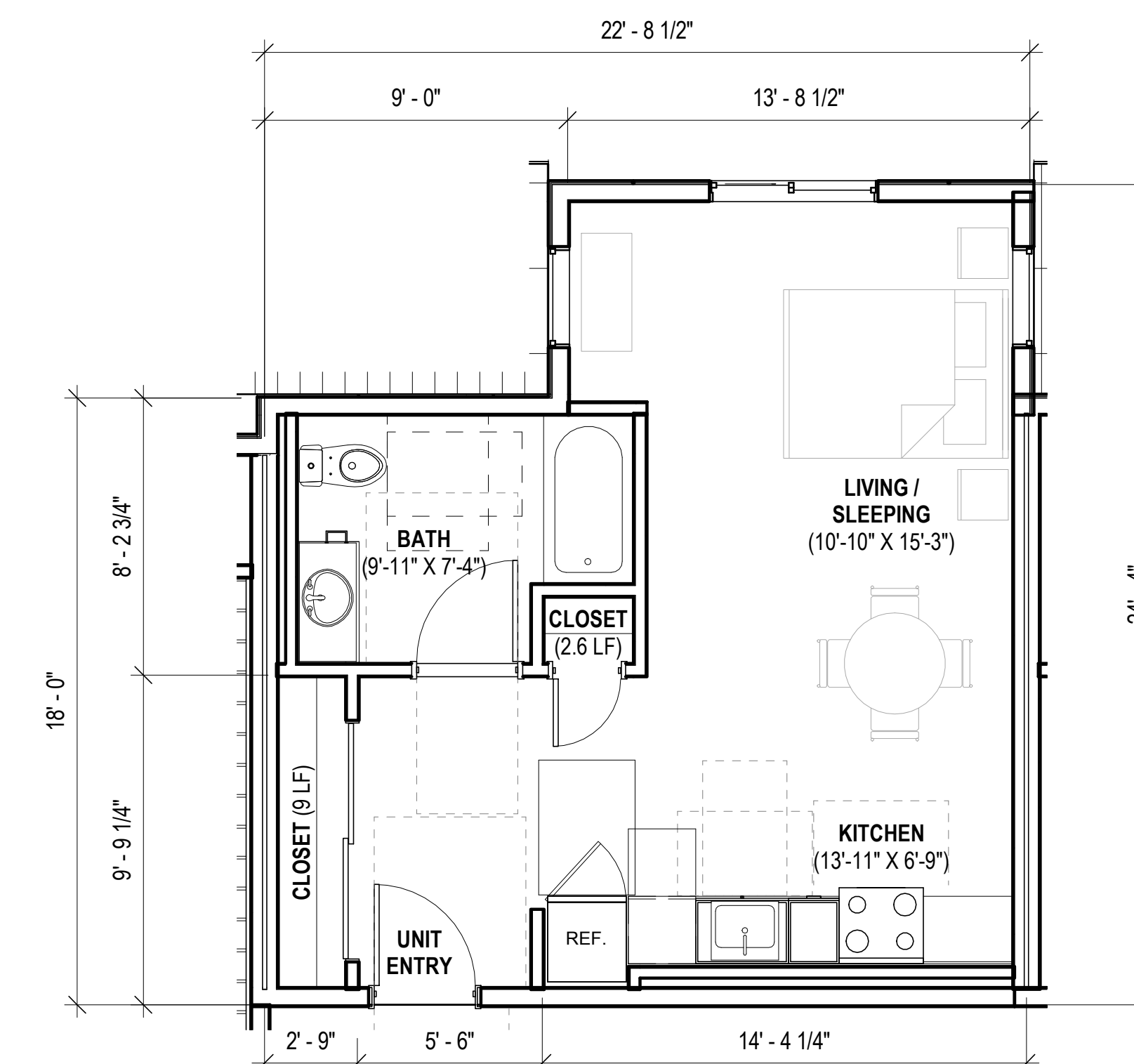
UNIT D - TH LL TYP. ④
 569 SF
 1/4" = 1'-0"



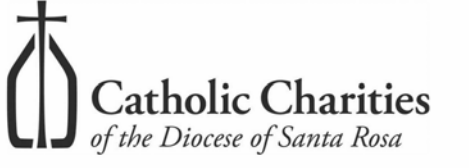
UNIT C - 2 BR TYP. ③
 765 SF
 1/4" = 1'-0"



UNIT B - 1 BR TYP. ②
 530 SF
 1/4" = 1'-0"



UNIT A - STUDIO TYP. ①
 453 SF
 1/4" = 1'-0"



CARITAS VILLAGE
CARITAS VILLAGE, SANTA ROSA CA

STAMP:

NO.	DATE	REVISION

JOB NUMBER: 1601
DRAWN BY: Author
CHECKED BY: Checker
DATE: 07/19/2019


SCALE:
TITLE:
FIXTURE SCHEDULE

SHEET:
E1.02

EXTERIOR LUMINAIRE SCHEDULE												
FITURE TAG KEY: G = GROUND MOUNT; L = LINEAR FIXTURES THAT HAVE VARIABLE LENGTH ON THE PROJECT; F = FLUSH MOUNTED; B = RECESSED; S = SURFACE MOUNTED; T = TRACK OR TRACK HEAD; W = WALL MOUNTED; X = EXIT SIGNS; Y = POLE MOUNTED; Z = EXTERIOR, TO PRECISE OTHER FIXTURE TAGS - E.G. ZW1 WOULD BE AN EXTERIOR WALL MOUNTED FIXTURE												
FIXTURE TAG	INPUT WATTS	VOLTS	DESCRIPTION	MANUFACTURER	LIGHT SOURCE/BUG	COLOR TEMP	CRF	OUTPUT	EFFICACY (LPW)	LED DRIVER OR BALLAST	LOCATION	REMARKS
Z01	31 W	120VLT	2" DIAMETER X 40" TALL BOLLARD, IP66	LITTONIA B01B15-120-700-30K-ASBY-ANVOLT-1-0M5GF-FINISH	LED	3000K	80	1214 DELIV. LUMENS			NORTH OF CHAPEL	
ZP1	0.48 W		STRAND LIGHTS	PHOSOR #E28C-12-0VW-014	LED	2500K	700	13 DELIV. LUMENS			NEWS	
ZS1	16 W	120V	4" DIAMETER X 12" TALL SURFACE MOUNTED DOWNLIGHT, IP65 AND WET LOCATION RATED.	HVAC #FNA-W26G-FINISH	LED	3000K	90	800 DELIV. LUMENS		0-10V DIMMING	FAMILY SUPPORT CENTER AND NAVIGATION CENTER CANOPES	
ZW1	10 W	120V	2" DIAMETER X 8" TALL WALL MOUNTED CYLINDER DOWNLIGHT WITH WIDE FLOOD OPTIC, IP66 AND WET LOCATION RATED.	EATON #E02-W1-10W-LED030-W-FINISH-L1-10V-MOUNTING-SUPED	LED	3000K	90	728 DELIV. LUMENS		0-10V DIMMING	BUILDING EXTERIOR	
ZW2	17 W		6" WIDE X 5 1/4" TALL X 6" DEEP WALL MOUNTED DOWNLIGHT, IP65 AND WET LOCATION RATED, AIA COMPLIANT.	HVAC #W5-W6007-FINISH	LED	3000K	90	880 DELIV. LUMENS		ELV DIMMING 10%	UNIT PATIOS	
ZW3			STEP LIGHT	LED						0-10V DIMMING	PARKING LOT	
ZY1	25 W	120-277	2 1/2" DIAMETER X 21" HIGH POLE/ARM MOUNTED AREA DOWNLIGHT WITH TYPE IV OPTICS AND 0/10V CONTROL, MOUNTED TO 1/2" POLE, IP66 RATED.	EATON #M0A-E01-LED-Q-U-0L-X-FL-COLOR-700-POLE MOUNT IP66E	LED B1-L0-G1	3000K	70	2383 DELIV. LUMENS				

Z1L_Lithonia_kbr8-led.pdf

KBR8 LED LED Specification Bollard



Specifications

- Height: 40" (1016mm)
- Weight: 27 lbs (12.2kg)

Ordering Information

Series	LEDs	Color	Color Temperature	Beam Spread	Beam Angle	Beam Diameter	Beam Length	Beam Area	Beam Area at 100'
KBR8LED	Asymmetric	100	3000K	120°	40°	1.00m	1.00m	0.785m²	78.5m²

Ordering Information **EXAMPLE: KBR8 LED 14C 700 40K SYM MVOLT DBCX**

Series	LEDs	Color	Color Temperature	Beam Spread	Beam Angle	Beam Diameter	Beam Length	Beam Area	Beam Area at 100'
KBR8LED	Asymmetric	100	3000K	120°	40°	1.00m	1.00m	0.785m²	78.5m²

Accessories

Part Number	Description
MBR3	Adapter for LED's

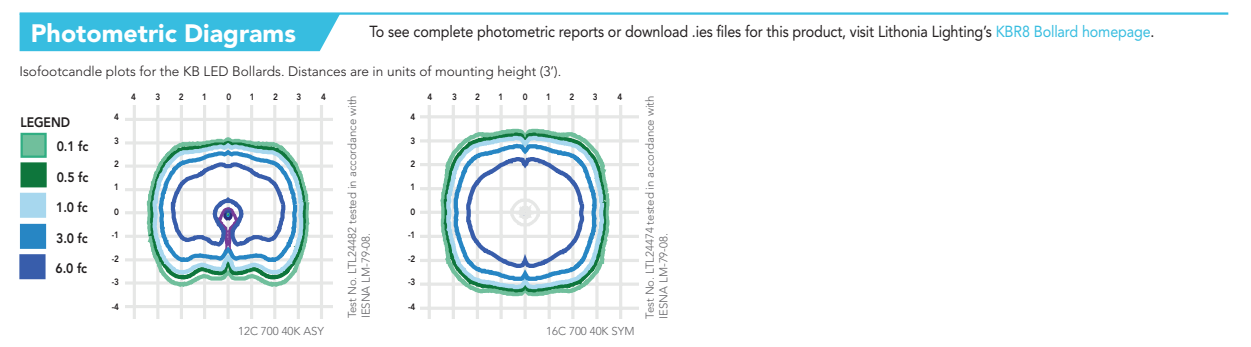
One Lithonia Way • Cary, NC 27513 • Phone: 800.279.8841 • Fax: 770.918.1209 • www.lithonia.com

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Z1L_Lithonia_kbr8-led.pdf

Performance Data

Temp	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam
100	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30



FEATURES & SPECIFICATIONS

INTENDED USE: The rugged construction and clean lines of the KBR8 bollard is ideal for illuminating outdoor walkways, parking areas, and pedestrian areas, as well as any other outdoor application requiring a low mounting height light source with fully cut-off illumination.

ELECTRICAL: Light sources of high efficacy (lm/W) are required to maximize lumen output, to maximize lumen output and promote long life (50,000+ hours) at 100% lumen maintenance. These LEDs are designed for an expected life of 100,000 hours with a 1% failure rate. Electrical components are PFC and RoHS compliant.

WARRANTY: Three year limited warranty. Complete warranty terms located at www.lithonia.com.

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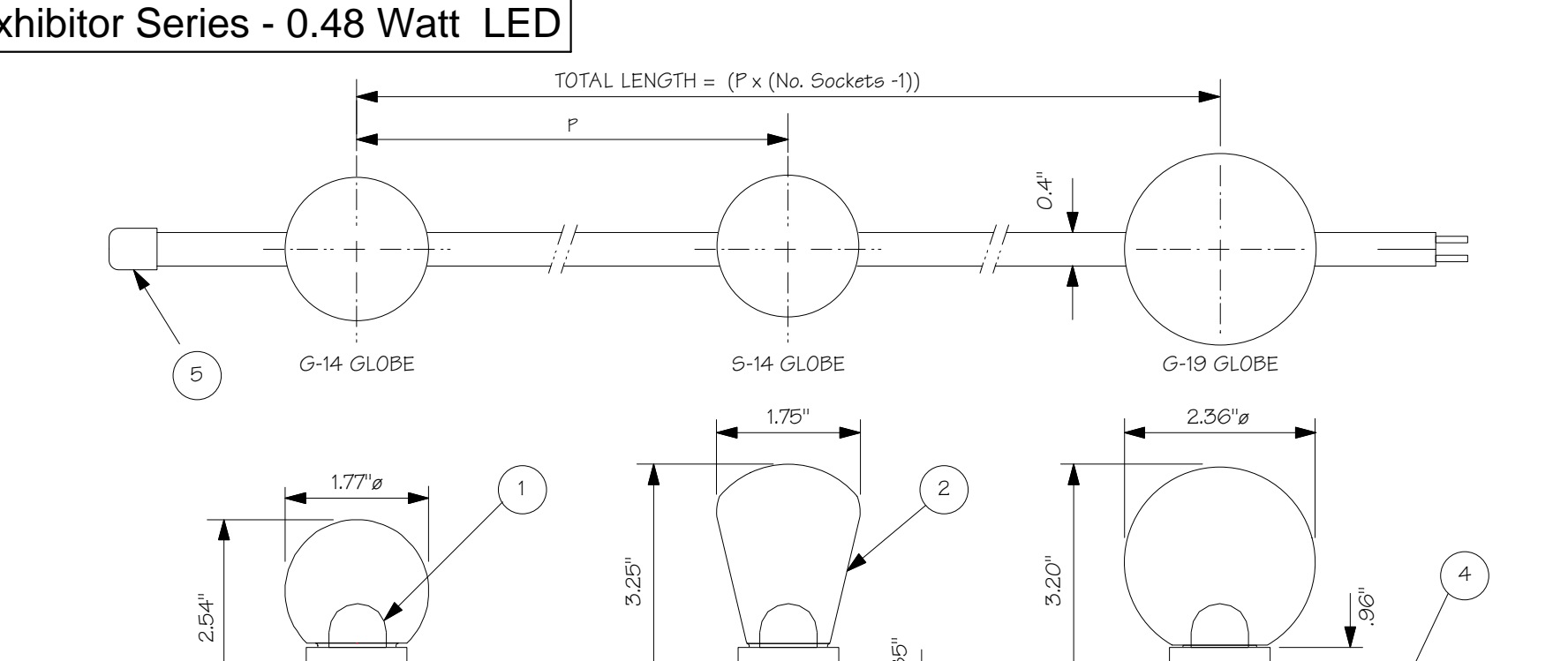
Z1L_Tokistar_FX-0-48-Watt-LED-submittal.pdf

Exhibitor Series - 0.48 Watt LED

Performance Data

Temp	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam
100	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30

Photometric Diagrams



EXHIBITOR SERIES SUBMITAL

CATALOG#	EXHIBITOR SERIES SUBMITAL	NO.	PART	MATERIAL
EXHIBIT-WH	WHITE	1	LED	SOLID-STATE LED
EXHIBIT-GLOBE	GLOBE	2	GLOBE	POLYCARBONATE
EXHIBIT-WIRE	#12 AWG WIRE	4	#12 AWG WIRE	PVC WITH PLATED COPPER CONDUCTOR
EXHIBIT-END CAP	END CAP	5	END CAP	PVC

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Z1L_WAC_FM265_SP_091417.pdf

WAC LIGHTING Responsible Lighting®

TUBE - model: FM-W26 LED Ceiling Mount



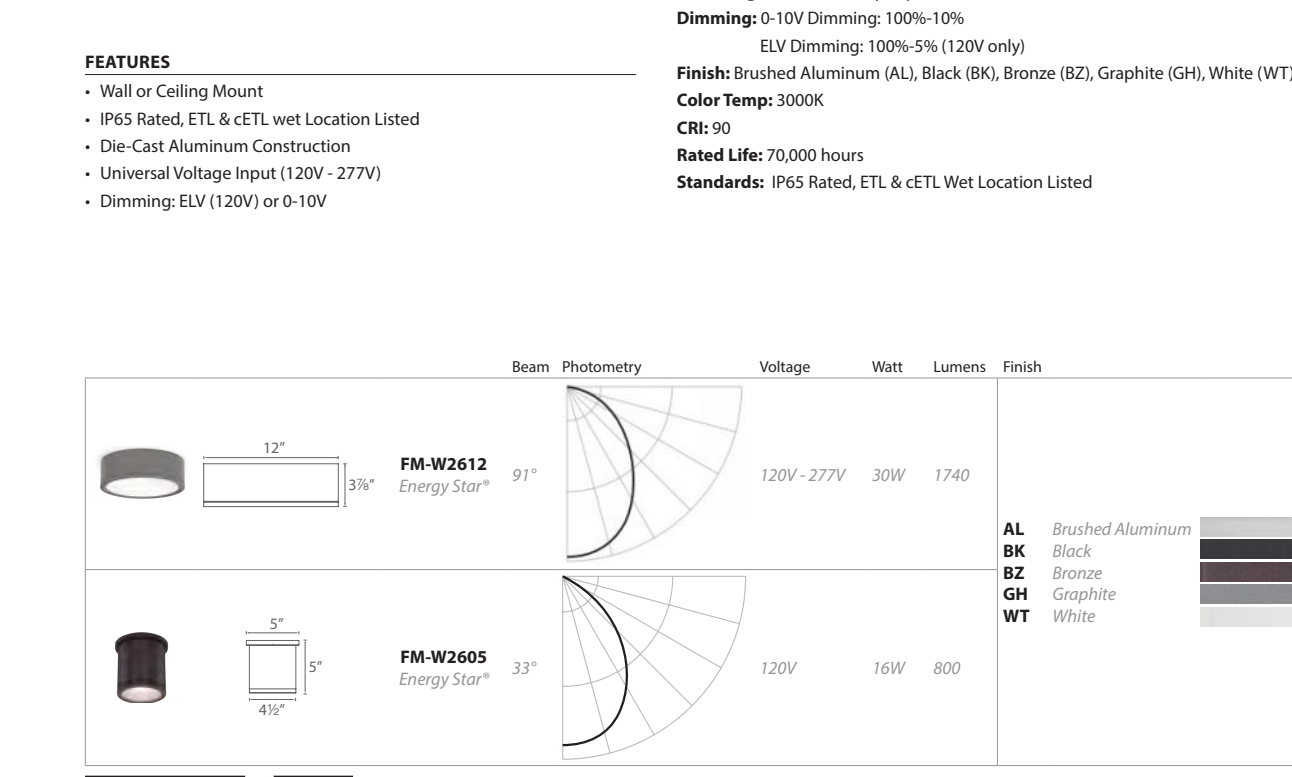
PRODUCT DESCRIPTION: Precision engineering using the latest energy efficient LED technology with a built-in reflector for superior optics, no gaudy or gaudy profile with a powerful LED down light perfect for accent and wall wash lighting.

FEATURES:

- Well or Ceiling Mount
- PFC Rated, ETL & ETL-UL Wet Location Listed
- Clear Cast Aluminum Construction
- Universal Voltage Input (120V - 277V)
- Dimming: ELV (120V) or 0-10V

SPECIFICATIONS:

Construction: Aluminum with etched glass
Power: Integral down light luminaire, 120V - 277V Input
Light Source: High output LED
Mounting: Mounts directly to junction box
Dimming: 0-10V Dimming 100%-10%
ELV Dimming 100%-5% (120V only)
Finish: Brushed Aluminum (AL), Black (BK), Bronze (BZ), Graphite (GR), White (WT)
Color Temp: 3000K
CRI: 90
Rated Life: 70,000 hours
Standards: PHS, RoHS, ETL & ETL Wet Location Listed



WAC Lighting
www.wac-lighting.com
Phone (800) 526-2588 • Fax (800) 526-2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive • Fort Washington, NY 11550
Phone (516) 515-5000 • Fax (516) 515-5050

Western Distribution Center
1750 Redwood Avenue • Oxnard, CA 91320
Phone (800) 526-2588 • Fax (800) 526-2585

WAC Lighting is the right to modify the design of our products at any time as part of our company's continuous improvement program. SEP 2017

Z1L_Eaton_TD506022EN-Lanterna9002-Spec-SSS.pdf

Lanterna 9002

DESCRIPTION: Lanterna 9002-WT (Up or Down) and 9002-WD (Up and Down) are small 2.5" C.D., low voltage cylinder fixtures with dimmable LED. The luminaires comes in various mounting, surface mount with integral driver in the housing, remote driver mount with round and square wall plates and square wall integral driver, all of which can be mounted over standard 4 inch joist. The luminaires also comes with various fixed replaceable optical and premium color tuning option. It also comes with various lens, finishes and colors or different finishes, which can combine up to three at once to create multiple lighting effects. The fixture may be used indoors or outdoors and carries IP66 rating.

SPECIFICATION FEATURES:

- Material:** Housing and hood are precision-machined from corrosion resistant billet 6061-T6 aluminum. C80 bronze, C822 bronze, C715 copper or 2024-T3 aluminum are available.
- Finish:** Fixtures constructed from 6061-T6 aluminum are finish processed by an RDP® chemical film, anodizing and anodizing process and paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available.
- Nature Metals:** Fixtures constructed from brass, bronze, copper or stainless steel are not equipped to meet the natural beauty of the material. Brass, bronze and copper will patina naturally over time.
- Head:** Head is removable and accepts up to two luminaire accessories at once (down, down and fixed) to achieve multiple lighting effects. Head holes are spaced to accept standard luminaire accessories from collecting on the head, even in rain.

ORDERING INFORMATION:

Series	Model	Color	Finish	Mounting	Options
9002-WT	Up or Down	White	Standard	Surface	None

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Lanterna 9002

PHOTOMETRICS (PREMIUM COLOR TUNING)

Test Number	Color Metric Summary	Candle Power Distribution	Cone of Light	Candle Table
Test Number: F3004	TM-30-15 Ra: 92 Rf: 92	Beam Angle: 48°	Beam Diameter: 1.00m	Beam Area: 0.785m²

TM30 DATA

LED	TM-30-15	TM-30-15	TM-30-15	TM-30-15	TM-30-15
LED0900	92	92	92	92	92

LUMEN MAINTENANCE

Temp	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam
100	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30

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PYATOK
1611 TELEGRAPH AVE. SUITE 200
OAKLAND, CA 94612
510.465.7010 p | 510.465.8575 f
www.pyatok.com

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of the Diocese of Santa Rosa

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