

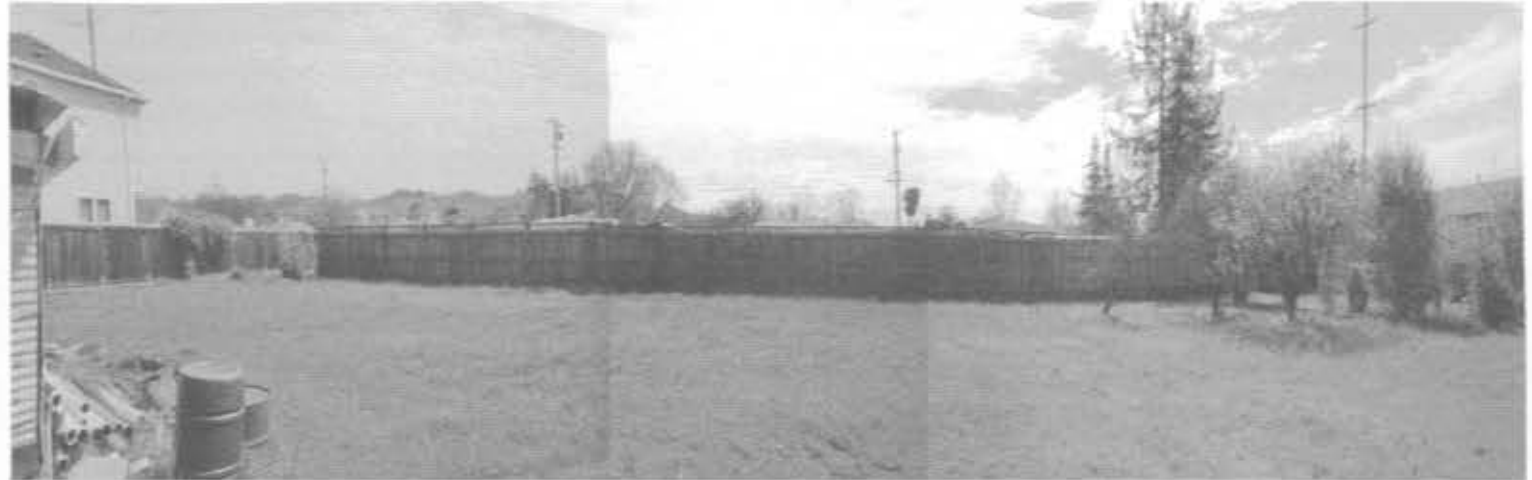


S.F. = SINGLE FAMILY
M.F. = MULTI FAMILY





1-FRONT OF PROPERTY
LOOKING SOUTH



2-BACK OF PROPERTY
LOOKING SOUTH



3-CENTER OF PROPERTY
LOOKING NORTH



4-EXISTING DRIVE
LOOKING SOUTH



5-CORNER OF PROPERTY
LOOKING SOUTH-WEST



6-EXISTING DRIVE
LOOKING NORTH



SITE PHOTOGRAPH
IMAGE KEY

JOHN SPENST
430 CARRILLO ST.
SANTA ROSA, CA
(707) 235-3830

D&J CARRIAGE HOMES

818 ASTON AVE. SANTA ROSA, CA

SITE PHOTOGRAPHS

3



7-FRONT OF PROPERTY
LOOKING WEST



8-FRONT OF PROPERTY
LOOKING EAST



9-BACK OF PROPERTY
LOOKING WEST



10-BACK OF PROPERTY
LOOKING EAST



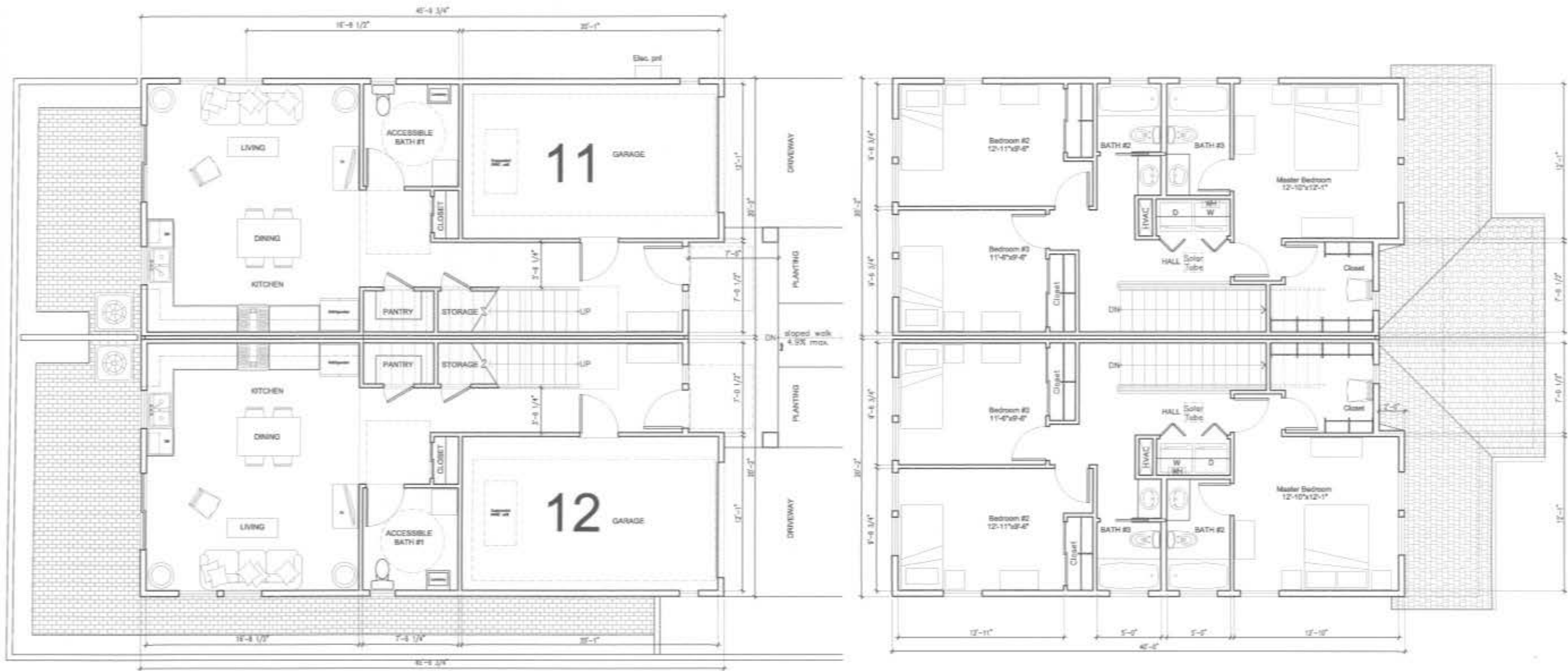
SITE PHOTOGRAPH
IMAGE KEY

JOHN SPENST
430 CARRILLO ST.
SANTA ROSA, CA
(707) 235-3830

D&J CARRIAGE HOMES

818 ASTON AVE. SANTA ROSA, CA

SITE PHOTOGRAPHS



① First Floor Unit Plans
Units 11 & 12
1/4"=1'-0"

② Second Floor Unit Plan
Unit 12
1/4"=1'-0"



18 Multi-Family Homes

D & J
Carriage Homes
818 Aston Avenue
Santa Rosa, CA 95404



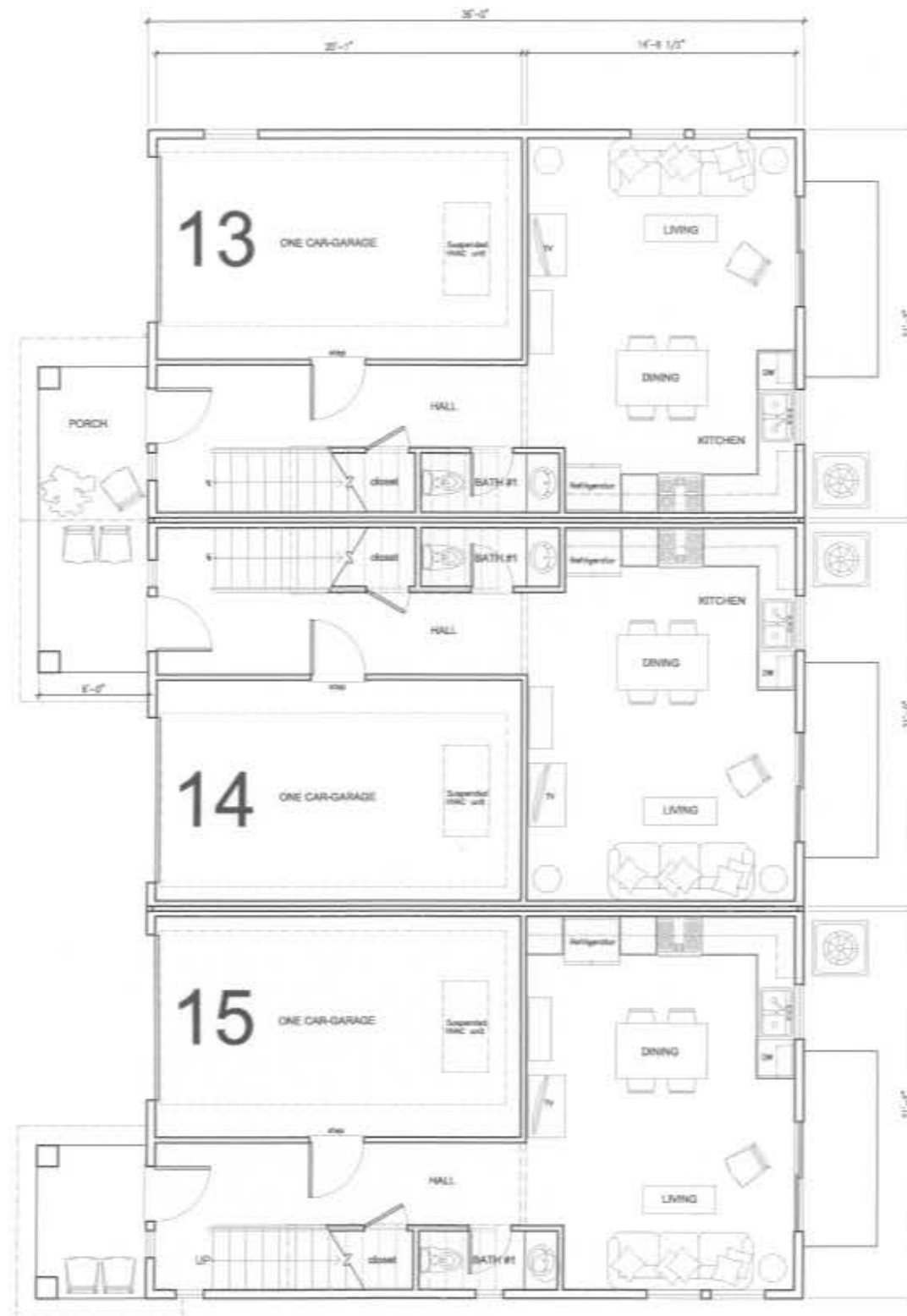
These drawings and specifications, including materials, design and dimensions, represent the intended use of the project. The contractor is responsible for verifying the accuracy of the information provided and for obtaining all necessary permits. The architect makes no warranty or representation as to the accuracy of the information provided. The contractor shall be responsible for obtaining all necessary permits and for the accuracy of the information provided.

DES Preliminary Review: 4 Oct. 2014
DES Final Review: 21 Feb. 2017

Units 11-12
Floor Plans

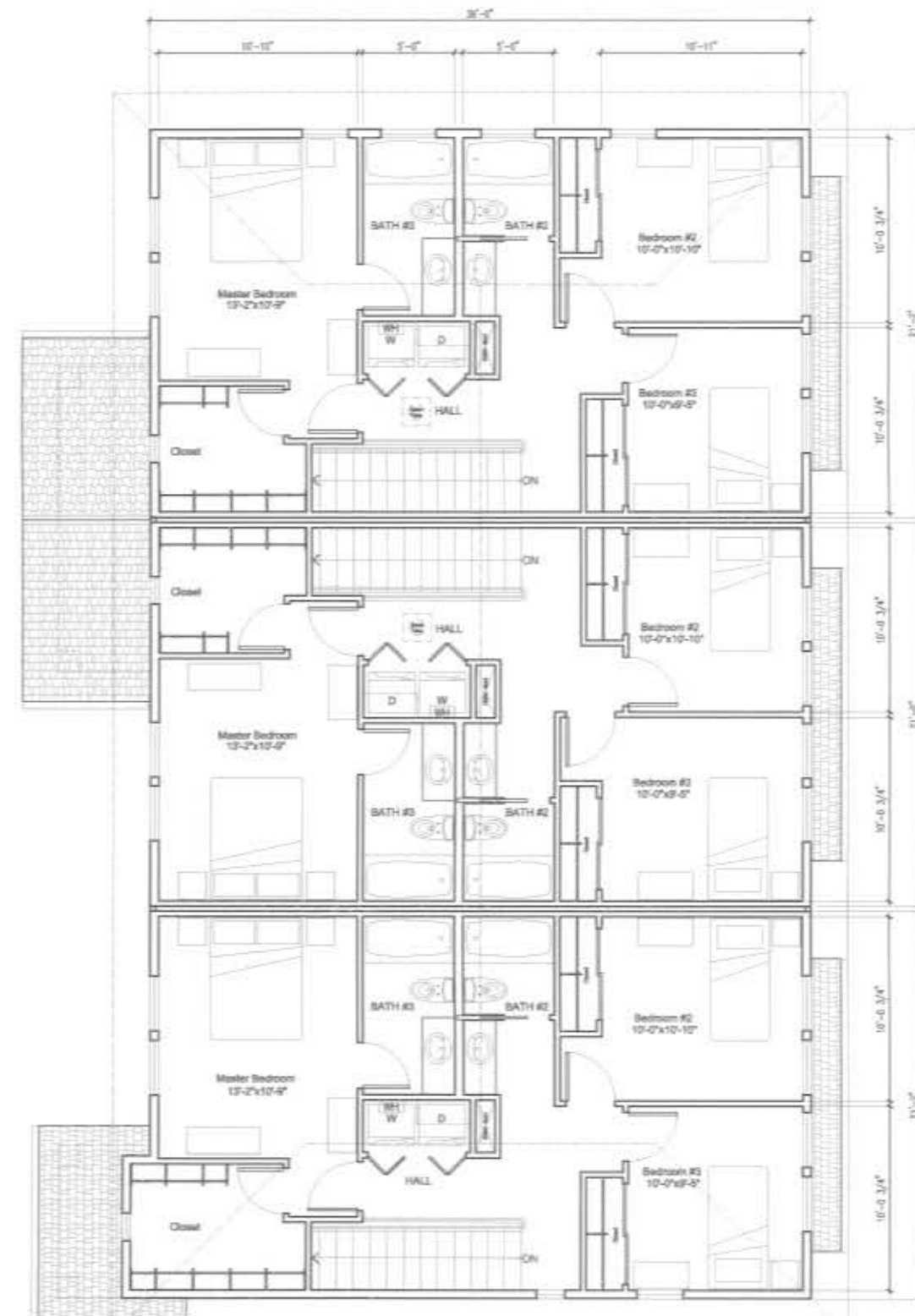
A2.3

ARK #15016



① First Floor Unit Plans
Units 13, 14 & 15

1/4"=1'-0"



② Second Floor Unit Plans
Units 13, 14 & 15

1/4"=1'-0"



18 MUB Family Homes

D & J
Carriage Homes
818 Aston Avenue
Santa Rosa, CA 95404



These drawings and specifications, including the notes, constitute the design and construction documents for the project. They are to be used in conjunction with the contract documents. The contractor shall be responsible for all dimensions and conditions. The contractor shall be responsible for all dimensions and conditions. The contractor shall be responsible for all dimensions and conditions.

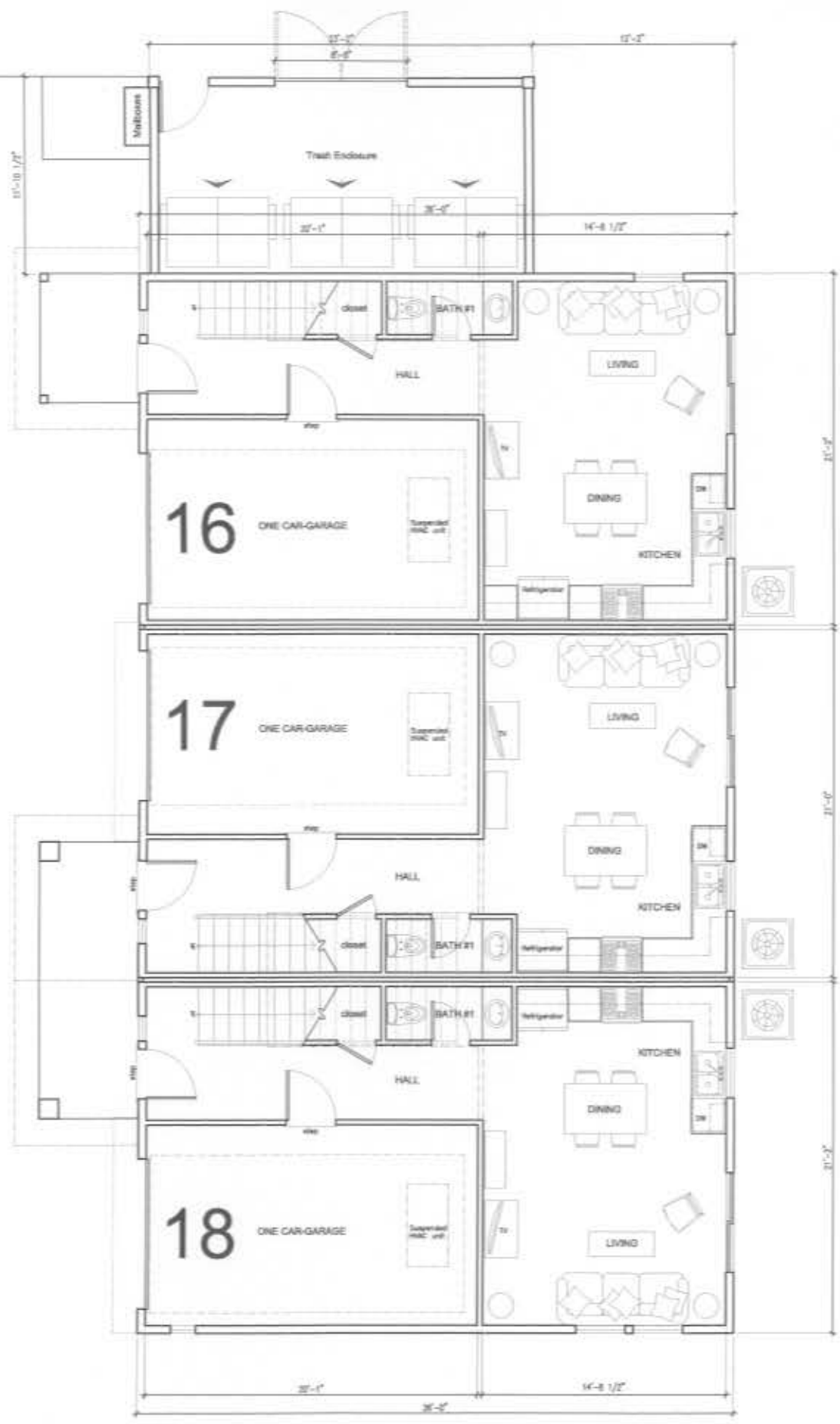
DBS Preliminary Review: 4 Oct. 2014
DBS Final Review: 21 Feb. 2017

Units 13-15
Floor Plans

A2.4

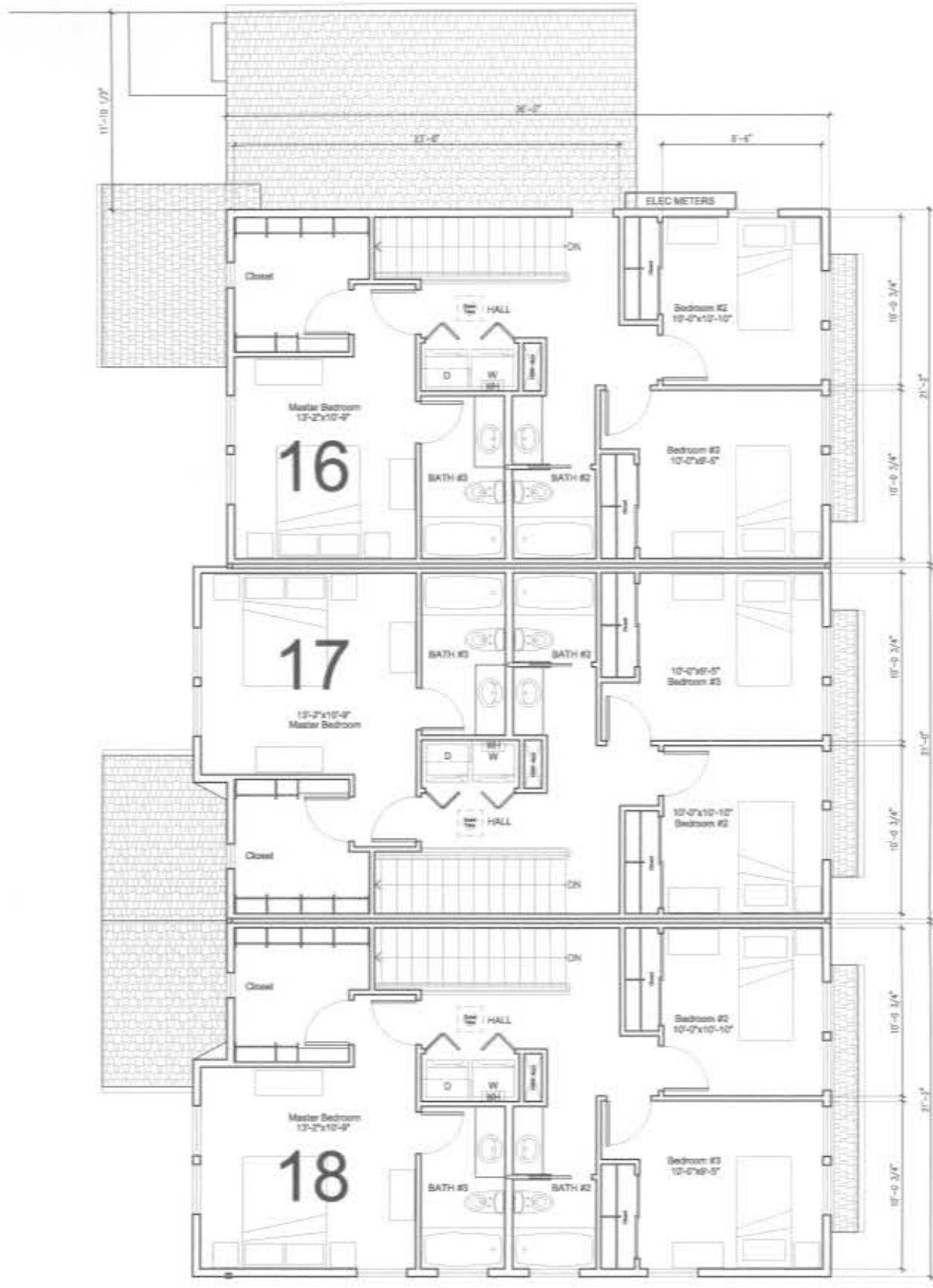
ARK #15016

C:\Users\ark\Documents\18 MUB Family Homes\18 MUB Family Homes\18 MUB Family Homes.rvt



① First Floor Unit Plans
Units 16, 17 & 18

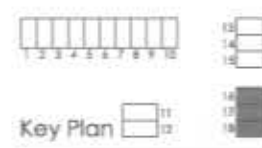
1/4"=1'-0"



② Second Floor Unit Plans
Units 16, 17 & 18

1/4"=1'-0"

18 Multi-Family Homes
D & J Carriage Homes
818 Aston Avenue
Santa Rosa, CA 95404



These drawings and specifications, including for items, design and construction, shall be the property of the architect. No part thereof shall be copied, distributed, or otherwise used without the prior written consent of the architect. Any use of these drawings without the prior written consent of the architect is prohibited.

When approved on these drawings shall be construed as an order to proceed. Construction shall not be held responsible for all dimensions and conditions. The architect shall be notified of any dimensions or conditions. The drawings shall be corrected by the architect for approval by the architect.

URS Preliminary Review: 4 Oct. 2014
URS Final Review: 21 Feb. 2017

Units 16-18
Floor Plans

A2.5

ARK #15016



C:\Users\ark\Documents\Projects\15016\15016-001.dwg (1/4"=1'-0")



#1 3BR-d #2 2BR #3 3BR #4 3BR-d #5 2BR #6 2BR #7 3BR-d #8 3BR #9 2BR #10 3BR-d

① Exterior Elevation - West
Units 1-10

1/8"=1'-0"



#10 3BR-d #9 2BR #8 3BR #7 3BR-d #6 2BR #5 2BR #4 3BR-d #3 3BR #2 2BR #1 3BR-d

② Exterior Elevation - East
Units 1-10

1/8"=1'-0"



③ Exterior Elevation - North
Unit 1

1/8"=1'-0"



③ Exterior Elevation - South
Unit 10

1/8"=1'-0"

18 Multi-Family Homes

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Carriage Homes
818 Aston Avenue
Santa Rosa, CA 95404



Key Plan

These drawings and specifications, including references, shall be read in conjunction with the project's site plan and all other documents related to the project. The contractor shall be responsible for all dimensions and conditions. The contractor shall be responsible for all dimensions and conditions. The drawings shall be corrected by the architect in accordance with the contract documents.

DBS Preliminary Review: 8 Oct. 2014
DBS Final Review: 21 Feb. 2017

Units 1-10
Exterior Elevations

A4.1

ARK #15016



① Exterior Elevation - East
Unit 11 1/8"=1'-0"



② Exterior Elevation - North
Units 11 & 12 1/8"=1'-0"



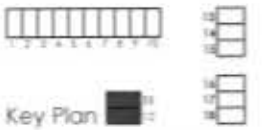
③ Exterior Elevation - West
Unit 12 1/8"=1'-0"



④ Exterior Elevation - South
Units 11 & 12 1/8"=1'-0"

18 Multi-Family Homes

**D & J
Carriage Homes**
818 Azlon Avenue
Santa Rosa, CA 95404



This drawing is a conceptual rendering of the proposed project. It is not intended to be used for construction or other purposes. The design is subject to change without notice. The architect is not responsible for any errors or omissions in this drawing. The architect is not responsible for any construction or other matters. The architect is not responsible for any construction or other matters.

DRS Preliminary Review: 4 Oct. 2014
DRS Final Review: 21 Feb. 2017

Units 11 & 12
Exterior Elevations

A4.2

ARK #15016



① Exterior Elevation - North
Units 13-15
1/8"=1'-0"



② Exterior Elevation - South
Units 13-15
1/8"=1'-0"



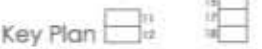
③ Exterior Elevation - East
Unit 13
1/8"=1'-0"



④ Exterior Elevation - West
Unit 15
1/8"=1'-0"

18 Multi-Family Homes

D & J
Carriage Homes
818 Aston Avenue
Santa Rosa, CA 95404



These drawings and specifications, including the notes, shall not be construed to represent a contract. The contractor shall be responsible for all dimensions and conditions. The contractor shall be notified of any discrepancies or omissions. The drawings and specifications shall be subject to approval by the authority having jurisdiction.

DRS Preliminary Review: 4 Oct. 2014
DRS Final Review: 21 Feb. 2017

Units 13-15
Exterior Elevations

A4.3

ARK #15016



① Exterior Elevation - North
Units 16, 17, 18
1/8"=1'-0"



② Exterior Elevation - West
Unit 18
1/8"=1'-0"



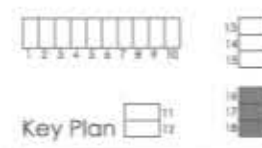
③ Exterior Elevation - South
Units 16, 17, 18
1/8"=1'-0"



④ Exterior Elevation - East
Unit 16
1/8"=1'-0"

18 Multi-Family Homes

**D & J
Carriage Homes**
818 Aston Avenue
Santa Rosa, CA 95404

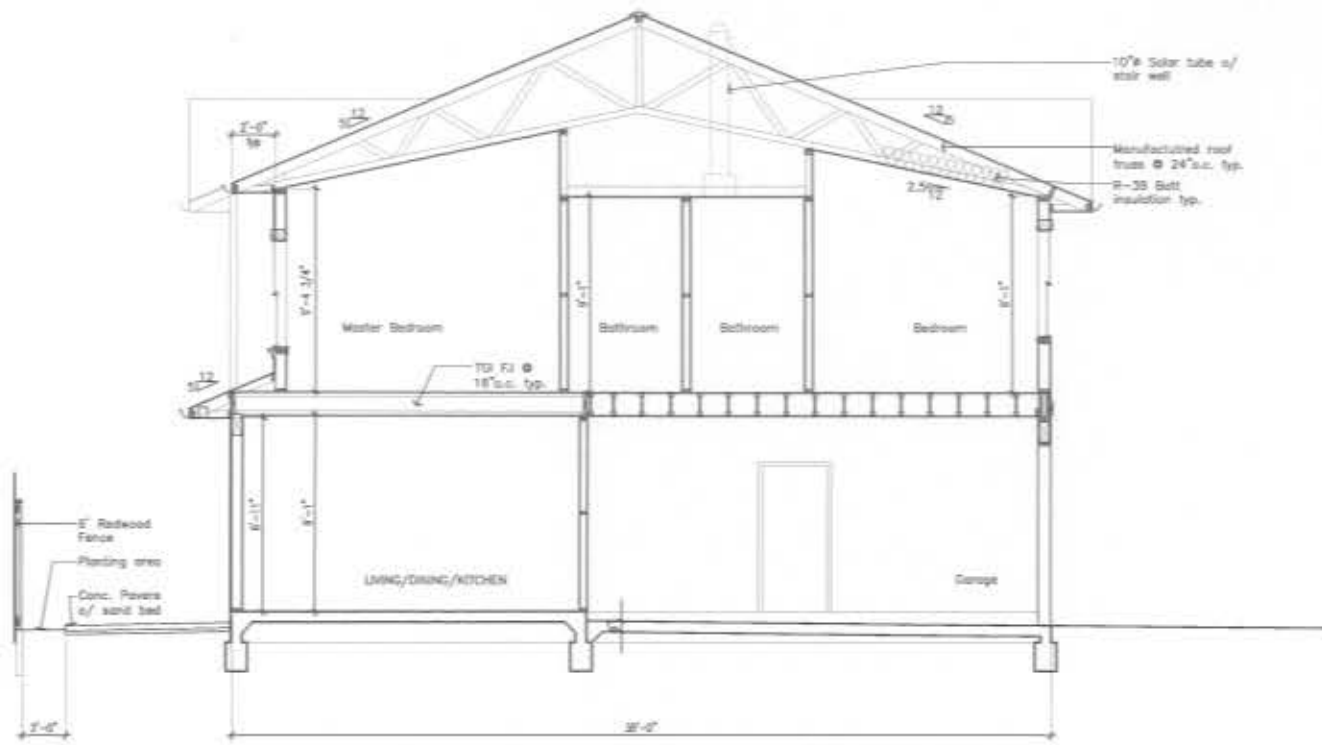


These drawings are preliminary, including but not limited to, conceptual site plans, site plans, and floor plans. They are not intended to be used for construction. The architect shall not be responsible for any errors or omissions in these drawings. The architect shall not be held liable for any errors or omissions in these drawings. The architect shall not be held liable for any errors or omissions in these drawings. The architect shall not be held liable for any errors or omissions in these drawings.

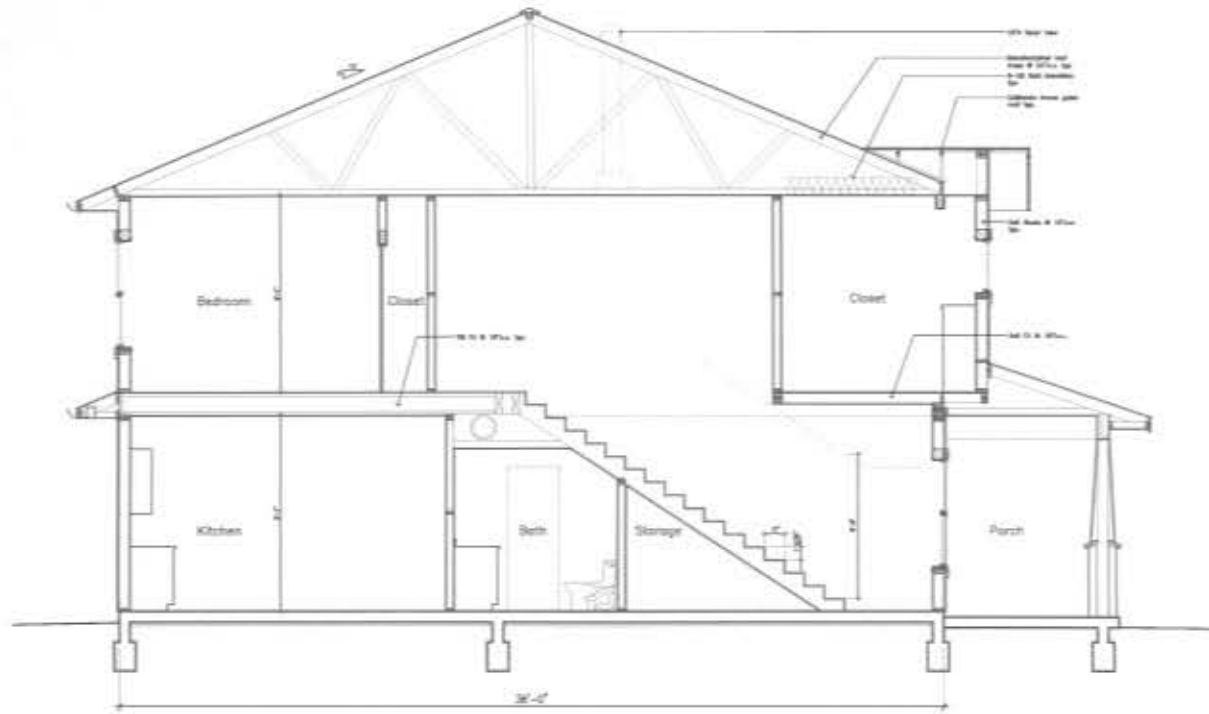
DRS Preliminary Review: 4 Oct. 2014
DRS Final Review: 21 Feb. 2017

Units 16-18
Exterior Elevations

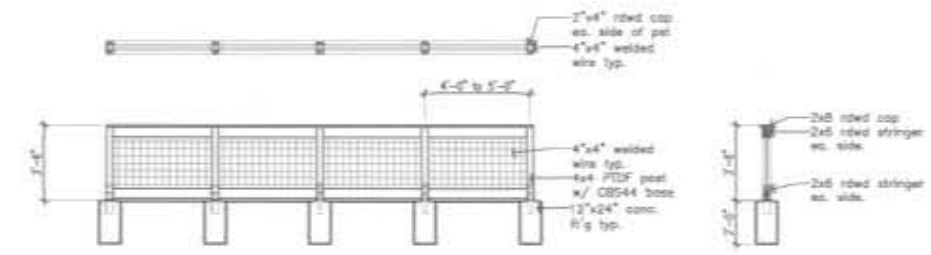
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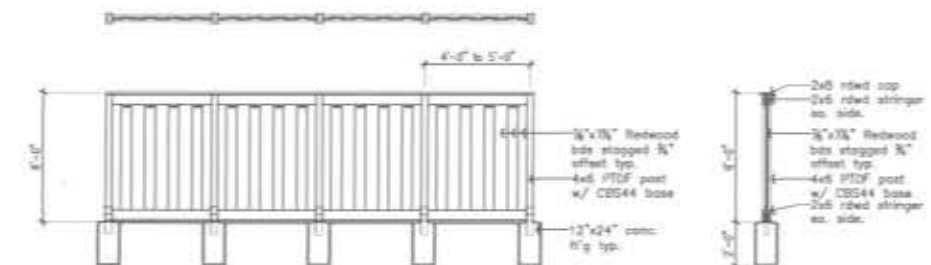
① Section Through Garage
Typical 38' Unit (1-10) 1/4"=1'-0"



② Section Through Stair
Typical 38' Unit (1-10) 1/4"=1'-0"



③ Fence Details
Play Area Fence 1/4"=1'-0"



④ Fence Details
Fence Over Drainage Easement 1/4"=1'-0"

18 Multi-Family Homes

D & J
Carriage Homes
818 Aston Avenue
Santa Rosa, CA 95404



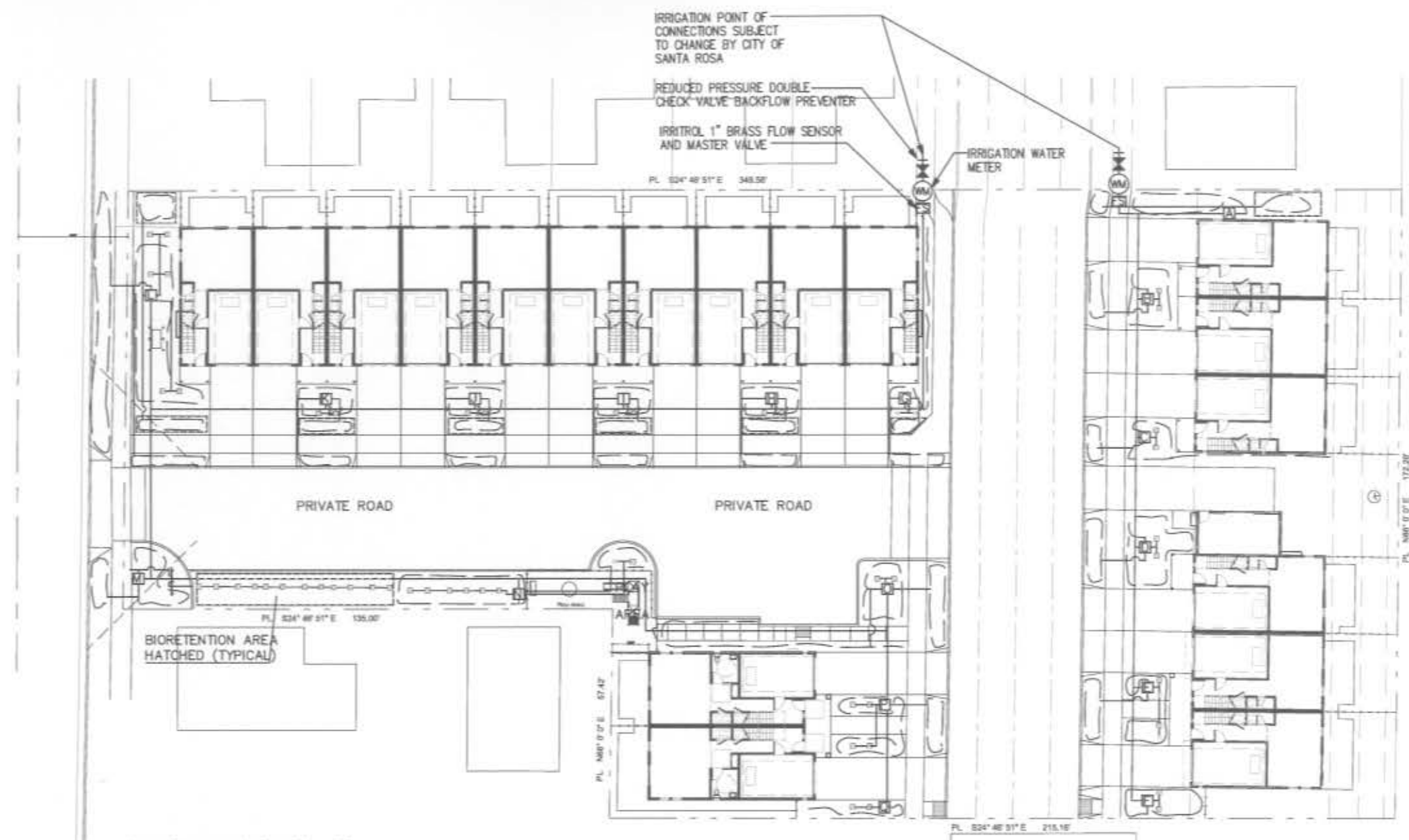
These drawings and specifications, including fixtures, shall not be construed as a contract. The contractor shall be responsible for all dimensions and conditions. The contractor shall be responsible for all dimensions and conditions. The contractor shall be responsible for all dimensions and conditions.

DDJ Preliminary Review: 4 Oct. 2014
DRB Final Review: 27 Feb. 2017

Sections
Typical 38' Units

A5.1

ARK #15016



① Landscape Irrigation Plan

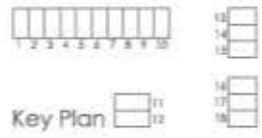
1/16"=1'-0"

	IRRITROL RAIN MASTER (TWICE 2 WIRED) ET BASED CONTROLLER MODEL TW-EG36
	IRRITROL 1" BRASS FLOW SENSOR AND 700 SERIES ELECTRIC GLOBE MASTER VALVE
	2" SCH40 PVC IRRIGATION MAINLINE, 3/4" SCH40 ELEC CONDUIT WITH 2 EA 14 AWG COPPER WIRES
	TYPICAL VALVE BOX WITH UP TO 3 IRRITROL 3/4" 700 SERIES ELECTRIC GLOBE VALVES. VALVE BOXES IDENTIFIED BY APPROPRIATE LETTER.
	3/4" SCH 40 PVC WITH 1 GPM BUBBLER TO IRRIGATE TREES, 2 BUBBLERS PER TREE.
	.810" X .710" DRIP HOSE WITH NETAFIM PUNCH-IN STYLE BUTTON EMITTER AT EACH PLANT. SIZE & NUMBER OF EMITTER AT EACH PLANT INDICATED IN NOTES.

NOTES:

- THERE ARE 2 DISTINCT IRRIGATION SYSTEMS EACH STARTING AT THE POINTS OF CONNECTION FROM CITY OF SANTA ROSA. ONE SYSTEM IS ON THE NORTH SIDE OF ASTON CIRCLE THE OTHER ON THE SOUTH SIDE.
- EACH IRRIGATION SYSTEM TO BE CONTROLLED WITH IRRITROL RAIN MASTER (TWICE 2 WIRED) ET BASED CONTROLLER MODEL TW-EG36.
- ALL IRRIGATION WATER PIPE AND IRRIGATION ELEC CONDUIT THAT PASSES UNDERNEATH PAVED SURFACES TO BE ENCASED IN 3" SCH40 PVC CHASE.
- EACH TREE TO HAVE 2 EA TORO 10PM BUBBLERS.
- EACH 4" PLANT WILL HAVE 1 EA 1/2 GPM NETAFIM BUTTON EMITTER.
- EACH 1 GALLON PLANT WILL HAVE 1 EA 1 GPM NETAFIM BUTTON EMITTER.
- EACH 5 GALLON PLANT WILL HAVE 2 EA 10PM NETAFIM BUTTON EMITTER.
- EACH VALVE BOX TO HAVE AN ISOLATION BALL VALVE AND A 100 MICRON ARKAL DISC FILTER IN FRONT OF ELECTRIC CONTROL VALVES.
- ALL VALVE BOXES (WITH EXCEPTION OF VALVE BOX Y) TO HAVE 3 IRRIGATION CONTROL VALVES IN THEM, ONE FOR BUBBLER AND TREE IRRIGATION, ONE FOR DRIP IRRIGATION ZONES NOT IN BIORETENTION AREAS, AND ONE FOR BIORETENTION AREAS. EACH VALVE BOX TO HAVE 1 EA IRRITROL TW-0-4 QUAD VALVE DECODER.
- VALVE BOX Y TO HAVE 2 IRRIGATION CONTROL VALVES TO OPERATE 1 EA IRRITROL TW-0-2 DUAL VALVE DECODER.
- DRIP IRRIGATION ZONES TO HAVE 20 PSI LOW-FLOW PRESSURE REGULATOR AT EACH VALVE.
- BUBBLER IRRIGATION ZONES TO HAVE 35 PSI MEDIUM-FLOW PRESSURE REGULATOR AT EACH VALVE.

PROPOSED IRRIGATION PLAN	SPENST PROJECT		
	JOHN AND DORTHY SPENST 430 CARRILLO STREET SANTA ROSA, CA 95401 707-235-3830		
CAD DRAWING BY: CHAD GRIFFITH, CID 8/30/2016	SITE LOCATION D & J Carriage Homes 818, 819, 824 ASTON AVENUE		
REVIEWED BY: PATRICIA HAMILTON, CID 8/30/2016	SCALE: 1"=20'	Revised: 2/21/17	SHEET 2/2



These drawings and specifications, including the notes, shall be interpreted as a contract between the client and the architect. No part thereof shall be copied, altered or used in any way without the written consent of the architect.

Unless otherwise noted, these drawings shall be interpreted as a contract between the client and the architect. The architect shall be responsible for all dimensions and conditions. The architect shall be responsible for all dimensions and conditions. The architect shall be responsible for all dimensions and conditions.

DSB Preliminary Review: 4 Oct. 2014
DSB Final Review: 21 Feb. 2017

Landscape
Irrigation Plan

LA1.2

ARK #15016





810 ASTON AVENUE
SANTA ROSA, CA

TOPOGRAPHIC MAP

REVISIONS:

DATE: 11/21/13

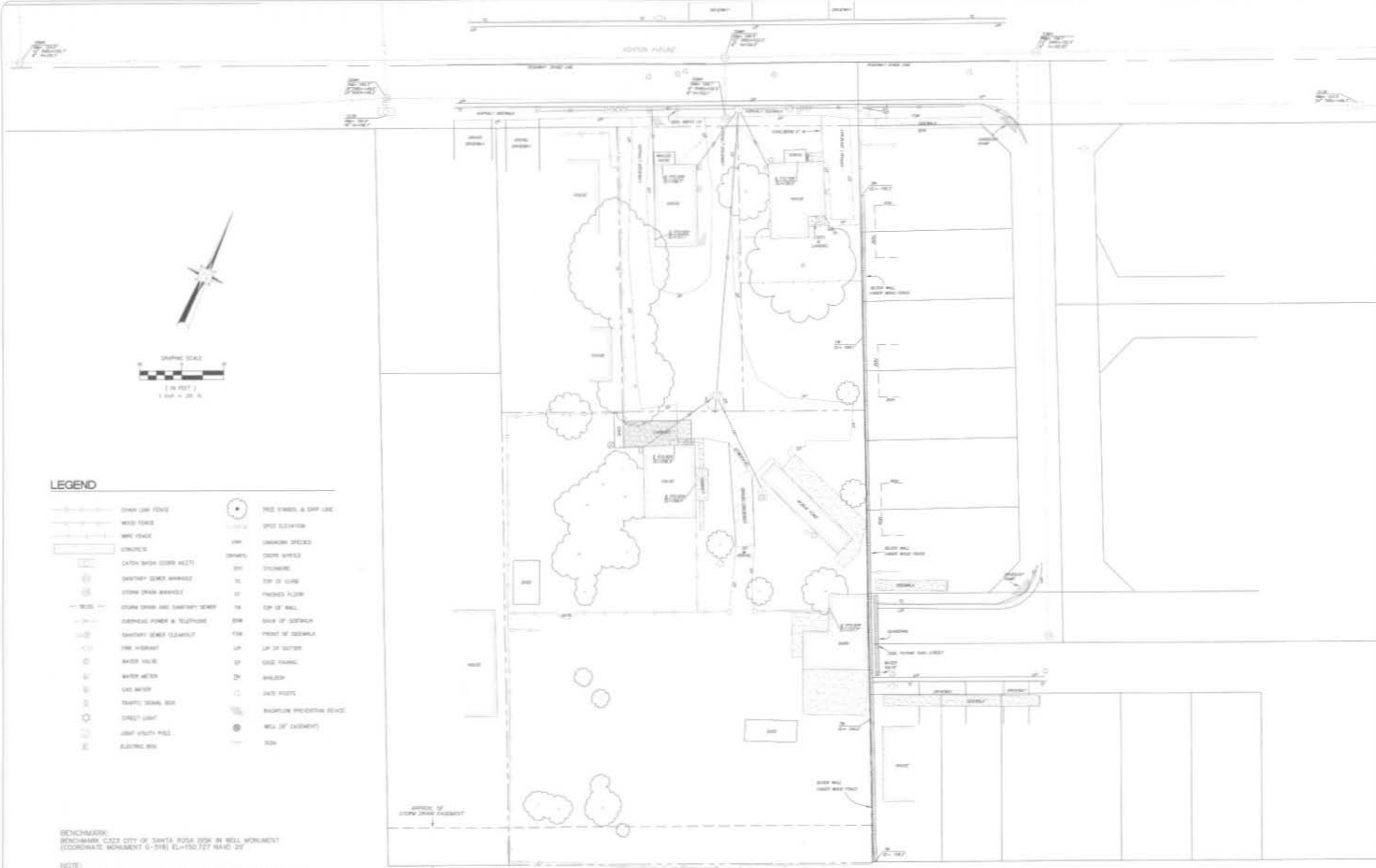
DRAWN BY: DC

CHECKED BY: MF

SCALE: 1" = 20'

JOB NUMBER: 133311

DWG. FILE: 2311-10.DWG



LEGEND

- | | | | |
|--|--------------------------------|--|-------------------------|
| | CHAIN LINK FENCE | | TREE SYMBOL & DWP LINE |
| | WOOD FENCE | | SPOT ELEVATION |
| | WIRE FENCE | | IRON STAKE OR STAKE |
| | CONCRETE | | CROWN WHITE |
| | CATCH BASIN COVER (RECT) | | STAIRCASE |
| | SANITARY SEWER MANHOLE | | TOP OF CURB |
| | STORM DRAIN MANHOLE | | FINISHED FLOOR |
| | STORM DRAIN AND SANITARY SEWER | | TOP OF WALL |
| | GARAGE FLOOR & EAVE | | SILL OF WINDOW |
| | SANITARY SEWER CLEANOUT | | FRONT OF SIDEWALK |
| | TREE HEIGHT | | UP OF GUTTER |
| | WATER VALVE | | GAS TANK |
| | WATER METER | | SHED |
| | GAS METER | | GATE POST |
| | SEPTIC TANK BOX | | BOULDER LOCATION SYMBOL |
| | STREET LIGHT | | WELL 30' DIAMETER |
| | JOINT UTILITY POLE | | SEWER |
| | ELECTRIC POLE | | |

BENCHMARK:
BENCHMARK C323 CITY OF SANTA ROSA IRON IN WELL MONUMENT
(COORDINATE MONUMENT G-518) EL+150.727 NAVD 29

NOTE:
PARCEL LINES SHOWN HEREON TAKEN FROM RECORD DATA SHOWN ON THE
ASSESSOR'S PARCEL MAP AND SHOULD NOT BE CONSIDERED AS FINAL OR
ALL INCLUSIVE. ENCROACHMENTS, AMBIGUITIES AND INCONSISTENCIES (IF
ANY) BETWEEN THE RECORD DATA AND ACTUAL FIELD CONDITIONS WERE
NEITHER CONSIDERED NOR RESOLVED.

BASE OF BEARING:
N86°00'00"W BETWEEN FOUND CITY OF SANTA ROSA MONUMENTS, ALONG
ASTON AVENUE.

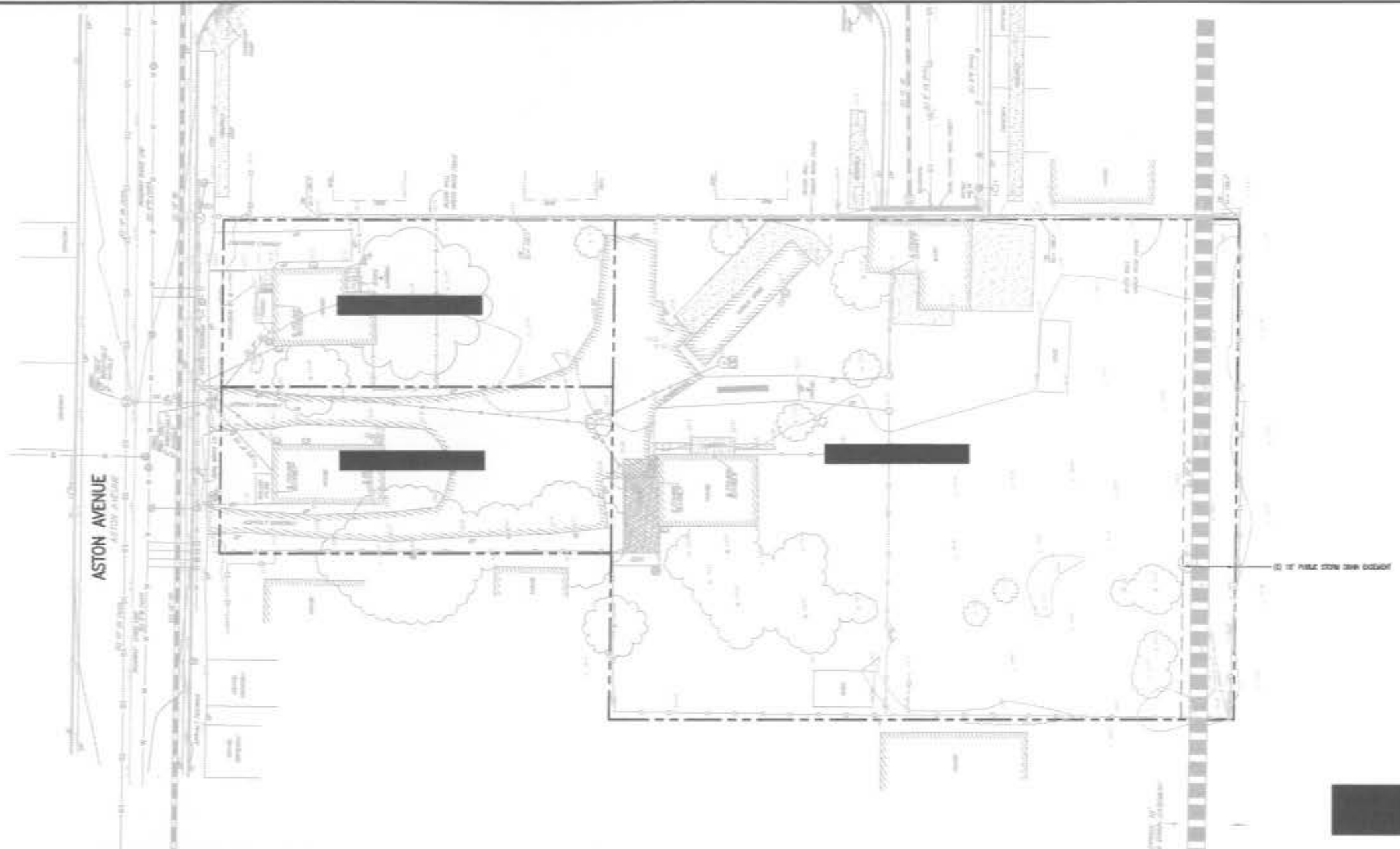


EXISTING CONDITIONS
 D & J CARRIAGE HOMES
 APNs 038-202-016, 018, 022
 819 ASTON AVENUE
 SANTA ROSA, CALIFORNIA

Submittal / Revision:

Job No: 14-0041
 Drawn By: DW
 Checked By: DS
 Date: 2014-10-15

Sheet Number
C-1
 1 of 4



LEGEND

	APPROXIMATE PROPERTY LINE		TREE SYMBOL & DRIP LINE
	CHAIN LINK FENCE		SPOT ELEVATION
	WOOD FENCE		UNKNOWN SPECIES
	WIRE FENCE		CREPE MYRTLE
	CONCRETE		SYCAMORE
	CATCH BASIN (CURB INLET)		TOP OF CURB
	SANITARY SEWER MANHOLE		FINISHED FLOOR
	STORM DRAIN MANHOLE		TOP OF WALL
	STORM DRAIN AND SANITARY SEWER		BACK OF SIDEWALK
	OVERHEAD POWER & TELEPHONE		FRONT OF SIDEWALK
	SANITARY SEWER CLEANOUT		LIP OF GUTTER
	FIRE HYDRANT		EDGE PAVING
	WATER VALVE		MAILBOX
	WATER METER		GATE POSTS
	GAS METER		BACKFLOW PREVENTION DEVICE
	TRAFFIC SIGNAL BOX		WELL (8" CASING)
	STREET LIGHT		SIGN
	JOINT UTILITY POLE		
	ELECTRIC BOX		

BENCHMARK

BENCHMARK C323 CITY OF SANTA ROSA DECK IN WELL MONUMENT
 (COORDINATE MONUMENT G-516) EL+150.721 NAVD 29

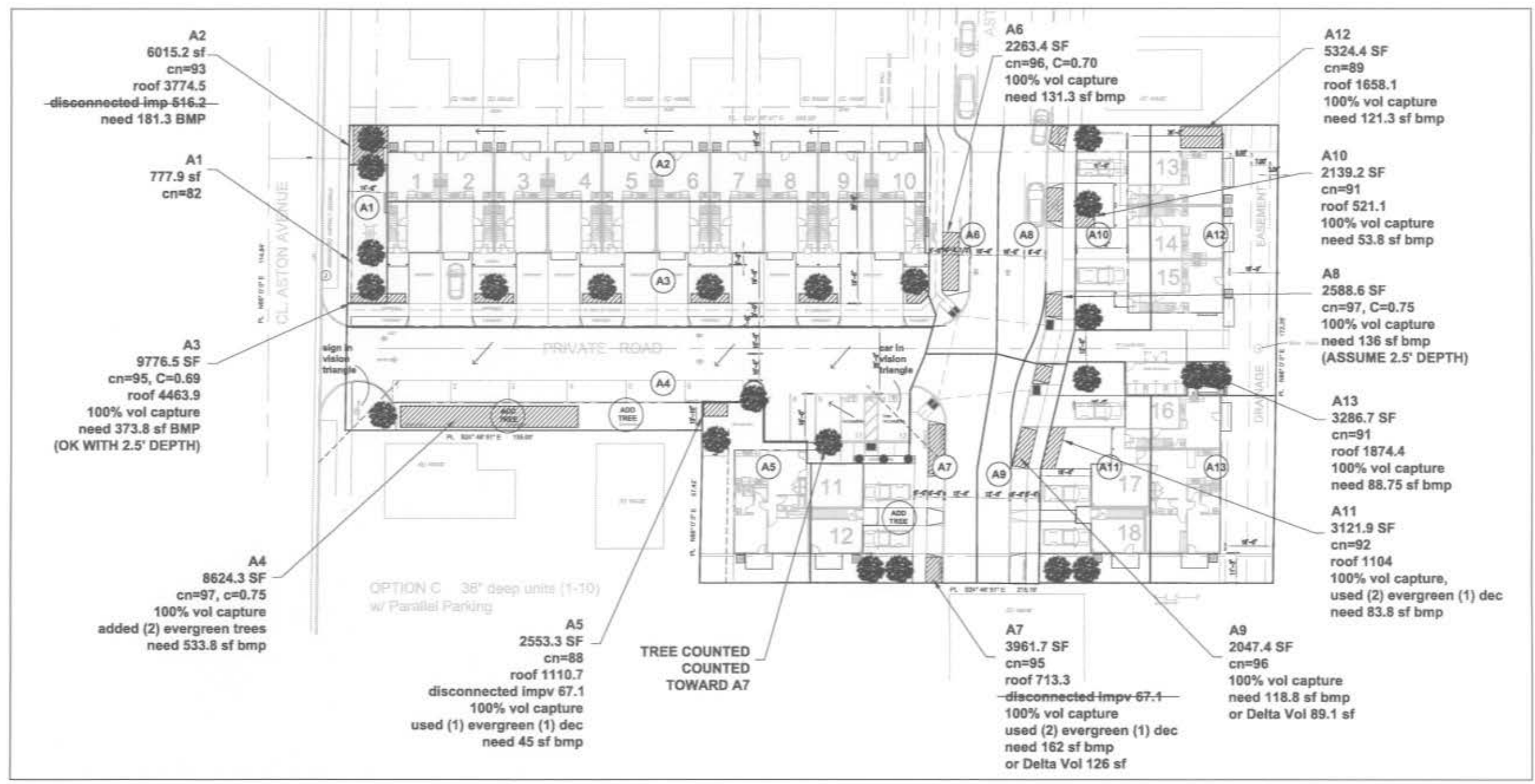
BASIS OR BEARINGS

MM'00'00"W BETWEEN FOUND CITY OF SANTA ROSA MONUMENTS,
 ALONG ASTON AVENUE.

MAPPING NOTES

PARCEL LINES SHOWN HEREON TAKEN FROM RECORD DATA SHOWN ON THE ASSESSOR'S PARCEL MAP AND SHOULD NOT BE CONSIDERED AS FINAL OR ALL INCLUSIVE. ENCROACHMENTS, AMBIGUITIES AND INCONSISTENCIES (IF ANY) BETWEEN THE RECORD DATA AND ACTUAL FIELD CONDITIONS WERE NEITHER CONSIDERED NOR RESOLVED.

100% SCALE: 1"=20' (APPROXIMATE)
 DATE: 10/15/14
 DRAWN BY: DW
 CHECKED BY: DS
 DATE: 10/15/14



CONCEPTUAL STORMWATER TREATMENT PLAN

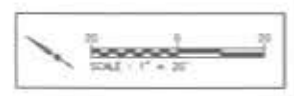
D & J CARRIAGE HOMES
 APNs 038-202-016, 018, 022
 819 ASTON AVENUE
 SANTA ROSA, CALIFORNIA

Submitted / Revision

Job No: 14-2041
 Drawn By: DM
 Checked By: JC
 Date: 2014-10-15

Sheet Number
1
 1 of 2

OPTION C
 PRELIMINARY
 NOT FOR CONSTRUCTION



C:\Users\jgibson\OneDrive\Documents\Projects\14-2041\14-2041-10-15.dwg
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 14-2041-10-15.dwg
 10/15/14 10:15 AM