



RENDERED STREET VIEW: SOUTH EAST CORNER



VICINITY MAP

**PROJECT DIRECTORY**

<b>OWNER</b> <b>MIDPEN HOUSING</b> 350 College Avenue, Ste. 250 Santa Rosa, CA 95401 TEL: 707.237.2154 CONTACT: Kimberly Stephenson EMAIL: Kimberly.Stephenson@MidPen-Housing.org	<b>ARCHITECT</b> <b>VAN METER WILLIAMS POLLACK LLP</b> 333 Bryant Street, Suite 300 San Francisco, CA 94107 TEL: 415.974.5352 x 203 CONTACT: Rick Williams, Partner EMAIL: Rick@VWVP.com
<b>CIVIL ENGINEER</b> <b>BKF</b> 200 4th Street, Ste. 300 Santa Rosa, CA 95401 TEL: 707.583.8513 CONTACT: Eric Wade, Senior Project Engineer E-MAIL: EWade@BKF.com	<b>MEP ENGINEER</b> <b>FARD ENGINEERS, INC.</b> 309 Lennon Lane, Suite 200 Walnut Creek, CA 94598 TEL: 925.932.5505 x 203 CONTACT: Max Saldaña, P.E. E-MAIL: Max@fard.com
<b>STRUCTURAL ENGINEER</b> <b>KPFF</b> 45 Fremont Street, 28th Floor San Francisco, CA 94105 TEL: 415.288.1090 CONTACT: Greg Wagner, Principal E-MAIL: GregWagner@KPFF.com	<b>LANDSCAPE ARCHITECT</b> <b>QUADRIGA, INC.</b> 1212 4th Street, Studio K Santa Rosa, CA 95404 TEL: 707.508.4483 CONTACT: Christine Talbot, Principal E-MAIL: christine@quadriga-inc.com

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**PROJECT DESCRIPTION & DESIGN CONCEPT**

Casa Roseland is part of the larger Tierra De Rosas Master Plan Development that seeks to create a vibrant neighborhood center at the site of the former Roseland Village shopping center. The master development includes affordable housing, future market rate apartments, neighborhood park, Plaza with a Food Court and future Mercado building, as well as a future Community building.

Casa Roseland is a multi-family affordable apartment building totaling 75 units located on 1.53 acres. The apartment homes are a mix of one, two, and three-bedrooms. The main entrance along the proposed West Avenue welcomes residents to their homes, as well as to the building community room, learning center, teen room, bike storage, and in-building laundry facility. Adjacent to the learning center, residents can enjoy an outdoor space with landscaped barbeque and play areas. The ground level units have private porches with street access, and the entire building sits across the street from the new proposed park. There are 108 off-street parking spaces, 33 of which are located within the podium parking garage.

The building design is a contemporary interpretation of traditional Spanish style, employing simple, strong massing and forms, with large sloped roof forms facing the streets, lowering the building height, and creating an intimate residential streetscape which is accented by undulating roof lines, with a dynamic silhouette of the corner building feature. The building façade is a simple whitewashed exterior plaster and strong colorful accents at the recessed outdoor patios and balconies. The windows along the street are recessed with concrete sills while the corner horizontal windows give a sense of the contemporary southern and bay area midcentury modern character which fits with the heavy stucco building. At some key locations, deeply recessed windows emulate traditional solid walls, while the metalwork details reflect contemporary design with laser cut patterns selected with input from the community.

The main building corner is a deep red color with sweeping roof form, creating a dynamic corner element viewed from the park. The undulating trellis mimics the roof form and provides a lower, pedestrian-scaled element with the warmth of clear stained wood along the base of the building corner.

While small in scale, the private open space is focused on a variety of play opportunities for the younger children of the residents. Extending from the Learning Center and the Teen Room, the outdoor area will be contemporary, providing active play area with chalk surfaces and climbing wall as well as unique mounding and topography echoing the natural beauty of the Santa Rosa hills. The streetscape provides an urban vibe with street trees and small trellised porch/patios for ground level homes. Manifesting similarities to traditional communities, the open space is the village green/park directly across the street, presenting a place for the entire community to come together.

The all-electric building will be equipped with efficient systems, to allow for solar photovoltaic panels to offset as much of the energy load as possible, while also implementing the use of renewable green energy sources. Each unit will have an improved air quality through mechanical and filtered ventilation, which is especially needed in these times of airborne particulates and poor air quality due to wildfires. A backup power system will provide comfort to the residents during electric power outages. The stormwater will be collected and diverted to a central retainage basin located in the shared green area rather than individually handled at each parcel. The floor finishes will be primarily hard surfaces, minimizing dust collection and further improving the indoor air quality. Finish materials and adhesives with low or zero off-gassing as well as the formaldehyde-free cabinetry will contribute to healthier interiors.

This project combines a contemporary interpretation of traditional architecture with modern energy efficient systems, to create a healthy living environment on a former toxic site, and help build a strong community.

















# SITE IMPROVEMENT PLANS FOR LOT 1 ROSELAND VILLAGE SUBDIVISION IN THE CITY OF SANTA ROSA

**PRJ17-075, MAJ17-006 & CUP18-018**

**APN 125-111-037 AND 125-101-031**

**APRIL 2020**

**GENERAL NOTES**

THE DESIGN PROFESSIONAL WHO PREPARED THESE DRAWINGS IS NOT RESPONSIBLE FOR THE MISUSE OF, OR UNAUTHORIZED CHANGES MADE TO THESE DRAWINGS. WRITTEN PERMISSION SHALL BE OBTAINED FROM THE DESIGN PROFESSIONAL WHO PREPARED THESE DRAWINGS PRIOR TO MAKING CHANGES.

FURNISH AND INSTALL MATERIALS IN ACCORDANCE WITH THE 2019 CALIFORNIA BUILDING CODE.

OBTAIN RELEVANT PERMITS AND APPROVALS REQUIRED BY GOVERNING AGENCIES PRIOR TO COMMENCING WORK.

VERIFY THAT THE OWNER HAS FILED A NOTICE OF INTENT WITH THE NORTH COAST REGIONAL WATER QUALITY CONTROL BOARD PRIOR TO CONDUCTING CONSTRUCTION ACTIVITY.

ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION FOR THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT APPLIES CONTINUOUSLY, AND IS NOT LIMITED TO NORMAL WORKING HOURS.

HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE DESIGN PROFESSIONAL, THEIR CONSULTANTS AND THE CITY OF SANTA ROSA, FROM LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE WILLFUL MISCONDUCT OR SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

SUBMIT A TRAFFIC CONTROL PLAN TO THE DEPARTMENT OF PUBLIC WORKS AND OBTAIN APPROVAL PRIOR TO COMMENCING WORK IN THE PUBLIC RIGHT OF WAY.

PROVIDE A PROPERLY SIGNED ALTERNATE ACCESSIBLE ROUTE OF TRAVEL IF CONSTRUCTION ACTIVITIES IMPACT PEDESTRIAN ACCESS. THIS REQUIREMENT APPLIES CONTINUOUSLY, AND IS NOT LIMITED TO NORMAL WORKING HOURS.

CONTACT UNDERGROUND SERVICE ALERT (800 642-2444) AT LEAST 48-HOURS BEFORE EXCAVATING.

PROPERLY MUFFLE EQUIPMENT AND LIMIT CONSTRUCTION HOURS TO 7:00 AM TO 7:00 PM MONDAY THRU FRIDAY, AND 8:00AM TO 7:00PM ON SATURDAY, EXCLUDING HOLIDAYS. THIS RESTRICTION INCLUDES THE STARTUP OF MOTOR VEHICLES AND OTHER HEAVY EQUIPMENT. NO NOISE GENERATING CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAYS OR HOLIDAYS.

REPAIR DAMAGE TO FACILITIES OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES TO RETURN THEM TO THEIR CONDITION PRIOR TO CONSTRUCTION. IF THE CONTRACTOR DOES NOT ACT PRUDENTLY, THE CITY OF SANTA ROSA MAY, AT ITS DISCRETION PERFORM THE CORRECTION AND CHARGE THE CONTRACTOR FOR COSTS INCURRED.

PROVIDE RECORD DRAWINGS TO THE OWNER'S REPRESENTATIVE WHICH INCLUDE IMPROVEMENTS WHICH DEVIATE FROM AND IMPROVEMENTS NOT SHOWN ON THE ORIGINAL DESIGN DRAWINGS.

**GRADING NOTES**

PROVIDE PROTECTIVE FENCE AROUND THE DRIP LINES OF TREES WHICH WILL REMAIN FOLLOWING CONSTRUCTION PRIOR TO PERFORMING GRADING OPERATIONS. RETAIN THE SERVICES OF A CITY OF SANTA ROSA APPROVED ARBORIST PRIOR TO DISTURBING EARTH WITHIN THE ROOT ZONES OF TREES WHICH WILL REMAIN FOLLOWING CONSTRUCTION. PERFORM CONSTRUCTION IN THE ROOT ZONES OF TREES UNDER THE OBSERVATION OF THE PROJECT ARBORIST.

PERFORM GRADING IN ACCORDANCE WITH CHAPTER 18 AND APPENDIX J, OF THE CALIFORNIA BUILDING CODE (THE VERSION IN EFFECT AS ADOPTED BY CITY ORDINANCE AT THE TIME OF PERMIT ISSUANCE), UNDER THE OBSERVATION OF THE GEOTECHNICAL ENGINEER AND IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT, PREPARED BY THE PRA GROUP, INC., DATED AUGUST 9, 2018.

PERFORM GRADING TO WITHIN 0.10-FEET OF THE LINES AND ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS.

PROVIDE A MOISTURE BARRIER IN AREAS WHERE CURBS AND GUTTER ARE ADJACENT TO LANDSCAPING AND WHERE THE SOIL EXPANSION INDEX IS GREATER THAN 51.

REMOVE MATERIAL WHICH WILL NOT BE USED ON SITE AS IT IS EXCAVATED AND DISPOSE IN ACCORDANCE WITH THE GOVERNING AGENCY'S REQUIREMENTS.

MAINTAIN A CLEAN CONSTRUCTION SITE TO PREVENT THE INTRODUCTION OF FOREIGN MATERIALS INTO THE STORM WATER CONVEYANCE SYSTEM. ACTIVITY DURING CONSTRUCTION WHICH RESULTS IN THE DISCHARGE OF POLLUTANTS TO THE STORM WATER CONVEYANCE SYSTEM IS IN VIOLATION OF THE CITY OF SANTA ROSA STORM WATER ORDINANCE AND STATE OF CALIFORNIA'S NORTH COAST REGIONAL WATER QUALITY CONTROL BOARD'S REGULATIONS.

PROVIDE DUST CONTROL THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT TO MINIMIZE AIRBORNE POLLUTANTS.

STOP WORK IF CONTAMINATED MATERIAL IS ENCOUNTERED. PREPARE A WORK PLAN AND ACQUIRE APPROVAL IN WRITING FROM THE CITY OF SANTA ROSA FIRE DEPARTMENT AND THE STATE REGIONAL WATER QUALITY CONTROL BOARD PRIOR TO RESUMING WORK.

STOP WORK AND NOTIFY THE OWNERS REPRESENTATIVE AND THE CITY OF SANTA ROSA LIAISON IF REMAINS OF PREHISTORIC OR HISTORIC HUMAN ACTIVITIES ARE ENCOUNTERED. CONTACT THE SONOMA COUNTY CORONER IF HUMAN REMAINS ARE ENCOUNTERED. THE OWNER WILL RETAIN THE SERVICES OF A QUALIFIED ARCHAEOLOGIST APPROVED BY THE CITY OF SANTA ROSA TO EVALUATE THE SITUATION AND MAKE RECOMMENDATIONS FOR TREATMENT OF THE RESOURCE. THE CONTRACTOR SHALL PROCEED WITH WORK AT THE OWNERS DIRECTION IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE ARCHAEOLOGIST.

RETAIN THE SERVICES OF AN AUTHORIZED DESIGN PROFESSIONAL TO PREPARE A SEDIMENT CONTROL PLAN IF WORK WILL BE CONDUCTED BETWEEN OCTOBER 1 AND MAY 1 OF THE SUBSEQUENT YEAR.

THE CALIFORNIA BUILDING CODE REQUIRES THAT MATERIALS USED FOR THE CONSTRUCTION OF PERMANENT STRUCTURES LOCATED NEARER THAN 6-INCHES TO EARTH BE TREATED OR OF NATURAL RESISTANCE TO DECAY. ELEVATIONS HAVE BEEN ESTABLISHED WITH THIS SET OF CIVIL DRAWINGS, WHICH MAY REQUIRE THE IMPLEMENTATION OF A RAISED CURB ALONG THE PERIMETER OF THE BUILDING WHERE ADJACENT TO LANDSCAPE AREAS. THE CONTRACTOR SHALL COORDINATE THE LOCATION(S) OF RAISED CURBS PRIOR TO POURING THE CONCRETE SLAB.

DRAINAGE SHALL NOT BE IMPEDED FROM EXISTING UPSTREAM PROPERTIES. STOCKPILES SHALL BE PLACED AWAY FROM CREEK SETBACKS, AWAY FROM VEGETATION DESIGNATED TO REMAIN, A MINIMUM OF 10-FEET FROM ADJACENT EXISTING RESIDENTIAL PARCELS, AND A MINIMUM OF 50-FEET FROM ADJACENT EXISTING RESIDENTIAL PARCELS WHERE THE STOCK PILE DEPTH EXCEEDS 2.5-FEET.

A PROTECTION ZONE SHALL BE ESTABLISHED TO PROTECT NATURAL VEGETATION AND TREES (WHICH WILL REMAIN FOLLOWING CONSTRUCTION) FROM CONSTRUCTION ACTIVITIES. THE FOLLOWING CONDITIONS AND RESTRICTIONS SHALL APPLY:

- I. THE ZONE SHALL ENCOMPASS THE "PROTECTED PERIMETER" WHICH SHALL BE EITHER THE ROOT ZONE OR OTHER LIMIT AS ESTABLISHED IN THIS APPROVAL.
- II. THE ZONE SHALL BE DELINEATED WITH A BRIGHTLY COLORED CONSTRUCTION FENCE. SUCH FENCES SHALL REMAIN CONTINUOUSLY IN PLACE FOR THE DURATION OF ALL WORK UNDERTAKEN ON THE SITE.
- III. NO STORAGE OR CONSTRUCTION ACTIVITIES (INCLUDING TRENCHING, GRADING OR FILLING) SHALL BE PERMITTED WITHIN THE PROTECTED ZONE.
- IV. NO BURNING OR USE OF EQUIPMENT WITH AN OPEN FLAME SHALL OCCUR NEAR OR WITHIN THE PROTECTED PERIMETER.

V. ALL BRUSH, EARTH AND OTHER DEBRIS SHALL BE REMOVED IN A MANNER WHICH PREVENTS INJURY TO THE PROTECTED TREES AND/OR SHRUBS.

VI. NO OIL, GAS, CHEMICALS OR OTHER SUBSTANCES THAT MAY BE HARMFUL TO TREES SHALL BE STORED OR DUMPED WITHIN THE PROTECTED PERIMETER OR ANY OTHER LOCATION FROM WHICH SUBSTANCES MIGHT ENTER THE PERIMETER OF A PROTECTED TREE.

THE PROTECTION ZONE DELINEATED WITH THE BRIGHTLY COLORED CONSTRUCTION FENCE SHALL BE POSTED WITH SIGNS WHICH STATE "TREE/VEGETATION PROTECTION ZONE--NO CONSTRUCTION OR STORAGE PERMITTED."

ANY SPECIAL WORK, INCLUDING MITIGATION, WITHIN THE "PROTECTION ZONE" MUST BE DONE UNDER THE SUPERVISION OF A CITY APPROVED CERTIFIED ARBORIST.

EARTHWORK QUANTITIES ARE APPROXIMATE AND HAVE BEEN SUMMARIZED ON THESE DRAWINGS TO PROVIDE THE REVIEWING AGENCY WITH AN OPINION OF HOW MUCH MATERIAL MAY BE MOVED TO FACILITATE THE PROPOSED IMPROVEMENTS. WHILE THE DESIGN PROFESSIONAL ANTICIPATES THAT AS MUCH AS \_\_\_\_\_ CY MAY BE IMPORTED/EXPORTED WITH THIS PROJECT, ACTUAL VOLUMES ARE VARIABLE BASED ON THE SOILS ENGINEER'S ASSESSMENT OF THE SOIL ENCOUNTERED, THE CONTRACTOR'S METHOD OF STRIPPING, COMPACTION AND TRENCHING.

**OPINION OF PROBABLE EARTHWORK QUANTITIES**

MATERIAL MOVED ON SITE	_____	CY
IMPORT	_____	CY
EXPORT	_____	CY

**UTILITY NOTES**

SEARCH FOR EXISTING WELLS AND SEPTIC SYSTEMS WITH THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO CONDUCTING CONSTRUCTION ACTIVITY.

ABANDON EXISTING SEPTIC SYSTEM(S) UNDER THE OBSERVATION OF THE PROJECT GEOTECHNICAL ENGINEER AS REQUIRED BY THE CITY OF SANTA ROSA AND THE SONOMA COUNTY PERMIT AND RESOURCE MANAGEMENT DEPARTMENT.

ABANDON EXISTING WELLS IN ACCORDANCE WITH THE CITY OF SANTA ROSA WELL ORDINANCE.

EXPPOSE EXISTING UTILITIES PRIOR TO TRENCHING TO VERIFY THE ALIGNMENTS AND ELEVATIONS OF THE UTILITIES, AND TO VERIFY DESIGN ASSUMPTIONS. EXISTING UTILITIES MAY REQUIRE RELOCATION AND/OR PROPOSED IMPROVEMENTS MAY REQUIRE GRADE OR ALIGNMENT REVISION DUE TO FIELD CONDITIONS. IF THE EXPOSED UTILITY IS DETERMINED TO BE IN A LOCATION WHICH IS NOT REFLECTED BY THE CONSTRUCTION DOCUMENTS, NOTIFY THE ENGINEER IN WRITING SO THAT APPROPRIATE ADJUSTMENTS CAN BE MADE.

REPORT UTILITY CONFLICTS TO THE OWNER'S REPRESENTATIVE IN WRITING AS THEY ARE ENCOUNTERED SO THAT THE OWNER AND OWNER'S REPRESENTATIVE CAN MAKE A DECISION AS TO HOW THE CONTRACTOR SHOULD PROCEED WITH THE WORK.

PROVIDE A TEMPORARY BLOW-OFF AND/OR METERED CONNECTION FOR WATER MAINS UNDER CONSTRUCTION IN ACCORDANCE WITH CITY OF SANTA ROSA STANDARD(S) 859 AND 860 PRIOR TO CONSTRUCTION OR THE STORAGE OF COMBUSTIBLE MATERIALS.

UNLESS OTHERWISE NOTED, PROVIDE CLASS III REINFORCED CONCRETE PIPE (RCP) OR HIGH DENSITY POLYETHYLENE PIPE (HDPE) WHERE ANNOTATED AS STORM DRAIN (SD) ON THE CONSTRUCTION DRAWINGS.

PROVIDE TRENCHING IN ACCORDANCE WITH CITY OF SANTA ROSA STANDARD 215 AND SECTION 19 OF THE CITY OF SANTA ROSA CONSTRUCTION SPECIFICATIONS.

COORDINATE WITH UTILITY COMPANIES, FURNISH, INSTALL, TEST AND OBTAIN INSPECTIONS FOR UNDERGROUND IMPROVEMENTS PRIOR TO SURFACING.

MANDREL PUBLIC PORTIONS OF THE SANITATION SYSTEM UNDER THE OBSERVATION OF THE CITY OF SANTA ROSA REPRESENTATIVE. RETAIN THE SERVICES OF AN INDEPENDENT TELEVISION INSPECTION SERVICE TO PERFORM A CLOSED CIRCUIT TELEVISION INSPECTION OF THE SANITATION SYSTEM IN ACCORDANCE WITH SECTION 71-1.08 OF THE CITY OF SANTA ROSA DESIGN AND CONSTRUCTION STANDARDS.

OTHER FORCES WILL BE ENGAGED IN INSTALLING, IN MAKING ADJUSTMENTS TO AND/OR IN RELOCATING VARIOUS FACILITIES THROUGHOUT THE PROJECT. WORK SHALL BE COORDINATED AROUND OTHER FORCES IN A MANNER THAT DOES NOT PROLONG THE CONTRACT TIME.

EXISTING UNDERGROUND FACILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND HAVE BEEN LOCATED BASED ON TOPOGRAPHIC FEATURES AND AVAILABLE INFORMATION. THE PROFESSIONAL PREPARING THIS MAP, THE OWNER, AND THE CITY OF SANTA ROSA ASSUME NO RESPONSIBILITY FOR THE ACCURACY OF THESE FACILITIES OR FOR THE INADVERTENT OMISSION OF RELATED INFORMATION.

THE CONTRACTOR IS CAUTIONED NOT TO ORDER MATERIALS OR INSTALL IMPROVEMENTS UNTIL CONFLICTS ARE RESOLVED. IMPROVEMENTS INSTALLED OR MATERIALS ORDERED PRIOR TO CONFLICT RESOLUTION SHALL BE DONE SOLELY AT THE CONTRACTOR'S RISK AND AT NO EXPENSE TO THE OWNER, THE DESIGN PROFESSIONAL, OR THE CITY OF SANTA ROSA.

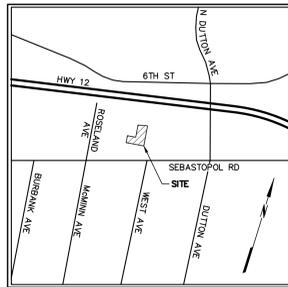
UTILITY CONFLICTS MAY OCCUR IN THOSE INSTANCES WHERE TWO GRAVITY UTILITIES CROSS AND LACK THE REQUIRED SEPARATION, OR IN THOSE INSTANCES WHERE AN EXISTING UTILITY HAS NOT BEEN IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.

CROSSING UTILITIES WHICH HAVE BEEN IDENTIFIED IN THE CONSTRUCTION DOCUMENTS MAY NOT BE CONSTRUED AS UTILITY CONFLICTS. GRAVITY UTILITIES SHALL BE INSTALLED TO THE LINES AND ELEVATIONS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS AND OTHER UTILITIES SHALL BE INSTALLED ABOVE OR BELOW GRAVITY UTILITIES WHILE COMPLYING WITH THE MINIMUM COVER REQUIREMENTS FOR EACH UTILITY INSTALLED.

UTILITY LENGTHS SHOWN REFLECT ROUNDED LENGTHS MEASURED HORIZONTALLY BETWEEN THE CENTERS OF STRUCTURES. SLOPED UTILITY LENGTHS SHALL BE VERIFIED IN THE FIELD PRIOR TO ORDERING MATERIAL.

UNLESS OTHERWISE NOTED, PROVIDE DUCTILE IRON PIPE OR SDR35/SDR26 POLYVINYL CHLORIDE PIPE (PVC) WHERE ANNOTATED AS SEWER (SS) ON THE CONSTRUCTION DRAWINGS.

UPON COMPLETION OF THE CURB AND GUTTER, LEGIBLY INSCRIBE 4-INCH TALL LETTERS, "S" TO DESIGNATE SEWER AND "W" TO DESIGNATE WATER, INTO THE CURB FACE AT EACH LOCATION WHERE THE UTILITY CROSSES BENEATH THE CURB.



**VICINITY MAP**  
NOT TO SCALE

**INDEX OF DRAWINGS**

1. PROJECT INFORMATION
2. GRADING AND UTILITY PLAN
3. STRIPING PLAN
4. EROSION CONTROL PLAN

**MAPPING NOTES**

PRESERVE AND PERPETUATE EXISTING SURVEY MONUMENTATION WHICH WILL BE DISTURBED OR REMOVED TO FACILITATE THE PROPOSED IMPROVEMENTS. IF WORK WILL BE CONDUCTED IN AN AREA WHICH RESULTS IN THE DISTURBANCE OF MONUMENTATION, RETAIN THE SERVICES OF A LICENSED LAND SURVEYOR TO LOCATE SAID MONUMENTATION PRIOR TO DISTURBANCE. ADDITIONALLY, RETAIN THE SERVICES OF A LICENSED LAND SURVEYOR TO RE-ESTABLISH MONUMENTATION WHICH HAS BEEN DISTURBED AS A RESULT OF PROJECT CONSTRUCTION AND TO FILE THE APPROPRIATE DOCUMENTATION, PURSUANT TO BUSINESS AND PROFESSIONS CODE SECTION 8771, WITH THE SONOMA COUNTY RECORDER ONCE CONSTRUCTION IS COMPLETE.

TOPOGRAPHIC INFORMATION SHOWN HEREON WAS MAPPED BY BKF ENGINEERS FOLLOWING A FIELD SURVEY ON MARCH 1, 2016.

TREE TRUNK DIAMETERS ARE APPROXIMATE AND WERE MEASURED AT CHEST HEIGHT (48"±). CONSULT A CERTIFIED TREE ARBORIST WHEN IT IS NECESSARY TO ACCURATELY DETERMINE PERTINENT TREE INFORMATION.

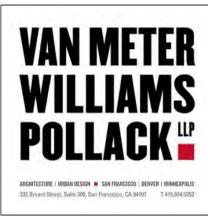
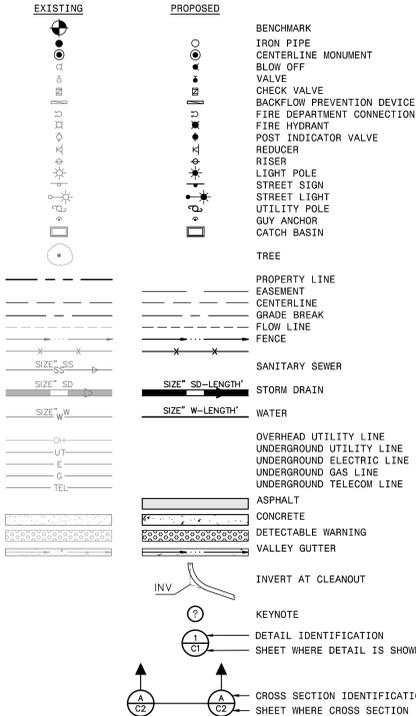
BENCHMARK: CITY OF SANTA ROSA BENCHMARK D-315. 3 3/4" BRASS DISK IN WELL MONUMENT, STAMPED "SONOMA COUNTY DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS" IN SEBASTOPOL ROAD, APPROXIMATELY 100 FEET EAST OF WEST AVENUE - ELEV. 139.95 (DATUM NGVD 1929).

BASIS OF BEARINGS: BETWEEN FOUND MONUMENTS ALONG THE CENTERLINE OF SEBASTOPOL ROAD AS SHOWN ON THAT RECORD OF SURVEY FILED IN BOOK 588 OF MAPS, AT PAGES 18-25, SONOMA COUNTY RECORDS.

**ABBREVIATIONS**

±	MORE OR LESS	MB	MAILBOX
Δ	DELTA	MH	MANHOLE
AB	AGGREGATE BASE	MIN	MINIUM
AC	ASPHALT CONCRETE	MON	MONUMENT
APN	ASSESSOR'S PARCEL NUMBER	NO	NUMBER
BC	BEGIN CURVE	NTS	NOT TO SCALE
BCT	BEGIN CURB TRANSITION	OH	OVERHEAD UTILITY LINE
BFP	BACKFLOW PREVENTER	OR	OFFICIAL RECORDS
BLDG	BUILDING	PAD	PAD GRADE
BLRD	BOLLARD	PCC	PORTLAND CEMENT CONCRETE
BM	BENCHMARK	PGSE	PACIFIC GAS & ELECTRIC
BO	BLOWOFF	PIV	POST INDICATOR VALVE
BSL	BUILDING SETBACK LINE	PL	PROPERTY LINE
CB	CATCH BASIN	PUE	PUBLIC UTILITY EASEMENT
CC	POINT OF COMPOUND CURVE	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	PVT	PRIVATE
CL2	CLASS II	R	RADIUS
CO	CLEAN OUT	RC	POINT OF REVERSE CURVE
CONC	CONCRETE	RSPR	RIPRAP ROCK SLOPE PROTECTION
CY	CUBIC YARD	RTWL	RETAINING WALL
DDC	DOUBLE DETECTOR CHECK	R/W	RIGHT OF WAY
DI	DROP INLET	RWL	RAIN WATER LEADER
DIA	DIAMETER	S=	SLOPE
DN	DOCUMENT NUMBER	SD	STORM DRAIN
DW	DRIVEWAY	SDCO	STORM DRAIN CLEAN OUT
DYLL	DOUBLE YELLOW LINE	SDMH	STORM DRAIN MANHOLE
E	ELECTRIC	SF	SQUARE FEET
ECT	END CURB TRANSITION	SL	STREETLIGHT
EG	EXISTING GROUND	SS	SANITARY SEWER
ELEV	ELEVATION	SSCO	SANITARY SEWER CLEAN OUT
EP	EDGE OF PAVEMENT	SSMH	SANITARY SEWER MANHOLE
ER	EDGE OF ROAD	STA	STATION
ESMT	EASEMENT	STD	STANDARD
EX	EXISTING	TB	TOP OF BOX
FDC	FIRE DEPARTMENT CONNECTION	TC	TOP FACE OF CURB
FF	FINISHED FLOOR	TEL	TELECOMMUNICATION LINE
FG	FINISHED GRADE	TF	TRANSFORMER
FH	FIRE HYDRANT	TG	TOP OF GRATE
FL	SURFACE FLOWLINE	TS	TRAFFIC SIGNAL
FT	FOOT	TV	TELEVISION
G	GAS	TW	TOP OF WALL
GB	GRADE BREAK	TYP	TYPICAL
GI	GRATE INLET	UB	UTILITY BOX
GM	GAS METER	UP	UTILITY POLE
HB	HOSE BIB	UT	UNDERGROUND UTILITY LINE
HORL	HANDRAIL	VC	VERTICAL CURVE
HORZ	HORIZONTAL	VERT	VERTICAL
HT	HEIGHT	VL	VAULT
INV	BOTTOM INSIDE OF PIPE	W	WATER
IP	IRON PIPE	WL	WHITE LINE
IR	IRRIGATION	WM	WATER METER
L	LENGTH	WS	WATER SERVICE
LP	LIGHT POLE	YO	YARD DRAIN
MAX	MAXIMUM		

**SYMBOLS & LEGEND**



**CIVIL ENGINEER**  
**BKF**  
200 4th Street, Ste. 300  
Santa Rosa, CA 95401  
TEL: 707.583.8513  
CONTACT: Eric Wade, Senior Project Engineer  
E-MAIL: EWade@BKF.com

**STRUCTURAL ENGINEER**  
**KPFF**  
45 Fremont Street, 28th Floor  
San Francisco, CA 94105  
TEL: 415.268.1080  
CONTACT: Greg Wagner, Principal  
E-MAIL: GregWagner@KPFF.com

**MEP ENGINEER**  
**FARD ENGINEERS, INC.**  
309 Lennon Lane, Suite 200  
Walnut Creek, CA 94598  
TEL: 925.932.5505 x 203  
CONTACT: Max Salmiras, P.E.  
E-MAIL: Max@fard.com

**LANDSCAPE ARCHITECT**  
**QUADRIGA, INC.**  
1212 4th Street, Studio K  
Santa Rosa, CA 95404  
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1212 4th Street, Studio K  
Santa Rosa, CA 95404  
TEL: 707.508.4483  
CONTACT: Christine Talbot, Principal  
E-MAIL: christine@quadriga-inc.com

**MEP ENGINEER**  
**QUADRIGA, INC.**  
1212 4th Street, Studio K  
Santa Rosa, CA 95404  
TEL: 707.508.4483  
CONTACT: Christine Talbot, Principal  
E-MAIL: christine@quadriga-inc.com

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**QUADRIGA, INC.**  
1212 4th Street, Studio K  
Santa Rosa, CA 95404  
TEL: 707.508.4483  
CONTACT: Christine Talbot, Principal  
E-MAIL: christine@quadriga-inc.com



**CIVIL ENGINEER**  
**BKF**  
200 4th Street, Ste. 300  
Santa Rosa, CA 95401  
TEL: 707.583.8513  
CONTACT: Eric Wade, Senior Project Engineer  
E-MAIL: EWade@BKF.com

**STRUCTURAL ENGINEER**  
**KPFF**  
45 Fremont Street, 28th Floor  
San Francisco, CA 94105  
TEL: 415.268.1080  
CONTACT: Greg Wagner, Principal  
E-MAIL: GregWagner@KPFF.com

**MEP ENGINEER**  
**FARD ENGINEERS, INC.**  
309 Lennen Lane, Suite 200  
Walnut Creek, CA 94598  
TEL: 925.932.5505 x 203  
CONTACT: Max Salinas, P.E.  
E-MAIL: Max@fard.com

**LANDSCAPE ARCHITECT**  
**QUADRIGA, INC.**  
1212 4th Street, Studio K  
Santa Rosa, CA 95404  
TEL: 707.508.4483  
CONTACT: Christine Talbot, Principal  
E-MAIL: christine@quadriga-inc.com

**CIVIL ENGINEER**  
**BKF**  
 200 4th Street, Ste. 300  
 Santa Rosa, CA 95401  
 TEL: 707.583.8513  
 CONTACT: Eric Wade, Senior Project Engineer  
 E-MAIL: EWade@BKF.com

**STRUCTURAL ENGINEER**  
**KPFF**  
 45 Fremont Street, 28th Floor  
 San Francisco, CA 94105  
 TEL: 415.268.1080  
 CONTACT: Greg Wagner, Principal  
 E-MAIL: GregWagner@KPFF.com

**MEP ENGINEER**  
**FARD ENGINEERS, INC.**  
 309 Lennon Lane, Suite 200  
 Walnut Creek, CA 94598  
 TEL: 925.932.5555 x 203  
 CONTACT: Max Sainaris, P.E.  
 E-MAIL: Max@fard.com

**LANDSCAPE ARCHITECT**  
**QUADRIGA, INC.**  
 1212 4th Street, Studio K  
 Santa Rosa, CA 95404  
 TEL: 707.508.4483  
 CONTACT: Christine Talbot, Principal  
 E-MAIL: christine@quadriga-inc.com



**PRELIMINARY**  
 NOT FOR CONSTRUCTION  
 DATE: 08/14/2020

ID	DATE	NAME

Project: **ROSELAND VILLAGE**  
 883 SEBASTOPOL ROAD  
 SANTA ROSA, CA 95407

Client: MIDPEN HOUSING

**EROSION CONTROL PLAN**

JOB #: #1819  
 SCALE: AS SHOWN

**SEDIMENT CONTROL NOTES**

EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THESE DRAWINGS ARE GENERAL IN NATURE AND MAY NOT BE APPLICABLE DURING CERTAIN PHASES OF CONSTRUCTION. THE CRUSHED ROCK ENTRANCE DETAIL SHOWN ON THESE DRAWINGS REFLECTS A CONDITION PRIOR TO ROADS BEING CONSTRUCTED WHEREAS FILTERS AT STORM WATER INLETS REFLECTS A CONDITION AFTER THE STORM DRAIN SYSTEM HAS BEEN INSTALLED.

A SWPPP (STORM WATER POLLUTION PREVENTION PLAN) SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL, AND A NOTICE OF INTENT FILED WITH THE STATE WATER RESOURCES CONTROL BOARD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. A QUALIFIED SWPPP PRACTITIONER SHALL PREPARE A RAIN EVENT ACTION PLAN IN ACCORDANCE WITH THE STATE OF CALIFORNIA CONSTRUCTION GENERAL PERMIT TO ENSURE THAT SPECIFIC CONSTRUCTION BMPs (BEST MANAGEMENT PRACTICES) ARE IMPLEMENTED TO ACCOMMODATE EACH PHASE OF CONSTRUCTION.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE USED TO ENSURE THAT WATER ENTERING THE STORM DRAIN SYSTEM BELOW THE CONSTRUCTION SITE IS EQUIVALENT QUALITY AND CHARACTER AS THE WATER ABOVE THE SITE.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED IN FRONT OF INCOMPLETE STORM DRAIN SYSTEMS TO PREVENT DEBRIS AND SEDIMENT-LADEN WATER FROM ENTERING INTO THE PUBLIC STORM DRAIN SYSTEM. BEST MANAGEMENT PRACTICES SHALL BE USED WHEN DESIGNING AND INSTALLING SUCH DEVICES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTANT MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES TO THE SATISFACTION OF THE OWNER, OSD, OSP AND CITY OF SANTA ROSA. EROSION AND SEDIMENT CONTROL MEASURES AND THEIR INSTALLATION SHALL BE ACCOMPLISHED USING BEST MANAGEMENT PRACTICES.

IF THE STORM DRAIN SYSTEM IS NOT INSTALLED PRIOR TO A PRECIPITATION EVENT, ADDITIONAL MEASURES SHALL BE TAKEN SUCH AS TEMPORARY SETTLING BASINS WHICH MEET THE SATISFACTION OF THE OWNER, OSD, OSP AND THE CITY OF SANTA ROSA. SILT AND/OR CATCH BASINS MUST BE CLEANED OUT ON A REGULAR BASIS AFTER STORMS TO MAINTAIN DESIGN CAPACITY.

STORM WATER RUNOFF FROM THE CONSTRUCTION SITE SHALL BE DIRECTED TOWARD AN INLET WITH A SEDIMENT OR FILTRATION INTERCEPTOR PRIOR TO ENTERING THE STORM DRAIN SYSTEM.

THE CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING WATER THAT HAS BECOME POLLUTED DUE TO NOT TAKING NECESSARY EROSION AND SEDIMENT CONTROL ACTIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF MUD AND DEBRIS CARRIED ONTO SURROUNDING STREETS AND ROADS AS A RESULT OF CONSTRUCTION ACTIVITY ON THE SITE TO THE SATISFACTION OF THE CITY OF SANTA ROSA.

ANY DENUDED OR DISTURBED SOILS SHALL BE PROTECTED USING BEST MANAGEMENT PRACTICES.

PRIOR TO AND DURING A PRECIPITATION EVENT, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE IS TO BE MAINTAINED BY THE DEVELOPER, CONTRACTOR OR OWNER SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF LEAVES THE SITE.

THE CONTRACTOR IS TO INFORM ALL CONSTRUCTION SITE WORKERS ABOUT THE MAJOR PROVISIONS OF THE EROSION AND SEDIMENT CONTROL PLAN AND SEEK THEIR COOPERATION IN AVOIDING THE DISTURBANCE OF THESE CONTROL MEASURES.

BEST MANAGEMENT PRACTICES SHALL BE VISUALLY MONITORED ON A WEEKLY BASIS DURING THE DRY SEASON AND RECORDED IN AN INSPECTION CHECKLIST. RAIN EVENT VISUAL MONITORING SHALL BE PERFORMED WITHIN 48 HOURS PRIOR TO AN ANTICIPATED RAIN EVENT, DAILY DURING A RAIN EVENT AND WITHIN 48 HOURS FOLLOWING A RAIN EVENT. REMOVE SEDIMENTS WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE BARRIER AND REPLACE FILTER DEVICES AS NECESSARY TO ENSURE PROPER FUNCTION.

UNSTABILIZED AREAS WILL BE REPAIRED AS SOON AS POSSIBLE AFTER BEING DAMAGED.

ALL GRADED OR DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING IS COMPLETE.

ENTRANCE TO THE PROJECT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHT-OF-WAY. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE OF PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED ROCK THAT DRAINS INTO A SEDIMENT TRAP.

ALL SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY USING BEST MANAGEMENT PRACTICES.

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR PURPOSE SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED OR REPLACED WHEN THEY ARE NO LONGER FUNCTIONING PER BEST MANAGEMENT PRACTICES.

THE CONTRACTOR SHALL HAVE EROSION AND SEDIMENT CONTROL MEASURES ON SITE ADEQUATE TO PROTECT THE ENTIRE SITE SUCH THAT IT IS IMMEDIATELY AVAILABLE IN PREPARATION OF A PRECIPITATION EVENT.

AFTER CONSTRUCTION IS COMPLETE ALL STORM DRAIN SYSTEMS ASSOCIATED WITH THIS PROJECT SHALL BE INSPECTED AND CLEARED OF ACCUMULATED SEDIMENTS AND DEBRIS.

GRADED AREAS TO BE SEED FOR EROSION CONTROL SHALL USE GRASS SEED AT THE RATE OF 75-100/LBS. PER ACRE. SEEDED AREAS SHALL BE IRRIGATED TO ENSURE COVER IS ROOTED PRIOR TO RAINY SEASON.

HYDROSEED SHALL BE EITHER APPLIED MECHANICALLY OR BY HYDROSEEDING. HYDROSEEDING REQUIRES THE APPLICATION OF FIBER AND STABILIZING EMULSION. MECHANICAL APPLICATION SHALL REQUIRE ROLLING, TAMPING, OR OTHERWISE WORKING THE SEED APPROXIMATELY 0.5 INCHES INTO THE TOPSOIL.

STABILIZATION OF EXPOSED GRADED AREAS WITH STRAW MULCH SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE.

