



PROJECT DESIGN CONCEPT

The affordable senior housing component of the Project is located on the southeastern edge of the community on approximately 2.5 acres. The site has been designed with three separate buildings. The primary building is located directly across from the central park, with a second building adjacent to the east and the third building fronting on Mendocino Avenue. The buildings have been separated for funding purposes and can function independently, yet have been designed as an integrated community. Each building has a front entrance located on the proposed public street, providing greater activity on the street with residents coming and going from several entrances rather than from a single point of entry. Each building has at least one elevator to provide accessibility to all of the units. The project provides indoor community spaces, laundry and management offices, trash/recycling facilities, outdoor courtyards with gathering spaces and community gardens and convenient parking.

The design is based in the principles of health, wellness and active living. Each of the buildings is connected by a walkway which extends around the entire project site connecting the buildings with the street frontages, courtyards and garden areas. The interconnected walkways provide ample pedestrian circulation allowing for walking in ever growing circles based on a resident's capability. The courtyards are interconnected and provide outdoor gathering and activities space allowing for extensive gardening and encouraging both healthy eating as well as exercise. The focus of each courtyard are the gardens, with raised planters for residents to participate in growing food, flowers and plants.

The primary building supports a variety of program amenities including a large indoor community space for residents, a media room for watching movies or holding talks for smaller groups, an exercise room to encourage physical fitness, a computer room/library reading area as well as central laundry room. The building has a small entry court which extends the lobby space to the public street. The lobby is connected by a circulation spine to the rear parking area, making the lobby an active community area with seating, mail services and management space. The community room is connected to a courtyard which faces the street and is enclosed by a low wall and trellis which allows for glimpses into the active courtyard while also providing privacy. The courtyard boasts a large paving area for gatherings as well as additional gardening opportunities and offers a different solar orientation so that residents can move from courtyard to courtyard during the warmer or cooler times of the day. The courtyard also provides an outdoor connection to the central park which is located directly across the street from the primary building and allows for easy access to programmed activities including a small dog park, that encourages socializing within the wider community. On-street parking allows visitors to park in front of the buildings and provides an area for drop off for para-transit and other on-call vehicles.

The buildings are primarily four (4) stories with areas of 2 and 3 stories identifying the entries, with unique materials and colors. Entries are accessed under an arcade. The lobby entry façades have a panelized phenolic panel with a warm wood color which is reinforced by use of window details throughout the buildings. The primary building design is a vocabulary of simple forms, with a strong base material/color and articulated bays to give rhythm to the façade. The top story of the buildings change from a primarily stucco body to board siding with change in color providing a visual top to the buildings. The windows are grouped to reinforce the façade articulation using corner and bay windows. The windows have a combination of metal and treated wood stained sunshades to add warmth to the color palette and visual interest. Colors are a balance of earth tones with stronger accents at the entries. The parapet flat roofs hide mechanical equipment and provide the maximum roof space for solar panels.

In addition to health and wellness, sustainability and resilience are also key principles of the design. These principles are evident in the building systems, infrastructure and transit features of the Project. The Project's transit access will lower vehicle miles travelled and also provide for greenhouse gas reductions. The roof will be designed for maximizing solar energy production through solar panels or solar thermal production. The building systems are being evaluated to determine whether an all-electric building is appropriate. The building design provides shading for south and west facing windows to reduce heat gain loads. Stormwater management will be a feature of the landscaping and integrated into the overall master plan. Water conservation through planting and irrigation design define the landscape character; a greywater laundry wastewater re-use system is being evaluated as well. The building exterior materials are fire resistant and exposed wood will be fire treated. The flat roof has been designed to minimize the ability for fire to gain access to the interior of the building. Backup power will be designed for critical emergency systems and focused areas provided for a cooling center for residents and others, if needed. These measures help provide a safe haven for residents and a more resilient community for the future.

VICINITY MAP



SHEET INDEX

NUMBER	SHEET NAME
A0.0	COVER SHEET
A0.1	RENDERED VIEW AT BLDG. 3 - MENDOCINO AVE
A0.2	RENDERED VIEW AT ROUNDABOUT DRIVE
A0.3	RENDERED VIEW AT BLDG. 1 - MAIN ENTRY FORECOURT
A0.4	RENDERED VIEW AT BLDG. 3 - MAIN ENTRY
A0.5	PROJECT DATA
A1.1	ARCHITECTURAL SITE PLAN
A1.2	FIRE DEPT ACCESS DIAGRAM
A1.3	EXITING DIAGRAMS
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A5.0	FOURTH FLOOR PLAN
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A7.1	BUILDING 1 - NORTH & WEST ELEVATIONS
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A7.3	BUILDING 2 - NORTH & WEST ELEVATIONS
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A7.5	BUILDING 3 - NORTH & WEST ELEVATIONS
A7.6	BUILDING 3 - SOUTH & EAST ELEVATIONS
A8.0	BUILDING COLORS, MATERIALS & SYSTEMS
A9.1	BUILDING SECTIONS
A10.0	TYPICAL UNIT PLANS
A11.1	EXTERIOR LIGHTING SITE PLAN
A11.2	EXTERIOR LIGHT FIXTURES
A11.3	PHOTOMETRICS
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE ENLARGEMENT
L1.3	LANDSCAPE SECTIONS
L1.4	PLANT PALETTE, IRRIGATION AND SITE FURNISHINGS

PROJECT DIRECTORY

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Planning and Economic Development Department
 Dated Received
 September 23, 2020

3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | COVER SHEET

SANTA ROSA, CA | 09/23/20 | BRJE COMMUNITIES, LLC

A0.0





3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | RENDERED VIEW AT BLDG. 3 - MENDOCINO AVE

SANTA ROSA, CA | 09/23/20 | BRJE COMMUNITIES, LLC

A0.1

**VAN METER
WILLIAMS
POLLACK ^{LLP}**



3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | RENDERED VIEW AT ROUNDABOUT DRIVE

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A0.2

**VAN METER
WILLIAMS
POLLACK ^{LLP}**



3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | RENDERED VIEW AT BLDG. 1 - MAIN ENTRY FORECOURT

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A0.3

**VAN METER
WILLIAMS
POLLACK^{LLP}**



3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | RENDERED VIEW AT BLDG. 3 - MAIN ENTRY

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A0.4

**VAN METER
WILLIAMS
POLLACK ^{LLP}**

PLANNING INFORMATION & ZONING SUMMARY

PLANNING INFORMATION & ZONING SUMMARY		
ZONING & PLANNING POLICY DOCUMENTS: SANTA ROSA CITY CODE SANTA ROSA 2035 GENERAL PLAN		
ZONE	TV-R	
LOT AREA	106,603 SQ. FT = 2.45 ACRES	
RESIDENTIAL UNITS	162 UNITS TOTAL 158 ONE-BEDROOM UNITS 4 TWO-BEDROOM UNITS	
DEVELOPMENT STANDARDS		
(Santa Rosa City Code Ch-20-22, Table 2-3, Table 2-5)	REQUIRED	PROPOSED
MAXIMUM FLOOR AREA RATIO	None Required	1.35
MINIMUM LOT SIZE (SQ. FT.)	None Required	106,603
MINIMUM LOT WIDTH (FT)	None Required	183 minimum
MAXIMUM LOT COVERAGE (% OF LOT)	100% Allowed	32%
MAXIMUM BUILDING HEIGHT (FT)	4-Story Height Limit	50'
MINIMUM YARD SETBACKS (FT)		
FRONT (Proposed Public Right of Way)	None Required	5'-10" minimum
SIDE (Mendocino Ave)	None Required	10'-0" minimum
SIDE (Private Driveway)	None Required	0' minimum
REAR (Private Driveway)	None Required	0' minimum
VEHICULAR PARKING		
STANDARD PARKING SPACES 9'-0" x 19'-0" (Section 20-36.070 Table 3-6)	REQUIRED	PROPOSED
- Maximum 2' of the parking depth allowed to be an overhang over landscape or walkway	145	96
ACCESSIBLE SPACES 9'-0"x18'-0" (per CBC 2019, Table 11B-208.2, include at least one van-accessible; and Table 11B-502.2)	5	6
FUTURE EV READY SPACES 9'-0"x18'-0" - 10% of total parking spaces per Cal Green 4.106.4.2.1 - EV Spaces size 9'x18' min. per Cal Green 4.106.4.2.2.3 - at least 1 space adjacent to an 8' wide aisle per Cal Green 4.106.4.2.2.3 - 1 van accessible & 1 standard accessible per Table 11B-228.3.2.1 & 11B-812	12	12
1 SPACE PER UNIT for senior affordable housing projects per Section 20-36.040 Table 3-4	162	114
BICYCLE PARKING		
1 SPACE PER 8 UNITS (per Section 20-36.040 Table 3-4)	21	60
SHORT-TERM BICYCLE SPACES	None Required	6
PROPOSED WAIVERS:		
1. Vehicular parking requirement reduction		

CODE SUMMARY

APPLICABLE CODES					
ALL WORK SHALL BE IN CONFORMANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY & CITY ORDINANCES AND REQUIREMENTS ESTABLISHED BY STATE AND LOCAL FIRE MARSHALS, AND THE RULES AND REGULATIONS OF THE UTILITY COMPANIES SERVING THIS PROJECT. IF CONFLICTS OCCUR, THE MORE STRINGENT REGULATION GOVERNS.					
PART 2 - CALIFORNIA BUILDING CODE [CBC]	2019 EDITION				
PART 3 - CALIFORNIA ELECTRICAL CODE	2019 EDITION				
PART 4 - CALIFORNIA MECHANICAL CODE	2019 EDITION				
PART 5 - CALIFORNIA PLUMBING CODE	2019 EDITION				
PART 6 - CALIFORNIA ENERGY CODE	2019 EDITION				
PART 7 - CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE	2019 EDITION				
PART 9 - CALIFORNIA FIRE CODE	2019 EDITION				
PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE [CALGreen]	2019 EDITION				
CONSTRUCTION CLASSIFICATION					
ALL BUILDINGS TYPE 5A	OCCUPANCY TYPE	CONSTRUCTION CLASSIFICATION	FIRE SPRINKLER REQUIREMENTS		
	162 RESIDENTIAL UNITS, 4 STORIES AT GRADE R-2, R-2 Accessory, B, A-3, A-3 Accessory	TYPE 5A [CBC TABLE 503] SEPARATED OCCUPANCIES PER PROVISIONS IN CBC 508.4 & 509.2	FIRE SPRINKLERS PER NFPA-13 REQUIRED		
FIRE SPRINKLER REQUIREMENTS					
APPROVED AUTOMATIC SPRINKLER SYSTEM REQUIRED THROUGHOUT PER CBC 903.3.1.1 [NFPA 13] NOTE: SPRINKLER SYSTEM NOTES ARE FOR REFERENCE ONLY. SPRINKLER SYSTEM SHALL BE DESIGN / BUILD AND DRAWINGS SHALL BE SUBMITTED BY SPRINKLER SUBCONTRACTOR UNDER SEPARATE PERMIT.					
ALLOWABLE HEIGHT & STORIES		ALLOWABLE STORIES & HEIGHT, TABLES 504.3 & 504.4		PROVIDED STORIES AND HEIGHT	
BUILDING / ZONE DESIGNATION	OCCUPANCY GROUP	BASIC ALLOWABLE STORIES, FIRE SPRINKLED W/OUT AREA INCREASE [CBC Table 504.4]	MAX. HEIGHT WITH AREA INCREASE [CBC Table 504.3]	PROVIDED STORIES	ACTUAL HEIGHT (TOP OF ROOF STRUCTURE)
BUILDING 1 - TYPE 5A	R-2	4 STORIES	60'	4	45'
BUILDING 2 - TYPE 5A	R-2	4 STORIES	60'	4	45'
BUILDING 3 - TYPE 5A	R-2	4 STORIES	60'	4	45'
TOTAL ALLOWABLE AREAS PER TABLE 506.2					
FLOOR	MAIN OCCUPANCY	CONSTRUCTION TYPE	AT-BASE MAXIMUM SQFT W/OUT HEIGHT INCREASE TABLE 506.2	NS-BASE MAXIMUM SQFT TABLE 506.2 (FOR EQ. 5-2 BELOW)	
ALL BUILDINGS TYPE 5A	RESIDENTIAL UNITS FLOORS 1-4	R-2	5A	36,000	12,000
BUILDING 1	TYPE 5A BUILDING 1, LEVELS 1 THROUGH 4 = 75,700 net sf < 78,000 net sf OK				
BUILDING 2	TYPE 5A BUILDING 1, LEVELS 1 THROUGH 4 = 28,300 net sf < 78,000 net sf OK				
BUILDING 3	TYPE 5A BUILDING 1, LEVELS 1 THROUGH 4 = 25,365 net sf < 78,000 net sf OK				

BUILDING STATISTICS

SENIOR AFFORDABLE HOUSING HOUSING UNIT SUMMARY	Building 1		Building 2		Building 3		TOTAL Unit Count
	1br	2br	1br	2br	1br	2br	
Ground Floor	15	1	8	-	4	-	28
2nd Floor	24	1	10	-	9	-	44
3rd Floor	26	1	10	-	9	-	46
4th Floor	25	1	10	-	8	-	44
SUBTOTAL	90	4	38	-	30	-	162
TOTAL UNITS PER BUILDING	94	-	38	-	30	-	162

BUILDING AREA SUMMARY					
BUILDINGS 1, 2 & 3	Gross Area	Residential	Leasing & Management	Common	Circulation/ Services
TOTAL	136,185	86,890	1,625	5,125	42,545

BUILDING 1 AREAS					
BUILDING AREA SUMMARY	Gross Area	Residential	Management + Leasing	Common Areas + Amenities	Circulation + Services
Ground Floor	19,875	8,725	1,325	3,325	6,500
2nd Floor	19,700	13,585	-	-	6,115
3rd Floor	20,585	14,685	-	-	5,900
4th Floor	19,525	13,725	-	-	5,800
TOTAL	79,685	50,720	1,325	3,325	24,315

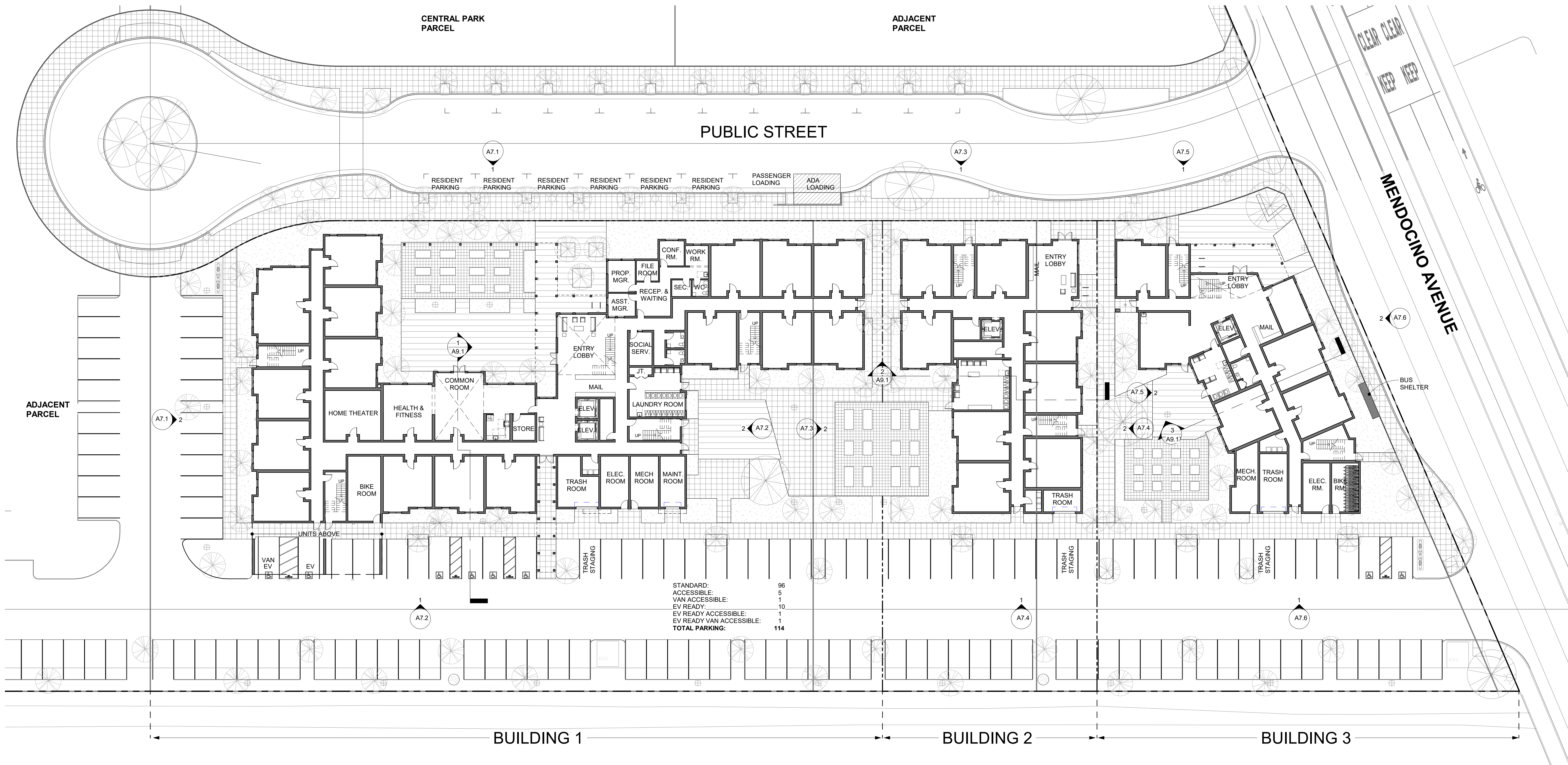
BUILDING 2 AREAS					
BUILDING AREA SUMMARY	Gross Area	Residential	Management + Leasing	Common Areas + Amenities	Circulation + Services
Ground Floor	7,500	4,260	-	550	2,690
2nd Floor	7,500	5,315	-	-	2,185
3rd Floor	7,500	5,315	-	-	2,185
4th Floor	7,300	5,115	-	-	2,185
TOTAL	29,800	20,005	-	550	9,245

BUILDING 3 AREAS					
BUILDING AREA SUMMARY	Gross Area	Residential	Management + Leasing	Common Areas + Amenities	Circulation + Services
Ground Floor	7,000	2,165	300	1,250	3,285
2nd Floor	7,000	4,900	-	-	2,100
3rd Floor	6,700	4,900	-	-	1,800
4th Floor	6,000	4,200	-	-	1,800
TOTAL	26,700	16,165	300	1,250	8,985

VEHICLE PARKING	
STANDARD ACCESSIBLE	5
VAN ACCESSIBLE	1
FUTURE EV READY (ACCESSIBLE)	1
FUTURE EV READY (VAN ACCESSIBLE)	1
FUTURE EV READY	10
STANDARD PARKING	96
TOTAL	114

BICYCLE PARKING	
LONG TERM PROTECTED PARKING	60
SHORT TERM PARKING	6

BUILDING SITE	
ZONE	TV-R
SITE AREA	2.45 acre



STANDARD:	96
ACCESSIBLE:	5
VAN ACCESSIBLE:	1
EV READY:	10
EV READY ACCESSIBLE:	1
EV READY VAN ACCESSIBLE:	1
TOTAL PARKING:	114

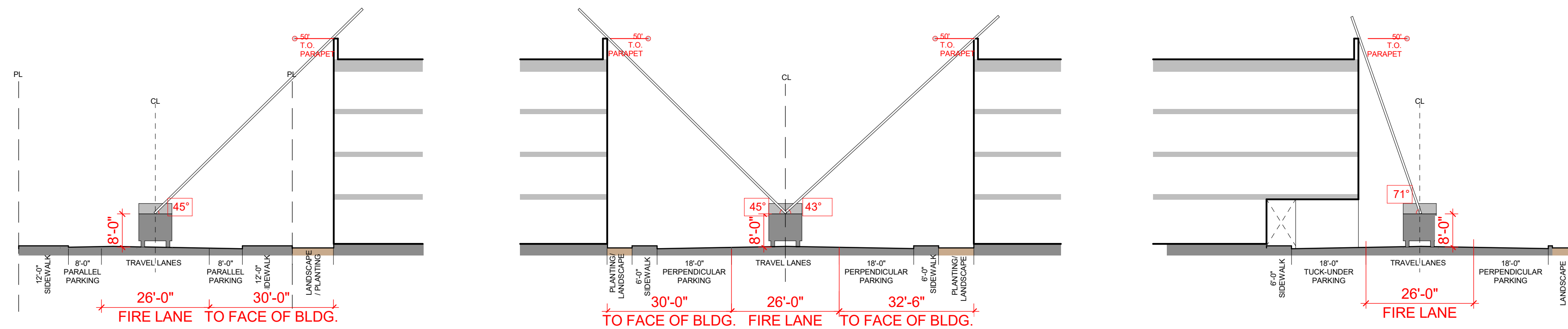


3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | ARCHITECTURAL SITE PLAN

SANTA ROSA, CA | 09/23/20 | BRJE COMMUNITIES, LLC

A1.1



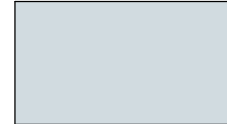

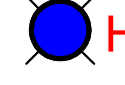






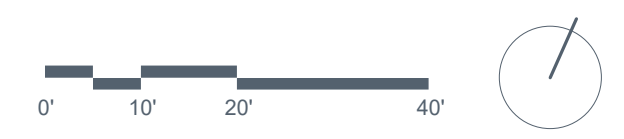
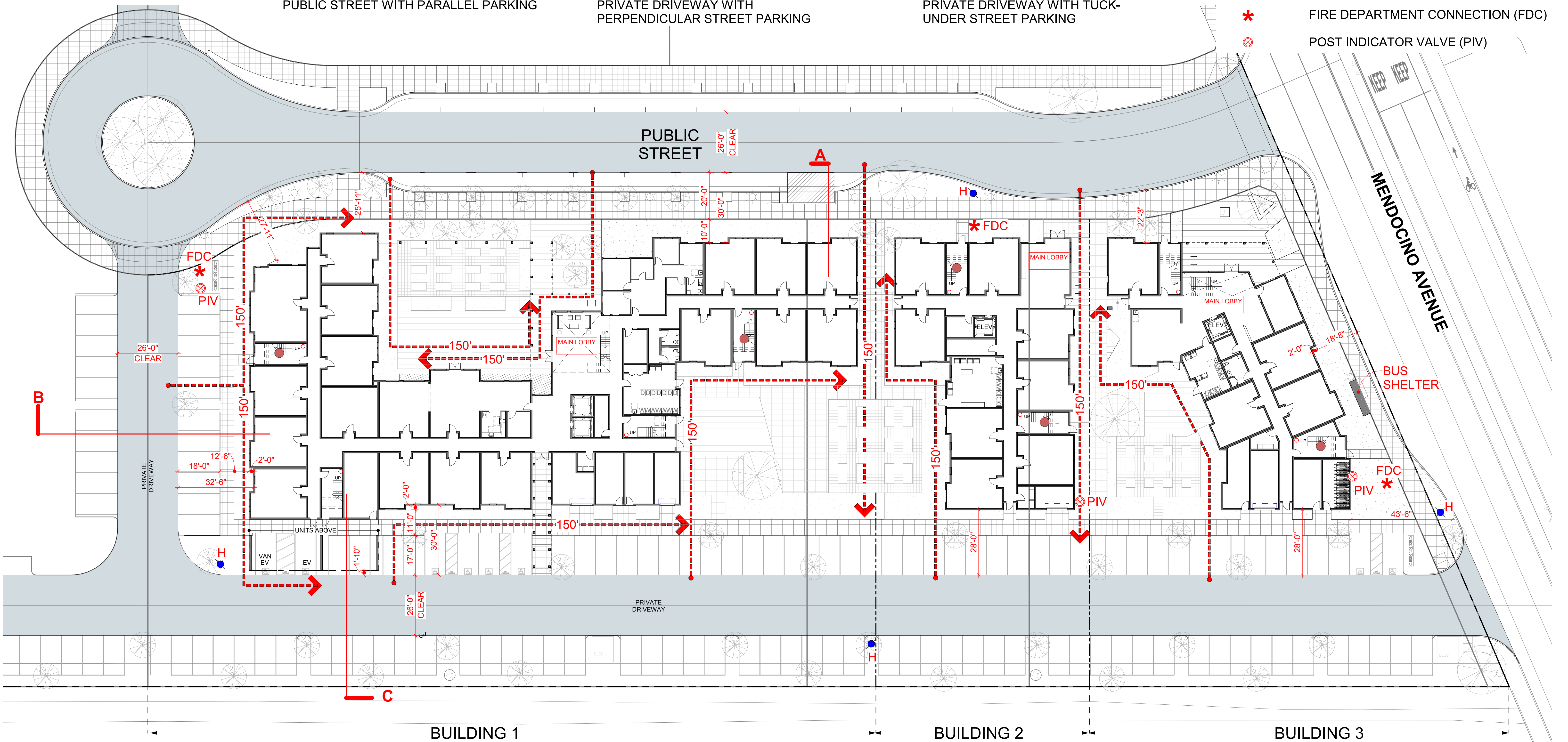
**A. FIRE ACCESS STREET SECTION:
PUBLIC STREET WITH PARALLEL PARKING**

**B. FIRE ACCESS STREET SECTION:
PRIVATE DRIVEWAY WITH
PERPENDICULAR STREET PARKING**

**C. FIRE ACCESS STREET SECTION:
PRIVATE DRIVEWAY WITH TUCK-
UNDER STREET PARKING**

LEGEND

-  26' CLEAR FIRE ACCESS DRIVE
-  MAX. 150' DISTANCE FROM 26' CLR. FIRE ACCESS DRIVE
-  PROPOSED FIRE HYDRANT
-  PROPOSED STAIRS WITH ROOF ACCESS
-  STANDPIPE LOCATION AT STAIR
-  FIRE DEPARTMENT CONNECTION (FDC)
-  POST INDICATOR VALVE (PIV)

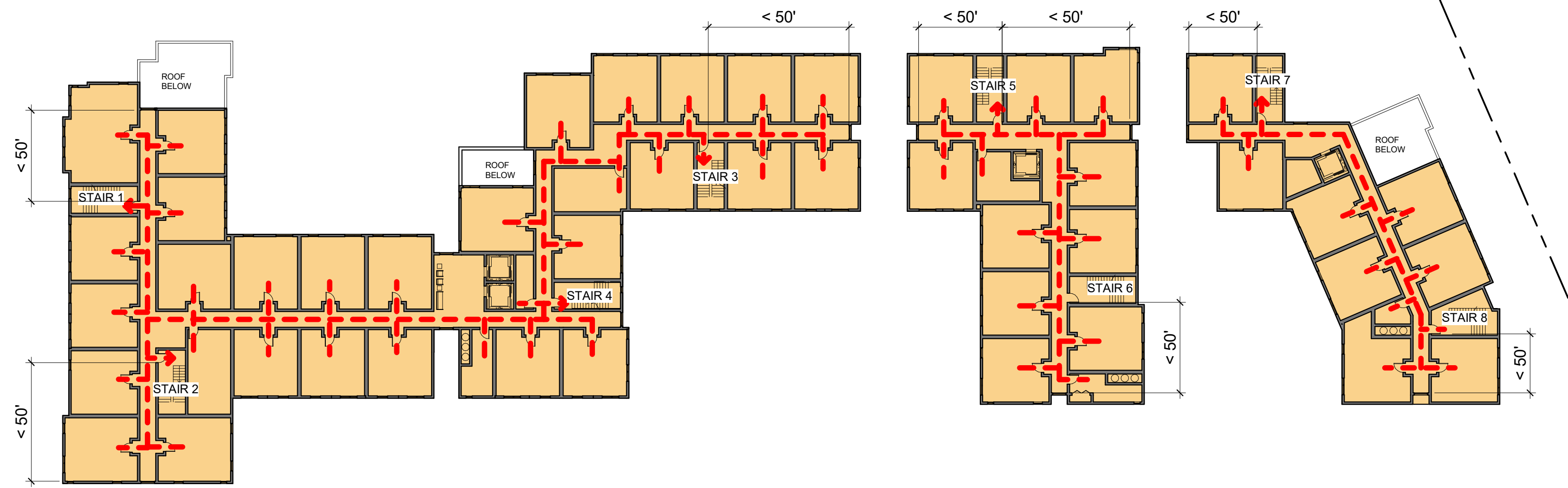


3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | FIRE DEPT ACCESS DIAGRAM

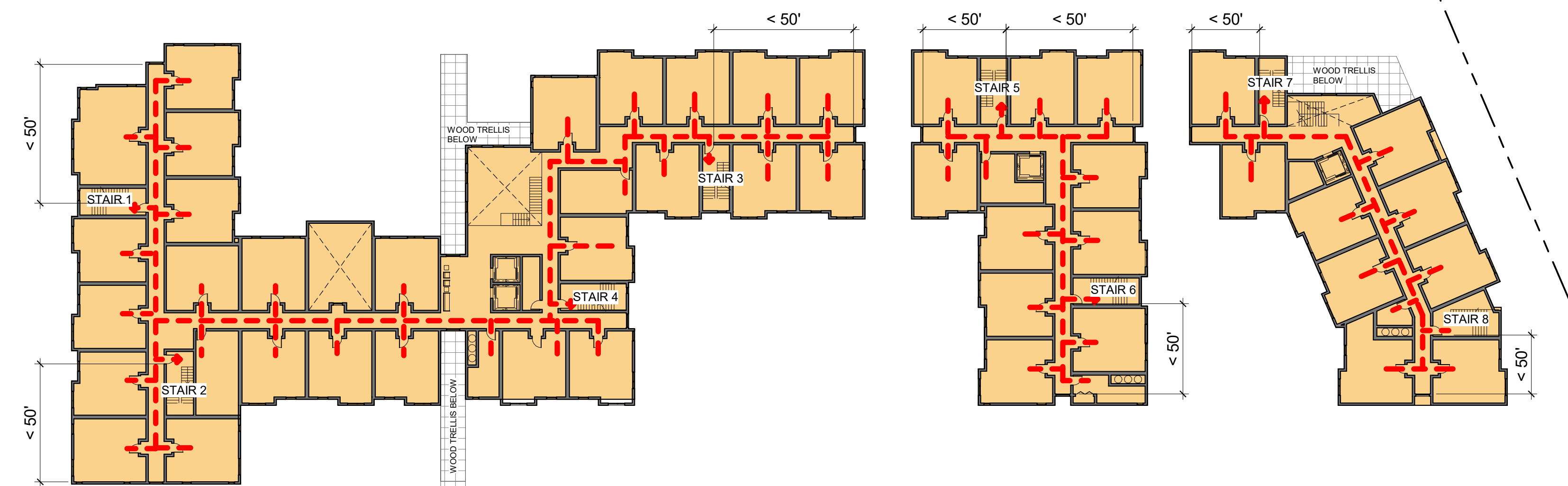
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A1.2

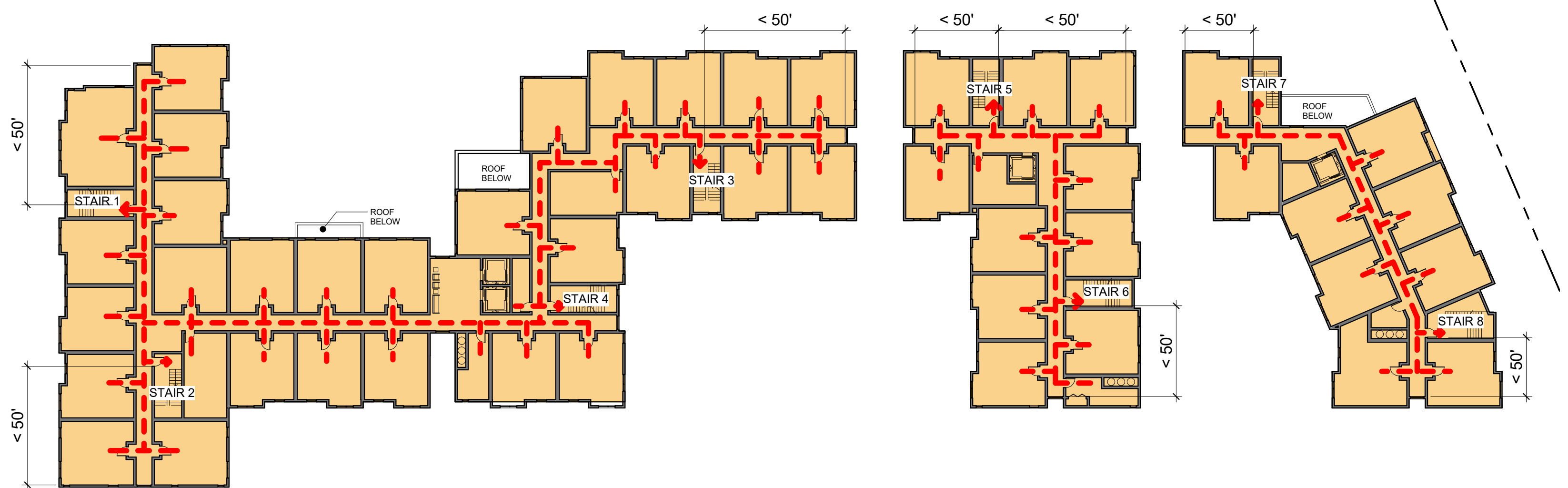




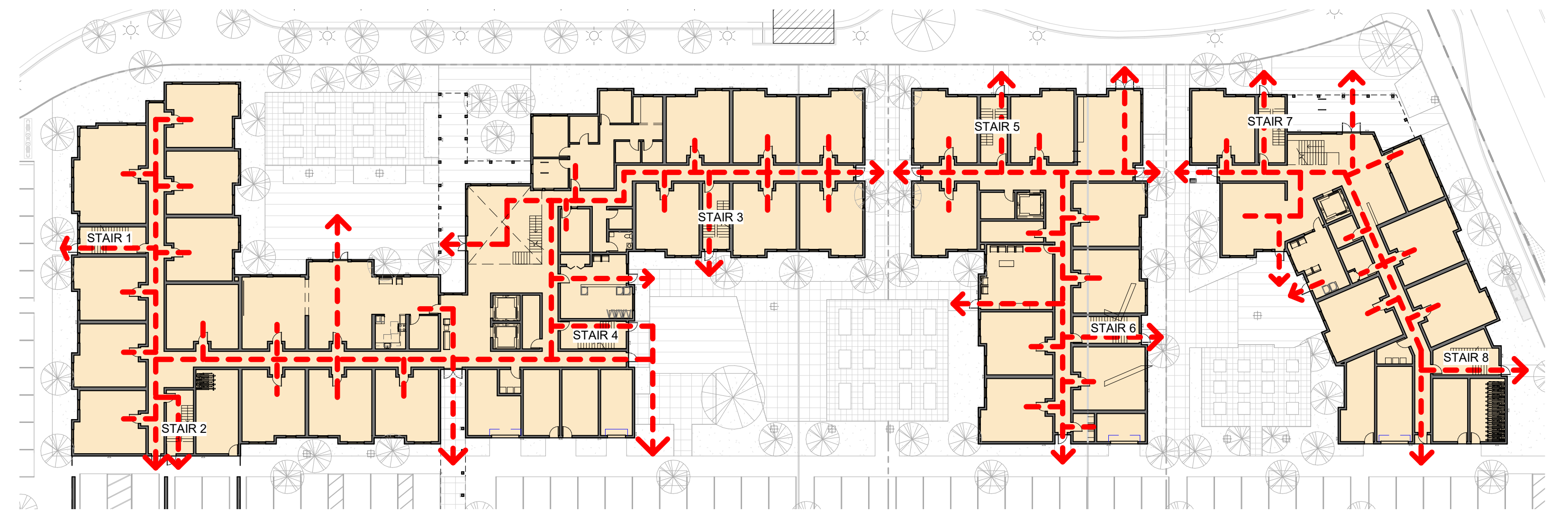
4 4TH FLOOR EXITING
A1.3 SCALE: 1" = 30'-0"



2 2ND FLOOR EXITING
A1.3 SCALE: 1" = 30'-0"

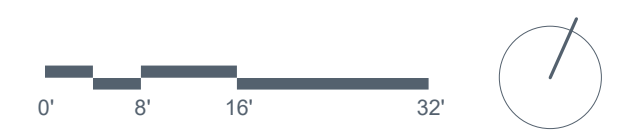
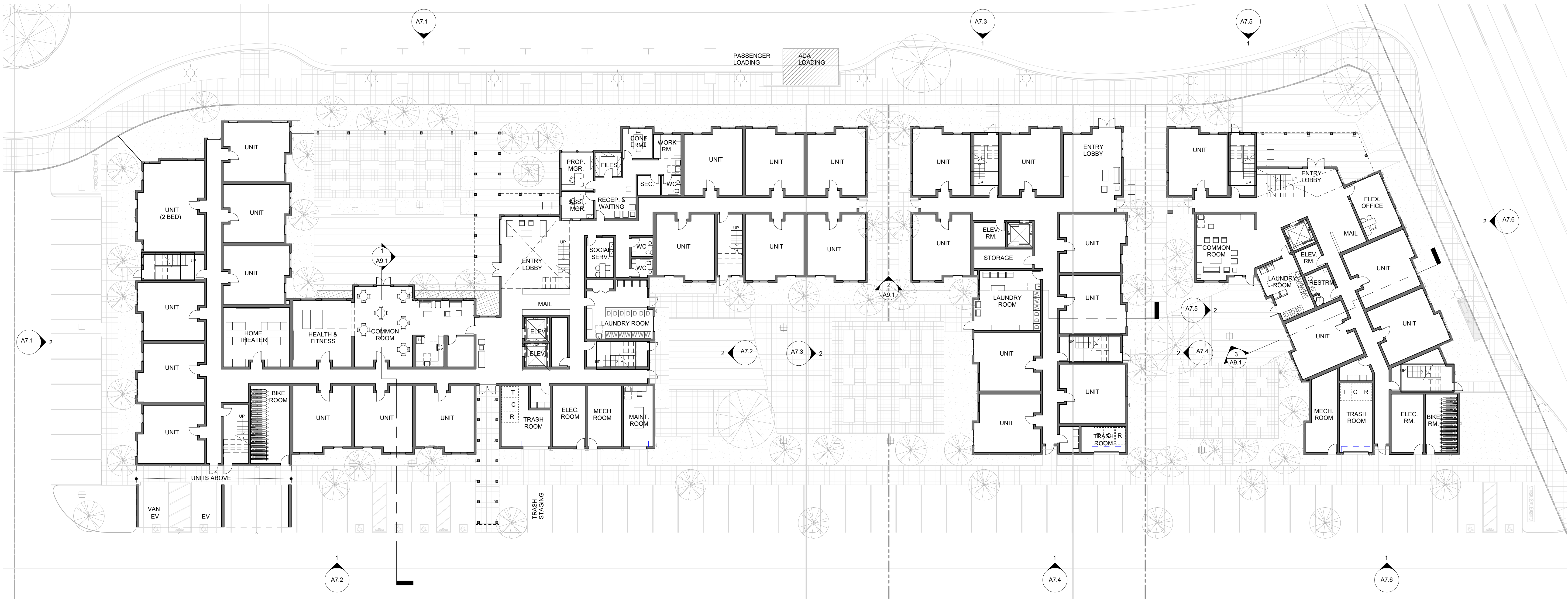


3 3RD FLOOR EXITING
A1.3 SCALE: 1" = 30'-0"



1 GROUND FLOOR EXITING
A1.3 SCALE: 1" = 30'-0"



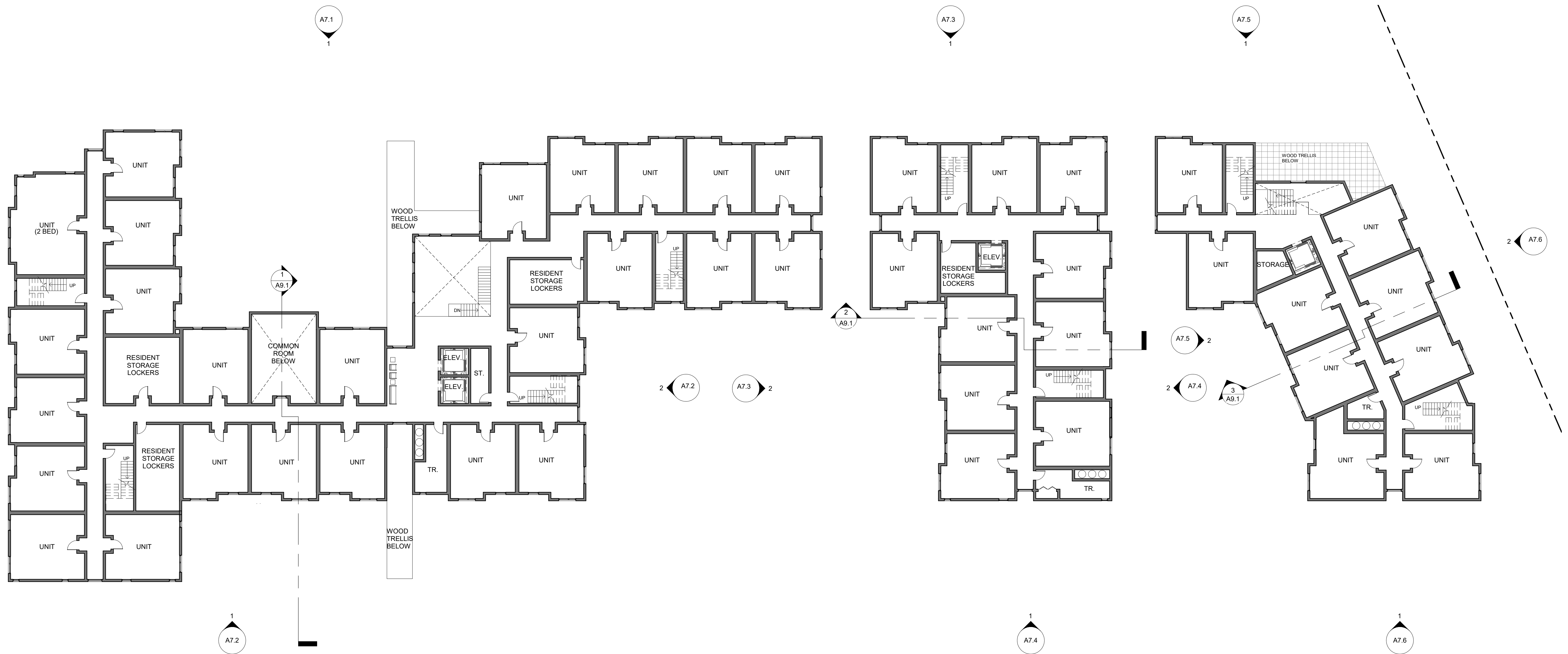


3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | GROUND FLOOR PLAN

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A2.0

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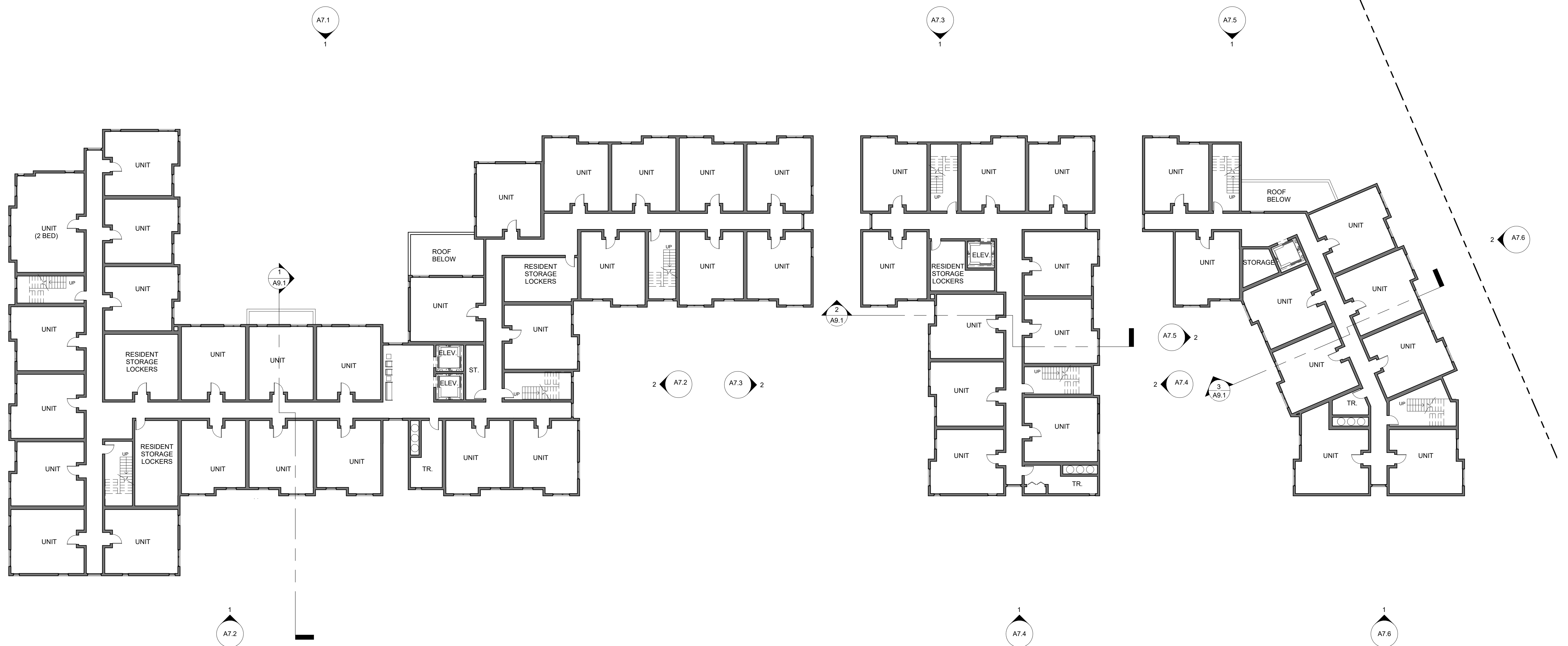


3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | SECOND FLOOR PLAN

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A3.0



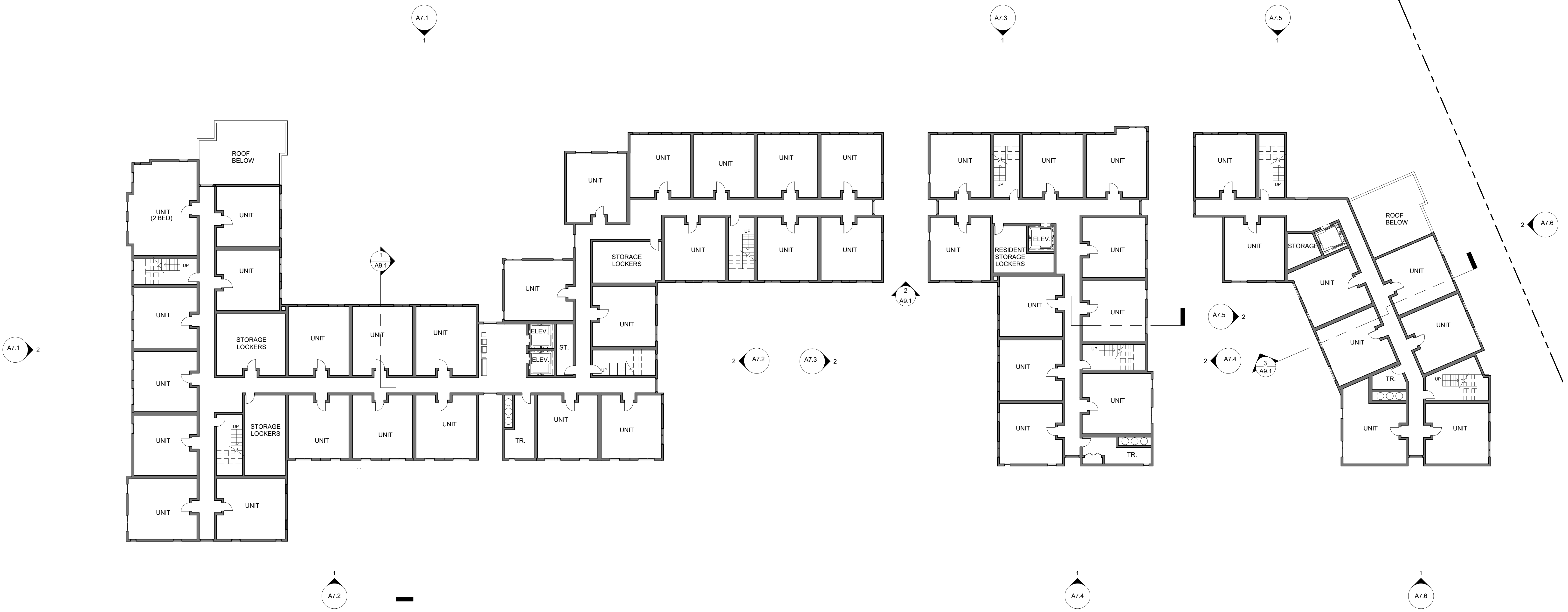


3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | THIRD FLOOR PLAN

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A4.0

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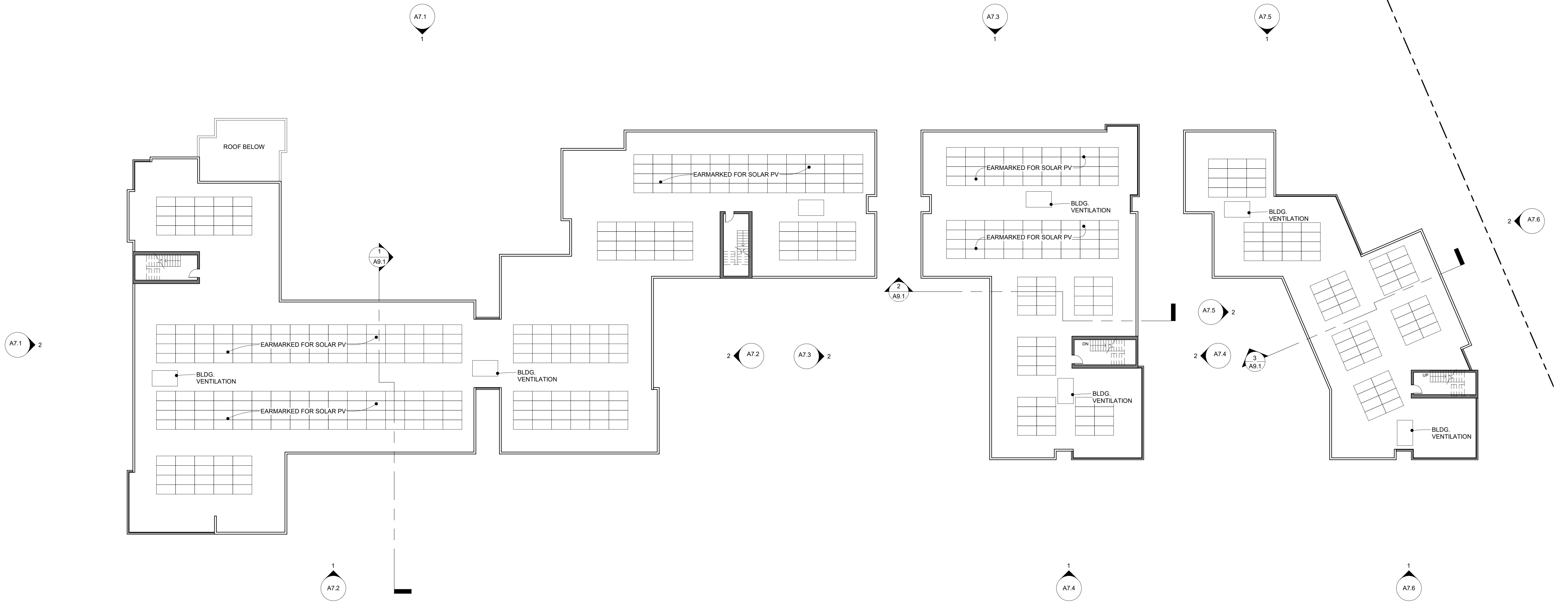


3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | FOURTH FLOOR PLAN

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A5.0





3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | ROOF PLAN

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A6.0





2 WEST ELEVATION
 TCAC-07 SCALE: 1" = 10'-0"



1 NORTH ELEVATION
 TCAC-07 SCALE: 1" = 10'-0"



3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | BUILDING 1 - NORTH & WEST ELEVATIONS

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A7.1

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 POLLACK** LLP



2 EAST ELEVATION
 TCAC-08 SCALE: 1" = 10'-0"



1 SOUTH ELEVATION
 TCAC-08 SCALE: 1" = 10'-0"



3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | BUILDING 1 - SOUTH & EAST ELEVATIONS

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A7.2





2 WEST ELEVATION
 A7.3 SCALE: 1" = 10'-0"



1 NORTH ELEVATION
 A7.3 SCALE: 1" = 10'-0"



3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | BUILDING 2 - NORTH & WEST ELEVATIONS

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A7.3

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2
A7.4 EAST ELEVATION
SCALE: 1" = 10'-0"



1
A7.4 SOUTH ELEVATION
SCALE: 1" = 10'-0"

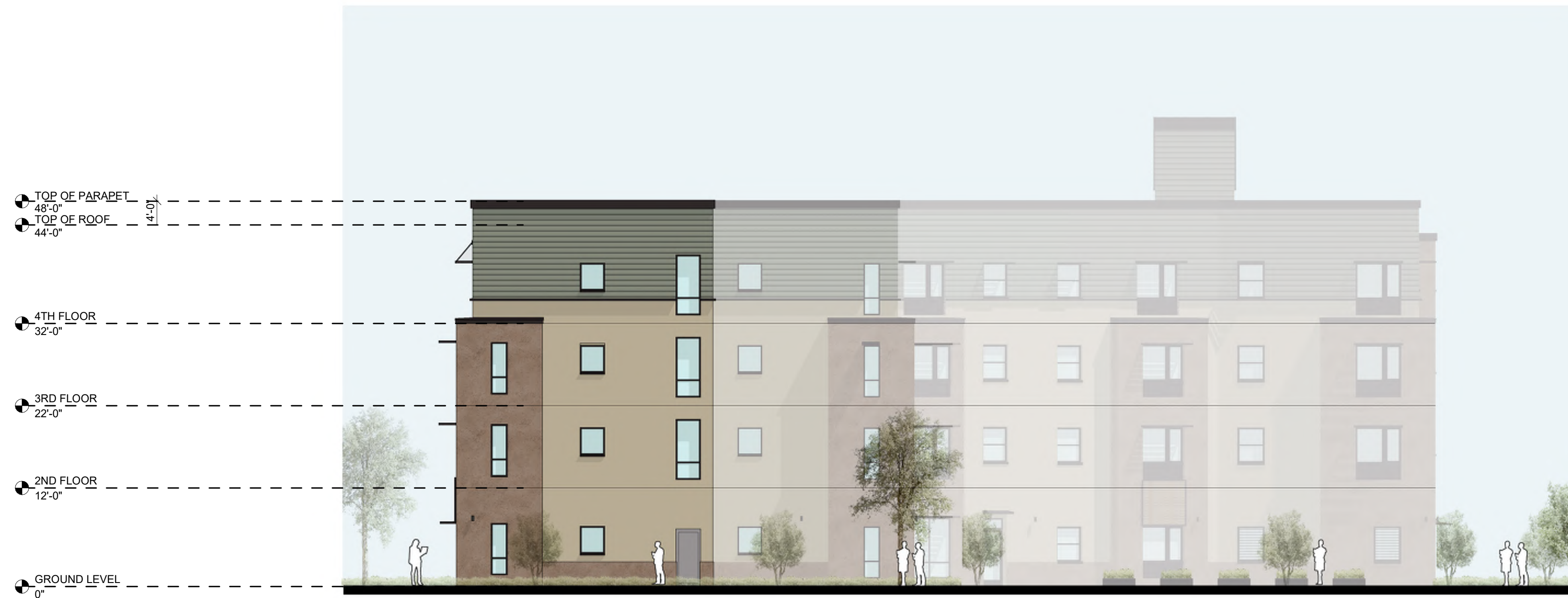


3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | BUILDING 2 - SOUTH & EAST ELEVATIONS

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A7.4





2 WEST ELEVATION
A7.5 SCALE: 1" = 10'-0"



1 NORTH ELEVATION
A7.5 SCALE: 1" = 10'-0"



3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | BUILDING 3 - NORTH & WEST ELEVATIONS

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A7.5

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POLLACK ^{LLP}



2 EAST ELEVATION
 A7.6 SCALE: 1" = 10'-0"



1 SOUTH ELEVATION
 A7.6 SCALE: 1" = 10'-0"



3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | BUILDING 3 - SOUTH & EAST ELEVATIONS

SANTA ROSA, CA | 09/23/20 | BRJE COMMUNITIES, LLC

A7.6



PROPOSED COLOR SELECTION



A COLOR: STUCCO



B COLOR: STUCCO



C COLOR: HORIZONTAL SIDING



D COLOR: BUILDING BASE



E COLOR: COPING AND TRIMS



F COLOR: VINYL WINDOWS



G COLOR: PHENOLIC PANEL



H SUNSHADE SYSTEM: METAL FRAME WITH WOOD



I WOOD ARBOR SYSTEM AT MAIN ENTRIES



J WOOD TRELLIS SYSTEM TO FRAME COURTYARD



K CONCRETE PLANTERS



BUILDING 1 - NORTH ELEVATION

A8.0



2 SECTION AT BUILDING 2
A9.1 SCALE: 1" = 10'-0"

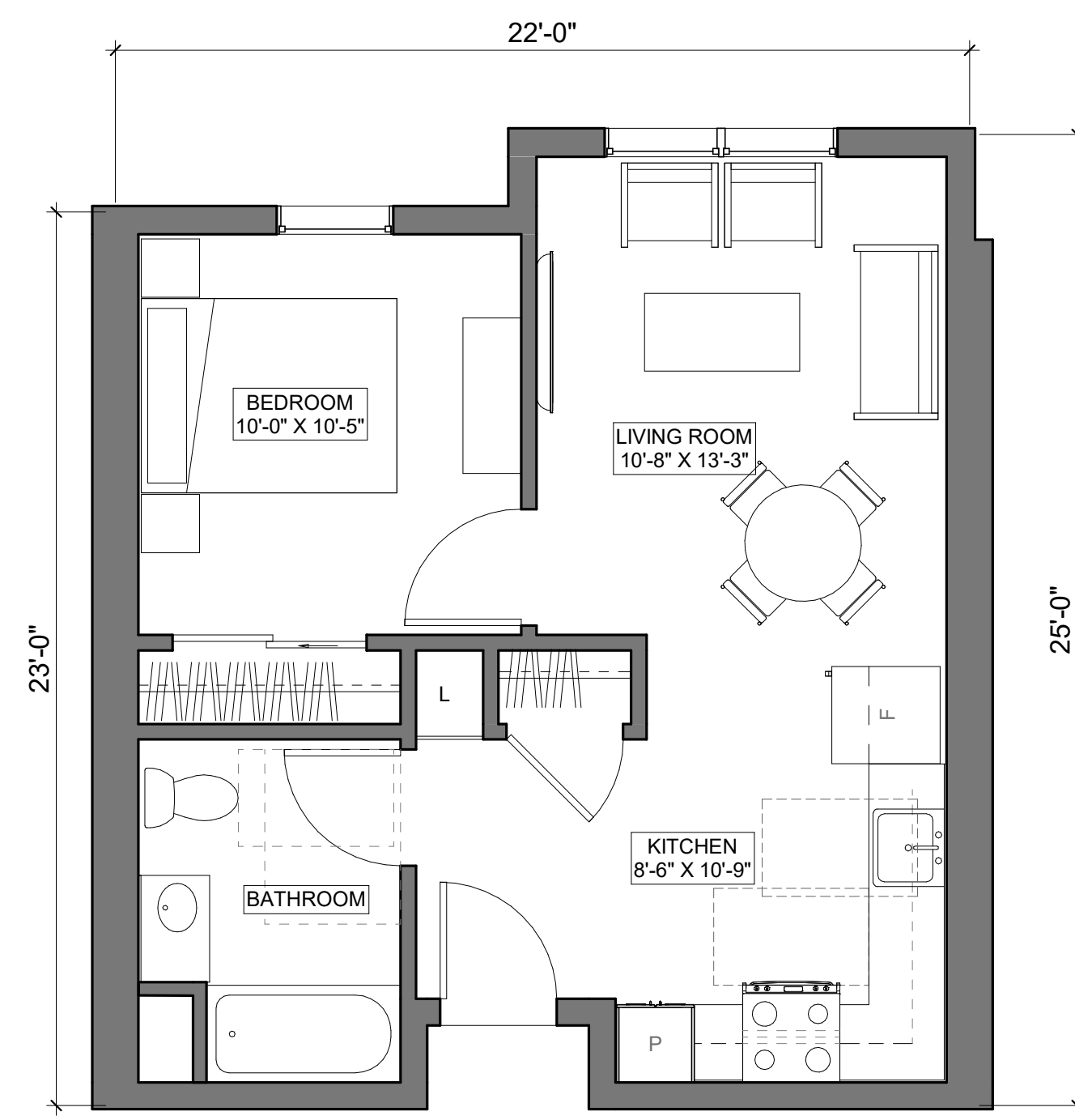


3 SECTION AT BUILDING 3
A9.1 SCALE: 1" = 10'-0"

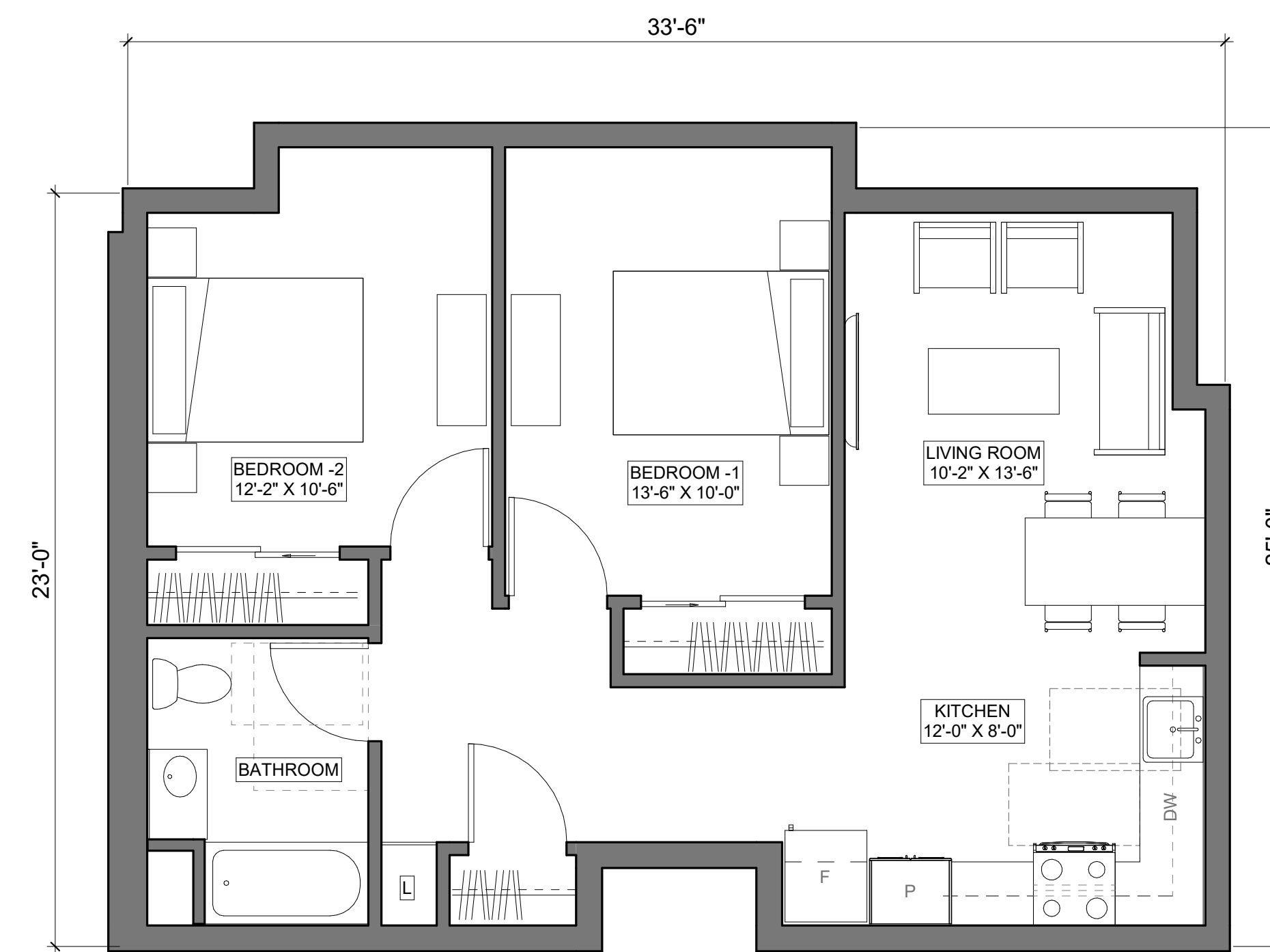


1 SECTION AT BUILDING 1
A9.1 SCALE: 1" = 10'-0"





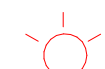






1
A10.0 **1 BEDROOM UNIT**
SCALE: 1/4" = 1'-0" 530 SF

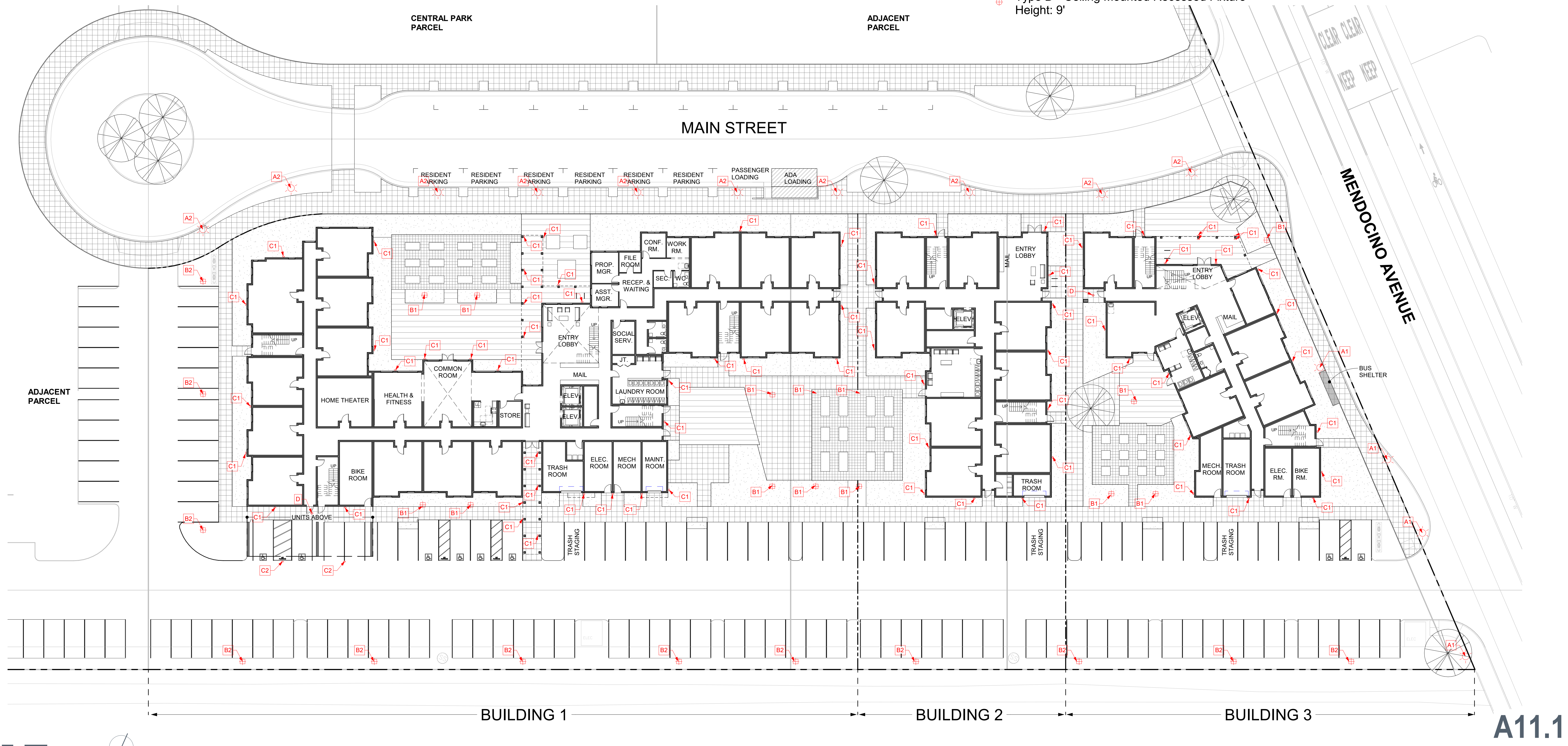


2
A10.0 **2 BEDROOM UNIT**
SCALE: 1/4" = 1'-0" 800 SF



LIGHT FIXTURE LEGEND

-  Type A1 - City Standard Pole Fixture on Mendocino Ave
-  Type A2 - City Standard Optional Decorative Pole Fixture on Public Street Cul-de-sac
Height: 20' pole
-  Type B1 - Private Pole Fixture in Courtyards
Height: 12' pole
-  Type B2 - Private Pole Fixture in Parking
Height: 20' pole with arm
-  Type C1 - Wall Mounted Sconce Downlight Fixture
Height: 8'
-  Type C2 - Wall Mounted Sconce Downlight Fixture at tuck-under parking
Height: 10'-6"
-  Type D - Ceiling Mounted Recessed Fixture
Height: 9'



3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | EXTERIOR LIGHTING SITE PLAN

SANTA ROSA, CA | 09/23/20 | BRJE COMMUNITIES, LLC

A11.1



ANTIQUE STREET LAMPS

RESONANCE 1.5 LED

RC31L

Model: _____

Finish: _____

Options: _____

Construction:
The luminaire is die cast and permanent mold aluminum. The roof has an interior ridge hidden from view. Roof and driver lid are sealed with silicone gaskets. All exposed hardware is weather resistant.
PM201® The luminaire has a powder coat finish utilizing a premium PCC, potwater powder. The finish is a three-stage process that consists of drying powder application and curing. Before coating, the parts are treated with a five-stage pretreatment process consisting of a heated alkaline cleaner, rinses, phosphate coating, zinc and nickel.

Optics:
The horizontal lens is tempered flat glass with a continuous seal. The luminaire allows precision acrylic refractive optics for optimum light distribution through the flat glass lens. Available in Type 1, B1, B2 and A1.

Electrical:
High efficiency nominal 4000K, 70-CRI LEDs mounted to a metal core steel board and aluminum heat sink ensuring optimal thermal management and long life. Designed to provide more than 50,000 hours of performance (3000+ at 24°C, 27°C) ambient temperature. Maximum ambient 33°C (91°F). Programmable dimmable electronic LED driver is standard in 120-277V and 240-265V. 50/60 Hz. Drivers have power factor PM20 and THD <30%. Expected driver life is over 50,000 hours meeting the light engine life. Integral surge protection is available with 800V/1000 CA2 4:2 in Category C class.

Installation:
The luminaire mounts on a 7'-0" O.D. x 3" tall pole with up to 20 adjuster set screws. The height adjuster housing is furnished with cap screws for access to the light engine. The light engine is furnished with a quick-release plug. The driver assembly is furnished with a quick-disconnect plug and mounts on a bracket. The bracket is accessible by removing the driver lid secured by a feature.

Listings:
The luminaire is tested to meet all of the following outdoor requirements standards, wet location use, through the fully accredited and approved CSA laboratory.

Warranty:
3 year limited warranty. Complete warranty terms located at: www.selux.com/antiquelighting/CustomerResources/terms_and_conditions.aspx
Note: Actual performance may differ as a result of outdoor environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Max Hgt. 1.8 m (6 ft)
Max Weight 117 (48.2 lbs)
Max Width 19" (48.2 cm)
Max Depth 48 lbs (21.8 kg)

Sample Config number: _____

RC31L	F20	30K	GCF	R2	WY003
-------	-----	-----	-----	----	-------

Series: _____ LED Performance Package: _____ Color Temp: _____ Lens Option: _____ Distribution: _____ Voltage: _____

Shield Accessory: _____ Control Option: _____ Pole Option: _____ Decorative Option: _____ PFRS: _____ Finish: _____

Ordering Guide:

Series	LED Performance Package	Color Temp	Lens Option	Distribution	Voltage	Shield Accessory	Control Option	Pole Option	Decorative Option	Driver Option	Finish*
RC31L	F10	AWB*	GCF	R2	W00LE	R05	A03**	S1*	E1EN	EP04**	AN16
	F20	30K	G04	R3	W00LE		R10P***	E0*			AN06
	F30	40K		R4			R10P***				AN02
	F40	50K		R5			DW02*				AN02
	F50						FW02D03**				DL
	F60						FW02D03**				DL
	F70						FW02D03**				DL
	F80						FW02D03**				DL
	F90						FW02D03**				DL
	F00						FW02D03**				DL

*Note: For all series marked above please refer to the detailed ordering steps on pages 2-4.

TYPE A2

CITY OF SANTA ROSA STANDARD
OPTIONAL DECORATIVE FIXTURE

NOTE: **TYPE A1** FIXTURES WILL BE SAME AS EXSITING FIXTURES ON MENDOCINO AVE.

TYPE B1

TYPE B2

Series	A0T1	A0T2									
	Mini 1	Mini 2	R1	R2	R3	R3W	R4	R5K	R5S	R5Q	
Optics	Typ 1	Typ 2	Typ 3	Typ 4	Typ 5	Typ 6	Typ 7	Typ 8	Typ 9	Typ 10	
Mounting	1 Single Arm Mount	2 Double Arm Mount	M1 Mini 1 Mount	M2 Mini 2 Mount	M3 Mini 3 Mount	M4 Mini 4 Mount	M5 Mini 5 Mount	M6 Mini 6 Mount	M7 Mini 7 Mount	M8 Mini 8 Mount	M9 Mini 9 Mount
Light Engine	S0550 50W/5000	S0550 50W/5000	S0700 70W/7000	S0905 90W/9000	S0940 90W/9400	*Based on Product Series as shown on page 2					
CCF	27° 270K	30° 3000K	40° 4000K								
Power Cord Length	6' 6'	10' 10'	12' 12'	14' 14'	16' 16'	18' 18'	XX' XX'				
Finish	M1 Mini 1	M2 Mini 2	M3 Mini 3	M4 Mini 4	M5 Mini 5	M6 Mini 6	M7 Mini 7	M8 Mini 8	M9 Mini 9	M10 Mini 10	
Voltage	120 120V	240 240V	277 277V	347** 347V	480** 480V						
Options	DRP Dimming 0-10V	HL30+ 14.5" Tech-Down Lens Output 30%	HL50+ 17.5" Tech-Down Lens Output 30%	R0P Rimless Lens Output 30%	R0L Rimless Lens Output 30%	MS Mount Side Mount 30%	TLR Tall Lens 30%	TSP Tall Pole 30%	*For all series with 14.5" or 17.5" lens, the lens output is 30% and the lens is 30% dimmable. **For all series with 347V or 480V, the lens output is 30% and the lens is 30% dimmable. ***For all series with 347V or 480V, the lens output is 30% and the lens is 30% dimmable.		
	R0P Rimless Lens Output 30%	R0L Rimless Lens Output 30%	R0L Rimless Lens Output 30%	R0L Rimless Lens Output 30%	R0L Rimless Lens Output 30%	R0L Rimless Lens Output 30%	R0L Rimless Lens Output 30%	R0L Rimless Lens Output 30%	R0L Rimless Lens Output 30%	R0L Rimless Lens Output 30%	R0L Rimless Lens Output 30%

TYPE B1 & B2

PRIVATE POLE FIXTURE IN
COURTYARDS AND PARKING AREAS

selux

PITCH SINGLE WALL SCONCE

TECH LIGHTING

An architectural profile reminiscent of beautiful classic roof lines delivers significant light output in this modern LED wall sconce suitable for both indoor and outdoor applications. The Pitch Single's die-cast metal body houses powerful LED light sources that create visual appeal as light cascades down along a wall.

High quality LM88-tested LEDs
for consistent long life performance and color

Outstanding protection against the elements:

- Powder coat finishes
- Stainless Steel mounting hardware
- Impact resistant, UV stabilized frosted acrylic lensing

Can be mounted for up lighting or down lighting

SPECIFICATIONS

DELIVERED LUMENS	814
WATTS	24.1
VOLTAGE	120V, 277V
DIMMING	0-10V
LIGHT DISTRIBUTION	Downlight or Uplight
MOUNTING OPTIONS	Downlight or Uplight
CEC	EP04, W003
CR	90+
SHIELD FINISHES	30°/60°
SHIELD ADJUST	0° to 30°
SHIELD SW	Compatible (Downlight)
WET LOCATED	YES
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with Title 24, Part 24 for outdoor use. Register with CEC Appliance Database not required.
EMT TEMP	30°C
FIELD SERVICEABLE LED	NO
CONSTRUCTION	Aluminum
MATERIAL	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	175,000 Hours
WARRANTY*	5 Years
WEIGHT	1.2 lbs.

*For all lighting use for specific warranty limitations and details.

ORDERING INFORMATION

300WATT	100	FINISH	LAMP
1	AWB	AWB01	AWB01
2	30K	AWB02	AWB02
3	40K	AWB03	AWB03
4	50K	AWB04	AWB04
5	60K	AWB05	AWB05

TYPE C1 & C2

WALL MOUNTED SCONCE DOWNLIGHT FIXTURE

gotham | EVO

Multiple Layers of Light

Luminaire Type: _____
Catalog Number: _____

General Illumination Round Downlight 4"

Feature Set

- Bounding Ray™ optical design
- Utilized optics mechanically attach the light engine to the lower reflector for complete 360° alignment
- 40° cutoff to source and source image
- Fully serviceable and upgradeable lensed LED light engine
- 70% lumen maintenance at 60,000 hours
- 2.5 SOCB, 95-CRI typical, 90+ CRI optional
- Fixtures are wet location, covered ceiling
- Available with 10% dimming, 1% dimming, or dim to dark
- Featuring distribution with feathered edges provides even illumination on horizontal and vertical surfaces
- ENERGY STAR® certified product

Distribution

30°/60° 30°/60° 30°/60°

Superior Performance

Beam Spread	270	300	750	1000	1080	2000	2500	3000	3000
Delivered Lumens	270	315	800	1080	1215	2300	2880	3510	3645
Wattage	3.1	3.2	7.8	8.8	10.7	19.1	25.2	32.1	33.1
Cut-off @ 1m	87.4	76.4	60.5	53.8	48.3	28.4	20.7	16.1	16.1

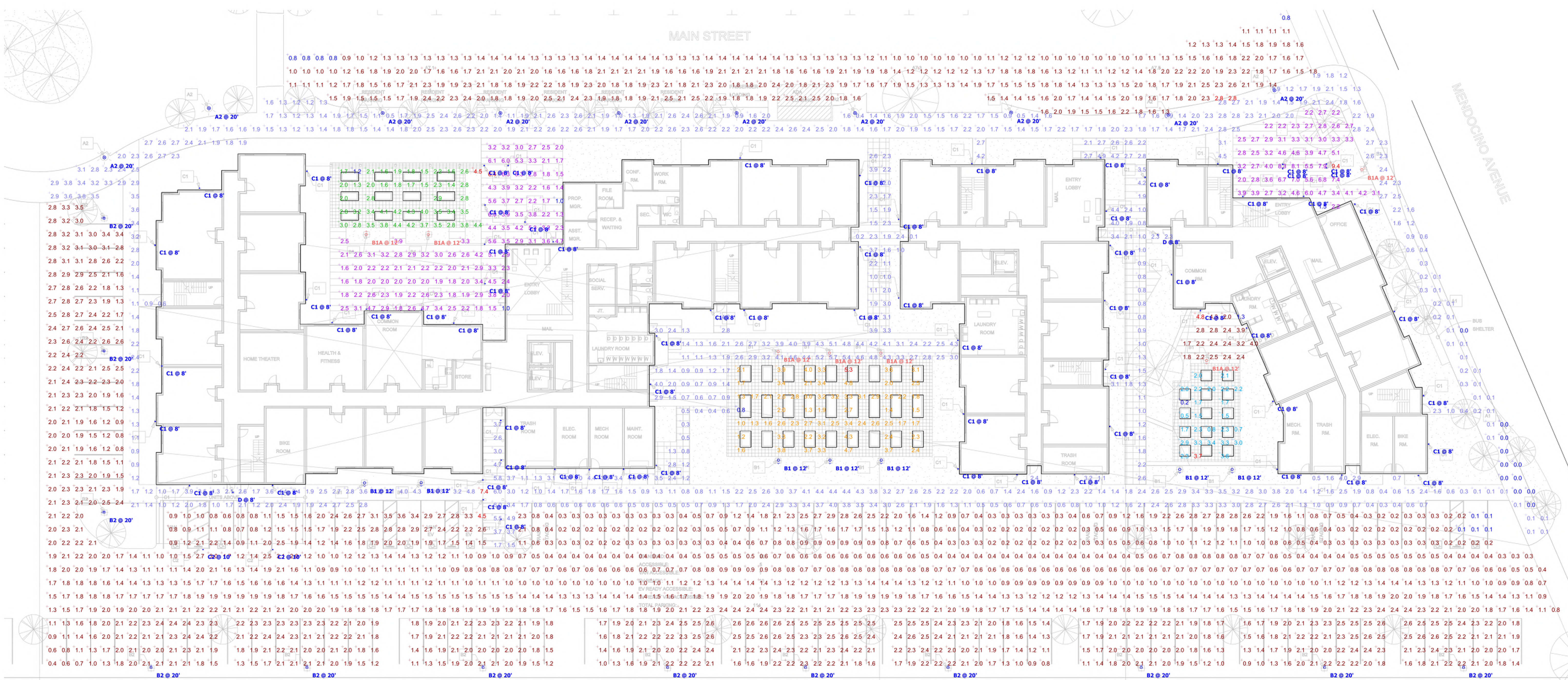
Coordinated Apertures | Multiple Layers of Light

General Illumination Layer (EVO) | High Center Beam Layer (EVO) | EVO + Inlets -- Multiple Layers of Light

Core | **Healthcare** | **Special Applications**

TYPE D

CEILING MOUNTED RECESSED FIXTURE



Ceiling Height: Varies
 Luminaire Mounting Height: As Noted
 Reflectances: 80% for Ceiling, 50% for Wall, 20% for Floor, 30% for Casework
 Calculation Point Height: As Noted

Luminaire illuminance values provided in this report, whether for normal, critical, or emergency applications, are for product application assistance only. These values were developed in collaboration with, and are subject to approval by, the design professional of record (architect/engineer/LC), and are NOT intended for construction. Because these values are approximate and based on limited application information provided to 16500, Inc. at the time of calculation, 16500, Inc. does not warrant the installed performance of the luminaire(s) will match that shown in this report. Please verify all data and conditions to assure the accuracy of the report. 16500 shall neither be responsible nor liable for design, approval, or results of emergency lighting under any circumstance.

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage
	A2	10	Selux Corporation	BLL-X-RSR-5G700-30-XX-UNV	Gray formed aluminum housing, clear/frosted plastic optics	LED	6423	0.85	63.8901
	B1	7	Luminis Canada Inc.	MA20-L1W30r1-R3	Maya MA20 Post Top	LED	4394.988	0.85	38.3
	B1A	7	Luminis Canada Inc.	MA20-L1W30r1-R2	Maya MA20 Post Top	LED	4170.238	0.85	34.33
	B2	12	Selux Corporation	U5-R3-XX-XX-5G530-30-XX-UNV	Gray formed aluminum housing, patterned specular reflector, clear plastic optics, no lens enclosure	LED	7160.13	0.85	68
	C1	69	Tech Lighting	7000WSPITSC-LED830	LED Wall-Mount Luminaire	LED	803.0645	0.85	26.2
	C2	2	Tech Lighting	7000WSPITSC-LED830	LED Wall-Mount Luminaire	LED	803.0645	0.85	26.2
	D	2	Gotham Architectural Lighting	EVO4 30/02 AR WD LSS	EVO 4IN ROUND DOWNLIGHT, 80 CRI, 3000K, 250LM, WIDE DIST, CLEAR SEMI-SPEC	LED	223.9413	0.85	3.1

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Building 1 Front Entry 0'-0"	+	2.9 fc	6.4 fc	1.0 fc	6.4:1	2.9:1
Building 1 Planters 0'-0"	+	2.8 fc	4.5 fc	1.2 fc	3.8:1	2.3:1
Building 2 Planters 0'-0"	+	2.6 fc	5.3 fc	0.8 fc	6.6:1	3.3:1
Building 3 Back Entry 0'-0"	+	2.7 fc	4.8 fc	1.3 fc	3.7:1	2.1:1
Building 3 Front Entry 0'-0"	+	4.0 fc	9.4 fc	1.5 fc	6.3:1	2.7:1
Building 3 Planters 0'-0"	+	2.1 fc	3.7 fc	0.2 fc	18.5:1	10.5:1
Parking 0'-0"	+	1.5 fc	4.5 fc	0.1 fc	45.0:1	15.0:1
Pathways 0'-0"	+	2.0 fc	7.4 fc	0.0 fc	N/A	N/A
Public Street 0'-0"	+	1.7 fc	2.8 fc	0.8 fc	3.5:1	2.1:1
Building 2 Planters 0'-0"	+	2.6 fc	5.3 fc	0.8 fc	6.6:1	3.3:1
Building 3 Back Entry 0'-0"	+	2.7 fc	4.8 fc	1.3 fc	3.7:1	2.1:1
Building 3 Front Entry 0'-0"	+	4.0 fc	9.4 fc	1.5 fc	6.3:1	2.7:1
Building 3 Planters 0'-0"	+	2.1 fc	3.7 fc	0.2 fc	18.5:1	10.5:1
Parking 0'-0"	+	1.5 fc	4.5 fc	0.1 fc	45.0:1	15.0:1
Pathways 0'-0"	+	2.0 fc	7.4 fc	0.0 fc	N/A	N/A
Public Street 0'-0"	+	1.7 fc	2.8 fc	0.8 fc	3.5:1	2.1:1



3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | PHOTOMETRICS

SANTA ROSA, CA | 09/23/20 | BRJE COMMUNITIES, LLC

A11.3










OVERALL LANDSCAPE PLAN
SCALE: 1" = 50'-0"

SHEET INDEX

-  AFFORDABLE SENIOR HOUSING LANDSCAPE ENLARGEMENT - SEE L1.2
-  PARK AND STREETScape - SEE MASTER PLAN SET

TREE AND PLANTING SCHEDULE
SEE SHEET L1.4 FOR CANDIDATE SPECIES

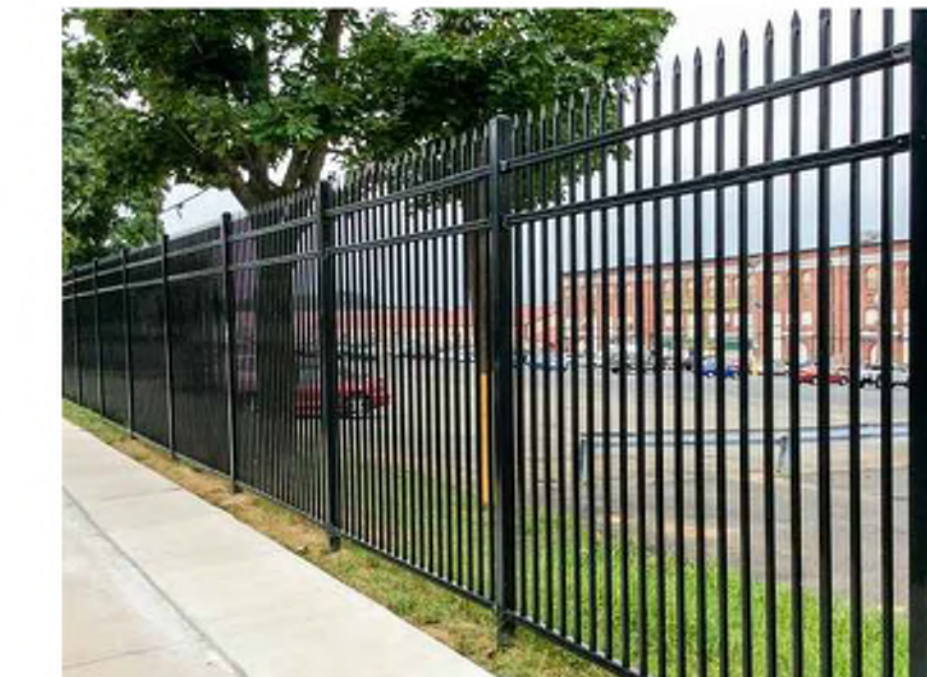
-  ACCENT TREES
-  SITE TREES
-  STREET TREES
-  LARGE SHADE TREES
-  PLANTING AREA

DESIGNATION	BOTANICAL NAME	COMMON NAME
A	<i>Acer rubrum</i> sp.	Red Maple
B	<i>Carpinus betulus</i> 'Fastigiata'	European Hornbeam
C	<i>Celtis occidentalis</i>	Common Hackberry
D	<i>Ginkgo biloba</i> 'Saratoga'	Saratoga Ginkgo
E	<i>Koelreuteria bipinnata</i>	Chinese Flame
F	<i>Pistacia chinensis</i>	Chinese Pistache
G	<i>Platanus x acerifolia</i> 'Yarwood'	London Planetree
H	<i>Quercus suber</i>	Cork Oak

DESIGNATION	BOTANICAL NAME	COMMON NAME
I	<i>Liriodendron tulipifera</i>	Tulip Tree
J	<i>Platanus x acerifolia</i> 'Yarwood'	London Planetree
K	<i>Quercus lobata</i>	Valley Oak
L	<i>Ulmus parvifolia</i>	Lacebark Elm
M	<i>Zelkova serrata</i>	Sawleaf Zelkova

SEE SHEET L1.4 FOR ADDITIONAL TREE INFORMATION

FENCING - 6'-0" METAL FENCE



MODEL: MONTAGE II OR EQUAL
HEIGHT: 6'-0" NOMINAL
MANUFACTURER: AMERISTAR OR EQUAL
FINISH: POWDERCOAT BLACK

LANDSCAPE LIGHTING

- * STREETLIGHT - SEE ARCHITECTURAL PLANS
- + LIGHT FIXTURE - SEE ARCHITECTURAL PLANS



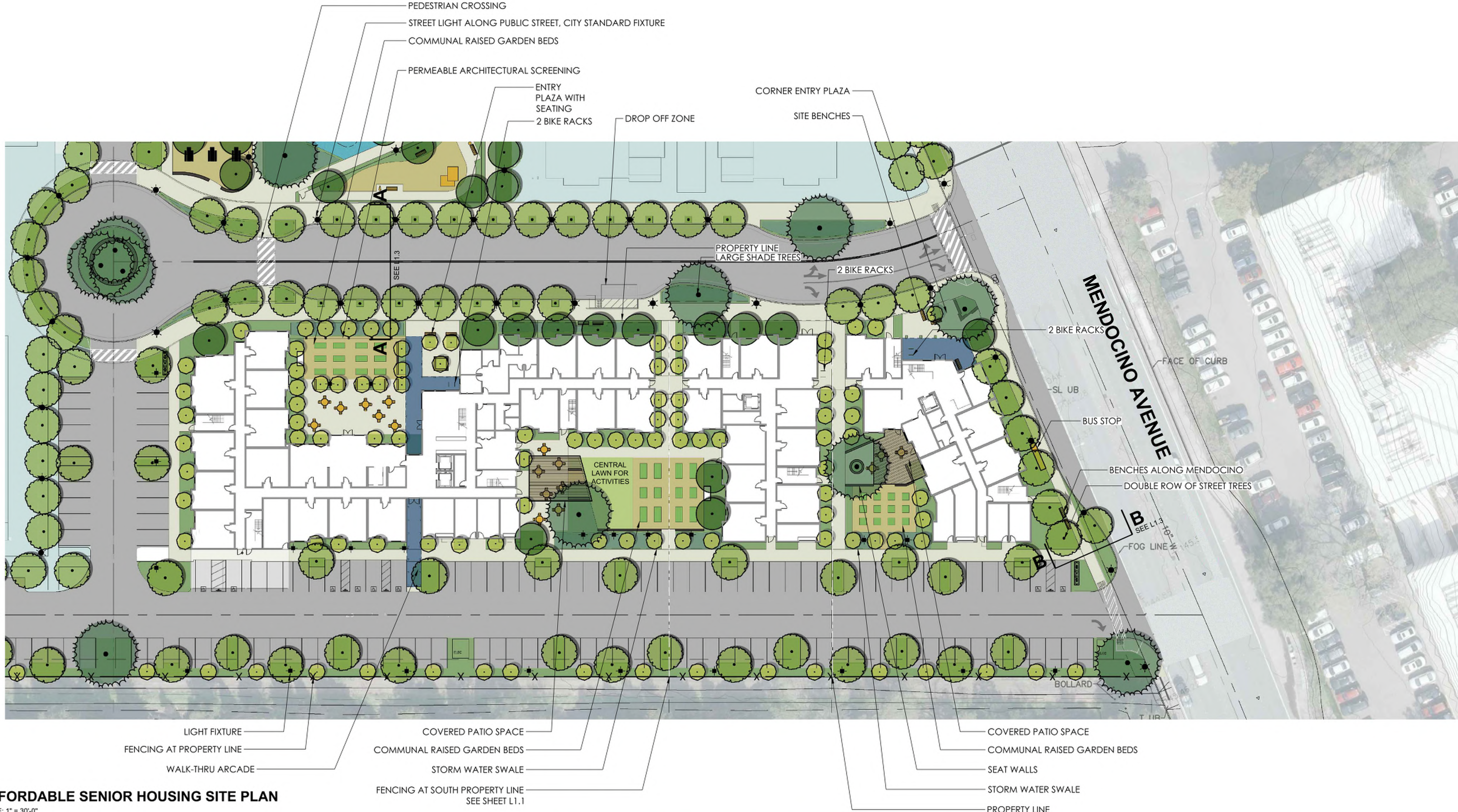
3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | LANDSCAPE PLAN

SANTA ROSA, CA | 09/23/20 | BRJE COMMUNITIES, LLC

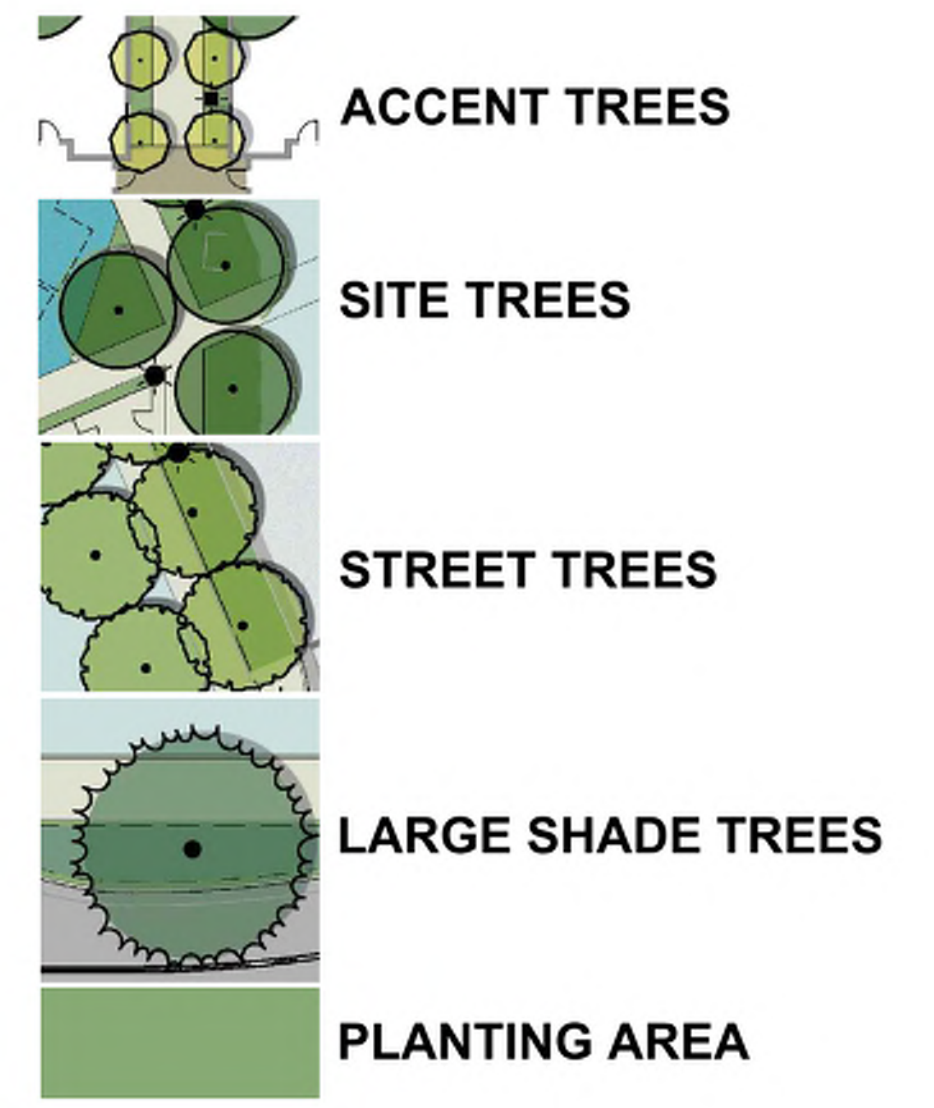
QUADRIGA
landscape architecture and planning, inc.
sacramento | santa rosa

VAN METER WILLIAMS POLLACK LLP

L1.1



TREE AND PLANTING SCHEDULE
SEE SHEET L1.4 FOR CANDIDATE SPECIES



AFFORDABLE SENIOR HOUSING SITE PLAN
SCALE: 1" = 30'-0"

CHARACTER IMAGES



WIDE PATHWAYS WITH LOW WATER PLANTING AND SHADE TREES

COVERED PATIO SPACE

COMMUNAL RAISED GARDEN BED

LAWN FOR ACTIVITIES

SEAT WALL

DOUBLE ROW STREET TREES



3575 MENDOCINO AVE AFFORDABLE SENIOR HOUSING | LANDSCAPE ENLARGEMENT

SANTA ROSA, CA | 09/23/20 | BRJE COMMUNITIES, LLC

QUADRIGA
landscape architecture and planning, inc.
sacramento | santa rosa

VAN METER WILLIAMS POLLACK LLP



SECTION B-B: MENDOCINO AVE STREETSCAPE
SCALE: 1/4" = 1'-0"



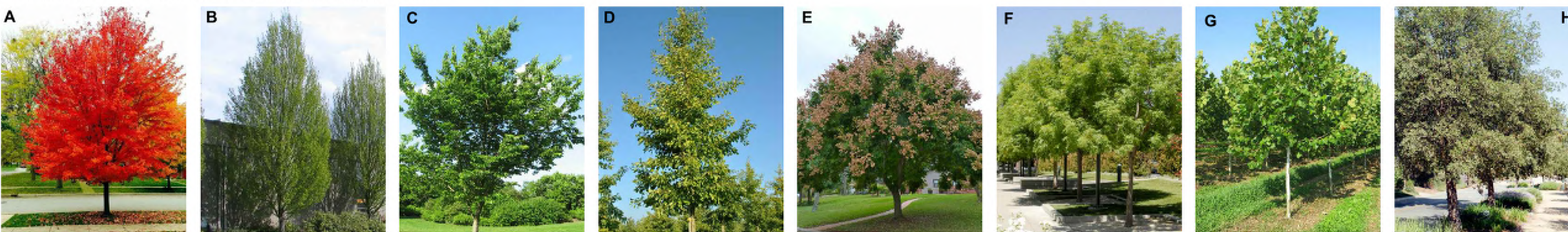
SECTION A-A: PUBLIC R.O.W. STREETSCAPE
SCALE: 1/4" = 1'-0"



CANDIDATE PLANT LIST

STREET TREES		SIZE	WUCOLS
BOTANICAL NAME	COMMON NAME		
Acer rubrum sp.	Red Maple	24" Box	M
Carpinus betulus 'Fastigiata'	European Hornbeam	24" Box	M
Celtis occidentalis	Common Hackberry	24" Box	L
Ginkgo biloba 'Saratoga'	Saratoga Ginkgo	24" Box	M
Koeleruteria bipinnata	Chinese Flame	24" Box	L
Pistacia chinensis	Chinese Pistache	24" Box	L
Platanus x acerifolia 'Yarwood'	London Planetree	24" Box	M
Quercus suber	Cork Oak	24" Box	L
HOUSING SITE TREES		SIZE	WUCOLS
BOTANICAL NAME	COMMON NAME		
Arbutus 'Marina'	Stawberry Tree	24" Box	L
Calycanthus occidentalis	Western Spice Bush	15 Gallon	M
Cercidiphyllum japonicum	Katsura Tree	24" Box	M
Cornus 'Eddie's White Wonder'	Eddies White Wonder Dogwood	15 Gallon	M
Lagerstromia 'Natchez'	Crape Myrtle	24" Box	L
Liriodendron tulipifera	Tulip Tree	24" Box	M
Magnolia 'Black Tulip'	Black Tulip Magnolia	24" Box	M
Magnolia 'Elizabeth'	Elizabeth Magnolia	24" Box	M
Parrotia persica	Persian Ironwood	24" Box	M
Platanus x acerifolia 'Yarwood'	London Planetree	24" Box	M
Quercus lobata	Valley Oak	24" Box	L
Ulmus parvifolia	Lacebark Elm	24" Box	M
Zelkova serrata	Sawleaf Zelkova	24" Box	L
HOUSING SITE SHRUBS		SIZE	WUCOLS
BOTANICAL NAME	COMMON NAME		
Aloe arborescens 'Spineless'	Tree Aloe	5 Gallon	L
Arctostaphylos densiflora 'Howard McMinn'	Howard McMinn Manzanita	5 Gallon	L
Callistemon 'Better John'	Bottle Brush	5 Gallon	L
Callistemon 'Canes Hybrid'	Bottle Brush	5 Gallon	L
Choisya ternata	Mock Orange	5 Gallon	M
Correa pulchella	Australian Fuschia	5 Gallon	M
Cotinus coggygria 'Kokolco'	Green Fountain Smoke Tree	5 Gallon	L
Dodonea viscosa (Green Form)	Green Hopseed	5 Gallon	L
Feijoa sellowiana	Pineapple Guava	5 Gallon	L
Garrya elliptica 'James Roof'	Coast Silk-Tassel	5 Gallon	L
Grevillea 'Jade Mound'	Jade Mound Grevillea	5 Gallon	L
Grevillea 'Kings Celebration'	Kings Celebration Grevillea	5 Gallon	L
Grevillea 'Peaches and Cream'	Peaches and Cream Grevillea	5 Gallon	L
Hesperaloe parvifolia	Red Yucca	5 Gallon	L
Leucadendron 'Safari Sunset'	Safari Conebush	5 Gallon	L
Luma apiculata	Chilean Myrtle	5 Gallon	L
Mahonia aquifolium 'Orange Flame'	Holly Leaved Barberry	5 Gallon	M
Mahonia repens	Creeping Mahonia	5 Gallon	L
Mahonia 'Soft Caress'	Soft Caress Mahonia	5 Gallon	L
Myrtus communis compacta	Compacted Myrtle	5 Gallon	L
Nandina domestica 'Emerald Sea'	Heavenly Bamboo	5 Gallon	L
Nandina domestica 'Lemon Lime'	Heavenly Bamboo	5 Gallon	L
Olea europaea 'Little Ollie'	Olive Shrub	15 Gallon	L
Phlomis russeliana	Hardy Jerusalem Sage	5 Gallon	L
Polystichum munitum	Western Sword Fern	5 Gallon	M
Punica granatum 'Nana'	Dwarf Pomegranate	5 Gallon	L
Ribes viburnifolium	Evergreen Current	5 Gallon	L
Rosa - Knockout Shrub Rose series	Knockout Shrub Rose	5 Gallon	M
Rosmarinus officinalis 'Roman Beauty'	Rosemary	5 Gallon	L
Sarcococca hookerana	Himalayan Sweet Box	5 Gallon	M
Teucrium fruticans 'Azureum'	Bush Germander	5 Gallon	L
Westringia fruticosa cv.	Costal Rosemary	5 Gallon	L
Woodwardia fimbriata	Giant Pacific Chain Fern	5 Gallon	M
HOUSING SITE PERENNIALS AND GRASSES		SIZE	WUCOLS
BOTANICAL NAME	COMMON NAME		
Acanthus mollis	Bear's Breeches	1 Gallon	L
Achillea 'Coronation Gold'	Yarrow	1 Gallon	L
Alstoremeria 'Indian Summer'	Peruvian Lilly	1 Gallon	L
Bulbine frutescens	Snake flower	1 Gallon	L
Calamagrostis foliosa	Mendocino Reed Grass	1 Gallon	L
Chondropetalum tectorum 'El Campo'	Small Cape Rush	5 Gallon	L
Clivia miniata	Bush Lily	1 Gallon	M
Echeveria imbricata	Hens and Chicks	1 Gallon	L
Gaura lindheimeri	Butterfly Fountain	1 Gallon	L
Helleborus argutifolius	Corsican hellebore	1 Gallon	L
Helleborus foetidus	Hellebore	1 Gallon	L
Heuchera micrantha	Alum Root	1 Gallon	M
Kniphofia multiflora	Giant Poker	1 Gallon	L
Lomandra longifolia 'Breeze'	Basket Grass	1 Gallon	L
Muhlenbergia lindheimeri	Lindheimer's Muhly	1 Gallon	L
Nepeta sp.	Cat Mint	1 Gallon	L
Phormium 'Yellow Wave'	New Zealand Flax	1 Gallon	L
Salvia guaranatica 'Black and Blue'	Black and Blue Salvia	1 Gallon	M
Salvia melissodora	Grape Scented Salvia	1 Gallon	L
Salvia spathacea	Hummingbird Sage	1 Gallon	L
Salvia 'Waverly'	Waverly Sage	1 Gallon	M
Sedum spectabile	Showy Stonecrop	1 Gallon	L
Sisyrinchium bellum	Blue-Eyed Grass	1 Gallon	M
Yucca filamentosa	Adam's Needle	1 Gallon	L
Zauschneria californica	California Fuschia	1 Gallon	L
HOUSING SITE VINES		SIZE	WUCOLS
BOTANICAL NAME	COMMON NAME		
Climbing Rose Sp.	Climbing Rose	5 Gallon	M
Trachelospermum jasminoides	Star Jasmine	5 Gallon	M
Vitis californica 'Roger's Red'	California Grape	5 Gallon	L
Wisteria sp.	Wisteria	5 Gallon	L

CANDIDATE STREET TREE IMAGES



SANTA ROSA WATER ORDINANCE CALCULATION

Maximum Applied Water Allowance Calculations for New and Rehabilitated Non-Residential Landscapes	
Enter value in Pale Blue Cells	
Tan Cells Show Results	
Messages and Warnings	
Click on the blue cell on right to Pick City Name	Santa Rosa
ET _a of City from Appendix A	42.00 ET _a (inches/year)
	640 Overhead Landscape Area (ft ²)
	16030 Drip Landscape Area (ft ²)
	SLA (ft ²)
Total Landscape Area	16,670
Results:	
(ET _a) x (0.62) x [(0.45 x LA) + (1.0 - 0.45) x SLA]	Gallons
	Cubic Feet
	HCF
	Acre-feet
	Millions of Gallons
MAWA calculation incorporating Effective Precipitation (Optional)	
Precipitation (Optional)	
ET _a of City from Appendix A	42 ET _a (inches/year)
Total Landscape Area	16,670 LA (ft ²)
Special Landscape Area	0 SLA (ft ²)
	38 Total annual precipitation (inches/year)
Enter Effective Precipitation	9.50 Eppt (in/yr)(25% of total annual precipitation)
Results:	
MAWA = [(ET _a - Eppt) x (0.62)] x [(0.45 x LA) + (1.0 - 0.45) x SLA]	151,155 Gallons
	20,206.58 Cubic Feet
	202.07 HCF
	0.46 Acre-feet
	0.15 Millions of Gallons

IRRIGATION STATEMENT

All irrigation will be designed to meet Santa Rosa Water Efficient Landscape Ordinance and will contain the following components:

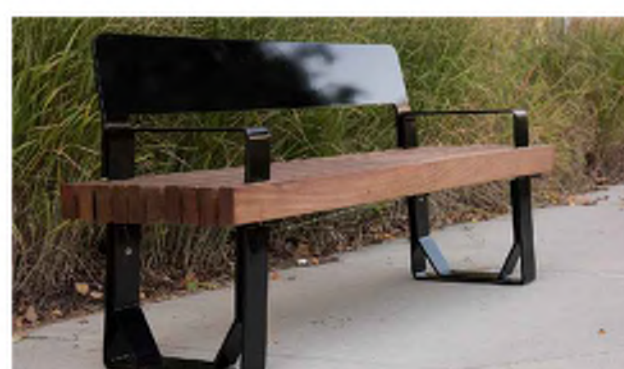
- The irrigation system will be designed and installed to meet irrigation efficiency described in the maximum applied water allowance.
- Weather based, self-adjusting irrigation controller with a rain sensor.
- Emitters to include-subsurface drip irrigation and tree bubblers.
- Limited spray irrigation is to be used.
- Trees to be placed on separate valves.
- Container planting to be placed on separate valves.
- Isolation valves to be installed at point of connection and before each valve or manifold.
- Pressure regulation to be installed.
- Separate valves to be installed to irrigate zones of medium and low water use plantings. No high water use plants are being installed in current design.
- Check valves will be installed to prevent low point drainage.

BIKE PARKING - FOR SHORT TERM PARKING



MODEL: MADRAX
MANUFACTURER: OPAL BIKE RACK
FINISH: STAINLESS STEEL
ITEMS: 7 TOTAL

FURNITURE - BENCHES



MODEL: FUSION SEATING, WITH BACK
MANUFACTURER: SITESCAPES
MATERIAL: STEEL AND IPE
COLOR: T.B.D.

FURNITURE - COURTYARDS



MOVABLE FURNITURE IN
COURTYARDS AND PLAZAS,
INCLUDING CHAIRS, TABLES, AND
UMBRELLAS.

Estimated Total Water Use						
Equation: ETWU = ET _a x 0.62 x [(PF x HA)/IE] + SLA; Considering precipitation ETWA = (ET _a -Eppt) x 0.62 x [(PF x HA)/IE] + SLA						
Enter values in Pale Blue Cells						
Tan Cells Show Results						
Messages and Warnings						
Irrigation Efficiency Default Value for overhead 0.75 and drip 0.81.						
Plant Water Use Type	Plant Factor					
Very Low	0 - 0.1					
Low	0.2 - 0.3					
Medium	0.4 - 0.6					
High	0.7 - 1.0					
SLA	1.0					
Hydrozone	Select System From the Dropdown List click on cell below	Plant Water Use Type (s) (low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft ²) Without SLA	Enter Irrigation Efficiency (IE)	(PF x HA (ft ²))/IE
LAWN	Overhead Spray	High	0.80	640	0.75	683
MEDIUM	Drip	Medium	0.50	3,200	0.81	1,975
LOW	Drip	Low	0.30	12,830	0.81	4,752
						7,410
		SLA		0		0
		Sum		16,670		
Results		MAWA = 151,155		ETWU = 149,308 Gallons		ETWU complies with MAWA
						19,960 Cubic Feet
						199.80 HCF
						0.46 Acre-feet
						0.15 Millions of Gallons