

GENERAL NOTES

- 1. REVIEW DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS CONSTRUCTIBLE AS SHOWN... 2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS... 3. INTERIOR DIMENSIONS ARE TO THE FACE OF STUD, UNLESS NOTED OTHERWISE... 4. MARK LOCATIONS OF PARTITIONS AND DOORS FOR REVIEW BY THE OWNER'S REPRESENTATIVE... 5. CONTRACTOR IS REQUIRED TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE OWNER'S REPRESENTATIVE TO REVIEW SPECIFIC REQUIREMENTS... 6. WHEN CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTED ON PLANS... 7. THE CONTRACTOR SHALL MAINTAIN, FOR THE ENTIRE DURATION OF THE WORK, ALL EXITS, EXIT/EGRESS LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES... 8. SAW CUTTING AND CORING LOCATIONS SHALL BE REVIEWED IN FIELD AND COORDINATED WITH THE OWNER'S REPRESENTATIVE... 9. DURING ALL PHASES OF WORK, DO NOT DISTURB THE DELIVERIES AND FUNCTIONS OF ADJACENT AND NEIGHBORING TENANTS... 10. 'TYP.' MEANS THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED... 11. VERIFY EXISTING AND PROVIDE AS NEEDED PORTABLE FIRE EXTINGUISHER(S) IN ACCORDANCE WITH NFPA 10, WITH UL LABEL AND A RATING OF NOT LESS THAN 2-A WITH 75 FT. TRAVEL DISTANCE TO ALL POSITIONS OF RESTAURANT OR AS DIRECTED BY THE FIRE DEPARTMENT FIELD INSPECTOR... 12. EXTERIOR BUILDING SIGNS SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL AS REQUIRED BY LOCAL AUTHORITIES... 13. PRIOR TO COMMENCEMENT OF WORK - OBTAIN A COPY OF THE BUILDING CONSTRUCTION PERMIT FROM THE AUTHORITY HAVING JURISDICTION (AHJ) AND A COPY OF THE SET OF CONSTRUCTION DOCUMENTS SIGNED AND SEALED BY A LICENSED DESIGN PROFESSIONAL FOR ALL DISCIPLINES AS REQUIRED AND USED TO OBTAIN THE BUILDING PERMIT... 14. IF REQUIRED BY LOCAL JURISDICTION - SRINKLER, LIFE SAFETY, AND FIRE ALARM SYSTEMS ARE TO BE DESIGNED AND SUBMITTED FOR REVIEW AND APPROVAL BY LOCALLY LICENSED DESIGN PROFESSIONAL... 15. BIDDERS REFER TO WENDY'S APPROVED SUPPLIER LIST TO OBTAIN NATIONAL ACCOUNT PHONE NUMBERS AND CONTACTS... 16. GC IS RESPONSIBLE FOR FINDING AND LOCATING ALL UNDERGROUND UTILITIES IN AREAS OF EXCAVATION PRIOR TO DIGGING...

CONSTRUCTION PRODUCT WARRANTY

CONSTRUCTION / PRODUCT WARRANTIES THESE CONSTRUCTION DOCUMENTS NOTE SPECIFIC PRODUCTS, DETAILS AND SPECIFICATIONS THAT WILL PROVIDE CONSTRUCTION / PRODUCT WARRANTIES FOR THE FOLLOWING AREAS OF CONSTRUCTION:

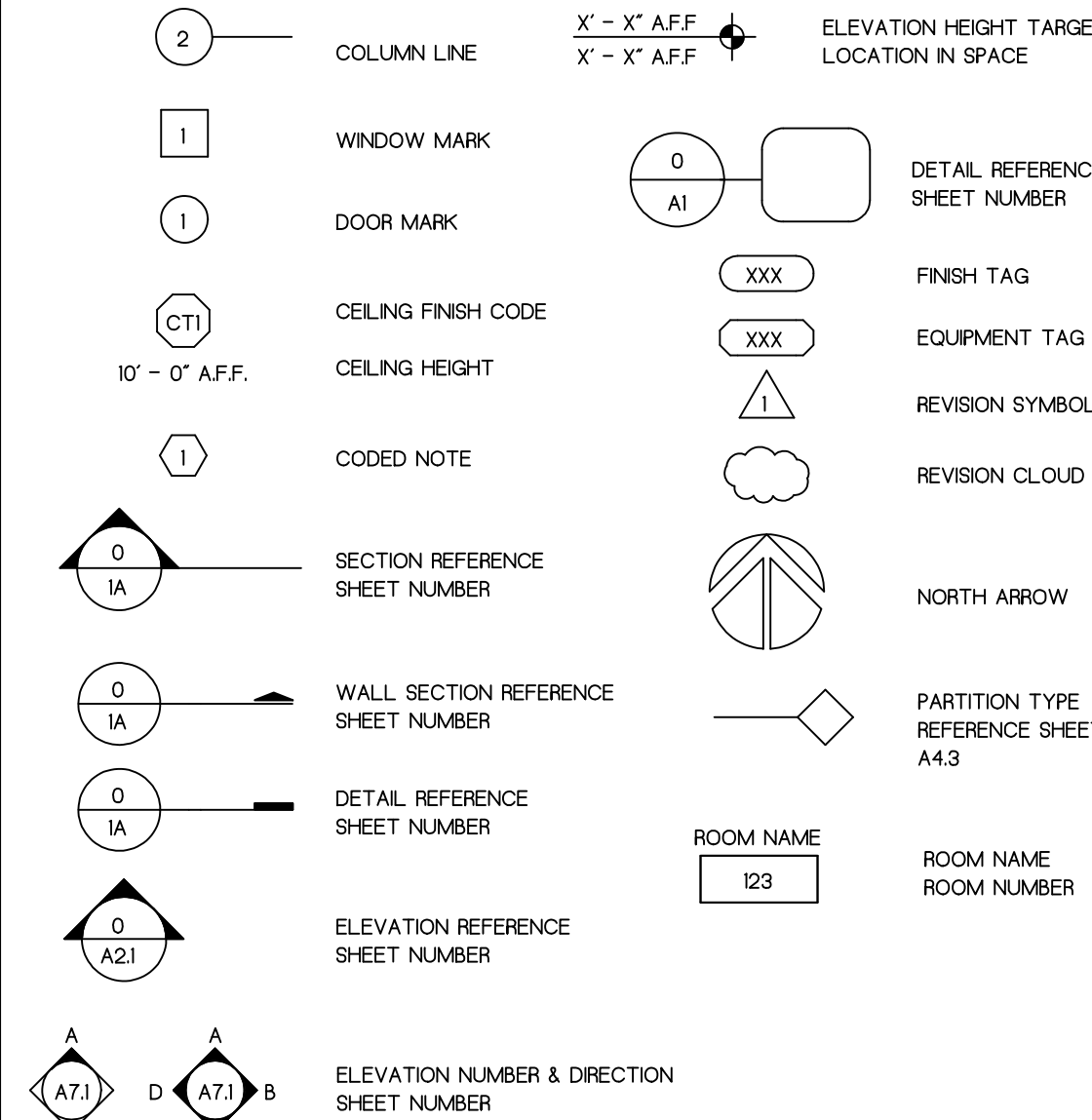
(SIDING (KNOTWOOD) ROOFING (DURO-LAST) INTERIOR TILE (LATICRETE))

ALTERING THESE DOCUMENTS MAY ALTER THE WARRANTY GUIDELINES. DURO-LAST AND LATICRETE WILL BE REQUIRED TO APPROVE THE DRAWINGS TO MAINTAIN THE WARRANTIES. THE CONTRACTOR IS ALSO RESPONSIBLE FOR CONTACTING, DURO-LAST AND LATICRETE FOR ON-SITE INSTALLATION INSPECTIONS OF EACH OF THE AREAS OF WORK.

ABBREVIATIONS

Table with 3 columns: Abbreviation, Description, and Additional Abbreviation. Includes entries like ACM (ALUMINUM COMPOSITE MATERIAL), KED (KITCHEN EQUIPMENT DISTRIBUTOR), LAM (LAMINATE), etc.

LEGEND



CODE DATA AND SQUARE FOOTAGE

Table listing applicable codes: CALIFORNIA BUILDING CODE 2019, CALIFORNIA MECHANICAL CODE 2019, CALIFORNIA PLUMBING CODE 2019, CALIFORNIA ELECTRICAL CODE 2019, CALIFORNIA ENERGY CODE 2019, CALIFORNIA FIRE CODE 2019, CALIFORNIA GREEN BUILDING CODE 2019, CALIFORNIA FIRE CODE 2019, CITY OF SANTA ROSA, CA MUNICIPAL CODE.

Table for occupancy group (A-2 RESTAURANT) and zoning (CG GENERAL COMMERCIAL). Includes structural design categories and building data table with columns for existing and remodeled areas.

Occupancy Calculations table with columns: Square Footage, Occupant Load Factor, Number of Occupants. Includes dining (free/fix), standing, kitchen, office, storage, and front/back of house assembly/employee occupant counts.

Table for grand total and existing posted occupant load. Grand total is 149 (119 SEATS). Existing posted occupant load is 117 persons.

Table for fire resistive requirements and fire sprinklers. Fire resistive requirements include exterior bearing wall, roof construction, and ceiling. Fire sprinklers are non-sprinklered.

Table for restroom requirements including occupant load per 2019 CPC Chapter 4 Table A and minimum plumbing facilities per Table 4221.2019 CPC Chapter 4.

Table for parking requirements, referring to parking analysis on sheet AS12.

PROJECT TEAM DIRECTORY

Table for owner (EASTBAY EQUITIES, INC) and contact information (399 TAYLOR BLVD #103, PLEASANT HILL, CA 94523).

Table for architect (GARY HAWKINS ARCHITECT) and contact information (3045 CERES AVE, STE 125, CHICO, CA 95973).

Table for general contractor (HOLT CONSTRUCTION) and contact information (37 BELLARMINIE CT, CHICO, CA 95928).

Table for another contact (JOE HOLT) with phone number (530) 899-1011 and email JHOLT@HOLTCONSTRUCTIONINC.COM.

THIS PROJECT IS THE REMODEL OF AN EXISTING WENDY'S RESTAURANT TO MEET CURRENT CORPORATE DESIGN STANDARDS. THIS WORK INCLUDES, BUT IS NOT LIMITED TO, IMPROVEMENTS TO THE BUILDING EXTERIOR FINISHES, REPLACEMENT OF INTERIOR FINISHES AND FURNITURE, AND BARRIER REMOVAL.

THE WORK INCLUDES ALL LABOR, MATERIALS, AND EQUIPMENT TO BUILD, FINISH, AND PROVIDE ALL SITE WORK AND UTILITIES FOR A PROPOSED REMODEL OF AN EXISTING RESTAURANT FOR THE 'OWNER'. THE WORK SHALL INCLUDE ALL ITEMS REQUIRED AS SHOWN ON THE DRAWINGS.

SHEET INDEX

Table with columns SHEET and DESCRIPTION. Includes sheets G11 (COVER SHEET), AS11 (SITE PLAN), AS12 (SITE PLAN - IMPROVEMENTS), D11 (FLOOR PLAN - AS BUILT/DEMO), D12 (REFLECTED CEILING PLAN - AS BUILT/DEMO), D21 (EXTERIOR ELEVATIONS - AS BUILT/DEMO), D22 (ROOF PLAN - AS BUILT/DEMO), A11 (FLOOR PLAN), A12 (REFLECTED CEILING PLAN), A13 (ROOF PLAN), and A23 (COLOR EXTERIOR ELEVATIONS).

VICINITY MAP

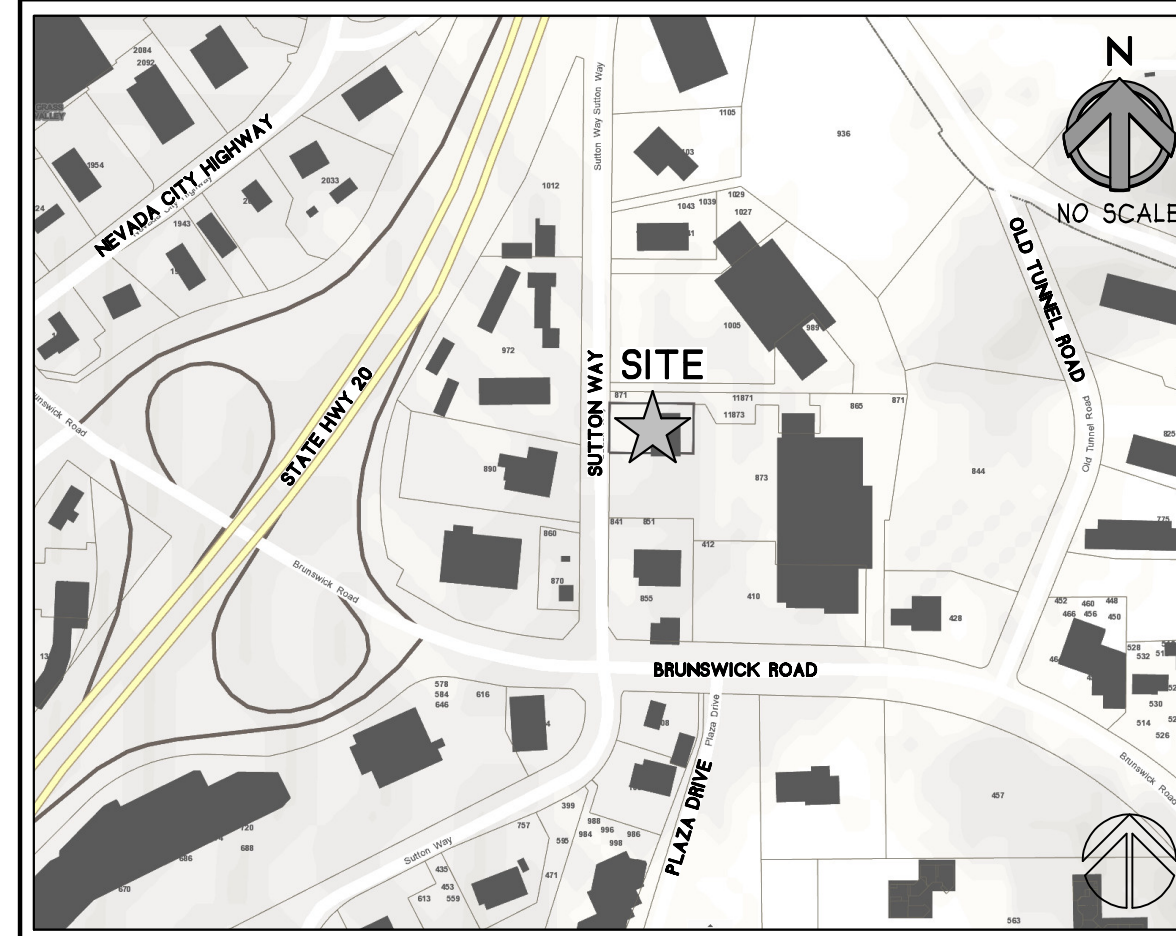
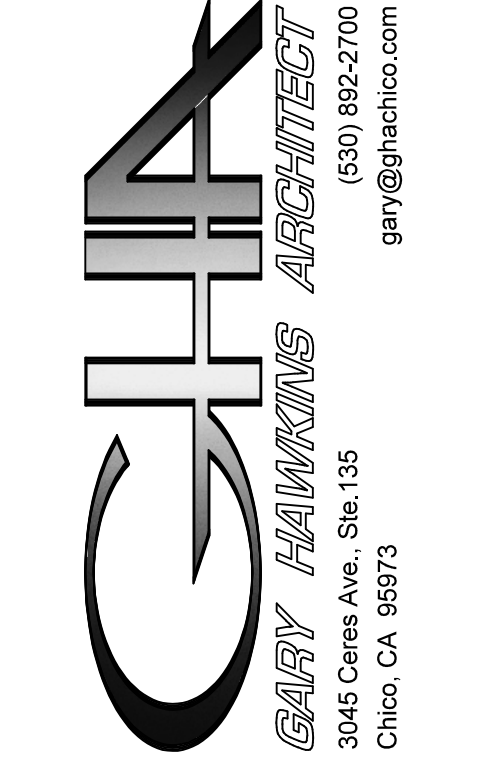


Table with site information: SITE NUMBER: 5535, BASE MODEL: CG3490, ASSET TYPE: FRANCHISEE, CLASSIFICATION: REMODEL, OWNER: EASTBAY EQUITIES, INC, BASE VERSION: 2019 FALL, UPGRADE CLASSIFICATION: REMODEL, PROJECT YEAR: 2020, FURNITURE PACKAGE: UM BRIGHT, DRAWING RELEASE: 2019 FALL.



PROJECT TYPE: CG3490 REMODEL

City of Santa Rosa Planning & Economic Development Department Feb 12, 2021 RECEIVED

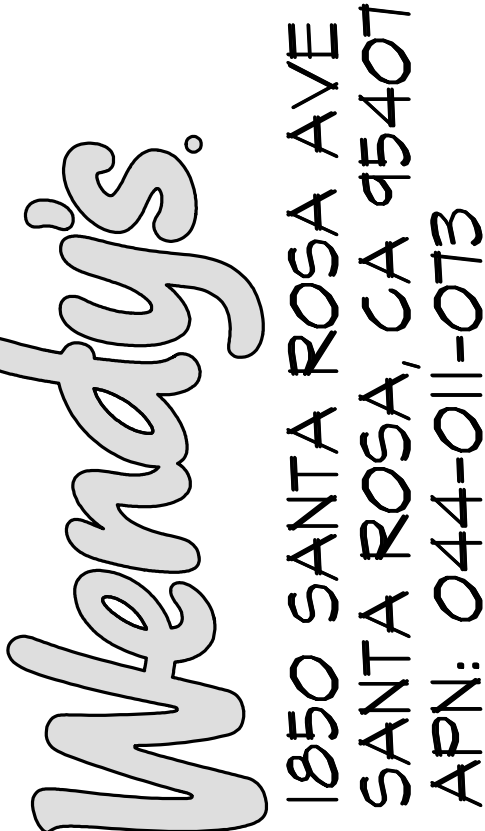
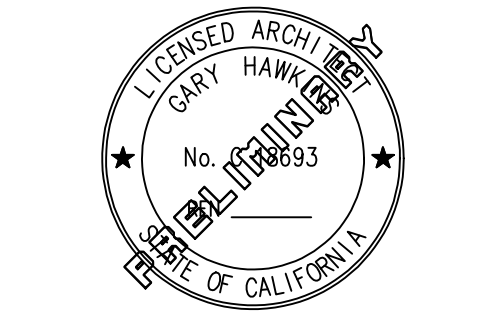


Table for revision history with columns REV, DATE, DESCRIPTION.

ISSUE DATE: 1/22/2021, PROJECT NUMBER: 20-025, DRAWN BY: G.C., CHECKED BY:



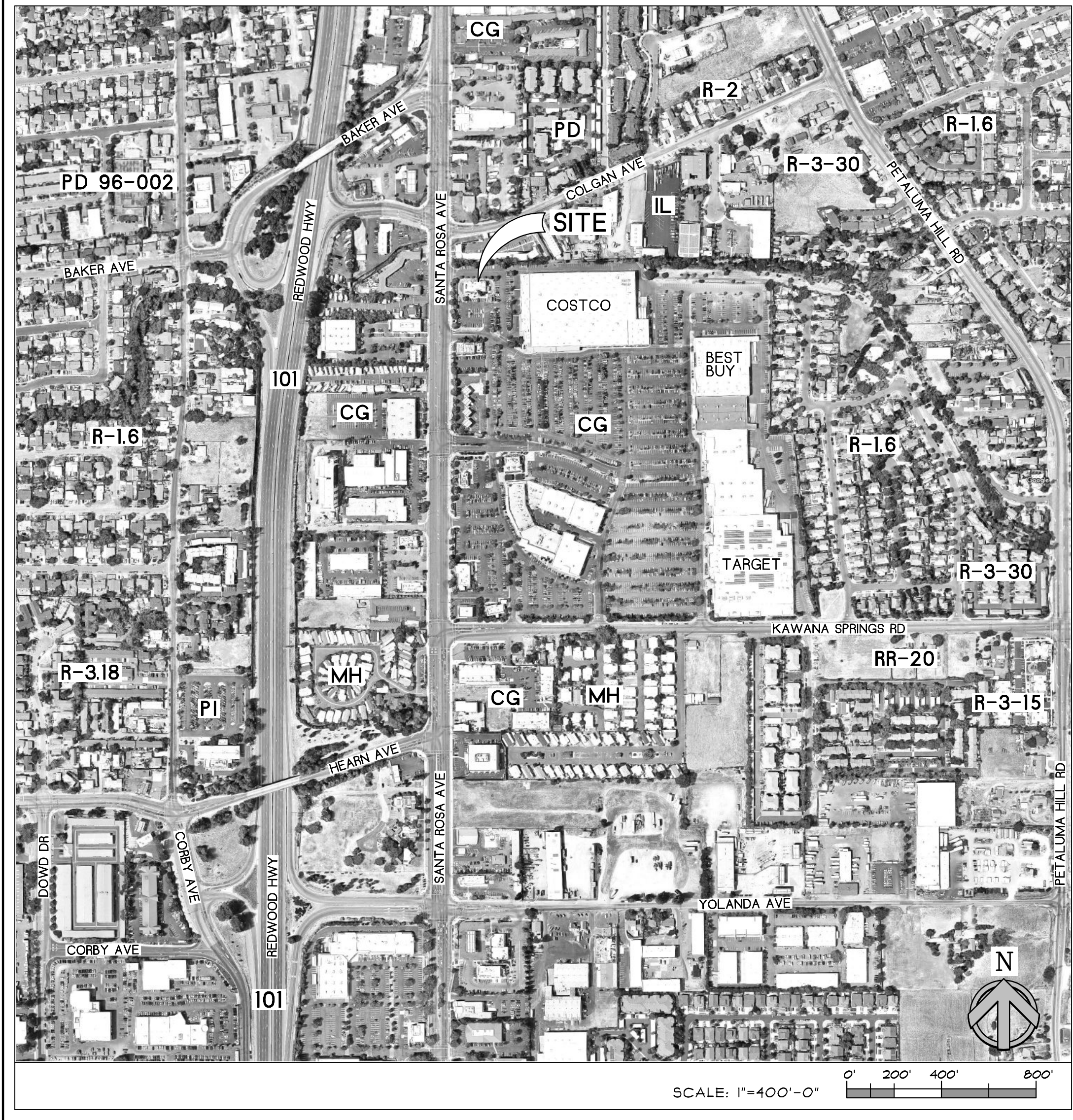
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SHEET NUMBER

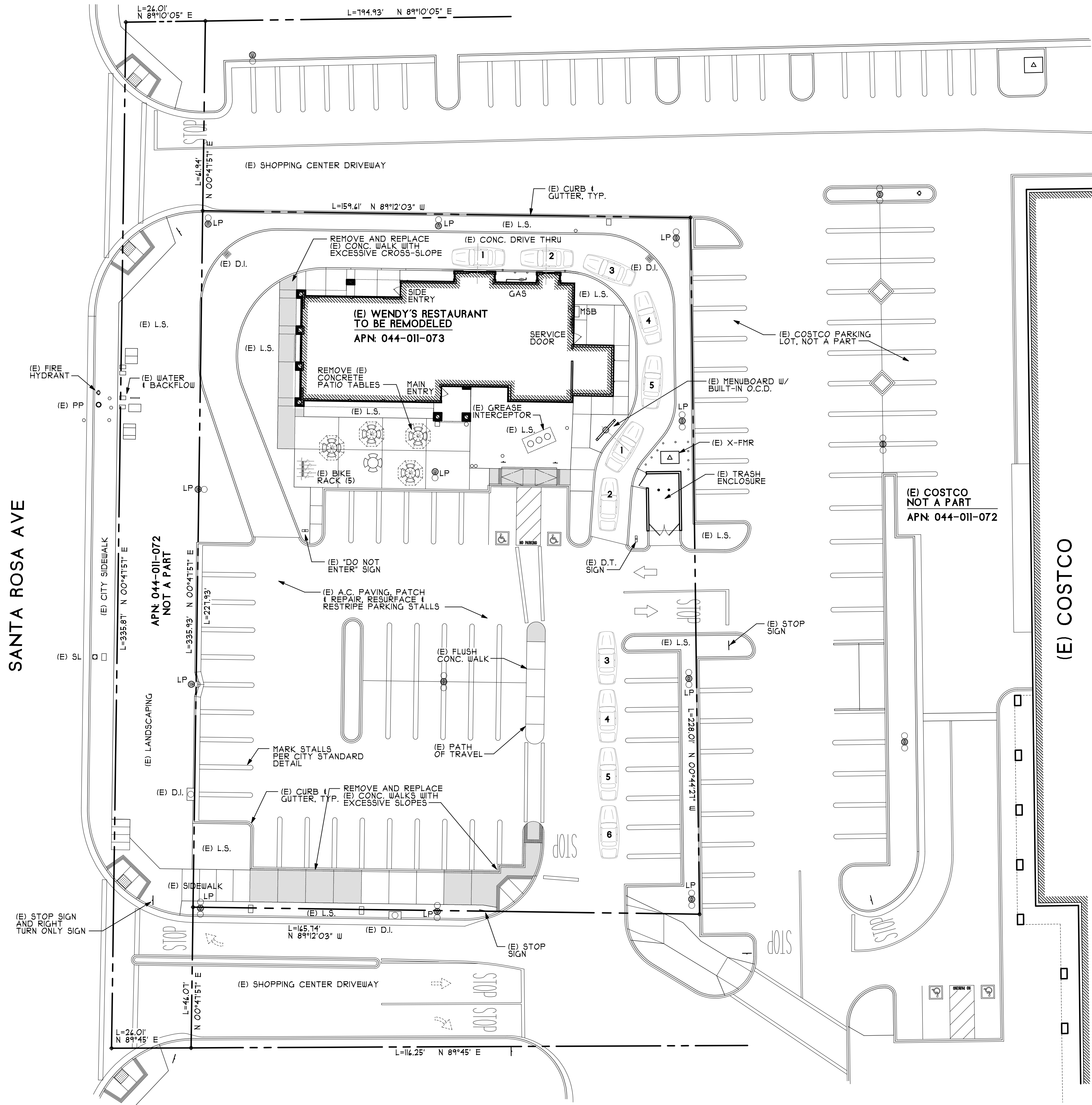
G1.1

Z:\CAD\DATA\2020 FILES\20-025 WENDY'S - SANTA ROSA\DRAWING FILES\20-025_00_G1_COVERSHEET_DS-4_1/22/2021_11:03

NEIGHBORHOOD CONTEXT MAP



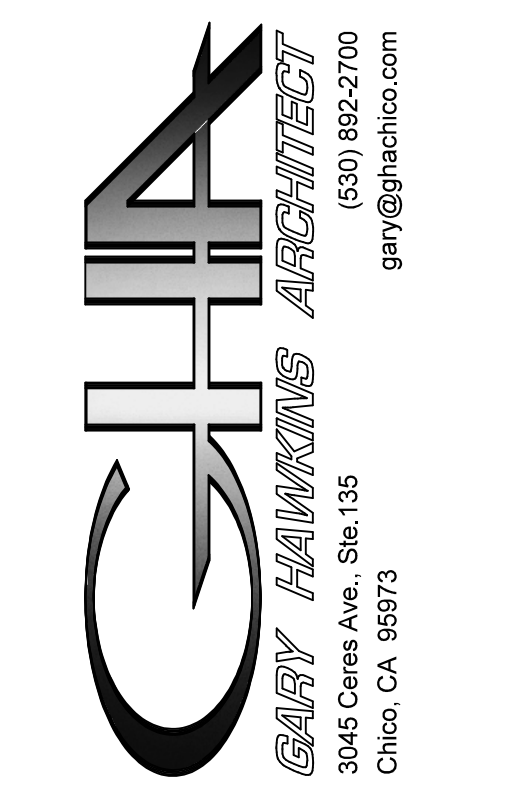
SANTA ROSA AVE



SITE AS BUILT & DEMOLITION PLAN
SCALE: 1"=20'-0"

- GENERAL NOTES**
- CONSTRUCTION SAFEGUARDS AND PEDESTRIAN PROTECTION SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF WORK IN COMPLIANCE WITH 2019 CBC CHAPTER 33.
 - REFER TO DRAWINGS BY LANDSCAPE ARCHITECT FOR NEW AND REPLACEMENT PLANTING, IRRIGATION, ETC.
 - COORDINATE WITH OWNER ADDITIONAL REPAIRS TO EXISTING CONCRETE CURBS, A.C. PAVING, ETC.
 - GRADES SHOWN ON PLAN ARE FOR REFERENCE. THE SITE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED GRADES PRIOR TO ANY WORK.

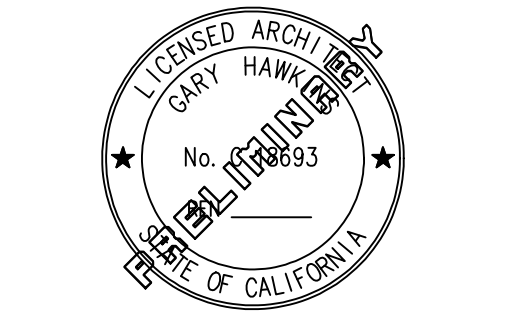
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BASE MODEL:	CG3490
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	REMODEL
OWNER:	EASTBAY EQUITIES, INC
BASE VERSION:	2019 FALL
UPGRADE CLASSIFICATION:	REMODEL
PROJECT YEAR:	2020
FURNITURE PACKAGE:	UM BRIGHT
DRAWING RELEASE	2019 FALL



PROJECT TYPE: CG3490
REMODEL

Wendy's
1850 SANTA ROSA AVE
SANTA ROSA, CA 95407
APN: 044-011-073

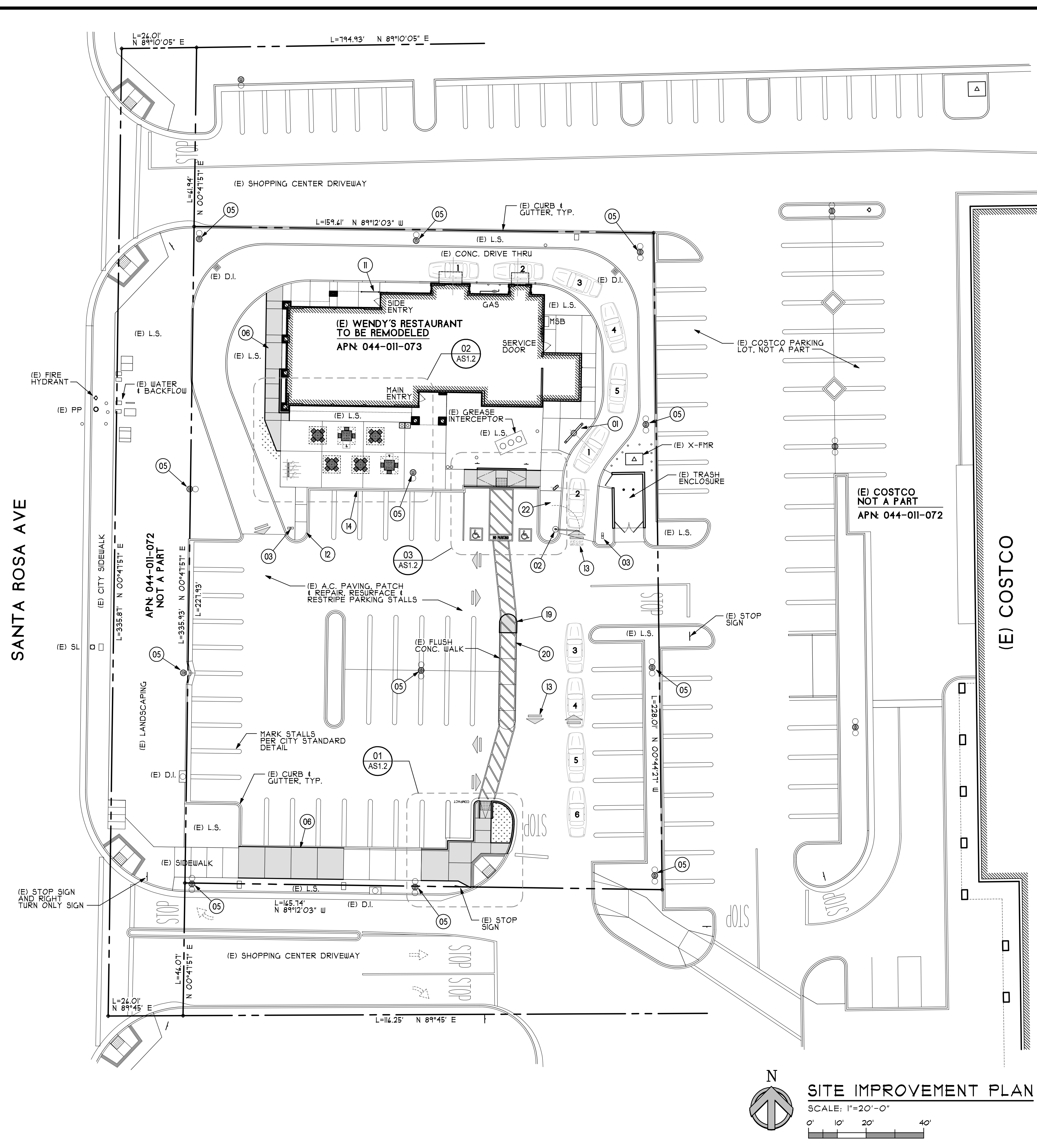
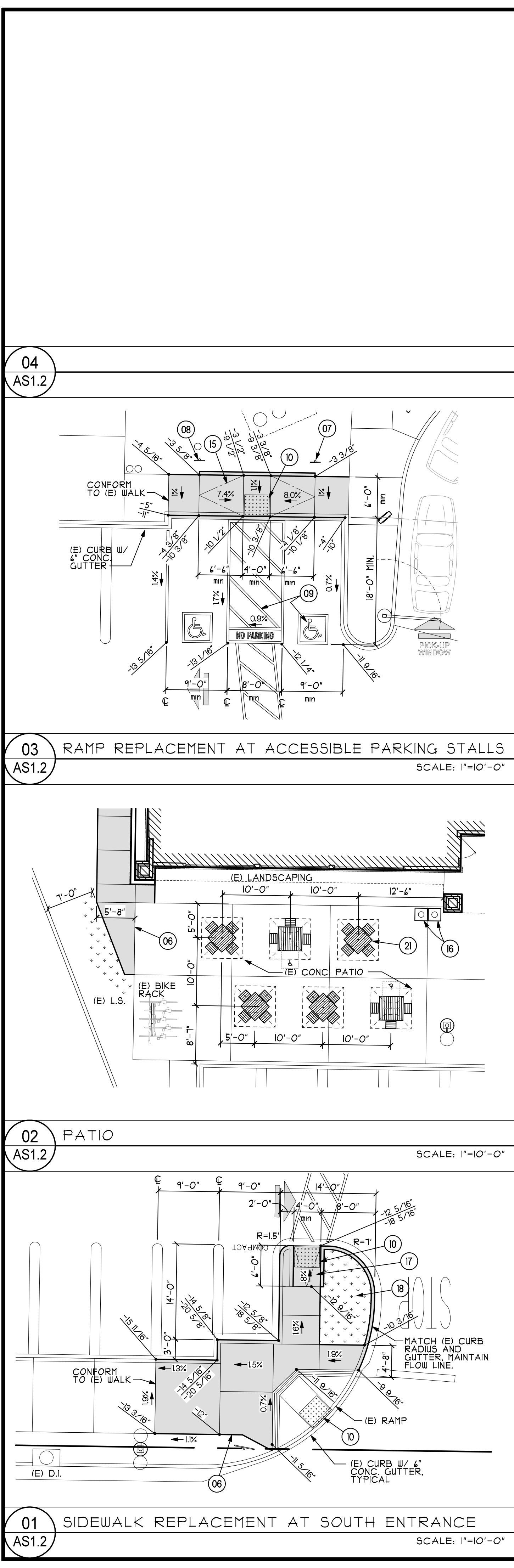
REV.	DATE	DESCRIPTION



SHEET NAME
SITE PLAN - AS BUILT/DEMO

SHEET NUMBER

AS1.1



- ### SITE PLAN KEYNOTES
- 01 (E) MENU BOARD w/ BUILT-IN ORDER CONFIRMATION DISPLAY; TO REMAIN.
 - 02 (N) HEIGHT RESTRICTION BAR, REFER TO DETAIL 01/AS21
 - 03 (E) OBSOLETE (BLUE) TOW-AWAY PARKING SIGNAGE (ON SHOPPING CENTER PROPERTY); REPLACE w/ CURRENT MUTCD (WHITE) COLOR; w/ LANDLORD, REFER TO DETAIL 04/AS21
 - 04 REFACE EXISTING DIRECTIONAL SIGNAGE. NEW SIGN FACES SHALL BE SUBMITTED FOR REVIEW AND APPROVAL UNDER SEPARATE PERMIT.
 - 05 (E) PARKING LOT AREA LIGHTPOLE, UPGRADE (E) FIXTURES TO LED, REFER TO LIGHTING PLAN FOR FIXTURE SPECIFICATIONS.
 - 06 REPLACE (E) CONCRETE WALKWAYS WHERE CROSS-SLOPE EXCEEDS 1:48 (2.08%). REFER TO DETAIL 04/AS21.
 - 07 NEW ACCESSIBLE PARKING SIGN AND \$250 MINIMUM FINE SIGN, REFER TO DETAIL 13/AS21
 - 08 NEW ACCESSIBLE PARKING SIGN, AND VAN SIGN, AND \$250 MIN. FINE SIGN, REFER TO DETAIL 13/AS21
 - 09 RESTRIPE ACCESSIBLE PARKING STALLS AND ACCESS AISLE. REFER TO DETAIL 18/AS21 FOR MARKINGS AND ADDITIONAL REQUIREMENTS. VERIFY THAT THE (E) A.C. PAVING AT THIS AREA SLOPES AT 1:48 MAX. IN ANY DIRECTION FOR A MINIMUM CLEAR DEPTH OF 18'-0".
 - 10 NEW DETECTABLE WARNING SURFACE, REFER TO DETAIL 11/AS21
 - 11 NEW SAFETY RAILING, REFER TO DETAIL 01/AS21
 - 12 GRIND DOWN CURB TO HEIGHT OF ADJACENT WALKWAY OR REPLACE WALKWAY SECTION TO ELIMINATE TRIPPING HAZARD.
 - 13 NEW PAVEMENT MARKING, SEE DETAIL 05/AS21
 - 14 PAINT WHEELSTOPS/CURBS "SAFETY YELLOW" WHERE UNGUARDED PEDESTRIAN WAY ADJOINS VEHICULAR WAY.
 - 15 REMOVE EXISTING PARALLEL CURB RAMP DUE TO EXCESSIVE CROSS-SLOPE AND INADEQUATE WIDTH AND REPLACE WITH NEW. REFER TO DETAIL 03/AS21
 - 16 NEW RECEPTACLES FOR TRASH AND RECYCLING IIF REQUIRED BY LOCAL JURISDICTION; RECYCLE DESIGN INFINITY SERIES.
 - 17 NEW PERPENDICULAR CURB RAMP, SEE DETAIL 01/AS22.
 - 18 NEW PLANTER, REFER TO DRAWINGS BY LANDSCAPE ARCHITECT.
 - 19 REPLACE (E) CONCRETE WALK WHERE CROSS-SLOPE EXCEEDS 1:48 (2%) BY ADJACENT A.C. PAVING FLUSH AND ENSURE PATH OF TRAVEL ACROSS PARKING LOT HAS 1:48 (2%) MAXIMUM CROSS-SLOPE AND 1:20 (5%) MAXIMUM RUNNING SLOPE. REFER TO DETAIL 04/AS21
 - 20 STRIPE PATH OF TRAVEL.
 - 21 REMOVE EXISTING CONCRETE PATIO TABLES AND BENCHES AND REPLACE WITH NEW FIXED PATIO TABLES 1 BENCHES. RECYCLE DESIGN INFINITY SERIES 4x 4-TOP TABLES AND 2x 3-TOP ACCESSIBLE TABLES WITH 4" SQ. UMBRELLAS.
 - 22 NEW PRE-SELL MENU BOARD, REFER TO DETAIL XX/XX

- ### MINIMUM EROSION AND SEDIMENT CONTROLS
- THE BMP'S (BEST MANAGEMENT PRACTICES) LISTED BELOW MUST BE IN PLACE AT ALL TIMES. THE BMP'S LISTED ARE MINIMUM REQUIREMENTS AND ADDITIONAL BMP'S COULD BE REQUIRED BASED ON SITE CONDITIONS.
1. ALL SOILS TRACKED ONTO PAVED ROADWAYS MUST BE CLEANED UP ON A DAILY BASIS. WHEN STREETS ARE WET OR DURING A RAIN EVENT THERE SHALL BE NO TRACKING OF SOILS ONTO THE STREET.
 2. ROCK BAGS (MINIMUM 2 PER SIDE) AT ALL DRAIN INLET LOCATIONS WITHIN 150' OF PROJECT SITE.
 3. INTERNAL FILTERS PLACED INSIDE EACH DRAIN INLET.
 4. TRASH BARS ACROSS THE BACK OF ALL DRAIN INLETS.
 5. ALL PAINT, FUEL, CONSTRUCTION PRODUCTS ETC. SHALL BE STORED IN A COVERED LOCATION AWAY FROM SIDEWALKS AND STORM DRAIN INLETS.
 6. PORTABLE CHEMICAL TOILETS IF PROVIDED ON SITE MUST BE KEPT OFF OF STREETS AND SIDEWALKS AND AT LEAST 50' FROM THE 50' FROM THE NEAREST STORM DRAIN INLET.
 7. ALL TRASH MUST BE COLLECTED AND STORED PROPERLY. DO NOT LET ITEMS SUCH AS DRYWALL, TUB BOXES, PAINT BUCKETS, CLEANING MATERIAL CONTAINERS ETC. COME IN CONTACT WITH ANY RAINFALL OR STORM WATER RUNOFF.
 8. PROVIDE A DESIGNATED AREA FOR CONCRETE WASHOUT. HAY BALES LINED WITH VISQUEEN MAY BE USED FOR THIS APPLICATION. ROLL-AWAY BINS MAY ALSO BE USED. ALL CONCRETE WASHOUT SYSTEMS SHALL BE PLACED OFF OF PAVED STREETS.
 9. AFTER INSTALLATION OF THE ABOVE ITEMS IS COMPLETE A MAINTENANCE PROGRAM NEEDS TO BE DEVELOPED TO INSURE THE CONTINUED EFFECTIVENESS OF YOUR BMP'S.
 10. COORDINATE WITH LOCAL BUILDING OFFICIAL FOR ANY ADDITIONAL REQUIREMENTS SPECIFIC TO THE JURISDICTION AND SITE.

PARKING

REQUIRED PARKING:
 1 STALL PER 15 GROSS FLOOR AREA
 3,481 SF / 15 = 41 STALLS REQUIRED
 ACCESSIBLE PARKING (TABLE 11B-208.2)
 26-50 STALLS = 2 ACCESSIBLE PARKING SPACES REQUIRED; 1 CAR, 1 VAN.

EXISTING CONDITIONS: 48 PARKING STALLS
 45 STANDARD
 1 COMPACT
 1 CAR ACCESSIBLE
 1 VAN ACCESSIBLE

IMPROVED SITE: 41 PARKING STALLS
 44 STANDARD
 1 COMPACT
 1 CAR ACCESSIBLE
 1 VAN ACCESSIBLE

BIKE PARKING:
 1 SPACE PER 4,000 SF
 5% OF REQUIRED VEHICLE SPACES MIN. PER CAL GREEN CODE
 EXISTING 'WAVE' BIKE RACK FITS (5) BICYCLES

- ### GENERAL NOTES
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 2. REFER TO DRAWINGS BY LANDSCAPE ARCHITECT FOR NEW AND REPLACEMENT PLANTING, IRRIGATION, ETC.
 3. COORDINATE WITH OWNER ADDITIONAL REPAIRS TO EXISTING CONCRETE CURBS, A.C. PAVING, ETC.
 4. GRADES SHOWN ON PLAN ARE FOR REFERENCE. THE SITE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED GRADES PRIOR TO ANY WORK.

SITE COVERAGE

SCALE: 1"=20'-0"

DESCRIPTION	EXISTING		REVISED	
	AREA (SQ FT)	%	AREA (SQ FT)	%
BUILDING FOOTPRINT (INC. ROOF OVERHANG)	3,952	10.6	3,944	10.7
TRASH ENCLOSURE	219	0.4	219	0.4
HARDSCAPE: VEHICULAR	22,340	60.3	22,186	59.8
HARDSCAPE: WALKS, PATIOS, CURBS	4,899	13.2	4,931	13.3
LANDSCAPING	5,468	15.3	5,716	15.4
TOTAL	37,018	100	37,018	100

SITE NUMBER: 5535
 BASE MODEL: CG3490
 ASSET TYPE: FRANCHISEE
 CLASSIFICATION: REMODEL
 OWNER: EASTBAY EQUITIES, INC
 BASE VERSION: 2019 FALL
 UPGRADE CLASSIFICATION: REMODEL
 PROJECT YEAR: 2020
 FURNITURE PACKAGE: UM BRIGHT
 DRAWING RELEASE: 2019 FALL

GARY HAWKINS ARCHITECT
 (530) 892-2700
 gary@gharchi.com

3045 Correa Ave., Ste. 135
 Chico, CA 95973

PROJECT TYPE: CG3490
 REMODEL

Wendy's
 1850 SANTA ROSA AVE
 SANTA ROSA, CA 95407
 APN: 044-011-073

REV. DATE	DESCRIPTION

ISSUE DATE: 1/22/2021
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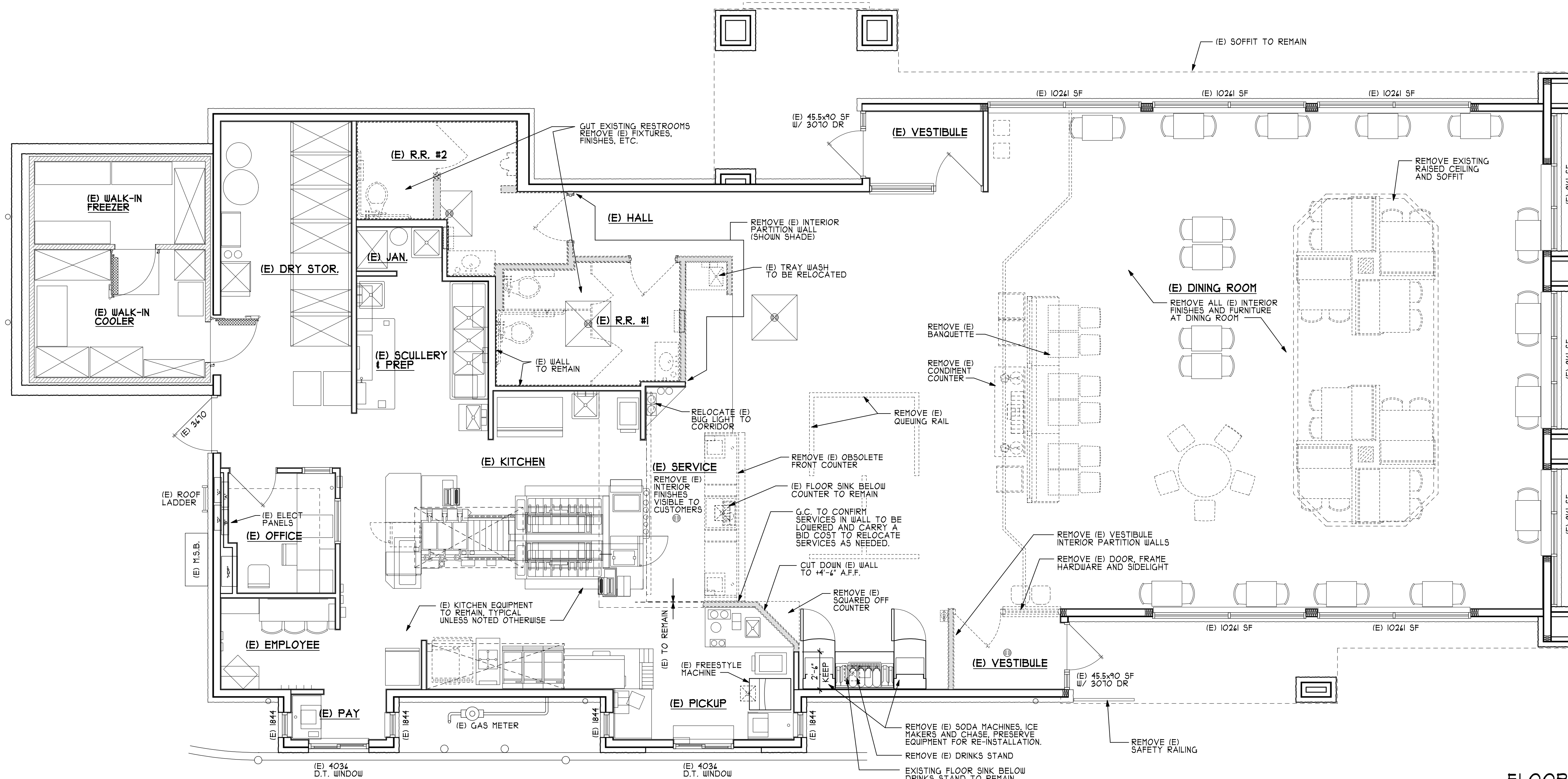
LICENSED ARCHITECT
 GARY HAWKINS
 No. 47403
 STATE OF CALIFORNIA

SHEET NAME
 SITE PLAN - IMPROVEMENTS

SHEET NUMBER
AS1.2

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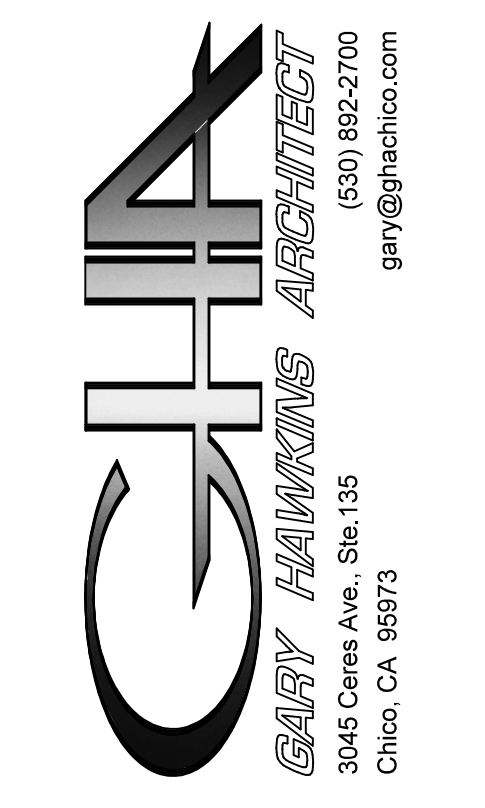


FLOOR PLAN AS BUILT / DEMOLITION
 SCALE: 1/4"=1'-0"
 0' 1' 2' 3' 4' 8'

DEMOLITION GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION WORK REQUIRED TO IMPLEMENT NEW WORK, AS SHOWN ON OTHER DRAWINGS. THIS PLAN INDICATES ONLY THE APPROXIMATE DEMOLITION REQUIRED FOR COMPLETION OF THIS REMODEL. EXISTING CONDITIONS NOT SHOWN OR NOTED SHALL REMAIN UNCHANGED UNLESS APPROVED BY THE ARCHITECT OR OWNER'S REPRESENTATIVE. EXISTING MATERIALS ADJACENT TO THE NEW CONSTRUCTION SHALL BE PATCHED, REPAIRED, AND FINISHED TO PROVIDE A SMOOTH, LEVEL, AND UNNOTICEABLE TRANSITION BETWEEN NEW AND EXISTING FINISHES.
2. VERIFY FIELD CONDITIONS AND NOTIFY WENDY'S REPRESENTATIVE AND ARCHITECT OF DISCREPANCIES BEFORE PROCEEDING WITH WORK.
3. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE(S). PROVIDE AND PLACE BRACING OR SHORING TO ENSURE SAFETY AND SUPPORT OF STRUCTURE. G.C. TO ASSUME LIABILITY FOR SUCH MOVEMENT, DAMAGE, OR INJURY.
4. CEASE OPERATIONS AND NOTIFY THE WENDY'S REPRESENTATIVE IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE COMPROMISED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
5. PROVIDE, ERECT, AND MAINTAIN BARRICADES, LIGHTING, AND GUARD RAILS AS REQUIRED BY APPLICABLE CODES TO PROTECT OCCUPANTS OF BUILDING, WORKERS, AND PEDESTRIANS.
6. BEFORE DISCONNECTING, REMOVING, AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION, NOTIFY THE LOCAL UTILITY COMPANY AND WENDY'S REPRESENTATIVE IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THE WORK.
7. HVAC SUBCONTRACTOR TO INSPECT EXISTING CONDITIONS PRIOR TO DEMOLITION, AND DETERMINE WHETHER COMPRESSOR REFRIGERANT LINES ARE PRESENT THAT MUST BE PROPERLY DRAINED (TO E.P.A. STANDARDS) PRIOR TO DEMOLITION.
8. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
9. EXCEPT WHERE NOTED OTHERWISE, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. IMMEDIATELY REMOVE FROM SITE.
10. DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK, INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING. PROTECT EXISTING FOUNDATIONS AND SUPPORTING STRUCTURAL MEMBERS.
11. PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
12. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, AT NO COST TO OWNER.
13. BURNING OF MATERIALS ON SITE IS NOT PERMITTED.
14. REMOVE DEMOLISHED MATERIALS, TOOLS, AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE IN CONDITION ACCEPTABLE TO WENDY'S REPRESENTATIVE.
15. WENDY'S VENDOR TO REMOVE F.F.I.E. PRIOR TO G.C.'S DEMOLITION START.
16. PRIOR TO BID SUBMISSION, THE G.C. SHALL MAKE A SITE VISIT TO REVIEW THE DEMOLITION REQUIREMENTS INCLUDING, BUT NOT LIMITED TO SITE WORK, EXTERIOR & INTERIOR OF THE EXISTING STRUCTURE, REVIEW M.E.P. DRAWINGS FOR DEMOLITION REQUIREMENTS / UTILITY RELOCATIONS, COORDINATE DEMOLITION WITH WENDY'S REPRESENTATIVE.
17. REMOVE EXISTING FLOOR & WALL FINISHES & SUBSTRATES AS NOTED ON DRAWINGS AND PREP FOR NEW FINISHES. REPLACE DAMAGED/ ROTTED EXISTING FRAMING.
18. DISCONNECT AND/OR REMOVE UNUSED / ABANDONED ELECTRICAL CIRCUITS FROM ELECTRICAL SOURCE PER CODE.
19. WHENEVER REQUIRED BY LOCAL AUTHORITIES AND AS DIRECTED BY WENDY'S REPRESENTATIVE UNUSED UTILITIES SHALL BE REMOVED IN THEIR ENTIRETY.
20. REMOVE PLUMBING LINES AND FIXTURES AS INDICATED ON DRAWINGS. CAP ABANDONED UTILITIES.
21. EXISTING HVAC DUCT WORK & DIFFUSERS, RTU'S AND EXHAUST FANS TO REMAIN, TYPICAL UNLESS NOTED OTHERWISE ON PLAN.
22. EXISTING ELECTRICAL WIRING, BREAKERS & PANELS TO REMAIN, TYPICAL UNLESS NOTED OTHERWISE ON PLAN. COORDINATE WITH ELECTRICAL CONTRACTOR FOR EXTENT OF ELECTRICAL SERVICE WORK.
23. DEMOLISH ITEMS NOTED AS NOTED ON PLAN.
24. EXISTING ROOF STRUCTURE, ROOF DECK, ROOF INSULATION AND ROOFING TO REMAIN. INSPECT FOR LEAKS, DAMAGE, ETC.

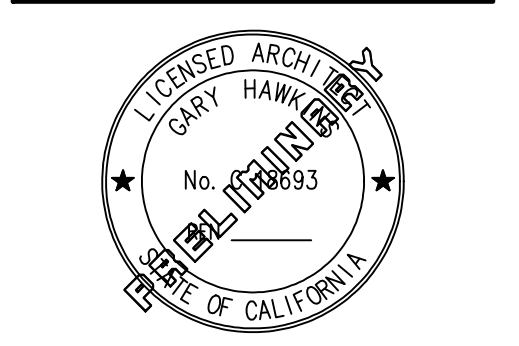
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FURNITURE PACKAGE:	UM BRIGHT
DRAWING RELEASE:	2019 FALL



PROJECT TYPE: CG3490
 REMODEL

Wendy's
 1850 SANTA ROSA AVE
 SANTA ROSA, CA 95407
 APN: 044-011-07B

REV.	DATE	DESCRIPTION



SHEET NAME
 FLOOR PLAN - DEMO
 SHEET NUMBER

D1.1

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1850 SANTA ROSA AVE
SANTA ROSA, CA 95407
APN: 044-011-07B

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DRAWN BY: G.C.
CHECKED BY:



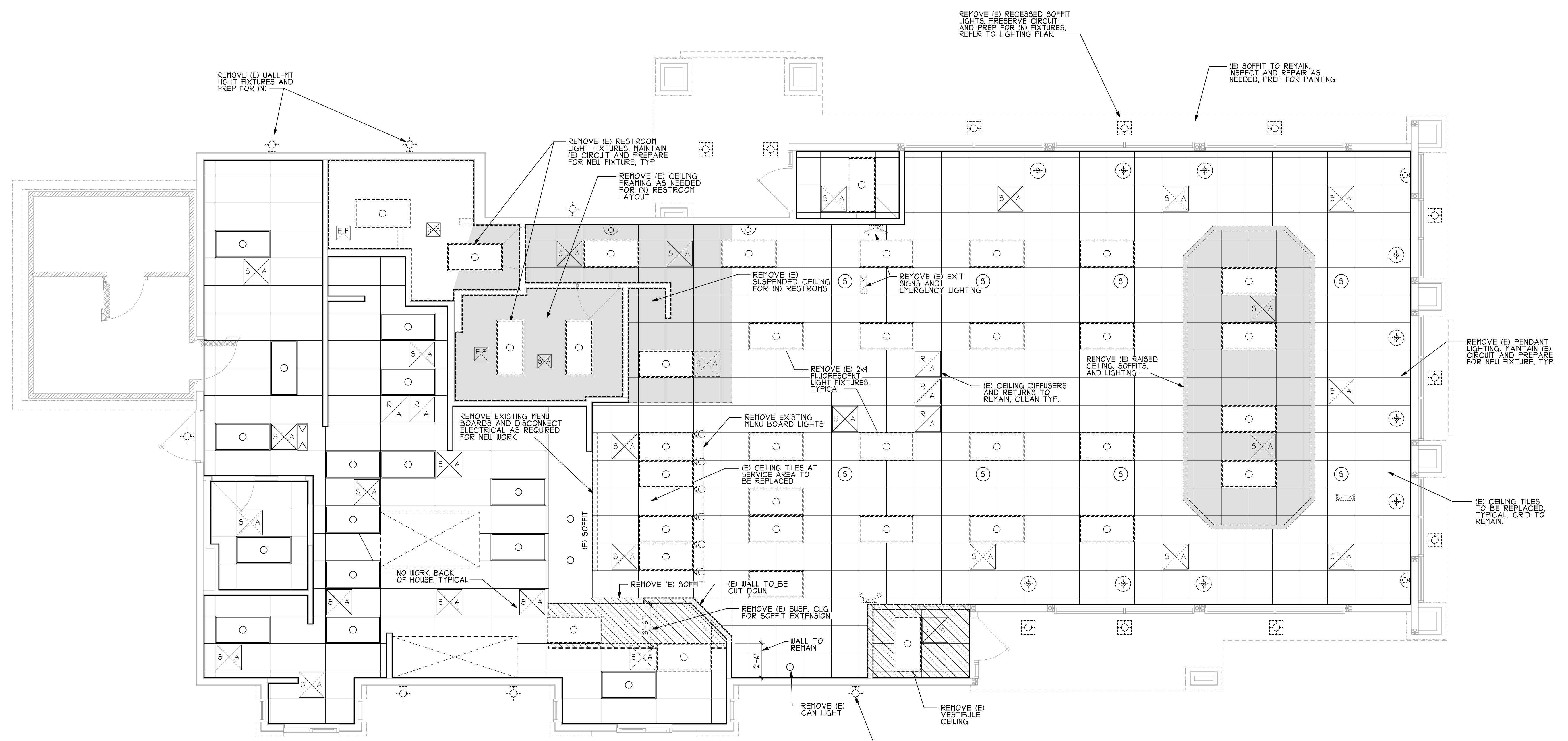
SHEET NAME:
REFLECTED CEILING PLAN AS BUILT/DEMO

SHEET NUMBER

D1.2

DEMOLITION GENERAL NOTES

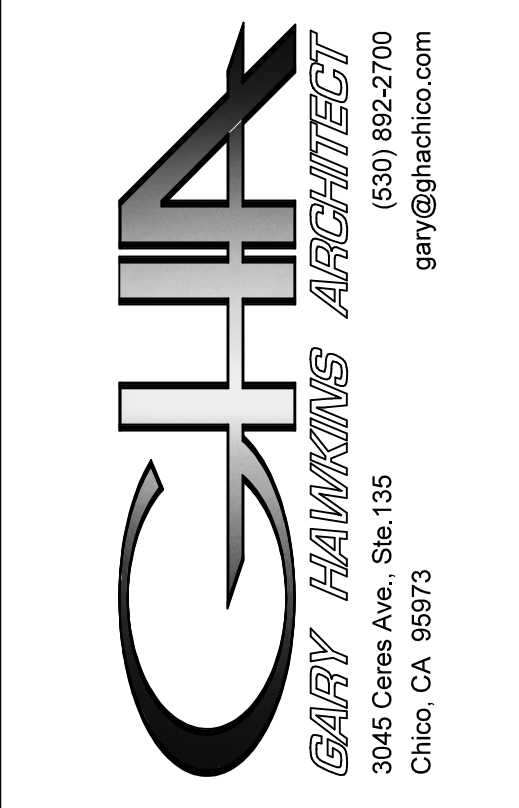
- I. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION WORK REQUIRED TO IMPLEMENT NEW WORK, AS SHOWN ON OTHER DRAWINGS. THIS PLAN INDICATES ONLY THE APPROXIMATE DEMOLITION REQUIRED FOR COMPLETION OF THIS REMODEL. EXISTING CONDITIONS NOT SHOWN OR NOTED SHALL REMAIN UNCHANGED UNLESS APPROVED BY THE ARCHITECT OR OWNER'S REPRESENTATIVE. EXISTING MATERIALS ADJACENT TO THE NEW CONSTRUCTION SHALL BE PATCHED, REPAIRED, AND FINISHED TO PROVIDE A SMOOTH, LEVEL, AND UNNOTICEABLE TRANSITION BETWEEN NEW AND EXISTING FINISHES.
2. VERIFY FIELD CONDITIONS AND NOTIFY WENDY'S REPRESENTATIVE AND ARCHITECT OF DISCREPANCIES BEFORE PROCEEDING WITH WORK.
3. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE(S). PROVIDE AND PLACE BRACING OR SHORING TO ENSURE SAFETY AND SUPPORT OF STRUCTURE. G.C. TO ASSUME LIABILITY FOR SUCH MOVEMENT, DAMAGE, OR INJURY.
4. CEASE OPERATIONS AND NOTIFY THE WENDY'S REPRESENTATIVE IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE COMPROMISED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
5. PROVIDE, ERECT, AND MAINTAIN BARRICADES, LIGHTING, AND GUARD RAILS AS REQUIRED BY APPLICABLE CODES TO PROTECT OCCUPANTS OF BUILDING, WORKERS, AND PEDESTRIANS.
6. BEFORE DISCONNECTING, REMOVING, AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION, NOTIFY THE LOCAL UTILITY COMPANY AND WENDY'S REPRESENTATIVE IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THE WORK.
7. HVAC SUBCONTRACTOR TO INSPECT EXISTING CONDITIONS PRIOR TO DEMOLITION, AND DETERMINE WHETHER COMPRESSOR REFRIGERANT LINES ARE PRESENT THAT MUST BE PROPERLY DRAINED (TO E.P.A. STANDARDS) PRIOR TO DEMOLITION.
8. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
9. EXCEPT WHERE NOTED OTHERWISE, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. IMMEDIATELY REMOVE FROM SITE.
10. DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK, INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING. PROTECT EXISTING FOUNDATIONS AND SUPPORTING STRUCTURAL MEMBERS.
- II. PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
12. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, AT NO COST TO OWNER.
13. BURNING OF MATERIALS ON SITE IS NOT PERMITTED.
14. REMOVE DEMOLISHED MATERIALS, TOOLS, AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE IN CONDITION ACCEPTABLE TO WENDY'S REPRESENTATIVE.
15. WENDY'S VENDOR TO REMOVE F.F.I.E. PRIOR TO G.C.'S DEMOLITION START.
16. PRIOR TO BID SUBMISSION, THE G.C. SHALL MAKE A SITE VISIT TO REVIEW THE DEMOLITION REQUIREMENTS INCLUDING, BUT NOT LIMITED TO SITE WORK, EXTERIOR & INTERIOR OF THE EXISTING STRUCTURE, REVIEW M.E.P. DRAWINGS FOR DEMOLITION REQUIREMENTS / UTILITY RELOCATIONS, COORDINATE DEMOLITION WITH WENDY'S REPRESENTATIVE.
17. REMOVE EXISTING FLOOR & WALL FINISHES & SUBSTRATES AS NOTED ON DRAWINGS AND PREP FOR NEW FINISHES. REPLACE DAMAGED/ROTTED EXISTING FRAMING.
18. DISCONNECT AND/OR REMOVE UNUSED / ABANDONED ELECTRICAL CIRCUITS FROM ELECTRICAL SOURCE PER CODE.
19. WHENEVER REQUIRED BY LOCAL AUTHORITIES AND AS DIRECTED BY WENDY'S REPRESENTATIVE UNUSED UTILITIES SHALL BE REMOVED IN THEIR ENTIRETY.
20. REMOVE PLUMBING LINES AND FIXTURES AS INDICATED ON DRAWINGS. CAP ABANDONED UTILITIES.
21. EXISTING HVAC DUCT WORK & DIFFUSERS, RTU'S AND EXHAUST FANS TO REMAIN, TYPICAL UNLESS NOTED OTHERWISE ON PLAN.
22. EXISTING ELECTRICAL WIRING, BREAKERS & PANELS TO REMAIN, TYPICAL UNLESS NOTED OTHERWISE ON PLAN. COORDINATE WITH ELECTRICAL CONTRACTOR FOR EXTENT OF ELECTRICAL SERVICE WORK.
23. DEMOLISH ITEMS NOTED AS NOTED ON PLAN.
24. EXISTING ROOF STRUCTURE, ROOF DECK, ROOF INSULATION AND ROOFING TO REMAIN. INSPECT FOR LEAKS, DAMAGE, ETC.



REFLECTED CEILING PLAN AS BUILT / DEMOLITION
SCALE: 1/4"=1'-0"
0' 1' 2' 3' 4' 8'

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SITE NUMBER:	5535
BASE MODEL:	CG3490
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	REMODEL
OWNER:	EASTBAY EQUITIES, INC
BASE VERSION:	2019 FALL
UPGRADE CLASSIFICATION:	REMODEL
PROJECT YEAR:	2020
FURNITURE PACKAGE:	UM BRIGHT
DRAWING RELEASE:	2019 FALL

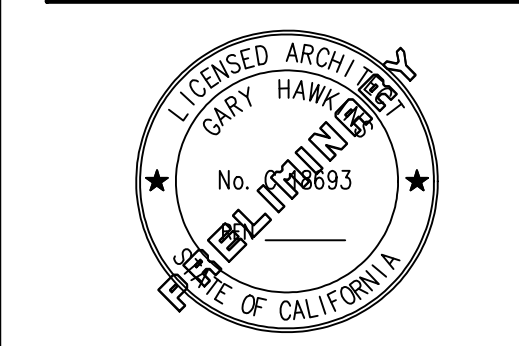


PROJECT TYPE: CG3490
REMODEL

Wendy's
1850 SANTA ROSA AVE
SANTA ROSA, CA 95407
APN: 044-011-07B

REV.	DATE	DESCRIPTION

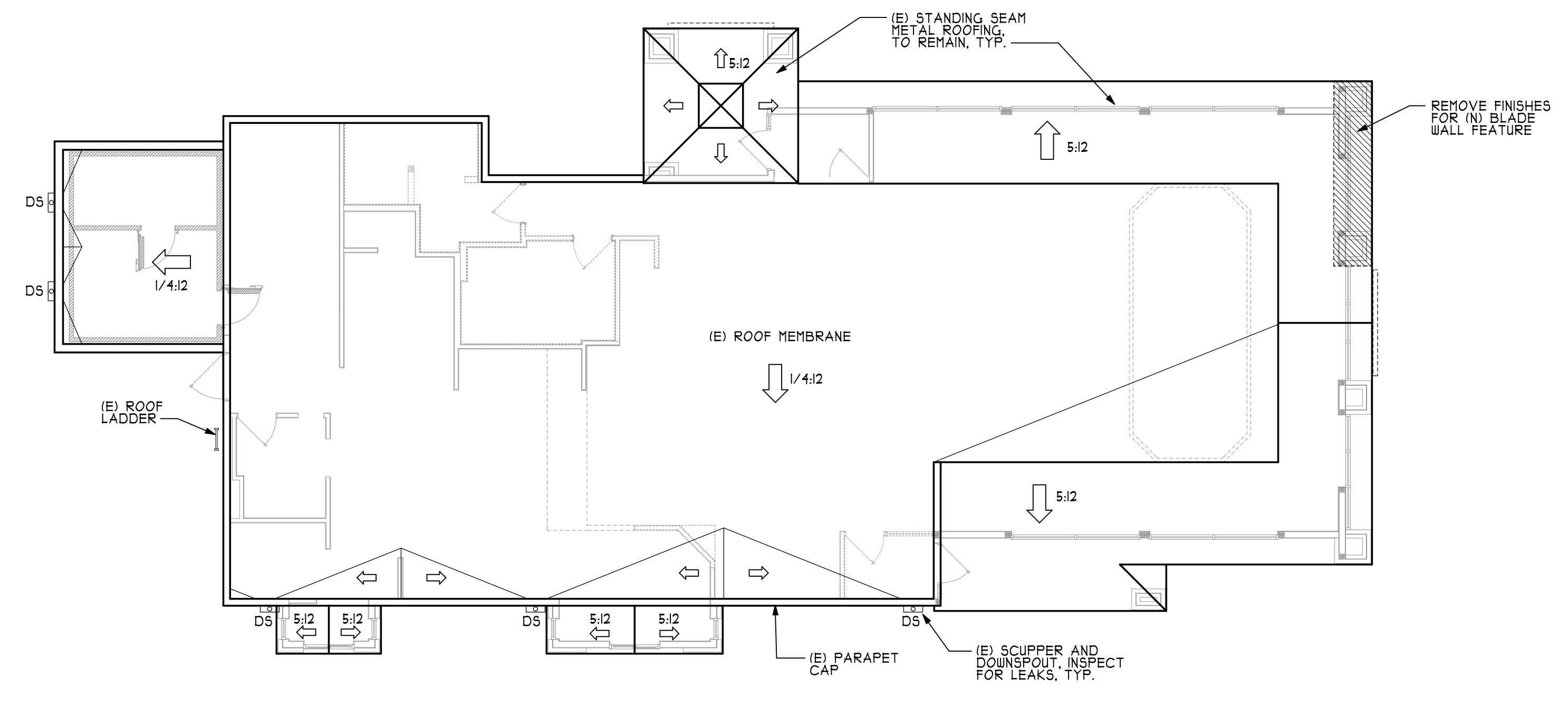
ISSUE DATE: 1/22/2021
PROJECT NUMBER: 20-025
DRAWN BY: G.C.
CHECKED BY:



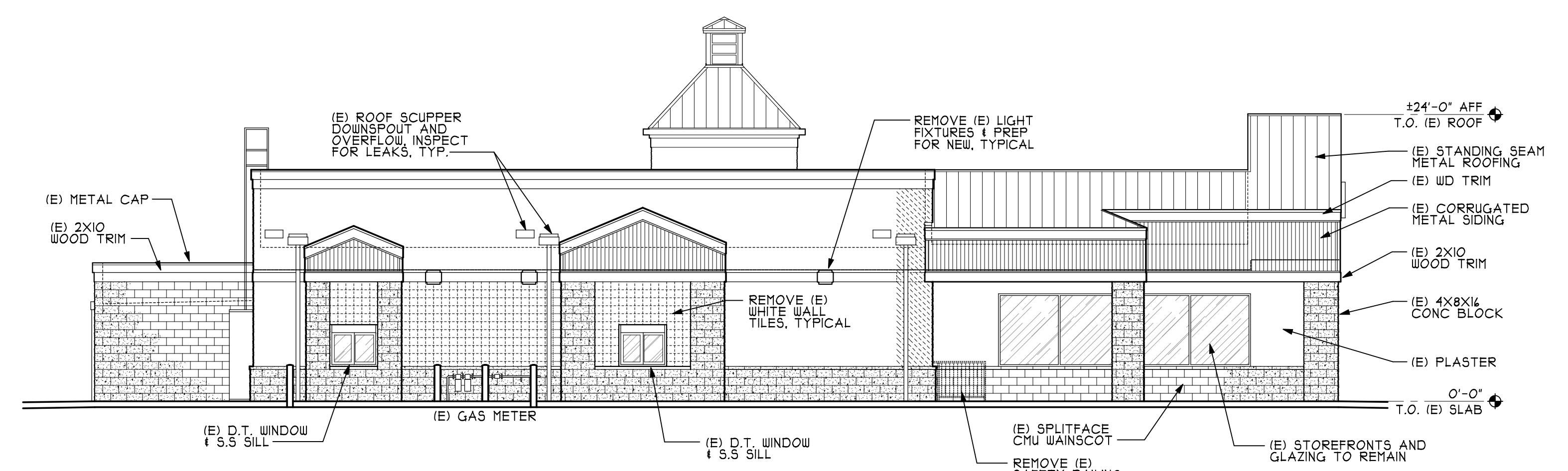
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EXTERIOR ELEVATIONS AS BUILT/DEMO

SHEET NUMBER:

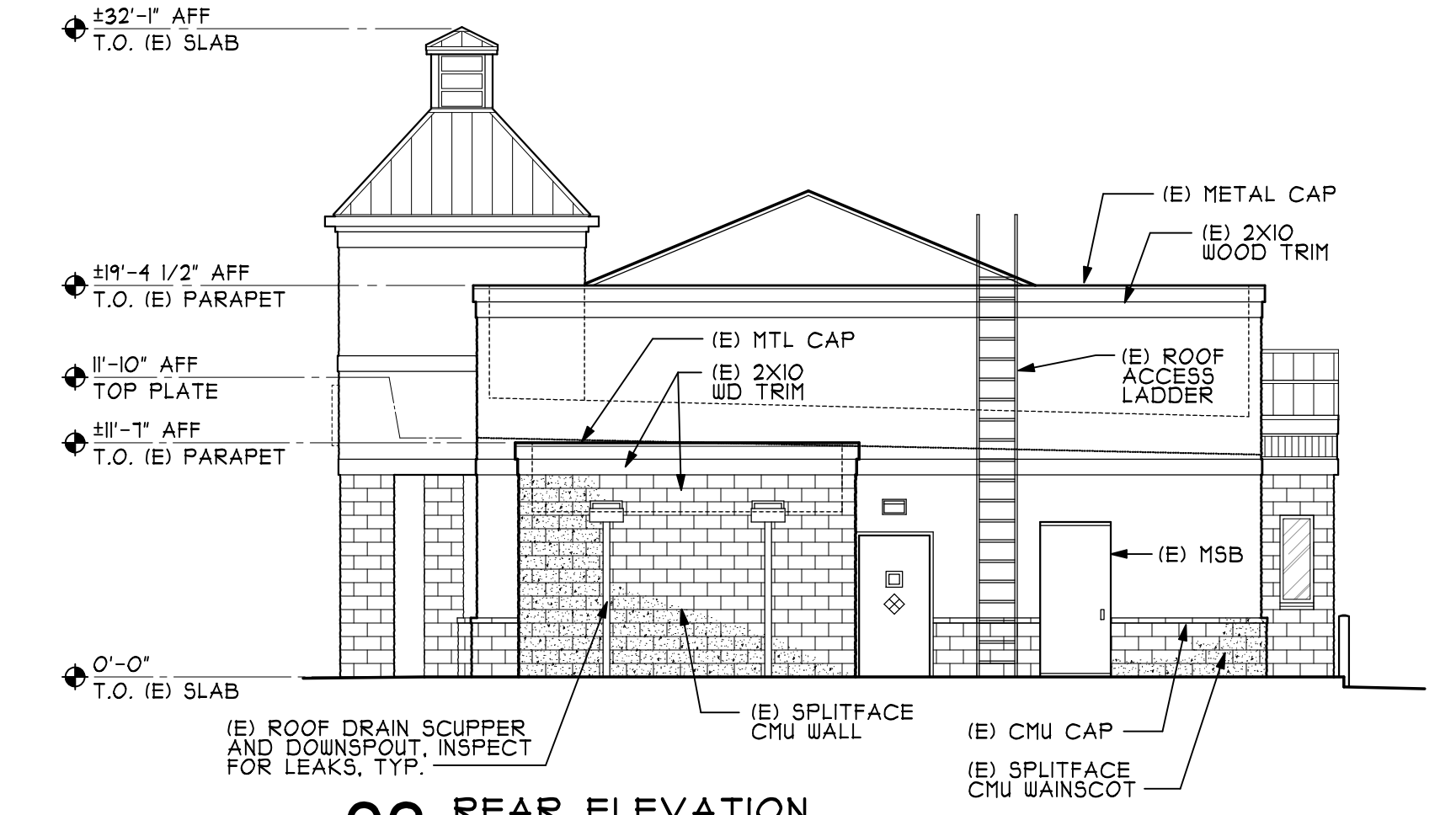
D2.1



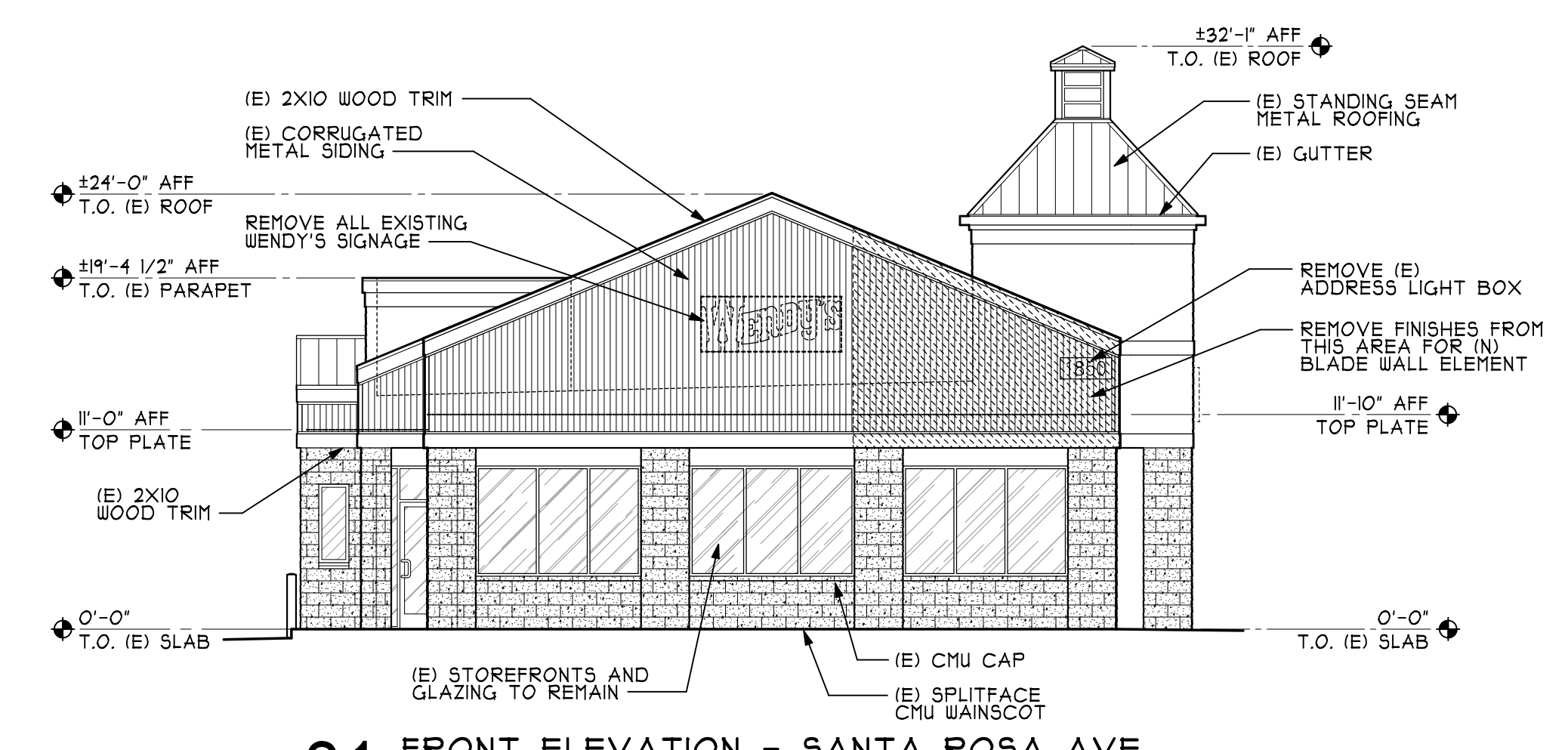
ROOF PLAN - AS BUILT / DEMO
SCALE: 1/8"=1'-0"
0' 2' 4' 8' 16'



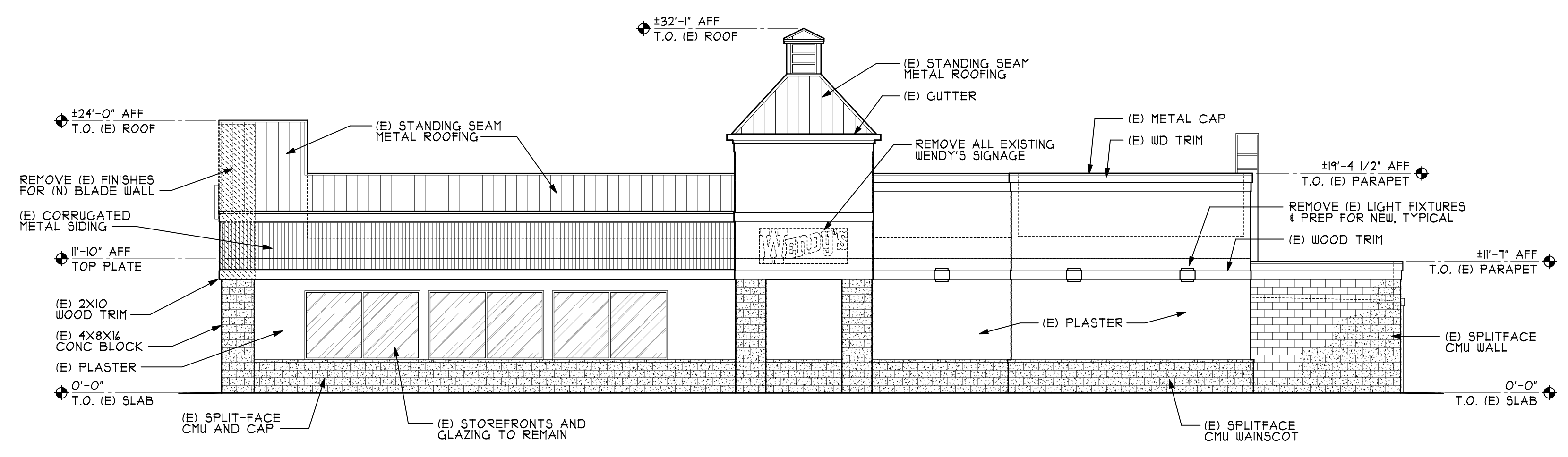
04 LEFT ELEVATION - DRIVE THRU
SCALE: 1/8"=1'-0"



03 REAR ELEVATION
SCALE: 1/8"=1'-0"



01 FRONT ELEVATION - SANTA ROSA AVE
SCALE: 1/8"=1'-0"



02 RIGHT ELEVATION
SCALE: 1/8"=1'-0"

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MARK	QTY.	DESCRIPTION OF EQUIPMENT	REMARKS	FURNISHED BY	INSTALLED BY
A0202	-	BEVERAGE SYSTEM SELF-SERVE DINING ROOM - FREESTYLE	EXISTING	O	O
A0501	1	ICED TEA DISPENSER-NARROW OVAL	AT DRINK STAND	ES	ES
A0502	1	ICED TEA DISPENSER-ROUNDED FRONT (3 GALLON)	AT DRINK STAND	ES	ES
C0401	2	NAPKIN DISPENSER	AT CONDIMENT STAND	ES	ES
C1502	2	KETCHUP PUMP	AT CONDIMENT STAND	ES	ES
C1801	2	LID/STRAW DISPENSER	AT DRINK STAND	ES	ES
D0100	1	RUNNER SCREEN		O	O
D0200	2	POS TERMINAL		O	O
DOXXK	3	SELF-ORDER KIOSK		O	O
EHxx	1	FRONT COUNTER	VERIFY REFRESH OR REPLACE (E) FRONT COUNTER	ES	ES
E4302	-	BAKERY CASE		ES	ES
GH02	-	CHASE AT FREESTYLE	EXISTING	ES	ES
N0202	2	CASH DROP BOX		ES	ES
Q01**	-	REMOTE CONDENSING UNIT - DINING ROOM (ROOF)	EXISTING	ES	ES
QP0222	-	ICE MACHINE DINING ROOM	EXISTING	ES	ES
R0102	0	TRASH RECEPTACLE (1 BIN ENCLOSEURE)		ES	ES
R0105	2	TRASH RECEPTACLE (2 BIN ENCLOSEURE)		ES	ES
R0302	1	DRINK & CONDIMENT STAND (W/ DRAIN)		ES	ES
R0510	62	CHAR - STANDARD HEIGHT		ES	ES
R0511	8	CHAR - BAR HEIGHT		ES	ES
R0512	9	STOOL: 24" HIGH		ES	ES

VERIFY WITH OWNER STATIC OR DIGITAL MENU BOARDS

O=OWNER GC=GENERAL CONTRACTOR EC=ELECTRICAL CONTRACTOR PC=PLUMBING CONTRACTOR ES=EQUIPMENT SUPPLIER

MARK	QTY.	DESCRIPTION OF EQUIPMENT	REMARKS	FURNISHED BY	INSTALLED BY
R1603	2	HIGH CHAIRS		ES	ES
R1705	2	BOOSTER CHAIR		ES	ES
R2002	15	TABLE TOP: 24"x24"	2 TOP TABLE	ES	ES
R2016	12	TABLE TOP: 20"x42"	4 TOP TABLE	ES	ES
R2016S	1	TABLE TOP: 20"x42" - STENCIL	4 TOP TABLE	ES	ES
R2027	3	TABLE TOP: 30" DIAMETER	ROUND TABLE	ES	ES
R2046	1	COMMUNITY W-TABLE (CANTILEVERED, 8 SEAT, 96" LONG)		ES	ES
R2109	0	TABLE BASE: 2-TOP - FIXED	* SMALL BANQUETTE TABLE	ES	ES
R210	2	TABLE BASE: 4-TOP - FIXED	* BANQUETTE TABLE	ES	ES
R2111	3	TABLE BASE: 4-TOP (ACCESSIBLE) - FIXED	* ACCESSIBLE BANQUETTE TABLE	ES	ES
R212	14	TABLE BASE: 22" X-BASE - FREE STANDING		ES	ES
R213	12	TABLE BASE: 22" X-BASE (ACCESSIBLE) - FREE STANDING	16 TABLES, 2 BASES REQUIRED PER TABLE	ES	ES
R214	3	TABLE BASE: 22" X-BASE (COUNTER HGT 34") - FREE STANDING		ES	ES
R2133	2	CANTILEVER TABLE BRACKET (4-TOP)	* BOOTH TABLES	ES	ES
R2310	2	42" SINGLE BOOTH - STANDARD (WOOD)		ES	ES
R2313	1	42" DOUBLE BOOTH - STANDARD (WOOD)		ES	ES
R2439	1	LOW W/ WALL AT "W" TABLE		ES	ES
R2440	1	LOW W/ WALL AT BOOTHS		ES	ES
R2710	1	BANQUETTE SEATING	22'-0" - VERIFY STANDARD LENGTHS AVAILABLE w/ K.E.S.	ES	ES
R3310	1	KIOSK LEDGE (UM, 3 STATIONS) - 89"		ES	ES
R3405	5	SEAT CUSHION - 42" WIDE		ES	ES
U0510	1	BACKLIT STATIC MENU BOARDS	OWNER TO VERIFY ACTUAL EQUIPMENT/MODEL TO BE USED	O	O
U0511	2	BACKLIT STATIC REVIEW BOARDS	OWNER TO VERIFY ACTUAL EQUIPMENT/MODEL TO BE USED	O	O
U0512	1	CELING MOUNTED PREMIUM BEVERAGE DISPLAY	OWNER TO VERIFY ACTUAL EQUIPMENT/MODEL TO BE USED	O	O
U050*	1	COPS DIGITAL DISPLAY	OWNER TO VERIFY ACTUAL EQUIPMENT/MODEL TO BE USED	O	O

VERIFY WITH OWNER STATIC OR DIGITAL MENU BOARDS

O=OWNER GC=GENERAL CONTRACTOR EC=ELECTRICAL CONTRACTOR PC=PLUMBING CONTRACTOR ES=EQUIPMENT SUPPLIER

ARTPACK & WAYFINDING LEGEND

AP-23 WENDY'S LOCAL LOVE (CUSTOM STATE AND STAR LOCATOR)

AP-24 WINK WALL FRAMED GRAPHIC

AP-26 CAUSE PAINTING AND PLAQUE (3 VERSIONS)

AP-30 WELCOME WALL ART

NP-S NUTRITION POSTER

WF-20 TACTILE EXIT SIGN

WF-201 TACTILE EXIT ROUTE SIGN

WF-31 HAND WASHING SIGN

WF-31 EMPLOYEES ONLY

RR-1 CA TITLE 24 IIB COMPLIANT "ALL GENDER RESTROOM" TACTILE ROOM IDENTIFICATION SIGN.

RR-2 CA TITLE 24 IIB COMPLIANT ALL GENDER GEOMETRIC SIGN

NOTES:

- REFER TO DETAILS 04-15 ON SHEET AC1 FOR REQUIREMENTS AT ACCESSIBLE SIGNAGE.
- REFER TO INTERIOR ELEVATIONS ON SHEETS A1.1 AND A1.2 FOR ARTPACK SIGN MOUNTING HEIGHTS AND LOCATIONS.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL SOLID WOOD BLOCKING/BACKING FOR ALL WALL MOUNTED ITEMS, SIGNAGE, EQUIPMENT, MILLWORK, ETC. COORDINATE LOCATIONS WITH WITH OWNER'S CONSTRUCTION REPRESENTATIVE AS NECESSARY.

LEGEND

- 2x4 DF#2 STUDS AT 16" O.C.
- 2x4 DF#2 STUDS AT 16" O.C.
- 2x8 STUDS, SEE STRUCTURAL DWGS
- NEW WALLS SHOWN SHADED

REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION AND DETAILS.

SEATING

EXISTING SEATING (BEING REMOVED)

DINING ROOM: 78

OUTDOOR PATIO SEATING: 20

PROPOSED SEATING

BANQUETTE: 38.5 LF / 2 = 19

FREE CHAIRS: 19

TOTAL SEATS: 98

ACCESSIBLE SEATING: 98 x 5% = 5 SEATS MIN

OUTDOOR PATIO SEATING: 24

ACCESSIBLE SEATING: 24 x 5% = 2 SEATS MIN

NOTES

- ACCESSIBLE SEATING SHALL BE PROVIDED AT EACH FUNCTIONAL AREA. SEE PLAN FOR LOCATIONS.
- REFER TO DETAILS 01, 08, AND 09 ON SHEET AC2 FOR ACCESSIBILITY REQUIREMENTS.

SHEET NUMBER: 5535

BASE MODEL: CG3490

ASSET TYPE: FRANCHISEE

CLASSIFICATION: REMODEL

OWNER: EASTBAY EQUITIES, INC

BASE VERSION: 2019 FALL

UPGRADE CLASSIFICATION: REMODEL

PROJECT YEAR: 2020

FURNITURE PACKAGE: UM BRIGHT

DRAWING RELEASE: 2019 FALL



PROJECT TYPE: CG3490 REMODEL

Wendy's

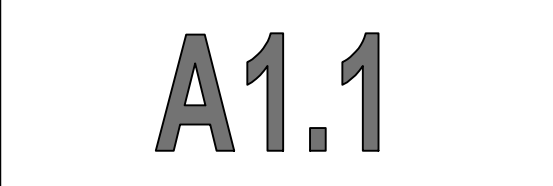
1850 SANTA ROSA AVE
SANTA ROSA, CA 95407
APN: 044-011-073

REV.	DATE	DESCRIPTION

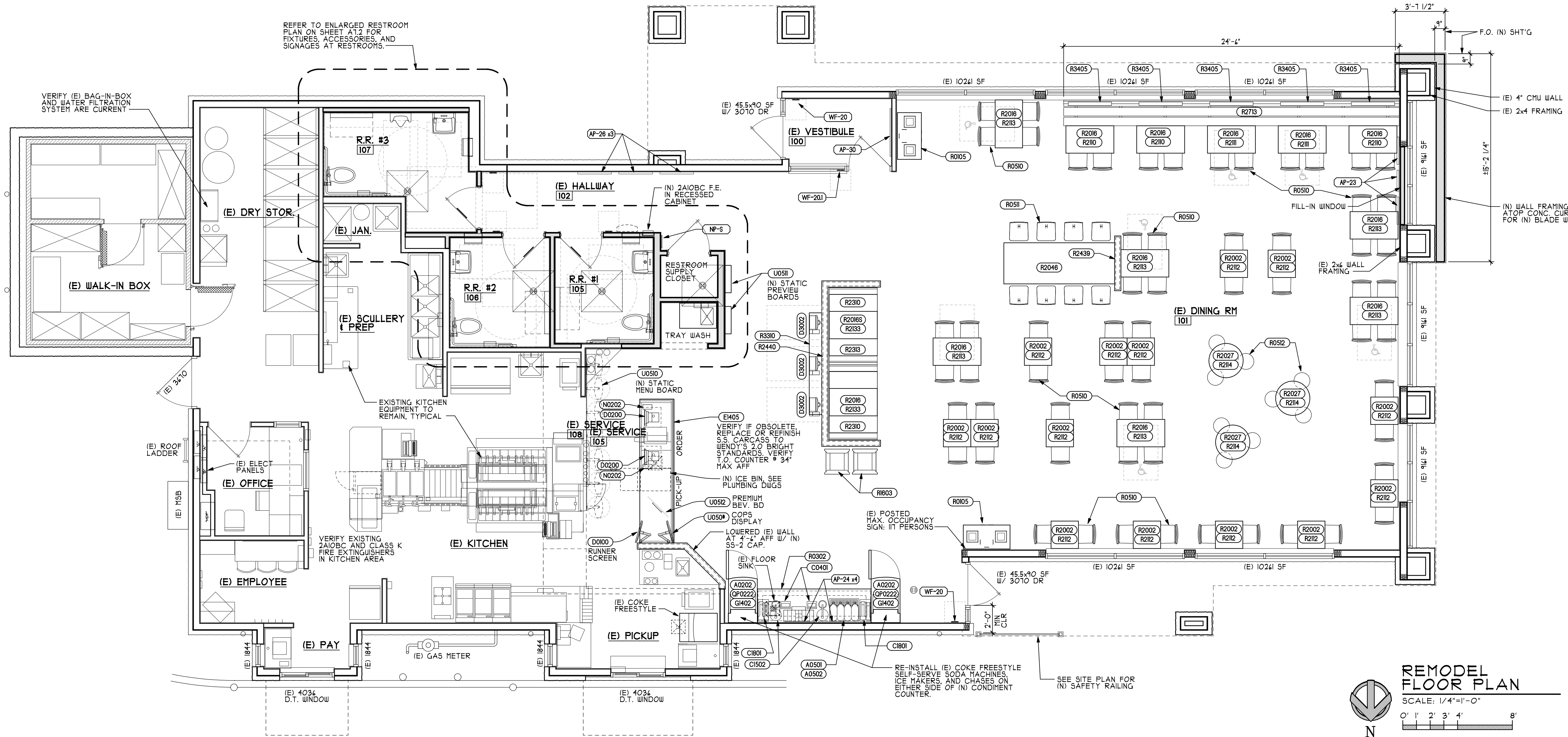


SHEET NAME: REMODEL FLOOR PLAN

SHEET NUMBER: A1.1



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REMODEL FLOOR PLAN

SCALE: 1/4"=1'-0"

0' 1' 2' 3' 4' 8'

SITE NUMBER:	5535
BASE MODEL:	CG3490
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	REMODEL
OWNER:	EASTBAY EQUITIES, INC
BASE VERSION:	2019 FALL
UPGRADE CLASSIFICATION:	REMODEL
PROJECT YEAR:	2020
FURNITURE PACKAGE:	UM BRIGHT
DRAWING RELEASE:	2019 FALL



PROJECT TYPE: CG3490
REMODEL

Wendy's
1850 SANTA ROSA AVE
SANTA ROSA, CA 95407
APN: 044-011-07B

REV.	DATE	DESCRIPTION



SHEET NAME
REFLECTED CEILING PLAN

SHEET NUMBER
A1.2

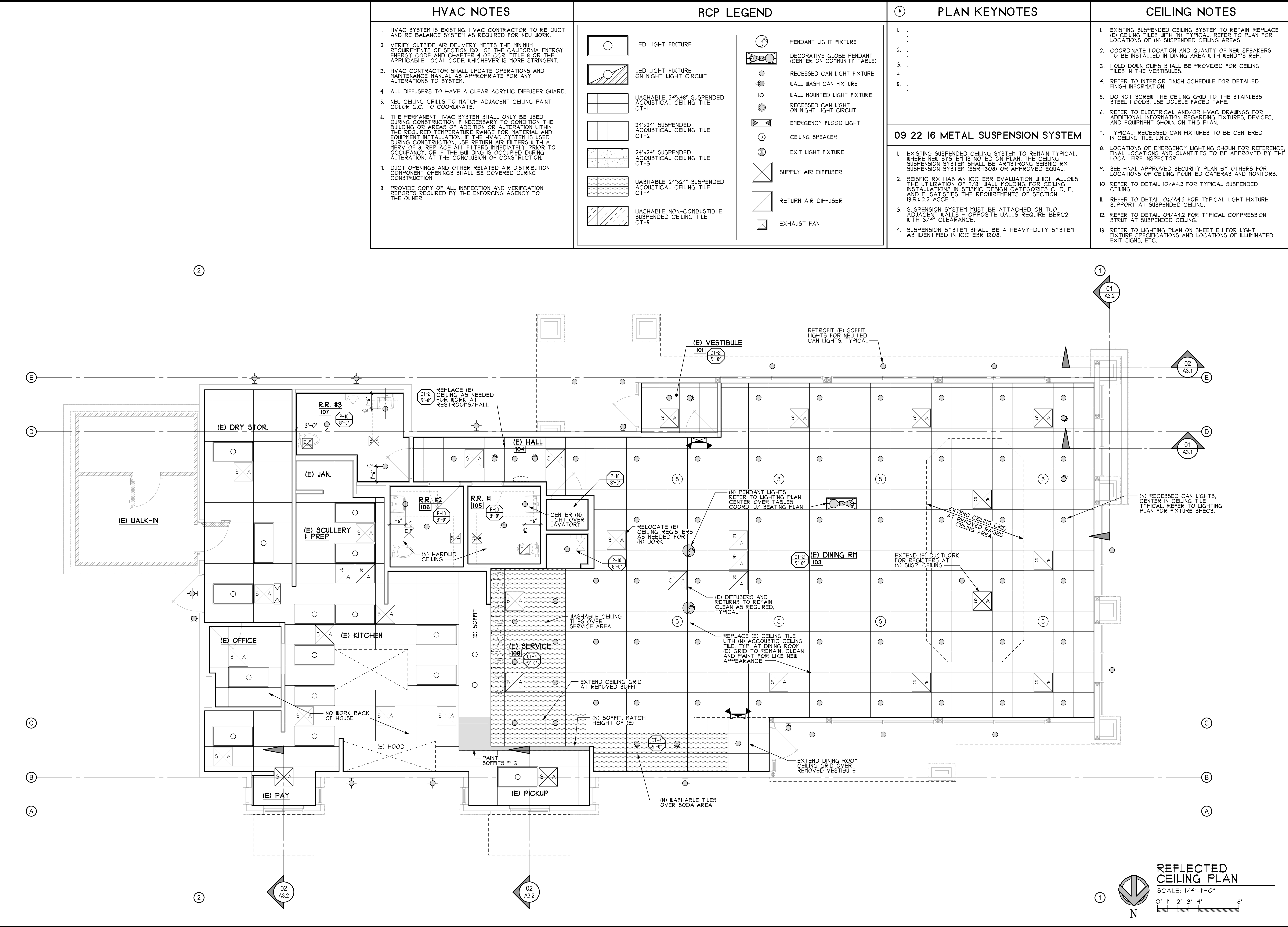
- ### HVAC NOTES
- HVAC SYSTEM IS EXISTING. HVAC CONTRACTOR TO RE-DUCT AND RE-BALANCE SYSTEM AS REQUIRED FOR NEW WORK.
 - VERIFY OUTSIDE AIR DELIVERY MEETS THE MINIMUM REQUIREMENTS OF SECTION 1201 OF THE CALIFORNIA ENERGY CODE AND CHAPTER 4 OF CCR, TITLE 8 OR THE APPLICABLE LOCAL CODE, WHICHEVER IS MORE STRINGENT.
 - HVAC CONTRACTOR SHALL UPDATE OPERATIONS AND MAINTENANCE MANUAL AS APPROPRIATE FOR ANY ALTERATIONS TO SYSTEM.
 - ALL DIFFUSERS TO HAVE A CLEAR ACRYLIC DIFFUSER GUARD.
 - NEW CEILING GRILLS TO MATCH ADJACENT CEILING PAINT COLOR G.C. TO COORDINATE.
 - THE PERMANENT HVAC SYSTEM SHALL ONLY BE USED DURING CONSTRUCTION IF NECESSARY TO CONDITION THE BUILDING OR AREAS OF ADDITION OR ALTERATION WITHIN THE REQUIRED TEMPERATURE RANGE FOR MATERIAL AND EQUIPMENT INSTALLATION. IF THE HVAC SYSTEM IS USED DURING CONSTRUCTION, USE RETURN AIR FILTERS WITH A MERV OF 8. REPLACE ALL FILTERS IMMEDIATELY PRIOR TO OCCUPANCY, OR IF THE BUILDING IS OCCUPIED DURING ALTERATION AT THE CONCLUSION OF CONSTRUCTION.
 - DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
 - PROVIDE COPY OF ALL INSPECTION AND VERIFICATION REPORTS REQUIRED BY THE ENFORCING AGENCY TO THE OWNER.

RCP LEGEND

	LED LIGHT FIXTURE		PENDANT LIGHT FIXTURE
	LED LIGHT FIXTURE ON NIGHT LIGHT CIRCUIT		DECORATIVE GLOBE PENDANT (CENTER ON COMMUNITY TABLE)
	WASHABLE 24"x48" SUSPENDED ACOUSTICAL CEILING TILE CT-1		RECESSED CAN LIGHT FIXTURE
	24"x24" SUSPENDED ACOUSTICAL CEILING TILE CT-2		WALL WASH CAN FIXTURE
	24"x24" SUSPENDED ACOUSTICAL CEILING TILE CT-3		WALL MOUNTED LIGHT FIXTURE
	WASHABLE 24"x24" SUSPENDED ACOUSTICAL CEILING TILE CT-4		RECESSED CAN LIGHT ON NIGHT LIGHT CIRCUIT
	WASHABLE NON-COMBUSTIBLE SUSPENDED CEILING TILE CT-5		EMERGENCY FLOOD LIGHT
			CEILING SPEAKER
			EXIT LIGHT FIXTURE
			SUPPLY AIR DIFFUSER
			RETURN AIR DIFFUSER
			EXHAUST FAN

- ### PLAN KEYNOTES
- 09 22 16 METAL SUSPENSION SYSTEM
- EXISTING SUSPENDED CEILING SYSTEM TO REMAIN TYPICAL. WHERE NEW SYSTEM IS NOTED ON PLAN, THE CEILING SUSPENSION SYSTEM SHALL BE ARMSTRONG SEISMIC RX SUSPENSION SYSTEM (ESR-1308) OR APPROVED EQUAL.
 - SEISMIC RX HAS AN ICC-ESR EVALUATION WHICH ALLOWS THE UTILIZATION OF 1/8" WALL HOLDING FOR CEILING INSTALLATIONS IN SEISMIC DESIGN CATEGORIES C, D, E, AND F, SATISFIES THE REQUIREMENTS OF SECTION 13.5.4.2.2 ASCE 7.
 - SUSPENSION SYSTEM MUST BE ATTACHED ON TWO ADJACENT WALLS - OPPOSITE WALLS REQUIRE BERCC2 WITH 3/4" CLEARANCE.
 - SUSPENSION SYSTEM SHALL BE A HEAVY-DUTY SYSTEM AS IDENTIFIED IN ICC-ESR-1308.

- ### CEILING NOTES
- EXISTING SUSPENDED CEILING SYSTEM TO REMAIN, REPLACE (E) CEILING TILES WITH (N), TYPICAL. REFER TO PLAN FOR LOCATIONS OF (N) SUSPENDED CEILING AREAS.
 - COORDINATE LOCATION AND QUANTITY OF NEW SPEAKERS TO BE INSTALLED IN DINING AREA WITH WENDY'S REP.
 - HOLD DOWN CLIPS SHALL BE PROVIDED FOR CEILING TILES IN THE VESTIBULES.
 - REFER TO INTERIOR FINISH SCHEDULE FOR DETAILED FINISH INFORMATION.
 - DO NOT SCREW THE CEILING GRID TO THE STAINLESS STEEL HOODS. USE DOUBLE FACED TAPE.
 - REFER TO ELECTRICAL AND/OR HVAC DRAWINGS FOR ADDITIONAL INFORMATION REGARDING FIXTURES, DEVICES, AND EQUIPMENT SHOWN ON THIS PLAN.
 - TYPICAL: RECESSED CAN FIXTURES TO BE CENTERED IN CEILING TILE, U.N.O.
 - LOCATIONS OF EMERGENCY LIGHTING SHOWN FOR REFERENCE. FINAL LOCATIONS AND QUANTITIES TO BE APPROVED BY THE LOCAL FIRE INSPECTOR.
 - SEE FINAL APPROVED SECURITY PLAN BY OTHERS FOR LOCATIONS OF CEILING MOUNTED CAMERAS AND MONITORS.
 - REFER TO DETAIL 10/A4.2 FOR TYPICAL SUSPENDED CEILING.
 - REFER TO DETAIL 04/A4.2 FOR TYPICAL LIGHT FIXTURE SUPPORT AT SUSPENDED CEILING.
 - REFER TO DETAIL 09/A4.2 FOR TYPICAL COMPRESSION STRUT AT SUSPENDED CEILING.
 - REFER TO LIGHTING PLAN ON SHEET E11 FOR LIGHT FIXTURE SPECIFICATIONS AND LOCATIONS OF ILLUMINATED EXIT SIGNS, ETC.

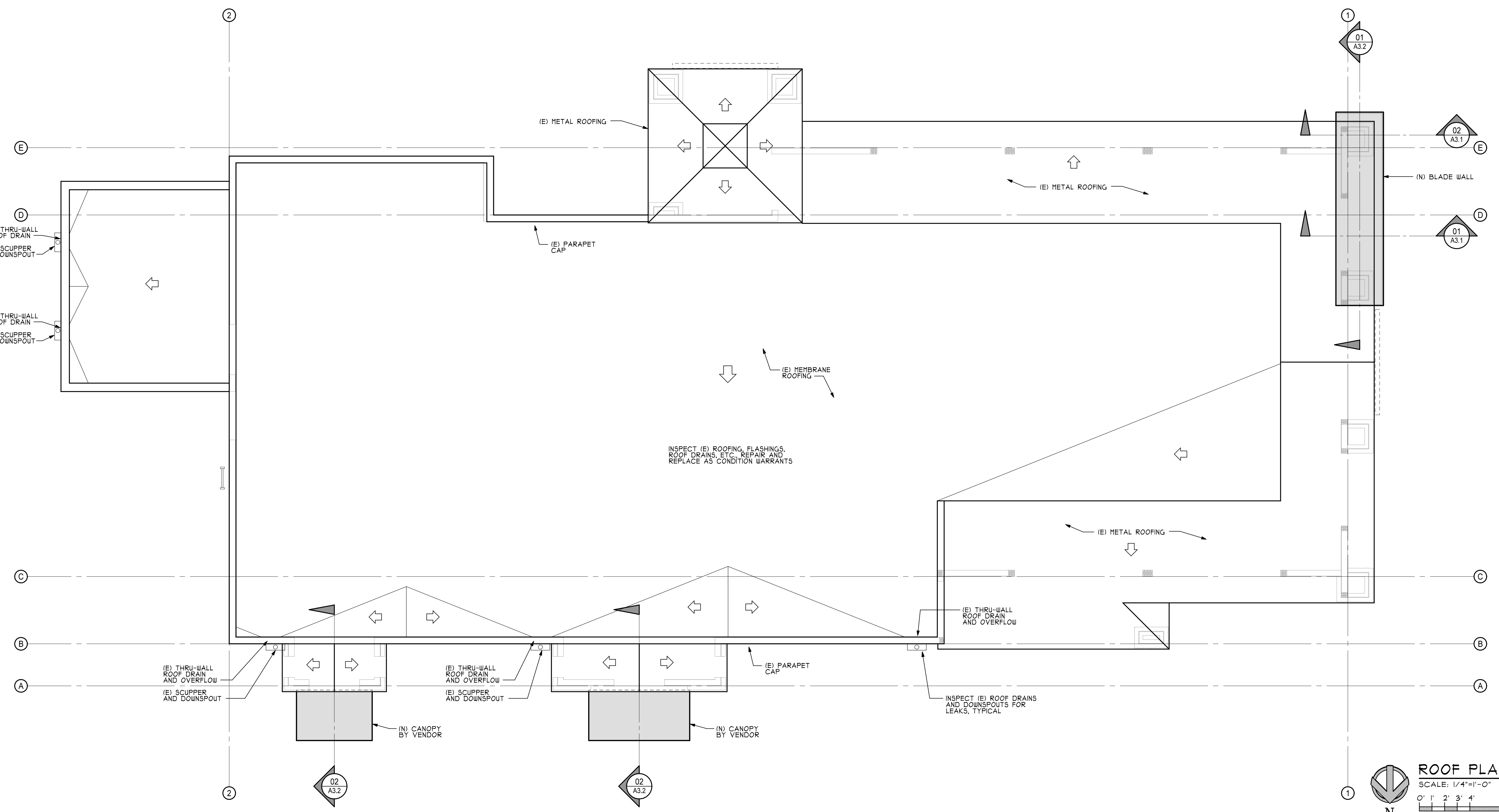


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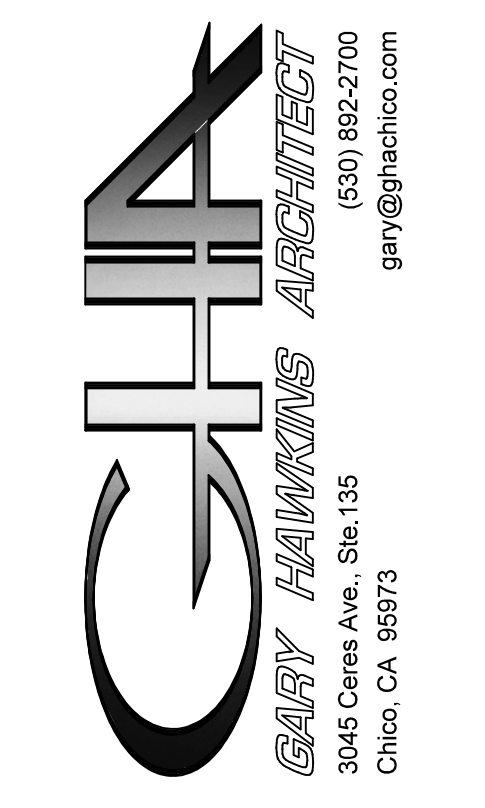
ROOF GENERAL NOTES

1. FIELD INSPECT EXISTING ROOF. NEW ROOF WORK TO BE INSTALLED WITH COMPATIBLE WENDY'S APPROVED ROOF MATERIAL SPECIFICATIONS. PROVIDE AND INSTALL NEW ROOF INCLUDING, BUT NOT LIMITED TO, INSULATION BOARD, EDGE FLASHING(S), COPINGS, SEALED TERMINATIONS AS REQUIRED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS. AT NEW PENETRATIONS/ATTACHMENTS IN AN EXISTING ROOF, FLASH/PROVIDE WEATHER TIGHT SEAL PER ROOFING SYSTEM MANUFACTURER'S WARRANTY REQUIREMENTS. METHOD AND HARDWARE FOR ATTACHMENTS TO STRUCTURE TO BE REVIEWED AND VERIFIED BY A.O.R. UPON COMPLETION THE ROOFING CONTRACTOR SHALL ENSURE THE ENTIRE ROOF SHALL BE WEATHER AND WATER TIGHT WITH POSITIVE DRAINAGE TO THE ROOF DRAINS AND NO PONDING.
2. IF UPON INSPECTION IT IS DETERMINED THAT A FULL ROOF REPLACEMENT IS WARRANTED, (A.O.R. TO VERIFY WITH OWNER'S REPRESENTATIVE) CONTRACTOR SHALL REMOVE EXISTING ROOF MEMBRANE AS REQUIRED FOR A COMPLETE REPLACEMENT. FIELD INSPECT EXISTING INSULATION AND ROOF DECK. COORDINATE EXTENT OF DEMOLITION AND REPLACEMENT IN THE FIELD WITH OWNER'S CONSTRUCTION MANAGER. ROOFING CONTRACTOR SHALL INSTALL NEW INSULATION AS REQUIRED (PER LOCAL ENERGY CODE) AND 1/4" MIN. DENS-DECK ISOLATION BOARD PRIOR TO MEMBRANE INSTALLATION. SYSTEM TO BE COMPLETE WITH ACCEPTABLE PRODUCTS AND INSTALLATION REQUIRED TO PROVIDE A FULL MANUFACTURER'S WARRANTY.
3. GENERAL CONTRACTOR TO VERIFY EXISTING ROOF AND LOCATIONS OF EQUIPMENT. INSPECT AND NOTIFY WENDY'S PROJECT MANAGER OF ISSUES/DAMAGE, ETC. AND COORDINATE COMPLETE SCOPE OF WORK.



ROOF PLAN
SCALE: 1/4"=1'-0"
0' 1' 2' 3' 4' 8'

SITE NUMBER:	5535
BASE MODEL:	CG3490
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	REMODEL
OWNER:	EASTBAY EQUITIES, INC
BASE VERSION:	2019 FALL
UPGRADE CLASSIFICATION:	REMODEL
PROJECT YEAR:	2020
FURNITURE PACKAGE:	UM BRIGHT
DRAWING RELEASE:	2019 FALL

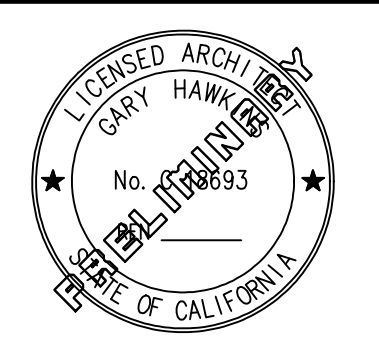


PROJECT TYPE: CG3490
REMODEL

Wendy's
1850 SANTA ROSA AVE
SANTA ROSA, CA 95407
APN: 044-011-073

REV.	DATE	DESCRIPTION

ISSUE DATE: 1/22/2021
PROJECT NUMBER: 20-025
DRAWN BY: G.C.
CHECKED BY:



SHEET NAME
ROOF PLAN

SHEET NUMBER
A1.3

Z:\CAD\DATA\2020-FILES\20-025-WENDY'S - SANTA ROSA\DRAWING-FILES\20-025-30-A3-EXTERIOR-ELEVATIONS-D5-4-12/23/2020-10:30



04 LEFT ELEVATION - DRIVE THRU
SCALE: 3/16"=1'-0"



02 RIGHT ELEVATION
SCALE: 3/16"=1'-0"



03 REAR ELEVATION
SCALE: 3/16"=1'-0"



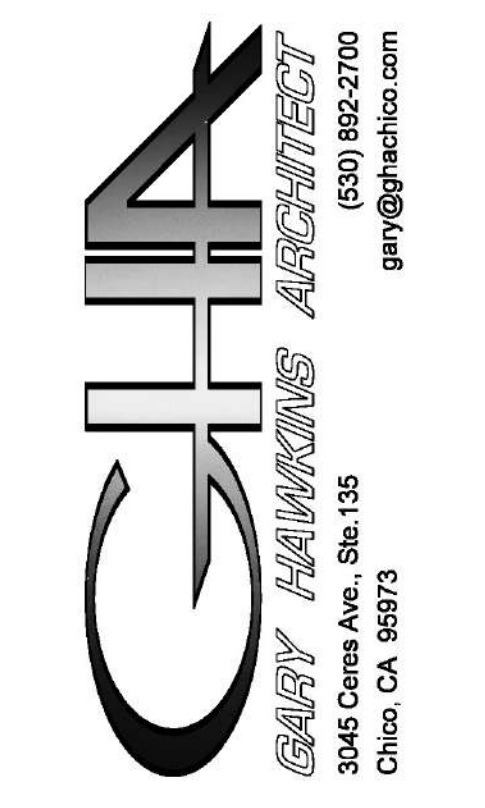
01 FRONT ELEVATION - SANTA ROSA AVE
SCALE: 1/4"=1'-0"

BUILDING SIGNAGE				
PROPOSED SIGNAGE				
DESCRIPTION	FRONTAGE	ORIENT	SIZE	AREA
"WENDY'S" & CAMEO	SANTA ROSA AVE	WEST	10'-8 1/2" x 3'-0"	32.125 SF
"WENDY'S"	PRIVATE DRIVE/PARKING LOT	SOUTH	1'-1" x 3'-0"	21.45 SF
TOTAL PROPOSED SIGNAGE AREA:				53.4 SF
EXISTING SIGNAGE (BEING REMOVED)				
DESCRIPTION	FRONTAGE	ORIENT	SIZE	AREA
"WENDY'S"	SANTA ROSA AVE	WEST	1'-10" x 3'-0"	23.5 SF
"WENDY'S"	PRIVATE DRIVE/PARKING LOT	SOUTH	1'-10" x 3'-0"	23.5 SF
TOTAL SIGNAGE AREA TO BE REMOVED:				47 SF
ALLOWABLE SIGN AREA ZONING: CG 1 SF PER 1 LF MAIN FRONTAGE, 0.5 SF PER 1 LF SECONDARY FRONTAGE MAIN FRONTAGE: SANTA ROSA AVE = 49'-2" = 49 SF 2ND FRONTAGE: SHOPPING CENTER ACCESS ROAD = 104'-0" = 52 SF				

EXTERIOR FINISHES LEGEND		
MARK	SAMPLE	DESCRIPTION
M-3		METAL PARAPET CAP AT BLADE WALL PRE-FINISHED 'REGAL RED'
T-1		EXTERIOR WALL TILE WENDY'S WOODGRAIN
PEX-1		WENDY'S DARK BRONZE SHERWIN-WILLIAMS BRONZETONE CUSTOM COLORS 'MISSISSIPPI BRONZE' PAINT TRIM, PARAPET CAP AT WALK-IN BOX ENCLOSURE
PEX-2		WENDY'S EXTERIOR RED SHERWIN-WILLIAMS SW 4321 'RED BAY' PAINT PLASTER AT BLADE WALL, DRIVE-THRU ACCENT WALL
PEX-9		SILVER BRIGHT SHERWIN-WILLIAMS 'SILVER BRIGHT' ALUMINUM PAINT PAINT TRIM, PARAPET CAP AT MAIN BUILDING, DRIVE-THRU TRIM
PEX-10		BLACK, POWDER COAT OR PAINT SHERWIN-WILLIAMS SW 4258 'TRICORN BLACK' GUARDRAIL
PEX-11		TAN SHERWIN-WILLIAMS SW 1019 'HOPSACK' PAINT PLASTER, CORRUGATED SIDING, DOWNSPOUTS, SCUPPERS, BUILDING MOUNTED UTILITIES

- GENERAL NOTES**
- EXTERIOR SIGNAGE SHOWN ON DRAWINGS IS FOR REFERENCE ONLY. ALL SIGNAGE SHALL BE SUBMITTED FOR REVIEW AND APPROVAL UNDER SEPARATE PERMIT.
 - CLEAN, REPAIR, AND REPAINT EXISTING ELEMENTS WHERE INDICATED OR OTHERWISE REQUIRED.
 - INSPECT (E) FINISHES FOR DRY ROT, LEAKS, OTHER DAMAGE, ETC. AND REPAIR AND REPLACE AS NECESSARY.
 - REFER TO MATERIALS AND FINISHES SCHEDULE ON SHEET A&J FOR ADDITIONAL INFORMATION.

SITE NUMBER:	5535
BASE MODEL:	CG3490
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	REMODEL
OWNER:	EASTBAY EQUITIES, INC
BASE VERSION:	2019 FALL
UPGRADE CLASSIFICATION:	REMODEL
PROJECT YEAR:	2020
FURNITURE PACKAGE:	UM BRIGHT
DRAWING RELEASE	2019 FALL



PROJECT TYPE: CG3490 REMODEL

Wendy's
1850 SANTA ROSA AVE
SANTA ROSA, CA 95407
APN: 044-011-07B

REV.	DATE	DESCRIPTION



SHEET NAME
COLOR ELEVATIONS

SHEET NUMBER

A2.3