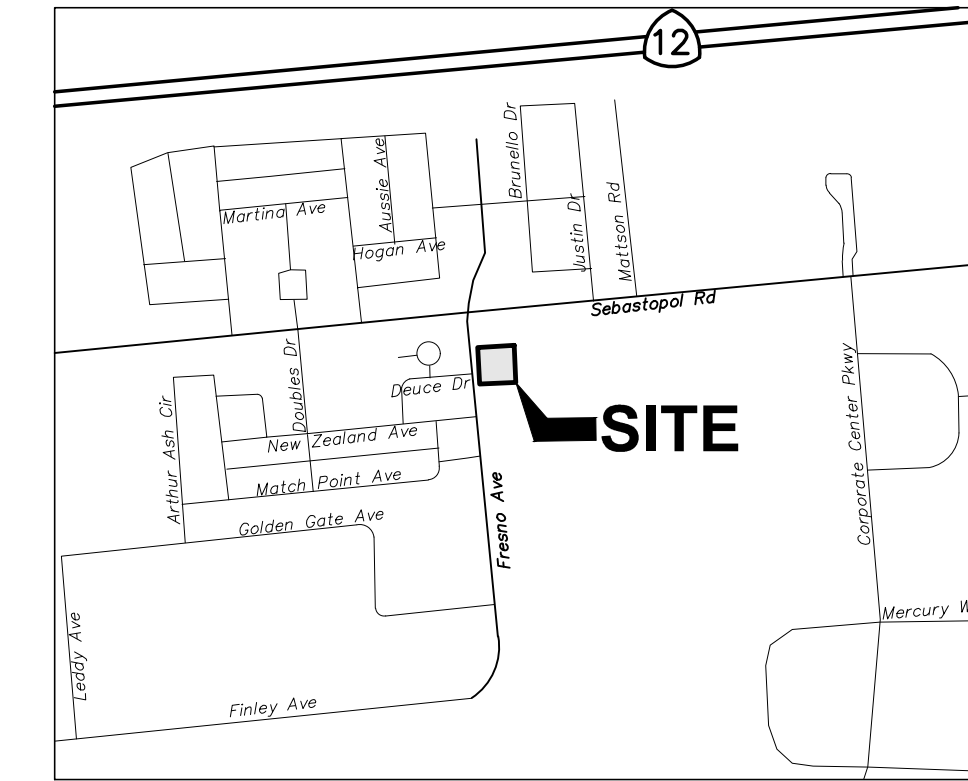


# ALCAZAR RESIDENCE IMPROVEMENT PLAN

910 Fresno Avenue  
Santa Rosa, California

APN: 035-101-006



LOCATION MAP  
NOT TO SCALE

## OWNER INFO

GIL ALCAZAR  
1534 SEBASTOPOL ROAD  
SANTA ROSA, CA 95407  
PHONE: (707) 523-2192  
EMAIL: GIL@GILSTAX.COM

## ENGINEERS & SURVEYORS

ADOBE ASSOCIATES, INC.  
1220 N. DUTTON AVE.  
SANTA ROSA, CA 95401  
TEL: (707) 541-2300

## PURPOSE STATEMENT:

THIS PROJECT PROPOSES GRADING AND DRAINAGE IMPROVEMENTS FOR NEW PARKING LOT AND BUILDING.

## BENCHMARK & PROJECT BENCHMARKS:

**BENCHMARK:**  
City of Santa Rosa Bench Mark E131  
Found 3" Brass Disk Marked "City of Santa Rosa" in concrete well monument at centerline intersection of Fresno Avenue and Deuce Drive. Elevation = 101.178' (City of Santa Rosa Datum)

## BASIS OF BEARING S 04°11'14" E:

Between a found 3" Brass Disk with punch in concrete well monument casing at the intersection of Sebastopol Road and Fresno Avenue and a found 2" Brass Disk with punch in concrete well monument casing, old City of Santa Rosa G-324 coordinate monument, in Fresno Avenue as shown on the map titled "Courtside Village Unit No. 1" filed in Book 575 of Maps at Pages 1-6, Sonoma County Records.

## SHEET INDEX

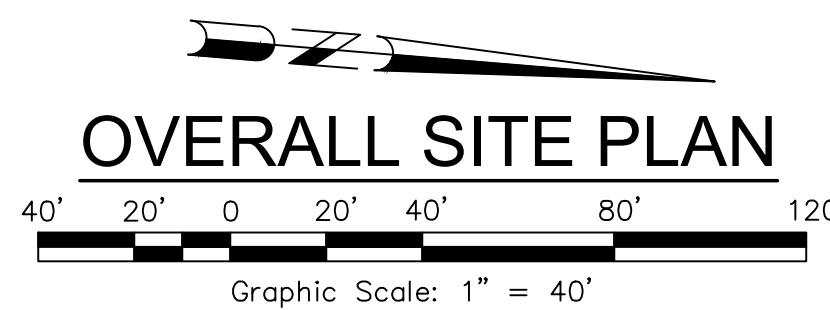
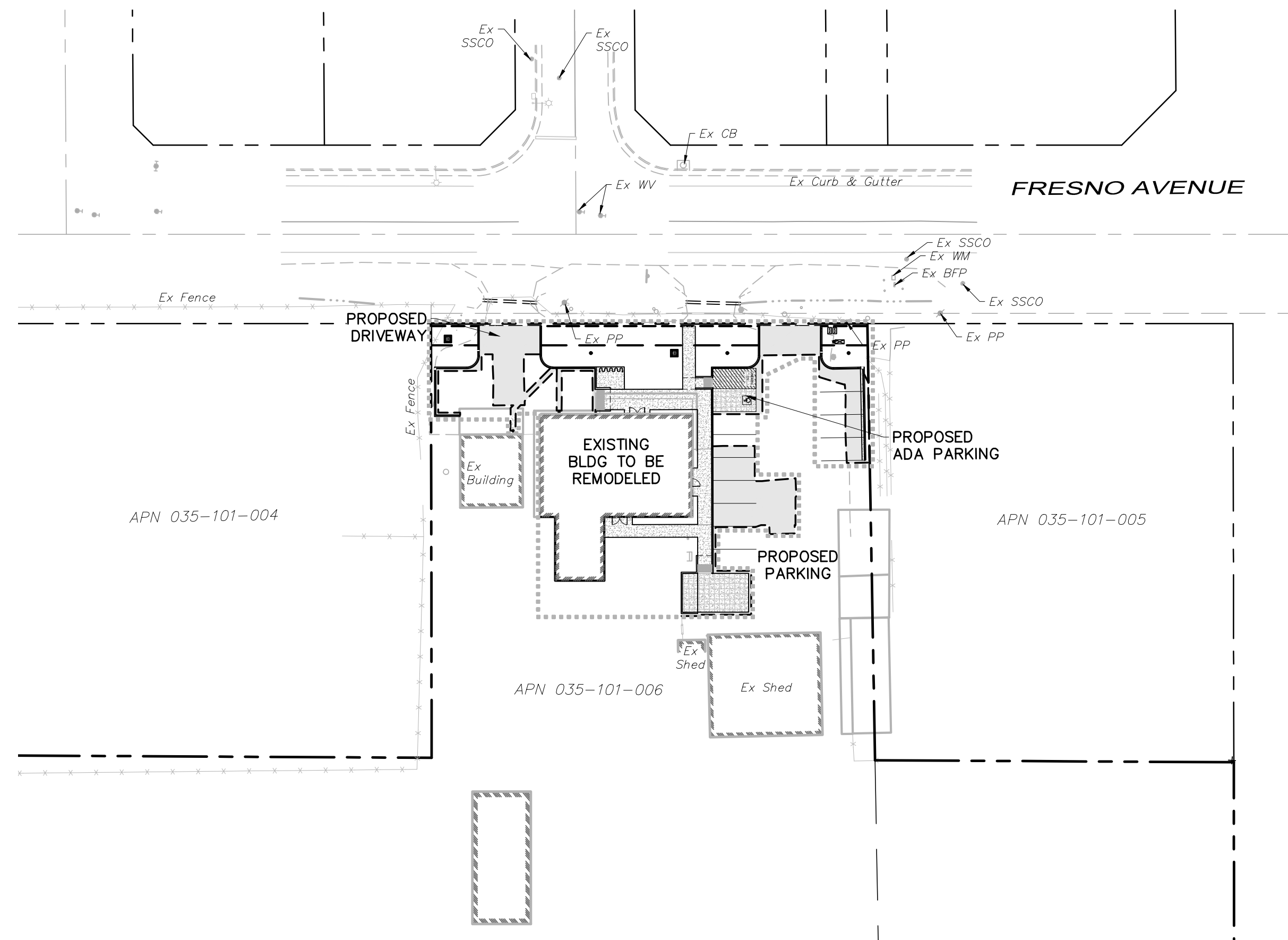
- C1.0 TITLE SHEET
- C1.1 NOTES
- C2.0 DEMOLITION PLAN
- C3.0 OVERALL SITE PLAN
- C4.0 GRADING AND DRAINAGE PLAN
- C5.0 DETAILS

## ABBREVIATIONS:

AAI	ADOBE ASSOCIATES, INC.	INV	INVERT
AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	LAT	LATERAL
AD	AREA DRAIN	LS	LANDSCAPE
ADA	AMERICANS WITH DISABILITIES ACT	MAX	MAXIMUM
APPROX	APPROXIMATE	ME	MATCH EXISTING
BC	BEGIN HORIZONTAL CURVE	MH	MANHOLE
BCR	BEGIN CURB RETURN	MIN	MINIMUM
BLDG	BUILDING	MON	MONUMENT
BM	BENCH MARK	NTS	NOT TO SCALE
BNDY	BOUNDARY	NO	NUMBER
BO	BLOWOFF VALVE	NP	NO PARKING SIGN
BSW	BACK OF SIDEWALK	OC	ON CENTER
BVC	BEGIN VERTICAL CURVE	PCC	POINT OF COMPOUND CURVE, PORTLAND CEMENT CONCRETE
C&G	CURB & GUTTER	PG	PAD GRADE
CB	CATCH BASIN	PIV	POST INDICATOR VALVE
CL	CENTERLINE	PL	PROPERTY LINE
CL	CLASS	PP	POWER POLE
CMP	CORRUGATED METAL PIPE	PRC	POINT OF REVERSE CURVE
CO	CLEANOUT	PSI	POUNDS PER SQUARE INCH
CONC	CONCRETE	PUE	PUBLIC UTILITY EASEMENT
CONN	CONNECTION	PVC	POLYVINYL CHLORIDE PIPE
COSR	CITY OF SANTA ROSA	PVT	PRIVATE
DDCV	DOUBLE DETECTOR CHECK VALVE	RCE	REGISTERED CIVIL ENGINEER
DI	DRAINAGE INLET	RCP	REINFORCED CONCRETE PIPE
DIA	DIAMETER	RPBFP	REDUCED PRESSURE BACKFLOW PREVENTOR
DIP	DUCTILE IRON PIPE	R/W	RIGHT OF WAY
DS	DOWN SPOUT	S	SLOPE
DW	DOMESTIC WATER DRAWING	SCH	SCHEDULE
DWG	DRIVEWAY	SCWA	SONOMA COUNTY WATER AGENCY
EC	END HORIZONTAL CURVE	SD	STORM DRAIN
ECR	END CURB RETURN	SF	SQUARE FEET
EG	EXISTING GROUND	SL	STREET LIGHT
EP	EDGE OF PAVEMENT	SPEC	SPECIFICATIONS
EL	ELEVATION	SS	SANITARY SEWER
ESMT	EASEMENT	STA	STATION
EVC	END VERTICAL CURVE	STD	STANDARD
EX	EXISTING	S/W	SIDEWALK
FL	FLOWLINE	SWE	SIDEWALK EASEMENT
FG	FINISH GRADE	TC	TOP OF CURB
FH	FIRE HYDRANT	TEL	TELEPHONE
FOC	FACE OF CURB	TYP	TYPICAL
FS	FINISHED SURFACE	UNO	UNLESS NOTED OTHERWISE
GB	GRADE BREAK	VAR	VARIABLE
GR	GRATE	VC	VERTICAL CURVE
HC	HANDICAPPED RAMP	VERT	VERTICAL
HDPE	HIGH DENSITY POLYETHYLENE	W	WATER
HORIZ	HORIZONTAL	WM	WATER METER
HP	HIGH POINT	WV	WATER VALVE
HWY	HIGHWAY	WWF	WELDED WIRE FABRIC
IG	INVERT GRADE		

## LEGEND

PROPOSED	EXISTING	DESCRIPTION
		PROPERTY BOUNDARY
		CURB & GUTTER
		SANITARY SEWER & MANHOLE
		SANITARY SEWER & CLEANOUT
		SANITARY SEWER LATERAL
		STORM DRAIN & MANHOLE
		STORM DRAIN & DRAINAGE INLET (DI)
		STORM DRAIN & AREA DRAIN (AD)
		ROOF DRAIN & DOWN SPOUT (DS)
		WATER SERVICE / WM
		WATER SERVICE / RBPB
		FIRE LINE / DDCV
		BLOW-OFF
		WATER MAIN & GATE VALVE
		FIRE HYDRANT
		STREET SIGN
		UTILITY POLE W/NO GUY WIRE
		DETAIL X ON SHEET CY
		DRAINAGE SWALE
		DAYLIGHT LINE
		LIMIT OF GRADING/DISTURBED AREAS
		GRADE BREAK



## GRADING QUANTITIES:

Site Grading is based upon subgrade to existing grade. No account has been taken for stripings, expansion or contraction. Volumes should be verified and determined independently by the contractor.

CUT	FILL	TOTAL	BASE ROCK
100 CY	20 CY	80 CY (CUT)	70 CY

Note:  
Excess material to be off-hauled to an approved location or placed onsite under the direction of the project Soils Engineer. Earth materials placed onsite not shown on these plans may require revision(s) to the grading permit.  
Area of Disturbance = 0.13 Acres  
New Impervious area = 9,980 SF

No.	Date	Description	Approved

**adobe associates, inc.**  
civil engineering | land surveying | wastewater  
1220 N. DUTTON AVE. SANTA ROSA, CA 95401  
P: (707) 541-2300 F: (707) 541-2301  
Website: www.adobeinc.com

\*A Service You Can Count On!  
Timothy L. Schram, PCE 67890  
My license expires 6/30/2023

**ALCAZAR RESIDENCE**

**TITLE SHEET**  
910 Fresno Avenue  
Santa Rosa, California  
APN 035-101-006

SCALE: AS SHOWN  
Date: March 27, 2023  
Design by: AP  
Drawn by: DB  
Checked by: ILS

Sheet  
**C1.0**  
1 of 6 Sheets  
Job 19154

**PLANNING RECEIVED**  
DATE: April 5, 2023  
FILE#: DR21-041  
PLANNER: M.S.W.

GENERAL NOTES

- 1. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF SANTA ROSA DESIGN AND CONSTRUCTION STANDARDS AND CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
2. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL CONSTRUCTION PERMITS REQUIRED BY THE CITY OF SANTA ROSA (SUCH AS ENCROACHMENT, GRADING, BUILDING, DEMOLITION ETC.) PRIOR TO COMMENCEMENT OF WORK.
...
17. RECORD DRAWINGS SHALL BE PROVIDED TO THE CITY UPON COMPLETION OF PROJECT AND PRIOR TO FINAL ACCEPTANCE.

GRADING NOTES

- 1. NO GRADING, CLEARING OR GRUBBING SHALL BE PERFORMED PRIOR TO ISSUANCE OF A GRADING PERMIT BY THE CITY OF SANTA ROSA.
2. DUST CONTROL SHALL BE PROVIDED BY CONTRACTOR DURING ALL PHASES OF CONSTRUCTION.
3. SITE GRADING SHALL BE DONE UNDER OBSERVATION OF THE PROJECT GEOTECHNICAL ENGINEER AND SHALL BE IN COMPLIANCE WITH CHAPTER 18 APPENDIX J, MOST RECENT EDITION OF THE CALIFORNIA BUILDING CODE AND THE RECOMMENDATIONS CONTAINED IN THE SOILS REPORT.
...
10. FILLING IS RESTRICTED TO 1 FOOT MAXIMUM ABOVE EXISTING GROUND AND 2 FOOT MINIMUM ADJACENT TO EXISTING RESIDENTIAL LOTS, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.

GENERAL NOTES CONT.

- 18. THE CONTRACTOR SHALL KEEP THE WORK SITE, STAGING AREAS AND OTHER AREAS USED BY IT IN A NEAT AND CLEAN CONDITION, AND FREE FROM ANY ACCUMULATION OF TRASH, RUBBISH AND WASTE MATERIALS OF ANY KIND GENERATED BY THE CONTRACTOR, SUBCONTRACTOR OR ANY COMPANY HIRED BY THE CONTRACTOR ON A DAILY BASIS.
19. ENSURE THE CONTAINMENT OF SANITATION FACILITIES (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM, ROADS OR RECEIVING WATERS.
...
32. IN THE EVENT THAT ANY REMAINS OF PREHISTORIC OR HISTORIC HUMAN ACTIVITIES ARE ENCOUNTERED DURING PROJECT-RELATED ACTIVITIES, WORK IN THE IMMEDIATE VICINITY OF THE FINDS SHALL HALT AND THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT SUPERINTENDENT AND THE CITY OF SANTA ROSA INSPECTOR.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

- 1. CURB, GUTTER AND STORM DRAINS ARE COMPLETED PRIOR TO RAINS. PROJECT ENGINEER SHALL PREPARE INTERIM DRAINAGE AND EROSION AND SEDIMENT CONTROL PLAN BASED ON WINTER CONDITIONS FOR CITY APPROVAL PRIOR TO CONTRACTOR INSTALLATION.
2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE USED TO ENSURE THAT WATER ENTERING THE STORM DRAIN SYSTEM FROM THE CONSTRUCTION SITE IS OF EQUIVALENT QUALITY AND CHARACTER AS THE WATER ABOVE THE SITE.
...
29. STABILIZATION OF EXPOSED GRADED AREAS WITH STRAW MULCH SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE.

UTILITY NOTES

- 1. THE USE OF CONTROLLED DENSITY BACKFILL (CDF) WITHIN ANY PUBLIC SEWER OR WATER TRENCH IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE DIRECTOR OF UTILITIES.
2. THERE SHALL BE NO UNMETERED CONNECTIONS TO THE CITY OF SANTA ROSA WATER SYSTEM INCLUDING CONNECTIONS BYPASSING THE METER FOR TESTING ONSITE PLUMBING OR FOR OBTAINING CONSTRUCTION WATER.
...
12. APPLICABLE SEWER STANDARDS:

Table with 2 columns: COMPONENT, LATERAL and DESCRIPTION, CITY STD 863, CITY STD 513.

Vertical sidebar containing: adobe associates, inc. logo; Alcazar Residence title block; Professional Engineer seal for Timothy L. Schrom; NOTES section; Planning Received stamp; Scale and drawing information.

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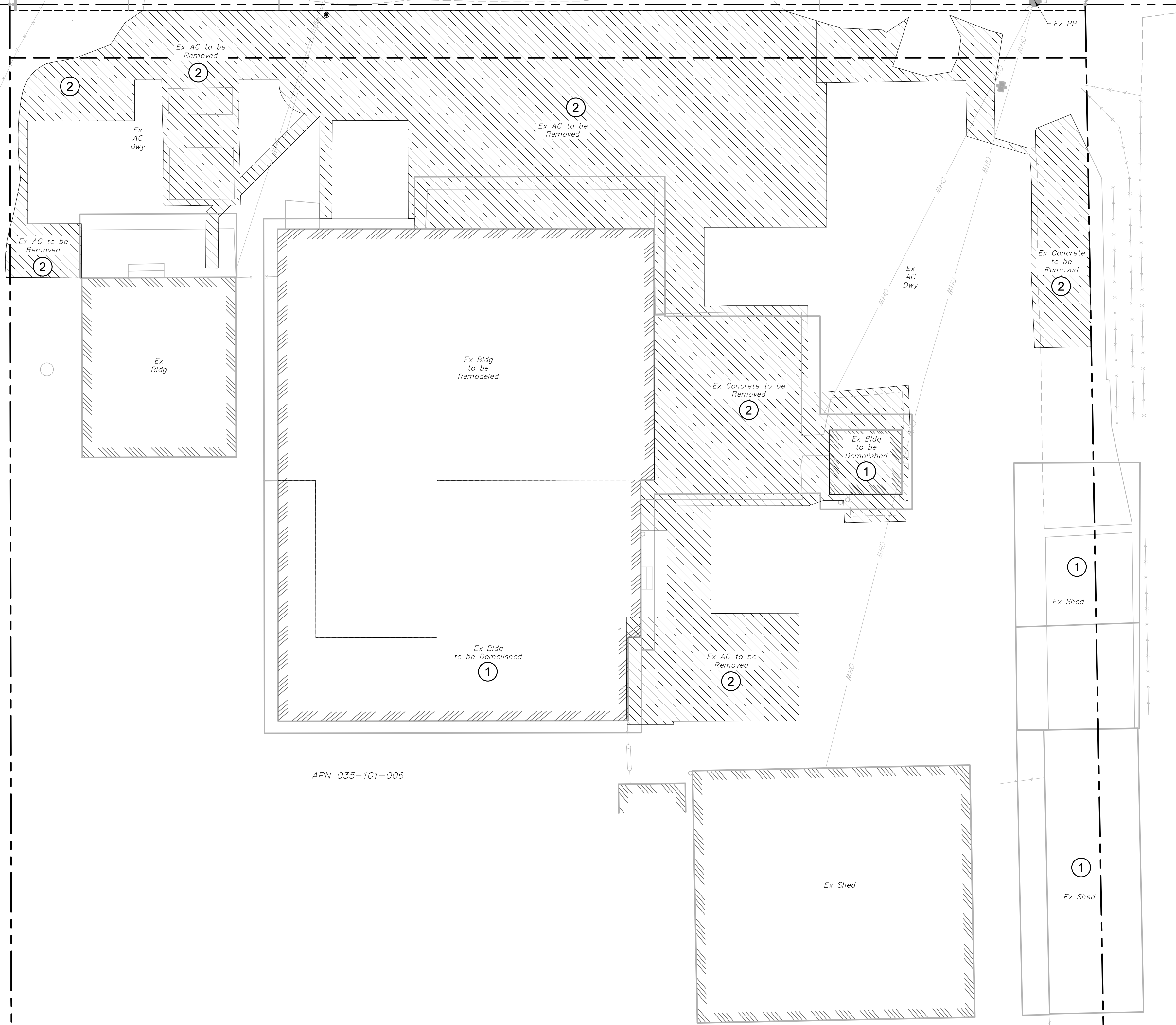
FRESNO AVENUE

SEE ALCAZAR FRONTAGE IMPROVEMENT PLANS (USP)

APN 035-101-004

APN 035-101-005

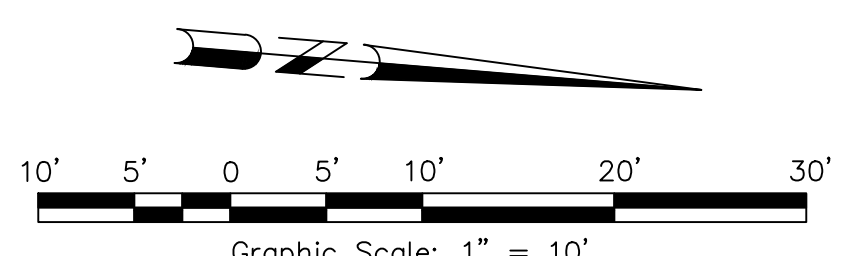
APN 035-101-006



DEMOLITION TABLE \*

SYMBOL	DEMOLITION FEATURE	UNITS	QUANTITY
①	BUILDING DEMOLITION WORK	SQ FT	±3,532
②	REMOVE EXISTING ASPHALT/CONCRETE	SQ FT	±5,900

\* CONTRACTOR TO VERIFY QUANTITIES PRIOR TO CONSTRUCTION



DEMOLITION PLAN

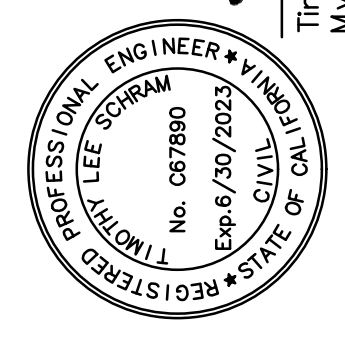
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 DATE: April 5, 2023  
 FILE#: DR21-041  
 PLANNER: M.S.W.

SCALE: AS SHOWN  
 Date: March 27, 2023  
 Design by: AP  
 Drawn by: DB  
 Checked by: T.L.S.

Sheet  
**C2.0**  
 3 of 6 Sheets  
 Job 19154

ALCAZAR RESIDENCE  
 DEMOLITION PLAN

910 Fresno Avenue  
 Santa Rosa, California  
 APN 035-101-006

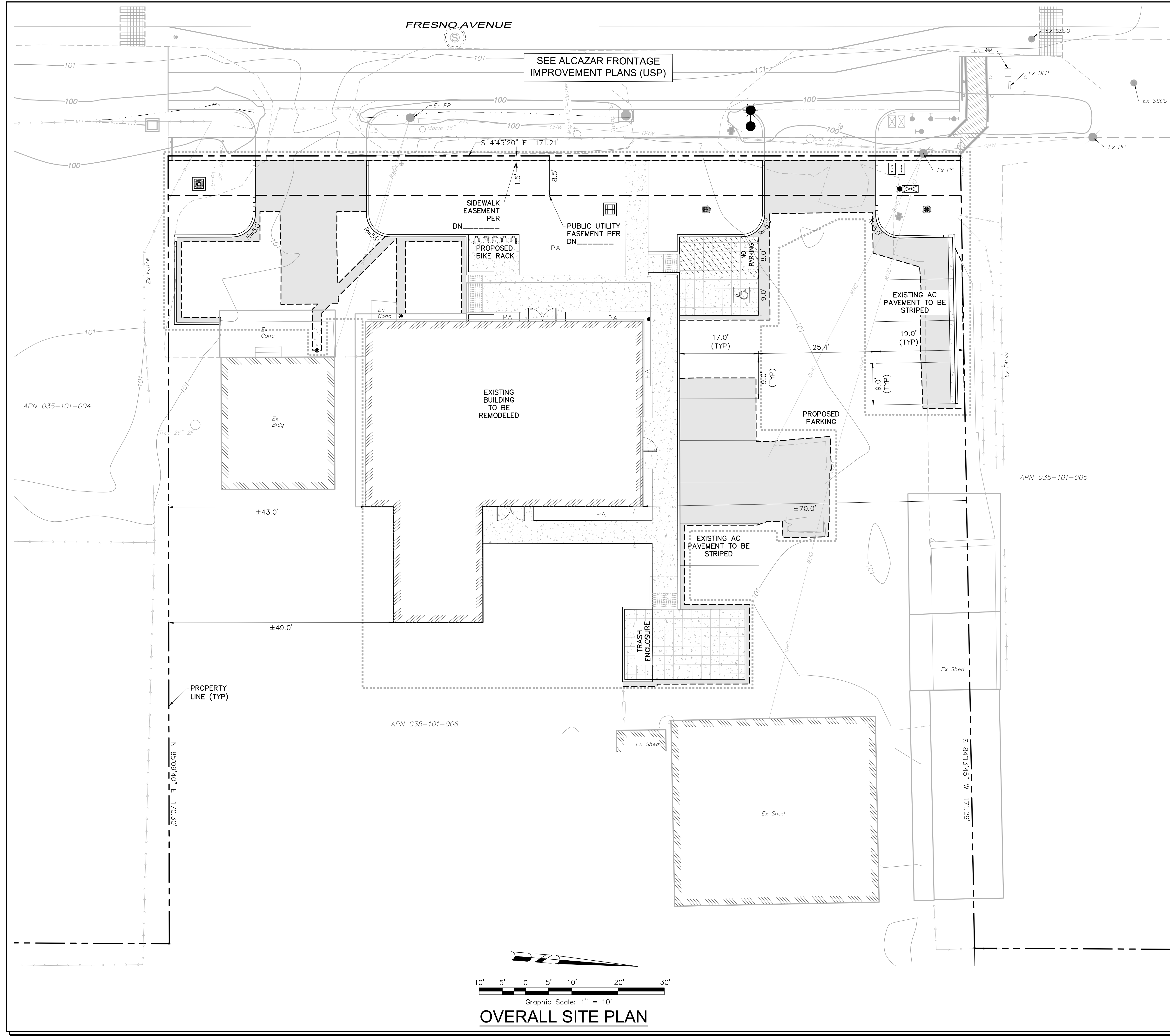


Timothy L. Schram, PCE 67896  
 My license expires 6/30/2023

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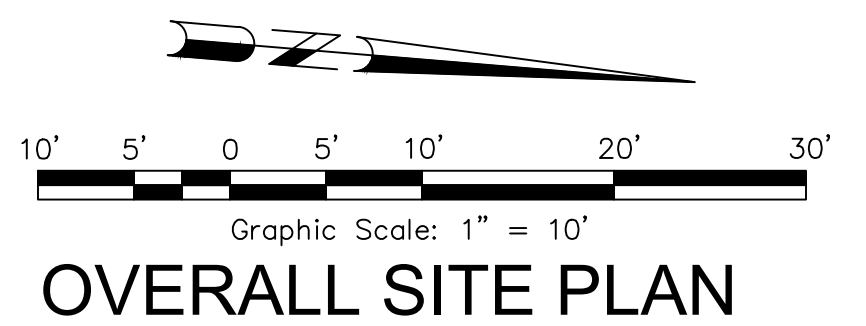
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**HATCHING LEGEND:**

[Hatched Pattern]	4" PCC OVER 4" CL II AB	[Hatched Pattern]	6" PCC W/ #4 18 OCEW OVER 4" CL II AB
[Hatched Pattern]	0.2' AC OVER 0.67' CL II AB		



**PLANNING RECEIVED**  
 DATE: April 5, 2023  
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 PLANNER: M.S.W.

<b>SCALE:</b> AS SHOWN	Date: March 27, 2023
	Design by: AP
	Drawn by: DB
	Checked by: JLS
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4 of 6 Sheets Job 19154	

Revisions	No.	Date	Description	Approved

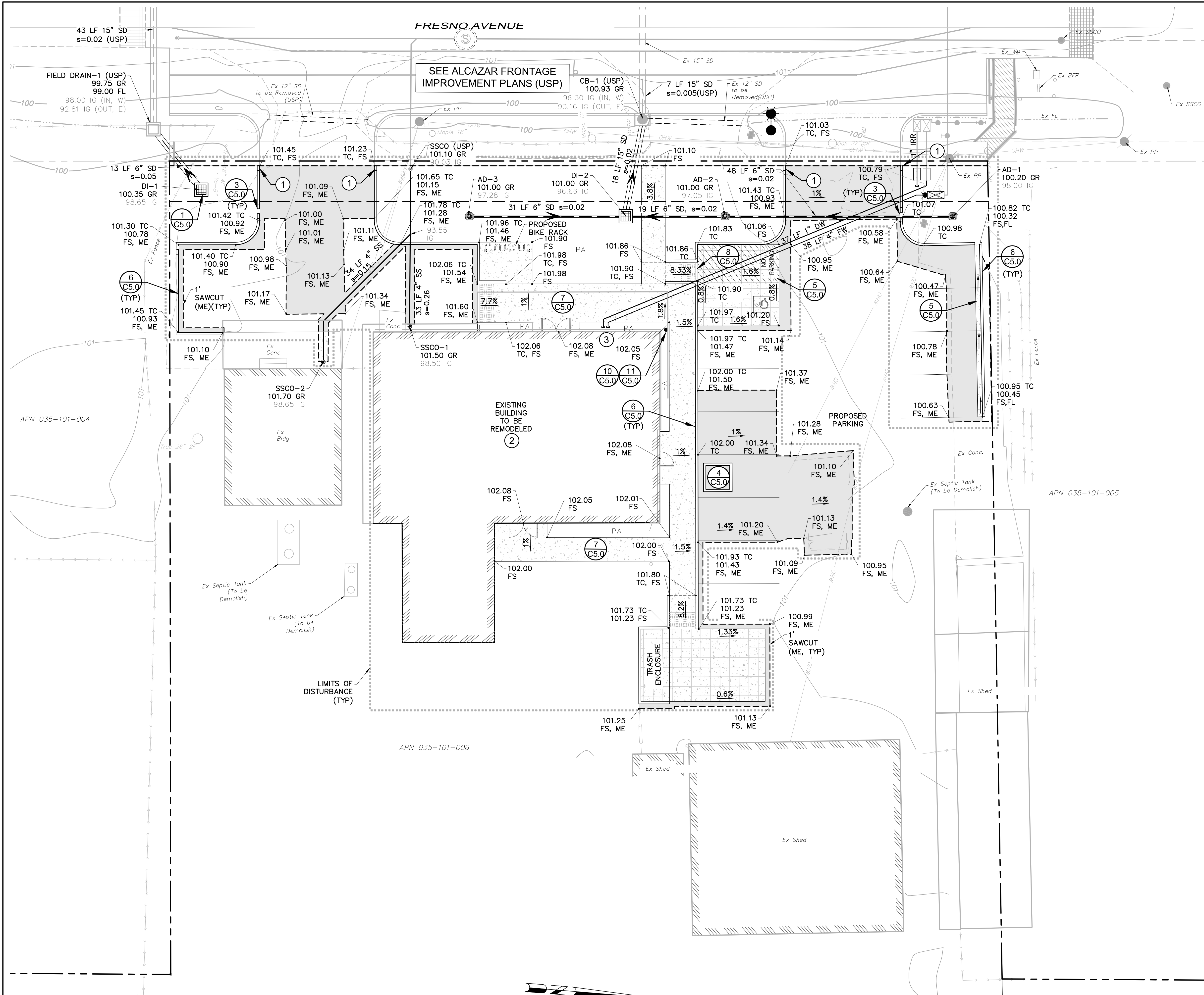
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Timothy L. Schram, PCE 67890  
 My license expires 6/30/2023

**ALCAZAR RESIDENCE**  
**OVERALL SITE PLAN**

910 Fresno Avenue  
 Santa Rosa, California  
 APN 035-101-006



- KEY NOTES:**
- 0" TO 6" CURB TRANSITION
  - CONTRACTOR TO VERIFY BUILDING SECTION AND NOTIFY ENGINEER IF DIFFERENT.
  - CONTRACTOR TO VERIFY FIRE LINE SIZE AND LOCATION WITH FIRE SPRINKLER CONSULTANT PRIOR TO CONSTRUCTION

**HATCHING LEGEND:**

	4" PCC OVER 4" CL II AB		6" PCC W/ #4 18 OCEW OVER 4" CL II AB
	0.2' AC OVER 0.67' CL II AB		

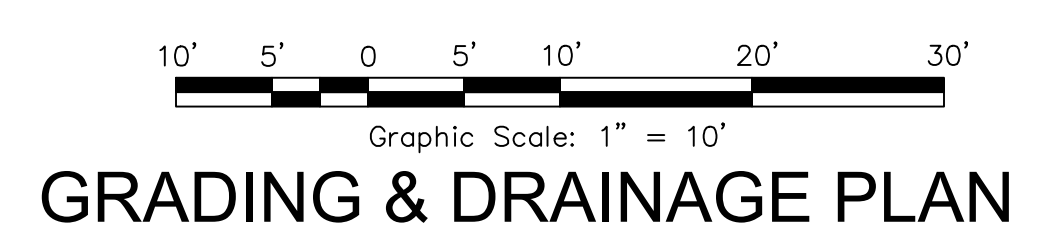
**STORM DRAIN SCHEDULE**

AD-1 THRU 3	6" NDS DRAIN WITH GRATE (OR APPROVED EQUAL)
DI-1 THRU 2	OLDCASTLE MODEL DI-2424 (OR APPROVED EQUAL)
FOUNDATION DRAINS PER GEOTECH'S RECOMMENDATION	
ALL DOWNSPOUTS TO BE TIED TO UNDERGROUND SD SYSTEM WITH 4" SD, S=0.010 (MIN). (SAP)	
STORM DRAIN PIPE SHALL BE RCP, PVC, OR HDPE. (MEETING CALTRANS SEC. 64 SPECIFICATIONS).	

**SANITARY SEWER SCHEDULE**

SSCO'S	ADJUST TO GRADE, PER CITY STD 513
SS LATERALS	PER CITY STD 513
ALL SS MAIN SHALL BE SDR-26	

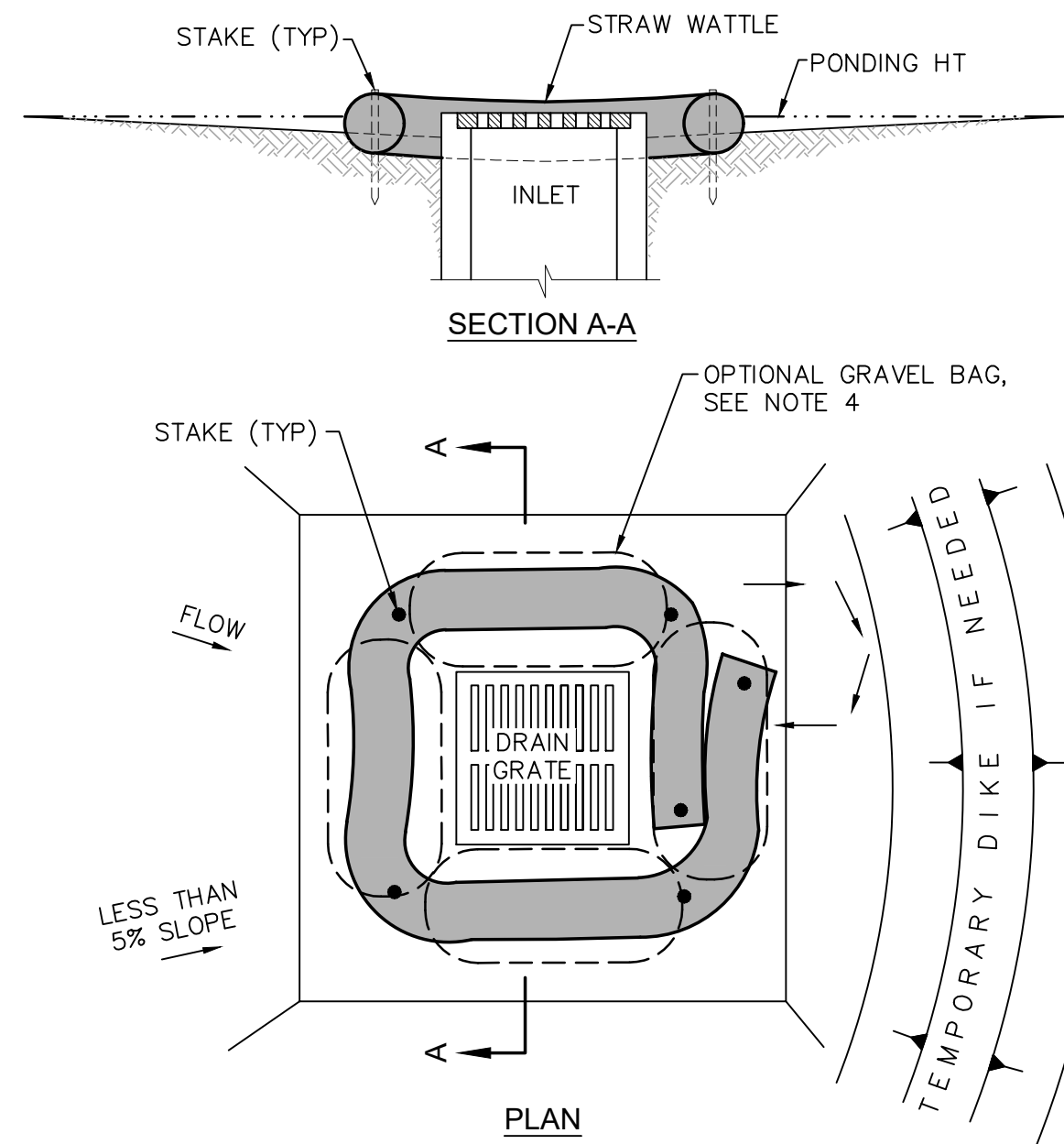
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 FILE#: DR21-041  
 PLANNER: M.S.W.



**GRADING & DRAINAGE PLAN**

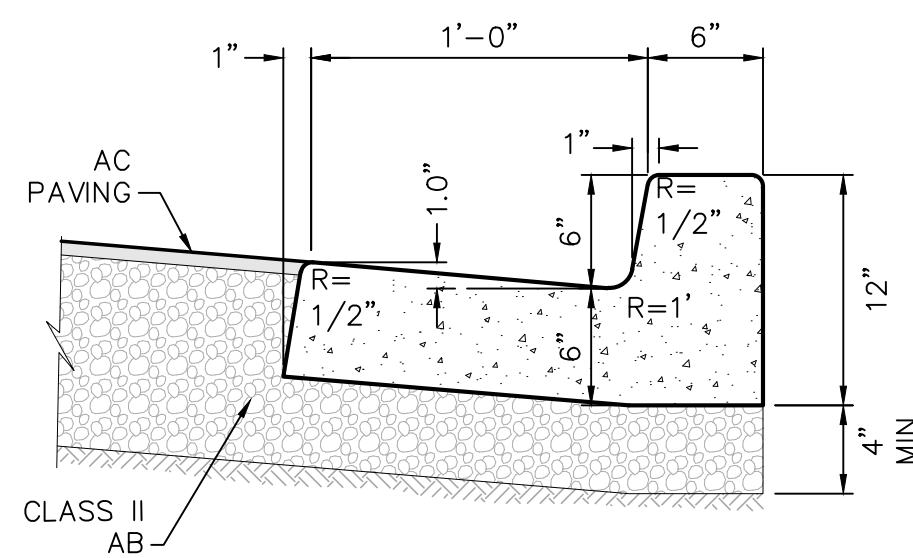
<p><b>ALCAZAR RESIDENCE</b></p> <p><b>GRADING &amp; DRAINAGE PLAN</b></p> <p>910 Fresno Avenue Santa Rosa, California APN 035-101-006</p>	<p>SCALE: AS SHOWN</p> <p>Date: March 27, 2023</p> <p>Design by: AP</p> <p>Drawn by: DB</p> <p>Checked by: JLS</p>	<p>Sheet</p> <p style="font-size: 1.5em;"><b>C4.0</b></p> <p>5 of 6 Sheets Job 19154</p>	<p><b>Revisions</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> <th>Approved</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p style="font-size: 0.8em;"> <b>adobe associates, inc.</b>        civil engineering / land surveying / wastewater        1720 N. Dutton Ave., Santa Rosa, CA 95401        P. (707) 541-2300 F. (707) 541-2301        Website: www.adobeinc.com "A Service You Can Count On!"          Timothy L. Schrom, P.E. 67890        My license expires 6/30/2023     </p>	No.	Date	Description	Approved												
No.	Date	Description	Approved																

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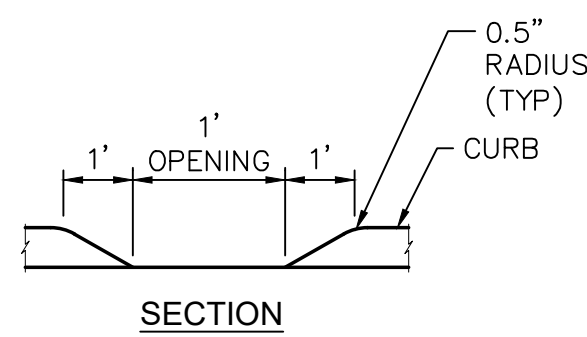


- NOTES:**
- INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%).
  - USE 1X4 WOOD OR EQUIVALENT METAL STAKES, (3 FT MIN LENGTH).
  - THE TOP OF THE FRAME (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.
  - GRAVEL BAGS TO BE USED IN LIEU OF STRAW WATTLE AFTER PAVEMENT HAS BEEN INSTALLED.

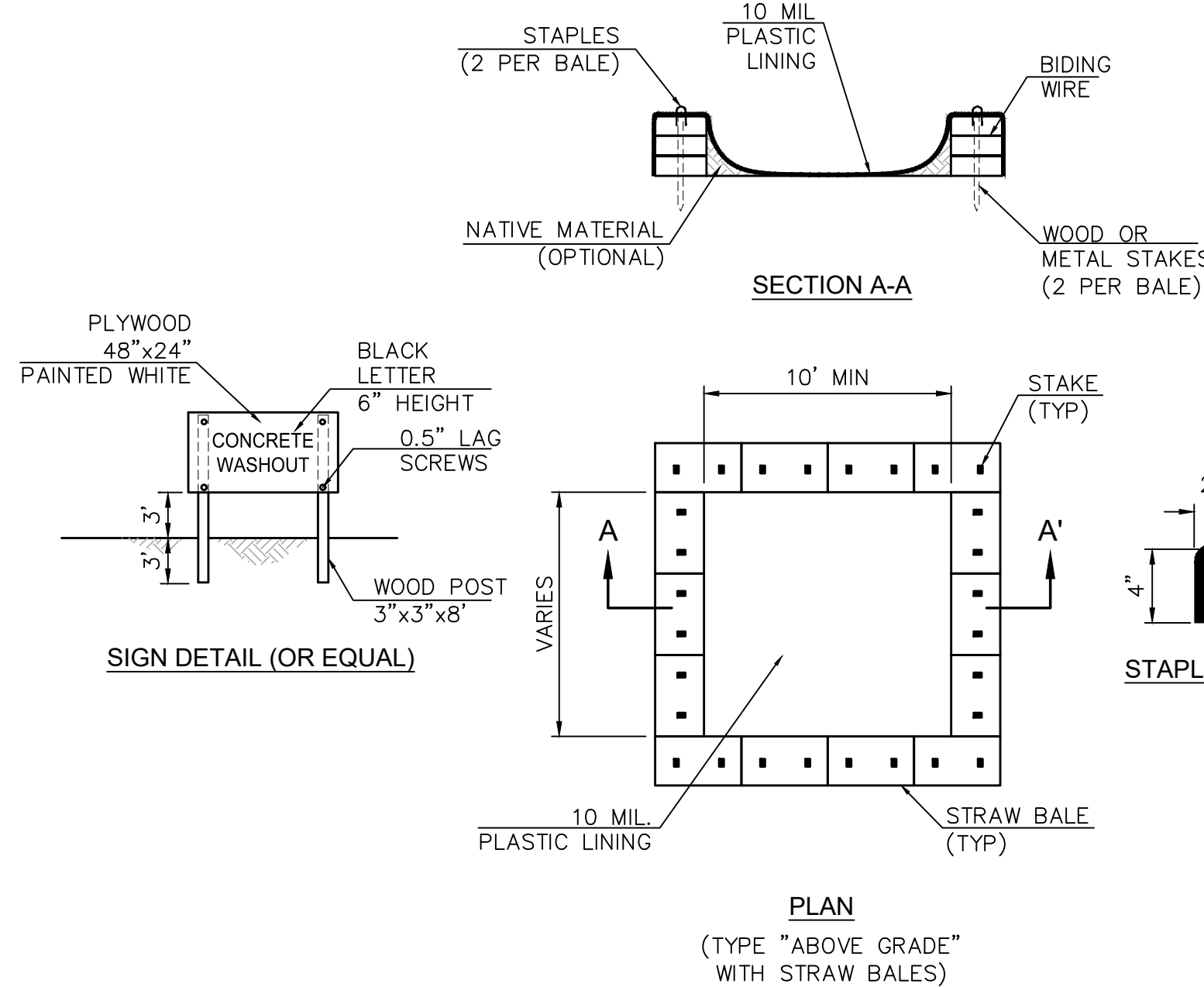
**1 INLET SEDIMENT BARRIER**  
NTS



**2 1-FT CONCRETE CURB & GUTTER**  
NTS

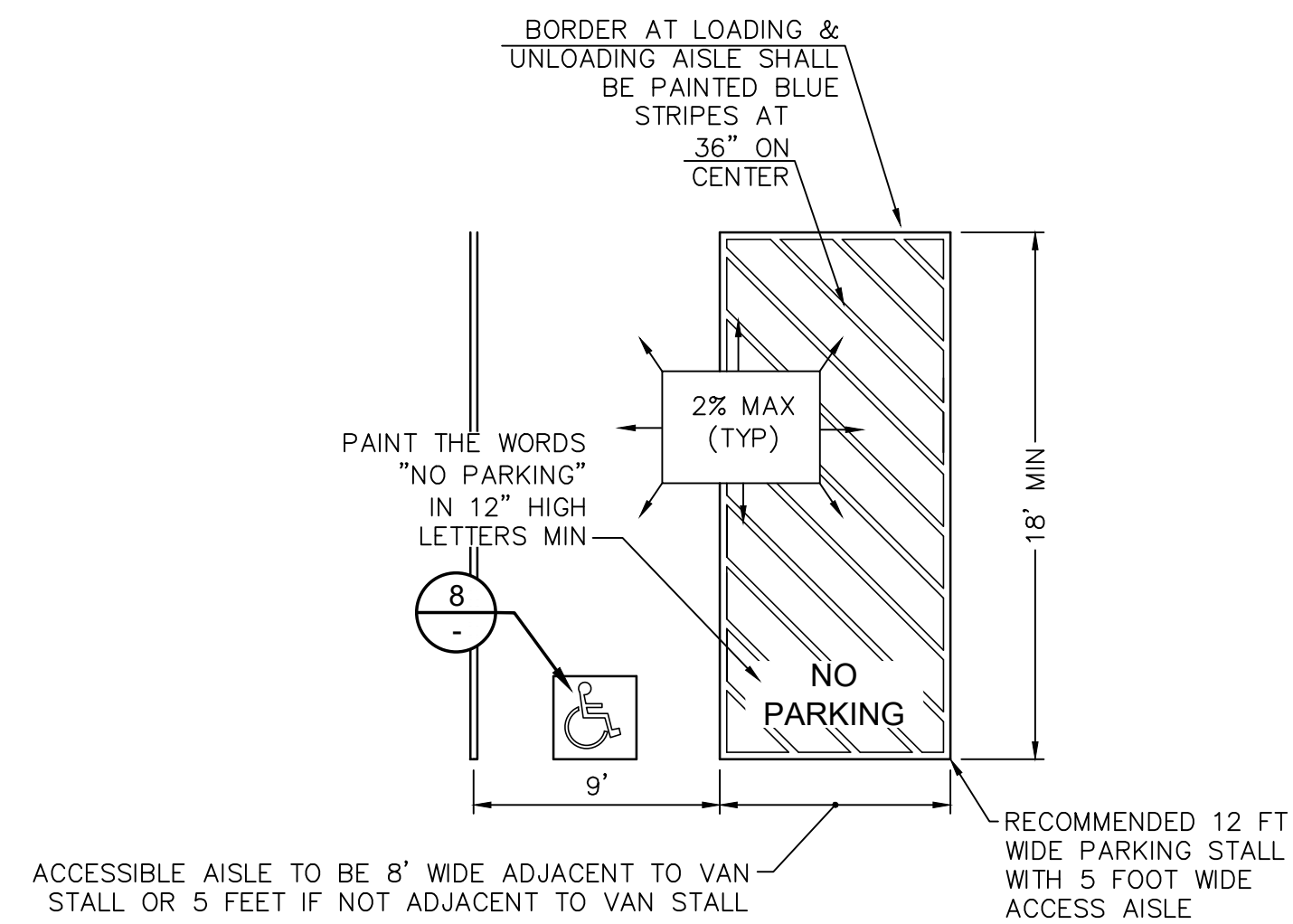


**3 CURB OPENING DETAIL**  
NTS



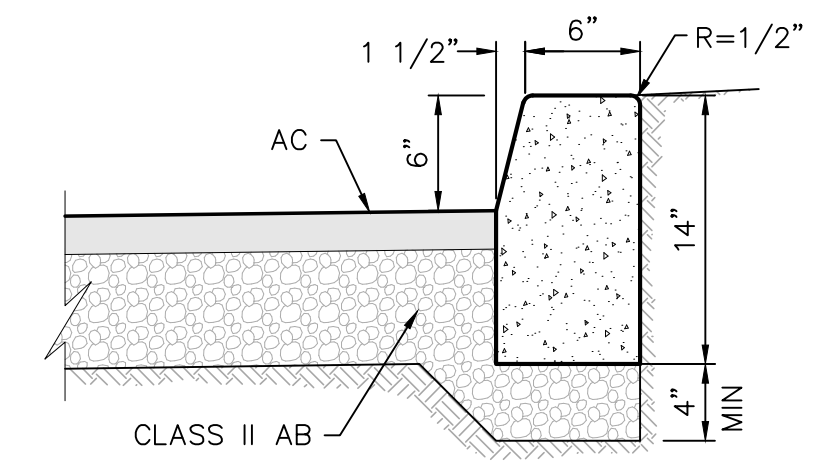
- NOTE:**
- ACTUAL LAYOUT DETERMINED IN FIELD.
  - THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

**4 CONCRETE WASHOUT (WM8)**  
NTS

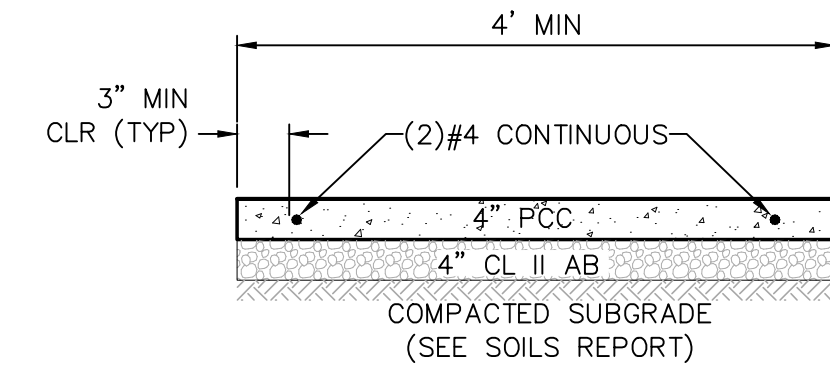


- ACCESSIBLE PARKING NOTES:**
- ACCESS AISLES SHALL BE MARKED WITH A BLUE PAINTED BORDER LINE AROUND THE PERIMETER. THE AREA WITHIN THE BLUE BORDER SHALL BE MARKED WITH HATCHED LINES AT 36 INCHES ON CENTER IN A COLOR CONTRASTING WITH THAT OF THE AISLE SURFACE. BLUE STRIPING SHALL BE 4" WIDE, TYPICAL; HATCHING SHALL BE AT 45 DEGREE ANGLE TO PERIMETER LINES; BLUE COLOR SHALL BE PER CBC 11B-502.3.3 ON CONCRETE AND WHITE ON ASPHALT.
  - THE WORDS "NO PARKING" SHALL BE PAINTED ON THE SURFACE WITHIN EACH ACCESS AISLE IN WHITE LETTERS A MINIMUM OF 12 INCHES IN HEIGHT AND LOCATED TO BE VISIBLE FROM THE ADJACENT VEHICULAR WAY.
  - REFER TO CBC (2019) SECTION 11B-502.3.3 AND SECTION 11B-502.6.4.2 FOR OTHER SPECIFIC REQUIREMENTS, DETAILS AND INSTALLATION.
  - 3' PRE-CAST CONCRETE WHEEL STOP, USE 12" LONG X 3/4" DIA REBAR AND 2-PART EPOXY TO SECURE TO PAVEMENT. PAINT WHEEL STOPS BLUE WHEN INSTALLED ON CONCRETE AND WHITE WHEN INSTALLED ON ASPHALT.
  - PROPOSED STRIPING SHOWN IN DETAIL ARE SCREENED TO EMPHASIZE PARKING DIMENSIONING AND LAYOUT.
  - REQUIRED DIMENSIONS FOR ACCESSIBLE PARKING SPACES AND EV PARKING SPACES SHALL BE TAKEN FROM THE CENTERLINE OF THE STRIPING.

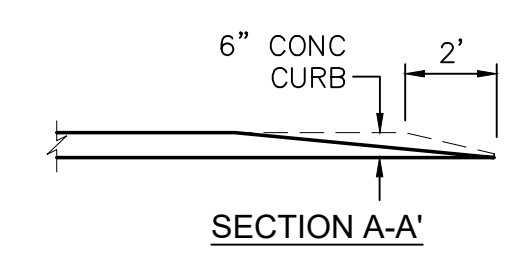
**5 PLAN AT ACCESSIBLE PARKING**  
NTS



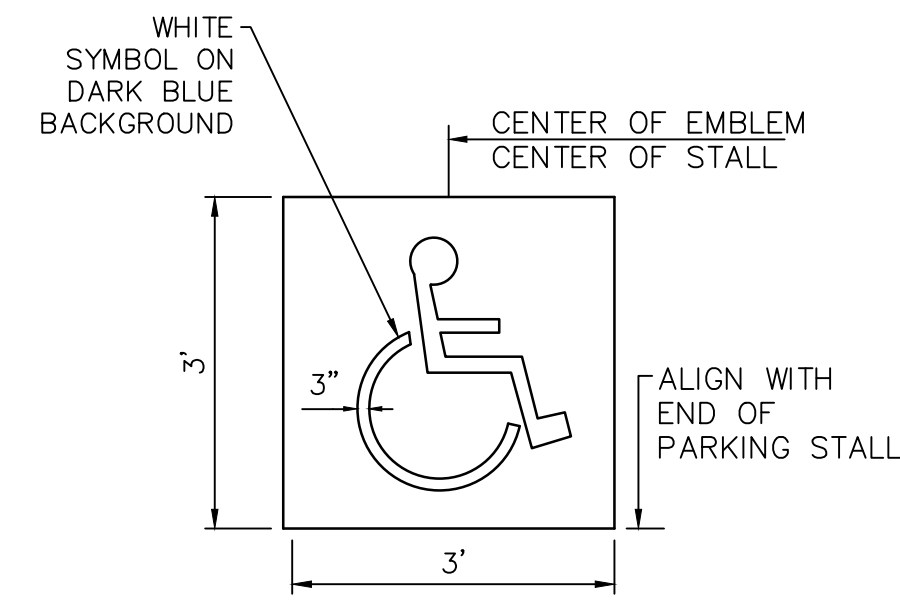
**6 CONCRETE CURB DETAIL**  
NTS



**7 CONCRETE WALK**  
NTS

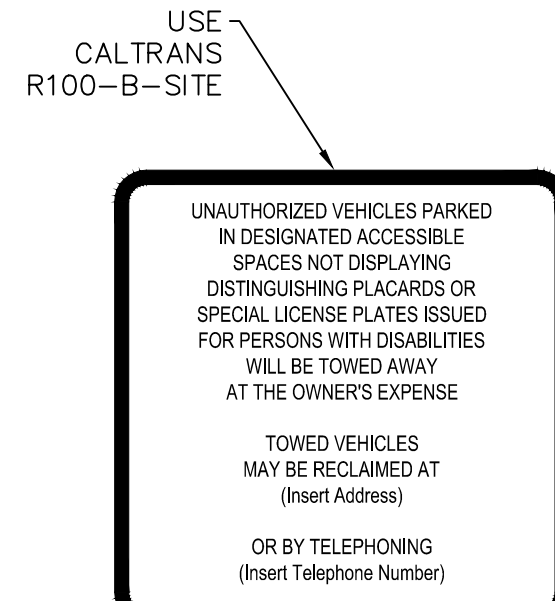


**8 PEDESTRIAN RAMP**  
NTS



- ACCESSIBLE PARKING SYMBOL:**
- EMBLEM TO BE PAINTED ON SURFACE OF PARKING LOT PAVING
  - BACKGROUND COLOR IS BLUE
  - SEE SITE PLAN FOR LOCATION AND ORIENTATION
  - PAINT SHALL BE CALTRANS SPECIFICATION TRAFFIC RATED PAINT

**9 PARKING SYMBOL FOR ACCESSIBLE PARKING**  
NTS



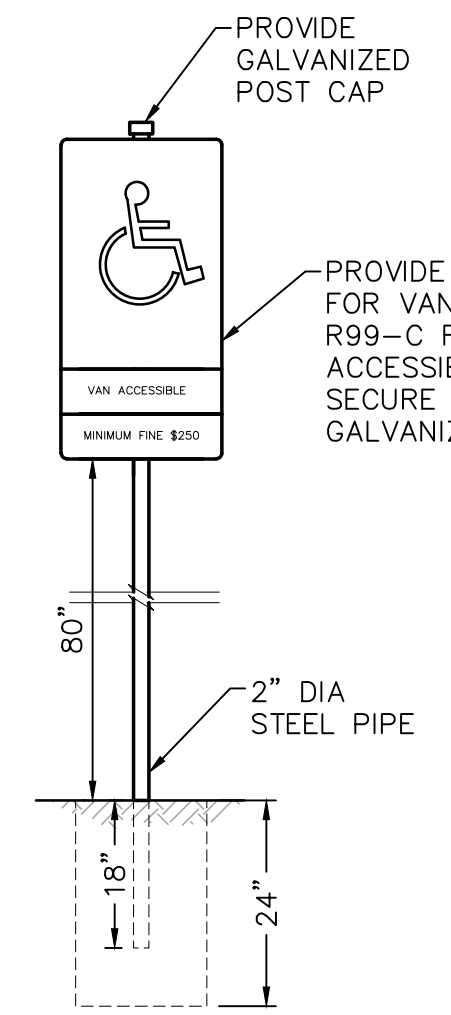
A SIGN SHALL BE POSTED IN A CONSPICUOUS PLACE (SEE SITE PLAN FOR LOCATION) AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES, OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE. THE SIGN SHALL NOT BE LESS THAN 17 INCHES BY 22 INCHES (432 MM BY 559 MM) IN SIZE WITH LETTERING NOT LESS THAN 1 INCH (25 MM) IN HEIGHT, WHICH CLEARLY AND CONSPICUOUSLY STATES THE FOLLOWING:

"UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: \_\_\_\_\_ OR BY TELEPHONING \_\_\_\_\_ MINIMUM FINE \$250" CONTRACTOR SHALL FILL IN INFO AS REQ'D BY THE PERMITTING AGENCY

- NOTES:**
- AN ADDITIONAL SIGN SHALL BE POSTED EITHER IN A CONSPICUOUS PLACE AT EITHER EACH ENTRANCE TO AN OFF-STREET PARKING FACILITY OR IMMEDIATELY ADJACENT TO ON-SITE ACCESSIBLE PARKING AND VISIBLE FROM EACH PARKING SPACE.
  - THE ADDITIONAL SIGN SHALL NOT BE LESS THAN 17" WIDE BY 22" HIGH.
  - BLANK SPACES ARE TO BE FILLED IN WITH APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN.
  - REFER TO CBC (2019) SECTION 11B-502.8.2 FOR OTHER SPECIFIC REQUIREMENTS, DETAILS AND INSTALLATION.

"UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: \_\_\_\_\_ OR BY TELEPHONING \_\_\_\_\_"

**10 UNAUTHORIZED VEHICLE SIGNAGE**  
NTS



- NOTES:**
- EACH PARKING SPACE RESERVED FOR PERSONS WITH DISABILITIES SHALL BE IDENTIFIED BY A REFLECTORIZED SIGN PERMANENTLY POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE, CONSISTING OF A PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT PAINTED IN WHITE ON A DARK BLUE BACKGROUND.
  - THE SIGN SHALL NOT BE SMALLER THAN 70 SQUARE INCHES IN AREA AND WHEN IN THE PATH OF TRAVEL SHALL BE POSTED AT A MINIMUM HEIGHT OF 80 INCHES FROM THE BOTTOM OF THE SIGN TO THE FINISH GRADE OF THE PARKING SPACE.
  - ADD THE WORDS STATING: "VAN ACCESSIBLE" OR SIGN AS SHOWN AT STALLS DESIGNATED FOR VAN ACCESSIBLE PARKING.

**11 SIGNAGE AT ACCESSIBLE PARKING STALLS**  
NTS

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**ALCAZAR RESIDENCE**

**DETAILS**

910 Fresno Avenue  
Santa Rosa, California  
APN 035-101-006

adobe associates, inc.  
civil engineering | land surveying | wastewater  
1720 N. Dutton Ave., Santa Rosa, CA 95401  
P: (707) 541-2300 F: (707) 541-2301  
Website: www.adobeinc.com

Timothy L. Schrom, PCE 67890  
My license expires 6/30/2023