

Stonebridge Subdivision CUP Modification

2220 Fulton Road

August 8, 2024

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Planning and Economic Development

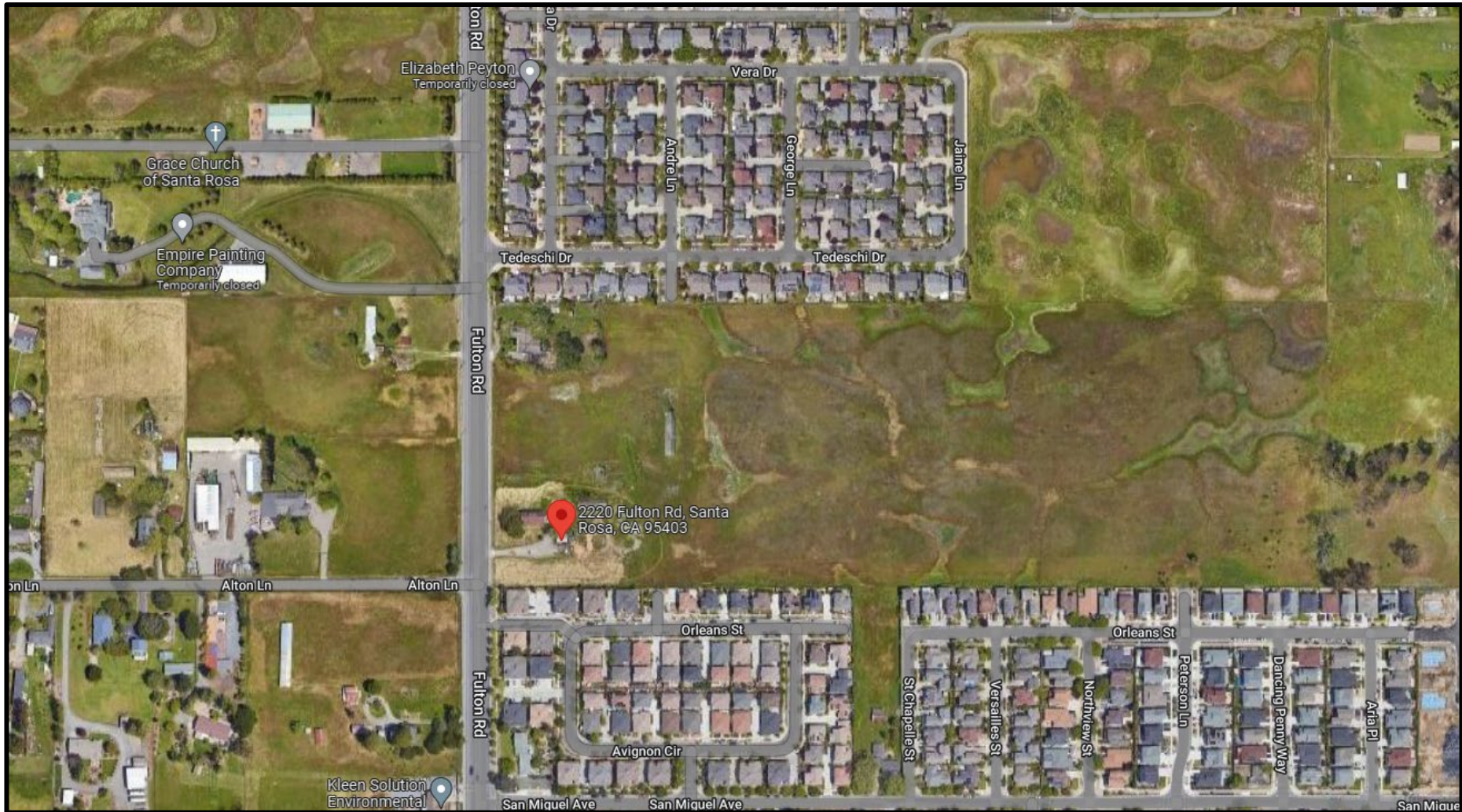
- May 27, 2021 - Planning Commission approved the Stonebridge Subdivision
 - Initial Study/Mitigated Negative Declaration
 - Conditional Use Permit (Reso 12056)
 - Tentative Map to subdivide (Reso 12057)
 - 105 Residential Lots
 - Three lettered parcels
- December 8, 2022 – Addendum to previously approved Initial Study/Mitigated Negative Declaration approved by Planning Commission

- December 8, 2022– Applications to replace the approved CUP & Tentative Map approved allowing 108 residential lots
- February 6, 2024 – Application submitted requesting the approval of a Conditional Use Permit for the Stonebridge Subdivision for reduced setbacks affecting 21 out of 108 lots

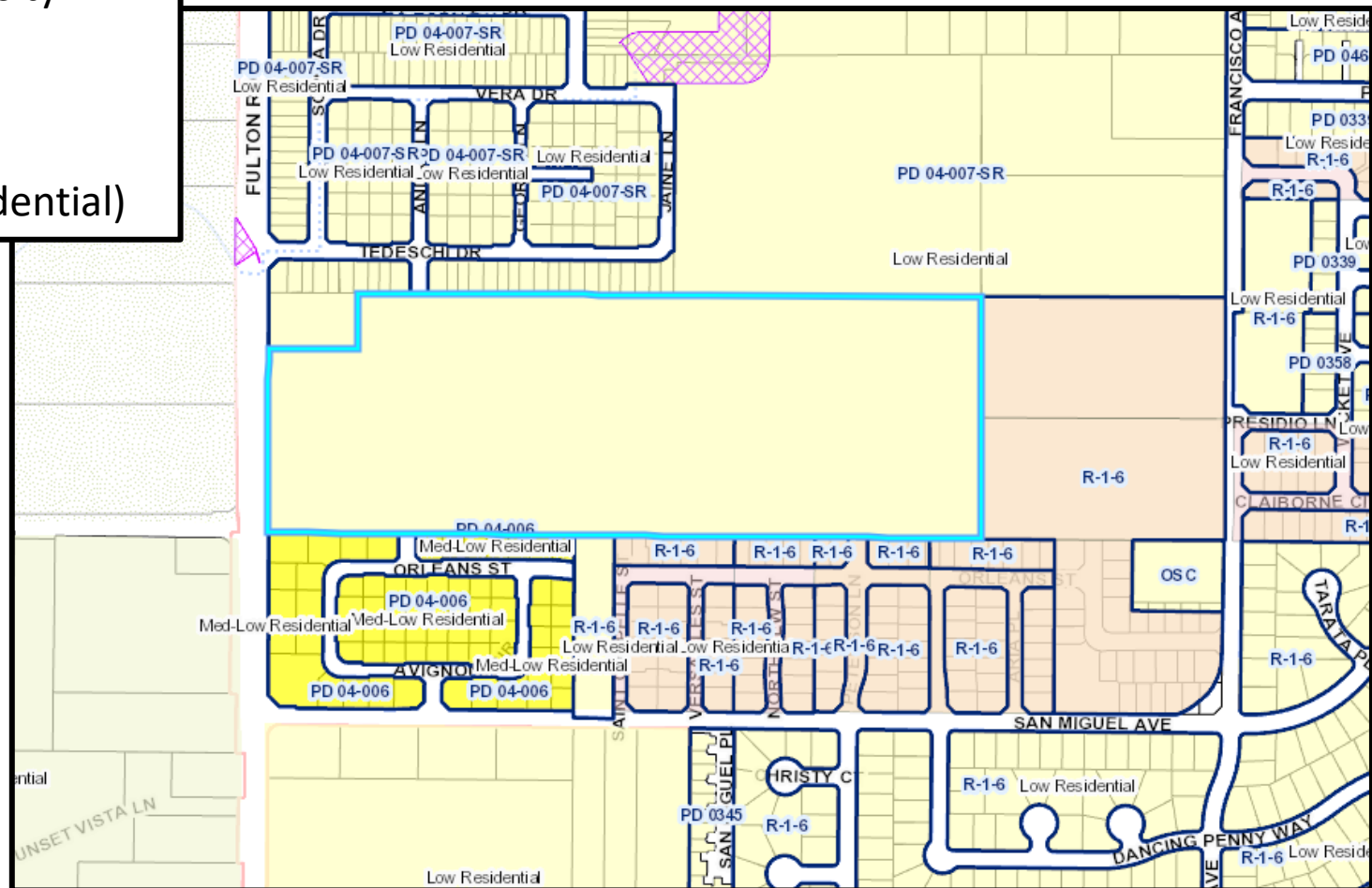
2220 Fulton Road Existing Conditions



2220 Fulton Road Neighborhood Context



Zoning: Planned
Development (Residential)



General Plan:

- The project is within the allowable density range at 3.77 units per acre
- Helps meet the housing needs of Santa Rosa residents
- Provides deed-restricted affordable units
- Preserves a large area with habitat for protected species

Zoning:

- Remains consistent with development standards
- Zoning Code Section 20-42.140F.4, the applicant may propose, and the review authority may approve different setbacks than the small lot subdivision development standards

Zoning:

- Zoning Code Section 20-52.050 identifies six required findings for a Conditional Use Permit. The findings made for the previously approved Conditional Use Permit are still relevant, and are shown in the draft resolution.
- Zoning Code Section 20-52.060 discusses modifications to approved projects. Because the project requests a reduction in setbacks, it has been elevated to the Planning Commission.

Environmental Review

California Environmental Quality Act (CEQA)

- May 27, 2021 - Initial Study/Mitigated Negative Declaration adopted
- December 8, 2022 - Addendum to the IS/MND

Reduced Setbacks

Number of Lots	Setback Reductions Requested	Constraint
7 Lots (Lots 6*, 7, 40, 48, 59, 80, 92)	Reduced Rear Setback by 4' (From 15' to 11') *by 5' on Lot 6	To accommodate single-story floor plan "Plan 1342"
13 Lots (Lots 16, 27, 42, 43, 53, 56, 66, 75, 83, 85, 89, 94, 95)	Reduced Garage Setback by 3' (From 19' to 16'), & Reduced Rear Setback by 1' (From 15' to 14')	To accommodate single-story floor plan "Plan 1342"
1 Lot (Lot 47)	Reduced Garage Setback by 6' (From 19' to 13')	To accommodate approved 2-story architectural substitution "Plan 1705" on irregularly sized lot constrained by PUE and side setback

Reduced Setbacks



Issues & Public Comments

There are no unresolved issues.

No new public comments have been received.



Recommendation

It is recommended by the Planning and Economic Development Department that the Planning Commission approve a modification to the previously approved Conditional Use Permit for the Stonebridge Subdivision to allow reduced setbacks on 21 parcels.

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