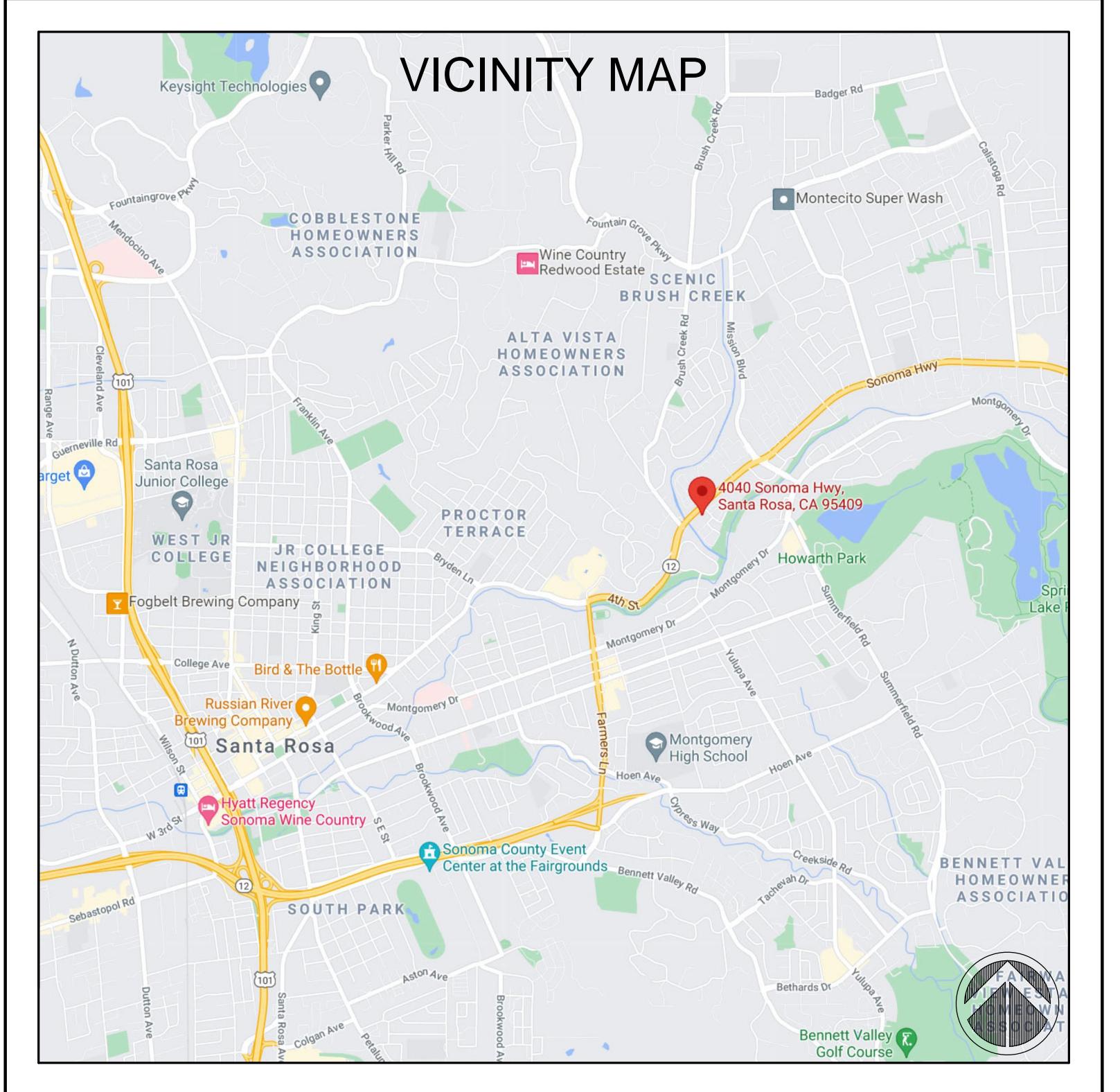


ABBREVIATIONS	
AND	ANGLE
AT	CENTERLINE
EXISTING	FUTURE
NEW	NEW
A.B.	ANCHOR BOLT
A.C.	ASPHALT CONCRETE
A.C.C.	ACOUSTIC
A.D.A.	AMERICANS WITH DISABILITIES ACT
A.D.J.	ADJUSTABLE
A.D.S.	ACCESS FLOOR
A.F.F.	ABOVE FINISH FLOOR
A.F.S.	AUTOMATIC FIRE SPRINKLERS
A.L.U.M.	ALUMINUM
A.T.T.	ATTENUATION
B.D.	BOARD
B.D.G.	BUILDING
B.L.K.	BLOCK
B.L.K.T.S.	BLANKETS
C.	CARPET
C.F.S.	CHANNEL FRAMING SYSTEM
C.G.	CORNER GUARD
C.H.	COAT HOOK
C.L.G.	CLADDING
C.L.E.A.R.	CLEAR
C.O.N.F.	CONFERENCE
C.O.N.C.	CONCRETE
C.O.N.T.	CONTINUOUS
C.O.P.	CUPBOARD
C.S.K.	COUNTERSINK
C.T.	CARPET TILE
D.E.T.	DETAIL
D.I.M.	DIMENSION
E.A.	EACH
E.E.W.S.	EMERG. EYEWASH & SHOWER
E.L.	ELEVATION
E.M.E.R.G.	EMERGENCY
E.P.B.	ELECTRIC PANEL BOARD
E.W.C.	ELECTRICAL WATER COOLER
E.X.T.	EXTERIOR
F.B.	FLAT BAR
F.D.	FLOOR DRAIN
F.E.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET
F.H.C.	FIRE HOSE CABINET
F.I.N.	FINISH
F.L.	FLOOR
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.M.	FACE OF MASONRY
F.O.T.	FACE OF TILE
F.R.P.	FIBERGLASS REINFORCED PLASTIC
F.S.	FIRE SPRINKLER
F.T.G.S.	FOOTINGS
F.V.C.	FIRE VENT CABINET
F.W.C.	FABRIC WALL COVERING
F.W.P.	FABRIC WRAPPED PANELS
G.	GROUT
G.A.	GAUGE
G.A.L.V.	GALVANIZED
G.B.R.	GALVANIZED IRON
G.B.R.W.	GYPSUM BOARD DRY WALL
G.I.	GALVANIZED IRON
G.L.	GLASS
G.R.	GRADE
H.C.	HANDICAPPED
H.M.	HOLLOW METAL
H.P.	HIGH POINT
I.N.C.	INCLUDING
I.N.S.	INSIDE
I.N.S.U.L.	INSULATION
L.A.M.	LAMINATE
L.A.V.	LAVATORY
L.P.	LOW POINT OF PLASTIC LAMINATE
L.S.D.	LIQUID SOAP DISPENSER
M.A.X.	MAXIMUM
M.B.	MACHINE BOLT
M.F.L.	MONOLITHIC FLOORING
M.F.R.	MANUFACTURER
M.I.N.	MINIMUM
M.T.L.	METAL
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.D.	OVERFLOW DRAIN
O.P.N.G.	OPENING
R.	PLATE
R.B.	PAINT
R.D.	PLASTER
R.F.	PLUMWOOD
R.M.	POINT
R.S.D.	PAPER TOWEL DISPENSER
R.T.	RISER
R.W.D.	RESILIENT BASE
R.D.	ROOF DRAIN
R.E.F.	REFRIGERATOR
R.E.Q.D.	REQUIRED
R.E.F.F.	REINFORCED FLOORING
R.M.	ROOM
R.S.D.	RECESSED SOAP DISPENSER
R.T.	RESILIENT TILE
R.W.D.	REDWOOD
R.W.L.	RAIN WATER LEADER
S.A.D.	SEE ARCHITECTURAL DRAWINGS
S.C.	SEALED CONCRETE
S.D.S.	STORM
S.F.	STONE FLOORING
S.G.	SPECIAL GLASS
S.H.T.	SHEET
S.M.	SIMILAR
S.M.D.	SOLID SURFACING MATERIAL
S.N.D.	SANITARY NAPKIN DISPENSER
S.N.R.	SANITARY NAPKIN RECEPTACLE
S.S.	STAINLESS STEEL
S.S.S.D.	SEE STRUCTURAL DRAWINGS
S.T.L.	STEEL
S.T.R.U.C.T.	STRUCTURAL
T.	TREAD
T.C.V.	TEMP. CONTROL VALVE
T&B.	TOP AND BOTTOM
T.O.S.	TOP OF SLAB
T.S.	TOP SECTION
T.Y.P.	TYPICAL
T.P.	TOILET PAPER
T.S.C.	TOILET SEAT COVER
U.G.	UNDERGROUND
U.O.N.	UNLESS OTHERWISE NOTED
U.R.	URINAL
V.C.T.	VINYL COMPOSITION TILE
V.W.C.	VINYL WALL COVERING
W/I.	WITH
W.B.	WOOD BASE
W.H.	WOOD FLOORING
W.H.	WATER HEATER
W.P.	WATERPROOF
W.R.	WATER RESISTANCE
W.I.T.	WINDLOAD TEST
W.V.	WOOD VENEER
W.W.F.	WELDED WIRE FABRIC



JANE DISPENSARY TENANT IMPROVEMENT

4040 SONOMA HIGHWAY
SANTA ROSA, CA 95249

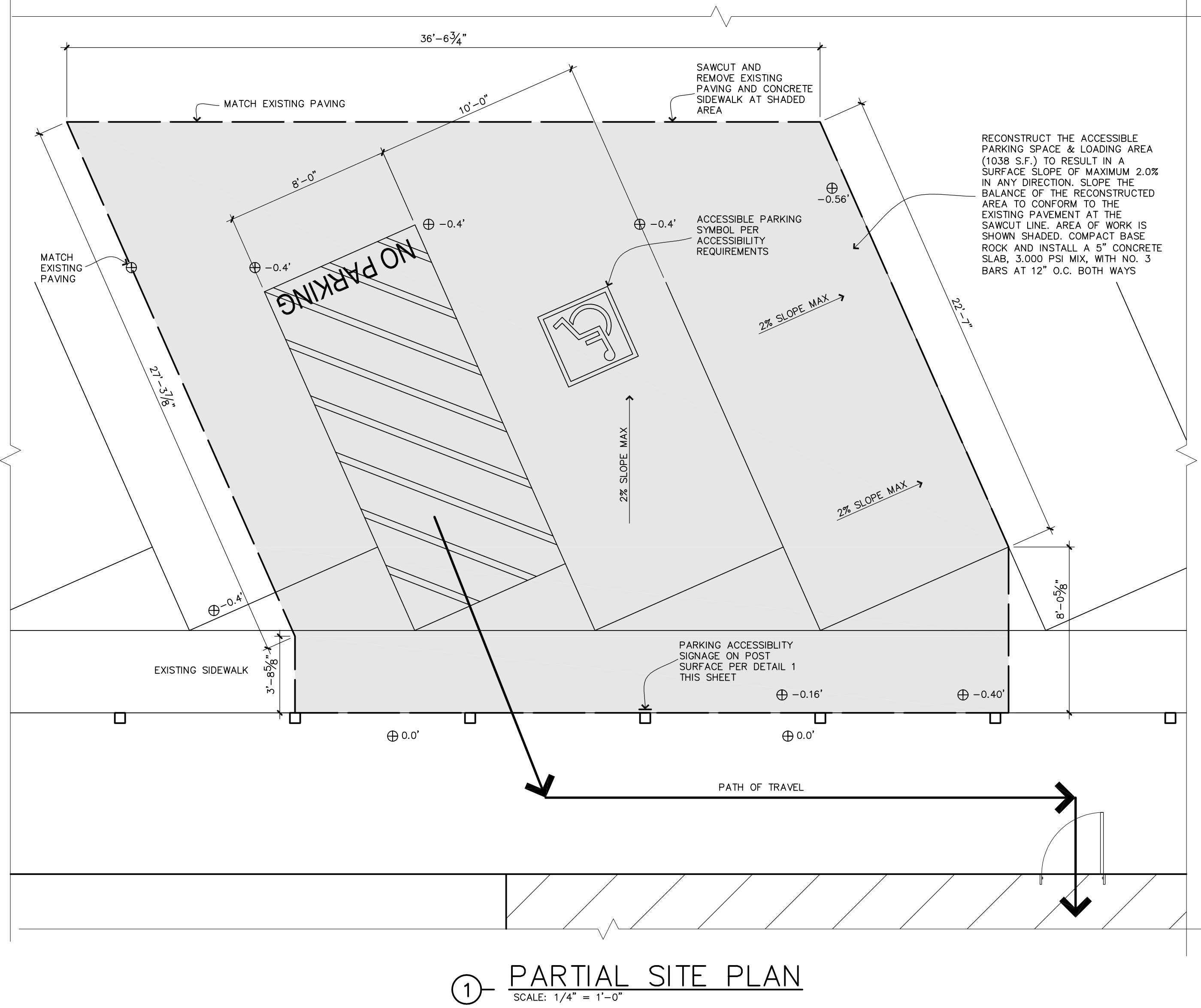
A.P.N. 032-500-040

GENERAL NOTES	
<p>1. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE 2019 CALIFORNIA BUILDING CODE, AND OTHER LOCAL, STATE OR FEDERAL CODES AND ORDINANCES AS THEY APPLY TO THE WORK PERFORMED HERE-IN.</p> <p>2. THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL VISIT THE JOB SITE AND VERIFY DRAWINGS AND CONDITIONS AND BRING TO THE DESIGNER'S ATTENTION ANY DISCREPANCIES, ERRORS, OR OMISSIONS REQUIRING CLARIFICATION OR REVISION BEFORE COMMENCING WITH THE WORK.</p> <p>3. THE DRAWINGS SHALL NOT BE SCALED. THE DRAWINGS SHALL BE CONSIDERED A GUIDE AND EXISTING PARTITIONS SHALL TAKE PRECEDENCE OVER SCALE OR DIMENSIONS. ALL DIMENSIONS SHOWN ARE TO FACE OF STUD OR CONCRETE. CONTRACTOR SHALL NOTIFY THE DESIGNER IF UNKNOWN WIRES, PLUMBING VENTS OR FRAMING PROBLEMS ARISE BEFORE TRYING TO RECTIFY SAME.</p> <p>4. JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING THE SAFETY OF ALL PERSONS AND DAMAGE TO THE PROPERTY, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.</p> <p>5. TEMPORARY SHORING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.</p> <p>6. THE CONTRACTOR WILL HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE DESIGNER AND HIS CONSULTANTS AND EACH OF THEIR OFFICERS AND EMPLOYEES AND AGENTS FROM ANY AND ALL LIABILITY CLAIMS, LOSSES AND DAMAGES ARISING OR ALLEGED TO ARISE FROM THE PERFORMANCE OF THE WORK DESCRIBED HERE-IN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, THE DESIGNER AND HIS CONSULTANTS, AND EACH OF THEIR OFFICERS, EMPLOYEES AND AGENTS.</p> <p>7. CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES NEAT AND ORDERLY, IN A SAFE WORKING CONDITION, AND FREE FROM ACCUMULATION OF WASTE MATERIALS CAUSED BY HIS OPERATION. AT THE COMPLETION OF THE WORK, HE SHALL REMOVE ALL WASTE MATERIAL, TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, AND SURPLUS MATERIALS FROM THE PREMISES, SHALL CLEAN ALL GLASS SURFACES, AND LEAVE THE WORK BROOM CLEAN THROUGHOUT. IF THE CONTRACTOR FAILS TO CLEANUP, THE OWNER MAY DO SO AND THE COST THEREOF SHALL BE PAID BY THE CONTRACTOR.</p> <p>8. DUE TO THE NATURE OF PROJECTS INVOLVING EXISTING CONDITIONS, WE RESERVE THE RIGHT TO MODIFY OUR REQUIREMENTS DURING CONSTRUCTION DUE TO FIELD CONDITIONS. THE COSTS FOR MODIFICATIONS REQUIRED BY OUR OFFICE SHALL BE SOLELY THE RESPONSIBILITY OF THE OWNER AND WE ASSUME NO LIABILITY FOR THESE CONDITIONS OTHER THAN TO PROPERLY ADJUST OUR DETAILS, DESIGNS, AND CALCULATIONS IF WE FEEL THIS TO BE NECESSARY.</p> <p>9. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY UNAUTHORIZED CHANGES TO OR USE OF THESE DRAWINGS. ALL CHANGES TO THE DRAWINGS MUST BE IN WRITING AND APPROVED BY THE DESIGNER.</p>	

SCOPE OF WORK	
<p>THE SCOPE OF WORK SHALL CONSIST OF THE FOLLOWING: TENANT IMPROVEMENT TO AN EXISTING RETAIL SPACE (1/3RD OF A 1-STORY BUILDING) FOR THE PURPOSES OF RETAIL CANNABIS SALES. AT REAR: EXISTING ACCESSIBLE BATHROOM TO REMAIN, REMODEL BREAK-ROOM, AND INVENTORY OFFICE WITH STORAGE. THE WORK <u>WILL NOT</u> INVOLVE STRUCTURAL MODIFICATIONS.</p>	
CONTACTS	
OWNER:	2074 ARMORY INC. 1030 2nd St. STE 2A SANTA ROSA, CA 95404 707-529-8385
ARCHITECT:	BEVING ARCHITECTURE INC. MICA BEVING PO BOX 154 VENTURA, CA 93002 805-302-9166
MECHANICAL ENGINEER:	15000 INC. 2901 CLEVELAND AVE., SUITE E-04 SANTA ROSA, CA 95403 707-577-0363
LIGHTING WATTAGE CALCS:	DELTA T ENERGY adrian@deltatenergyconsulting.com 707-827-0233
CONSTRUCTION TYPE: OCCUPANCY:	III-B M
OCCUPANT LOAD: MERCANTILE / OFFICE	S.F./FACTOR TABLE 10-A 2012 / 100 = 20 LOAD

SHEET INDEX	
SHEET	DESCRIPTION
T.001	COVER SHEET, GENERAL NOTES, VICINITY MAP AND INDEX
ARCHITECTURAL:	
A.201	AS-BUILT / DEMO FLOOR PLAN
A.211	PROPOSED FLOOR PLAN
A.301	EXTERIOR ELEVATIONS & BUILDING SECTIONS
A.500	ADA ACCESSIBILITY DETAILS
A.501	INTERIOR ELEVATIONS
A.502	INTERIOR ELEVATIONS
STAMPS / APPROVALS	
<p>City of Santa Rosa Planning & Economic Development Department Aug 12, 2021 RECEIVED</p>	
Revisions: Rev:	Date
Drawn By:	SM
Date:	5/12/21
Scale:	AS SHOWN
TITLE SHEET	

T.001



1 PARTIAL SITE PLAN

SUMMARIZED BUILDING CODE ANALYSIS

LOCATION: 4046 SONOMA HIGHWAY, SANTA ROSA, CALIFORNIA
APPLICABLE CODE: 2019 CALIFORNIA BUILDING CODE (CBC),
TITLE 24, PART 2, VOLUMES 1 AND 2

	ACTUAL	ALLOWED
1. OCCUPANCY & USE	A-3 RESTAURANT	
2. TYPE OF CONSTRUCTION	V-N	
3. NUMBER OF STORIES:	1	
4. ACTUAL BUILDING HEIGHT:	14'-0"	40'-0"
5. BUILDING AREA:	1,745 SQ. FT.	
6. AREA OF PROJECT:	21,647 SQ. FT.	
7. ALLOWABLE AREA:	N/A	
8. AREA INCREASES:	NONE	
9. HEIGHT INCREASES:	NONE	75 FEET ALLOWED
10. FIRE SPRINLERS:	NO	
11. FIRE ALARM SYSTEM:	YES	
12. OTHER FIRE PROTECTION	YES	FIRE EXTINGUISHERS
13. SMOKE CONTROL SYSTEM:	NO	
14. BUILDING OCCUPANT LOAD		
15. YEAR OF ORIG. CONSTRUCTION:		
16. HIGH FIRE HAZARD SEVERITY ZONE:	NO	
17. EMERGENCY RESPONDER RADIO COVERAGE	YES	

1 PARKING SIGNAGE
SCALE: NONE

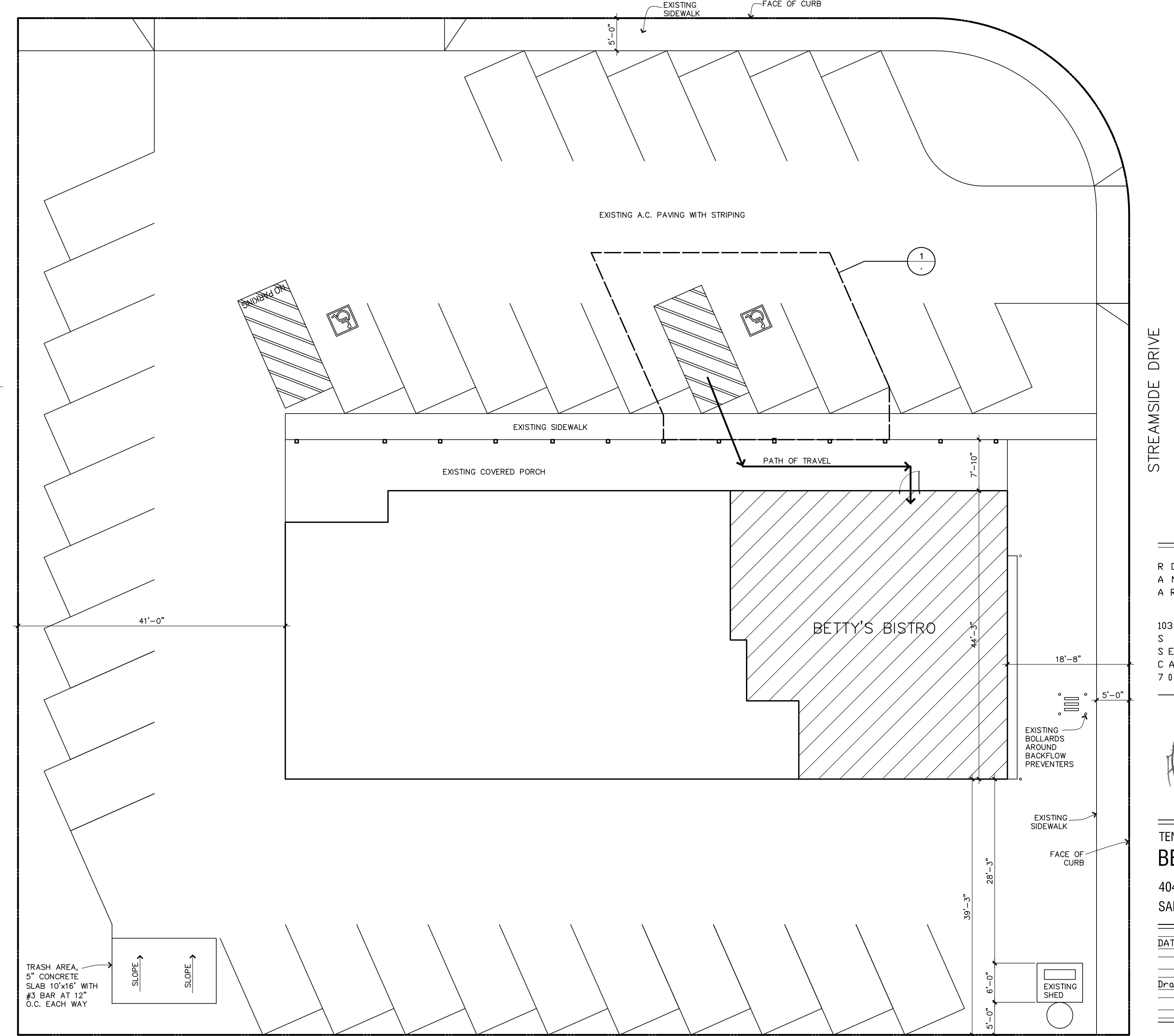
APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE:

CALIFORNIA BUILDING CODE, 2019 EDITION
CALIFORNIA PLUMBING CODE, 2019 EDITION
CALIFORNIA MECHANICAL CODE, 2019 EDITION
CALIFORNIA ELECTRICAL CODE, 2019 EDITION
CALIFORNIA ENERGY STANDARDS, 2019 EDITION
CALGREEN CHECKLIST, 2019 EDITION
APPLICABLE LOCAL CODES AND ORDINANCES

SHEET INDEX	
A - 1	SITE PLAN PROJECT INFORMATION
A - 2	FLOOR PLAN & ELECTRICAL PLAN
FS-T1	FOOD SERVICE NOTES
FS-1	FOOD SERVICE EQUIPMENT FLOOR PLAN
FS-2	FOOD SERVICE EQUIPMENT SCHEDULE
FS-3	FOOD SERVICE EQUIPMENT PLUMBING PLAN
FS-4	FOOD SERVICE EQUIPMENT ELECTRICAL PLAN

City of Santa Rosa
Planning & Economic
Development Department
Aug 12, 2021
RECEIVED



STREAMSIDE DRIVE

R O B E R T E
A N D E R S O N
A R C H I T E C T

103 MORRIS STREET
S U I T E N
S E B A S T O P O L
C A L I F 9 5 4 7 2
7 0 7 8 2 3 7 8 0 2



TENANT IMPROVEMENTS FOR: **BETTY'S BISTRO**

4046 SONOMA HIGHWAY
SANTA ROSA, CA

DATE: 3-25-21

Page 1 of 1 IEP

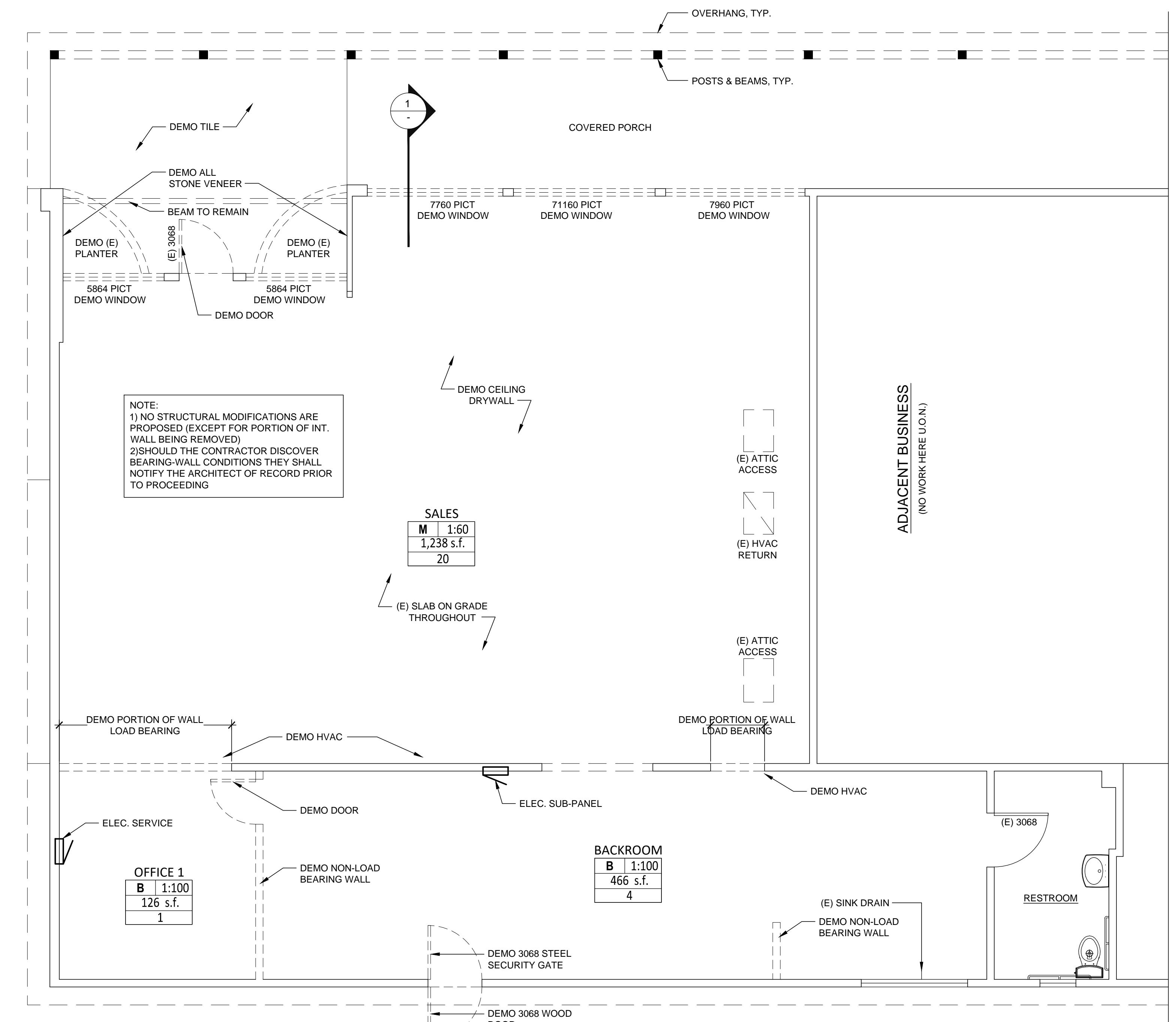
SITE PLAN

SITE PLAN

VERIF

Steve A. Murphy

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Rev. Description Date

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Date: 5/12/21
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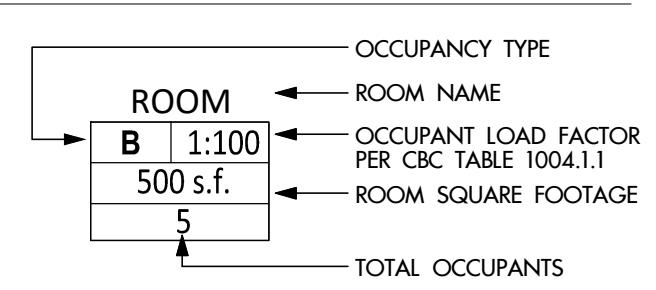
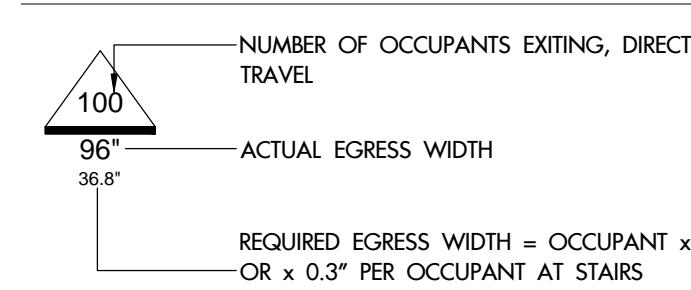
AS-BUILT PLAN

A.201

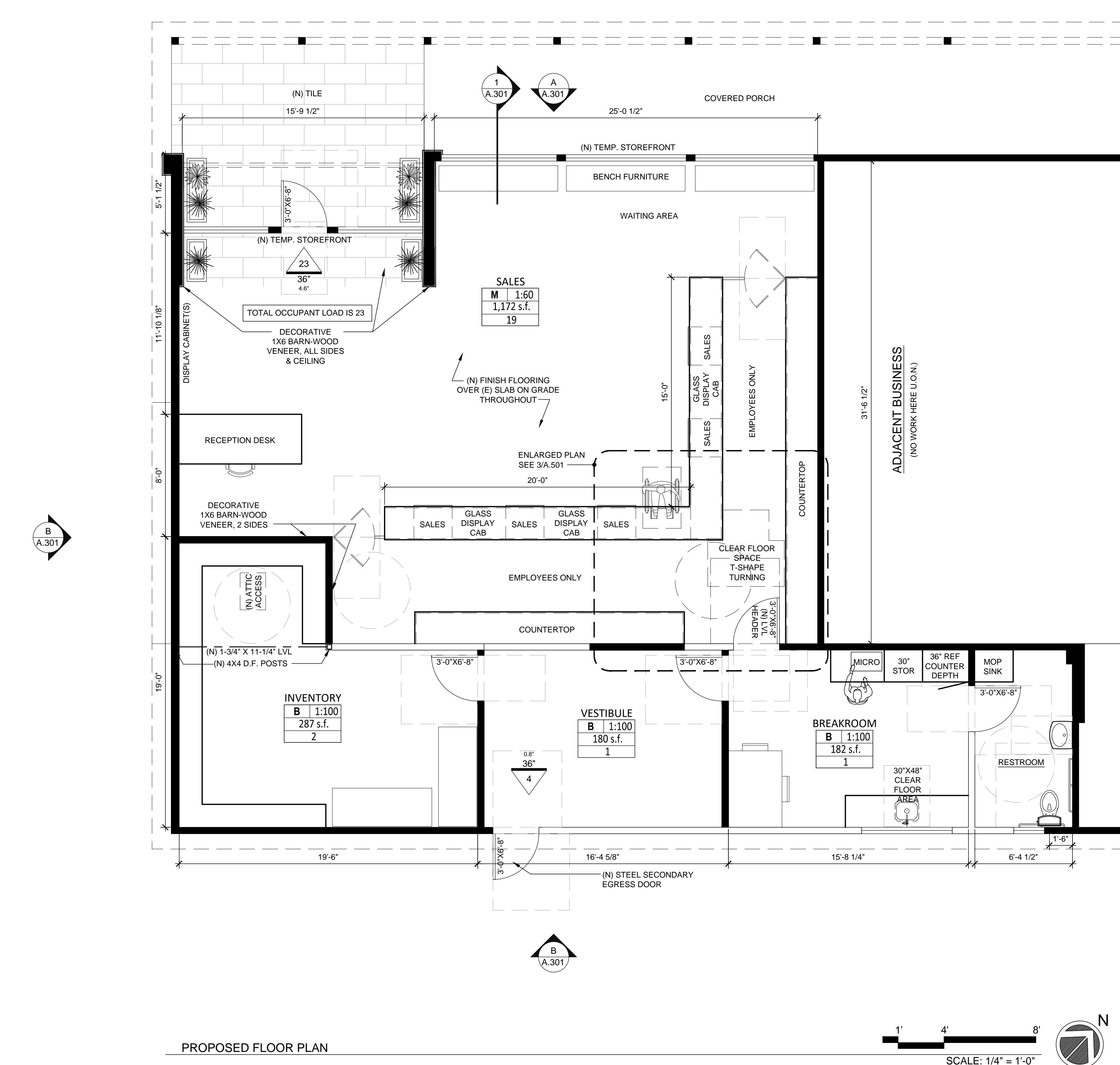
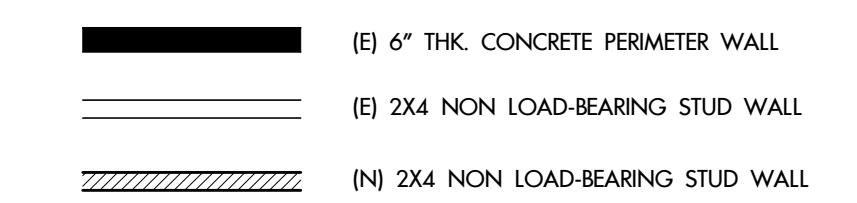
1' 4' 8'
SCALE: 1/4" = 1'-0"
N

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EGRESS LEGEND



WALL TYPES



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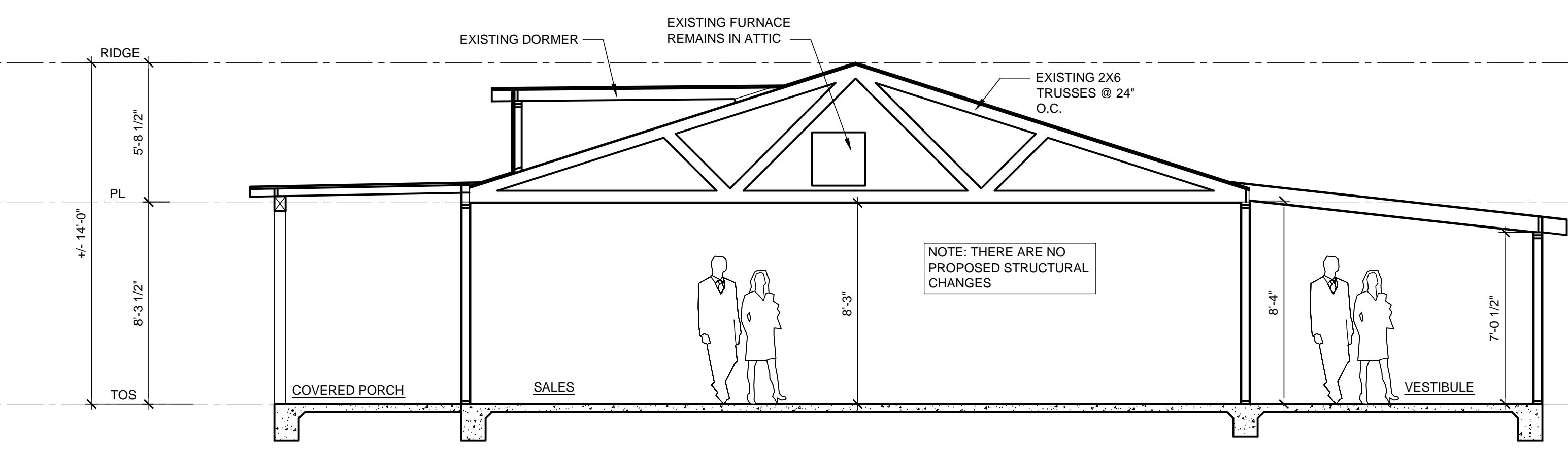
PROPOSED FLOOR PLAN

A.211

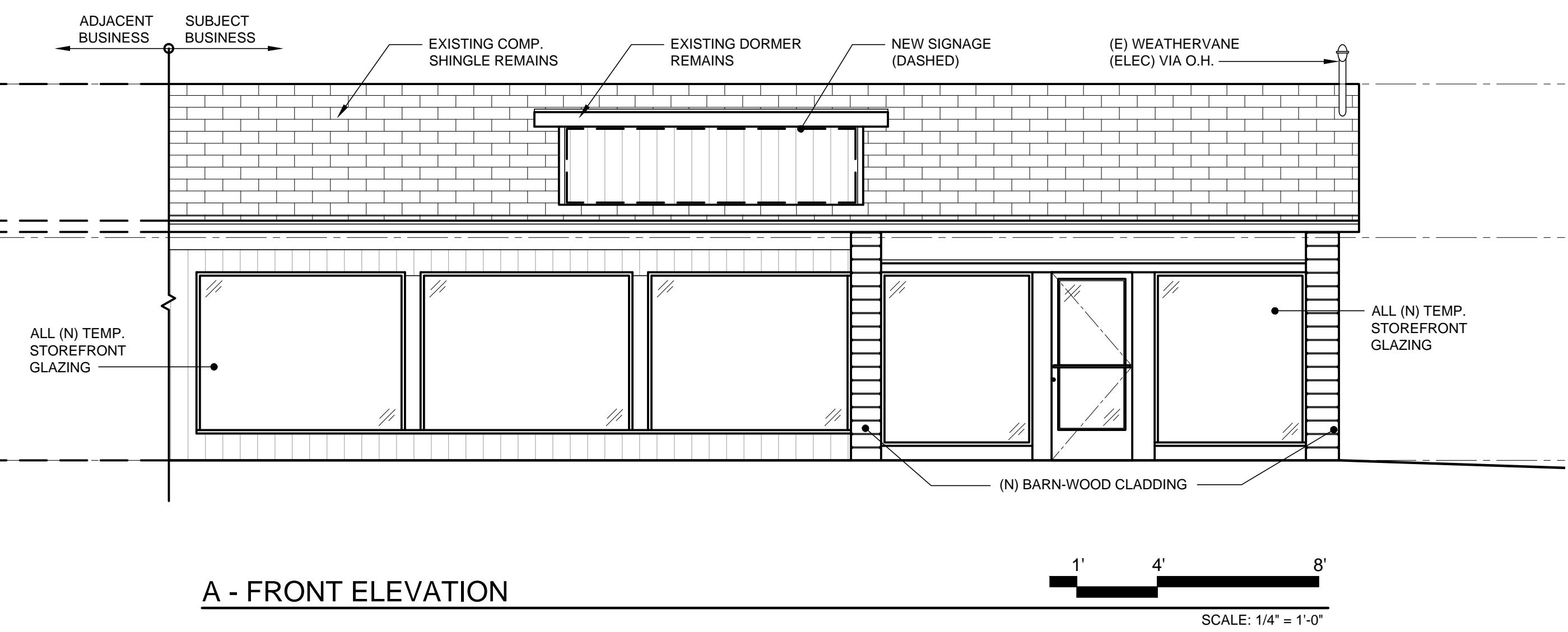
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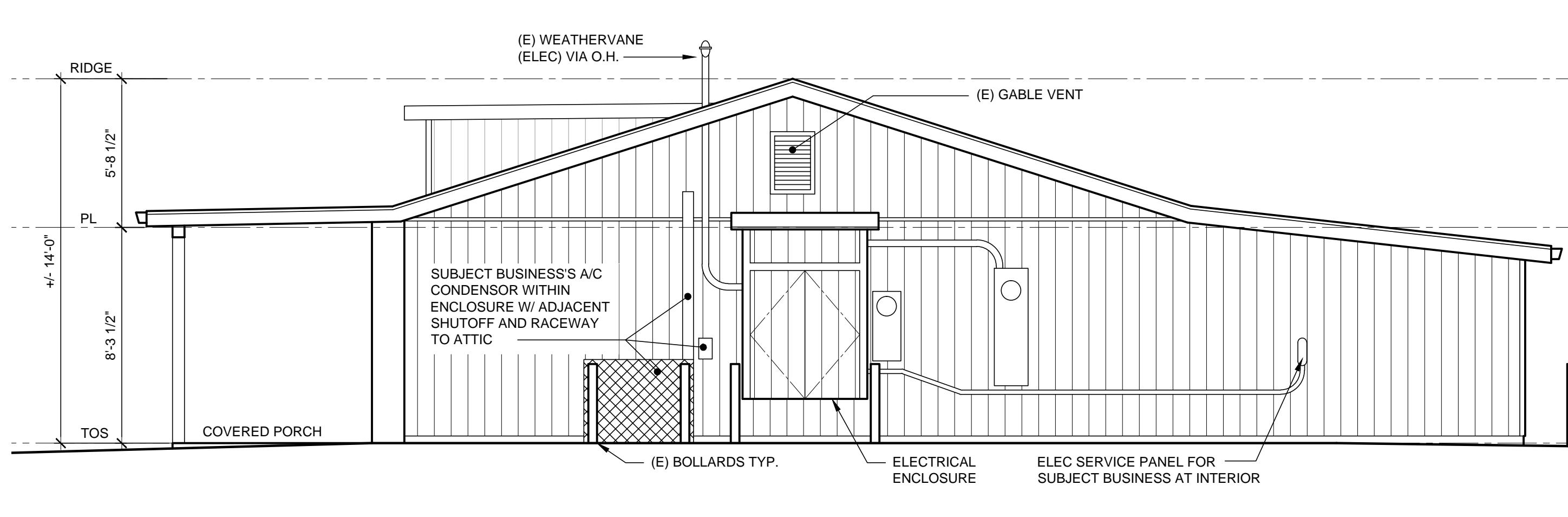
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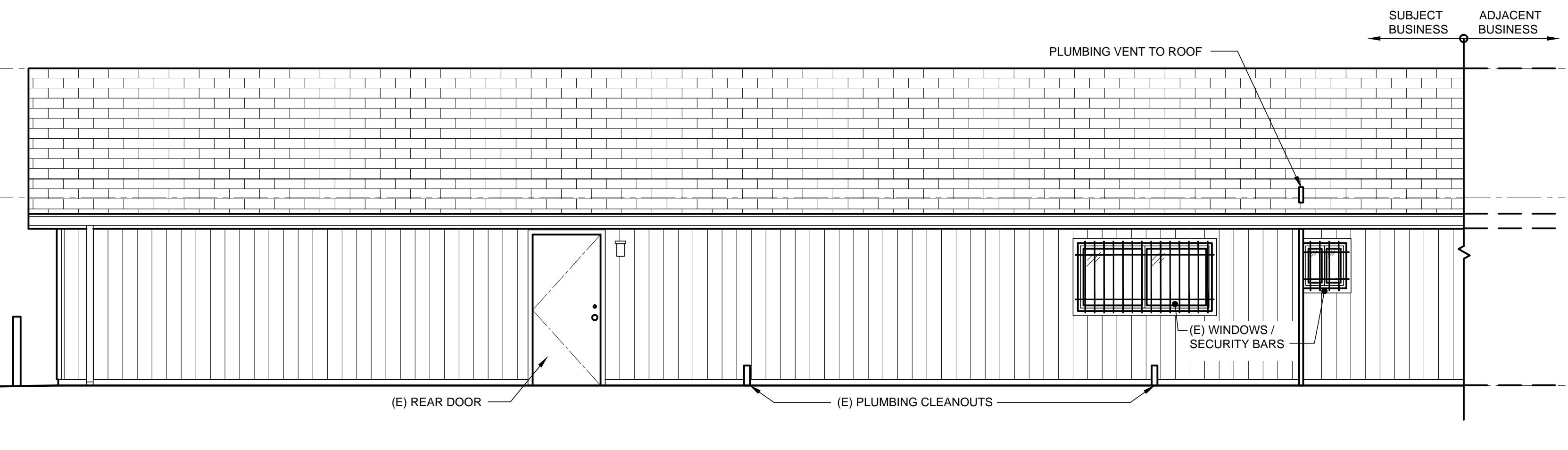
1 - CROSS SECTION



A - FRONT ELEVATION



B - SIDE ELEVATION



C - REAR ELEVATION

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Rev:	Date

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Date: 5/12/21
Scale: AS SHOWN

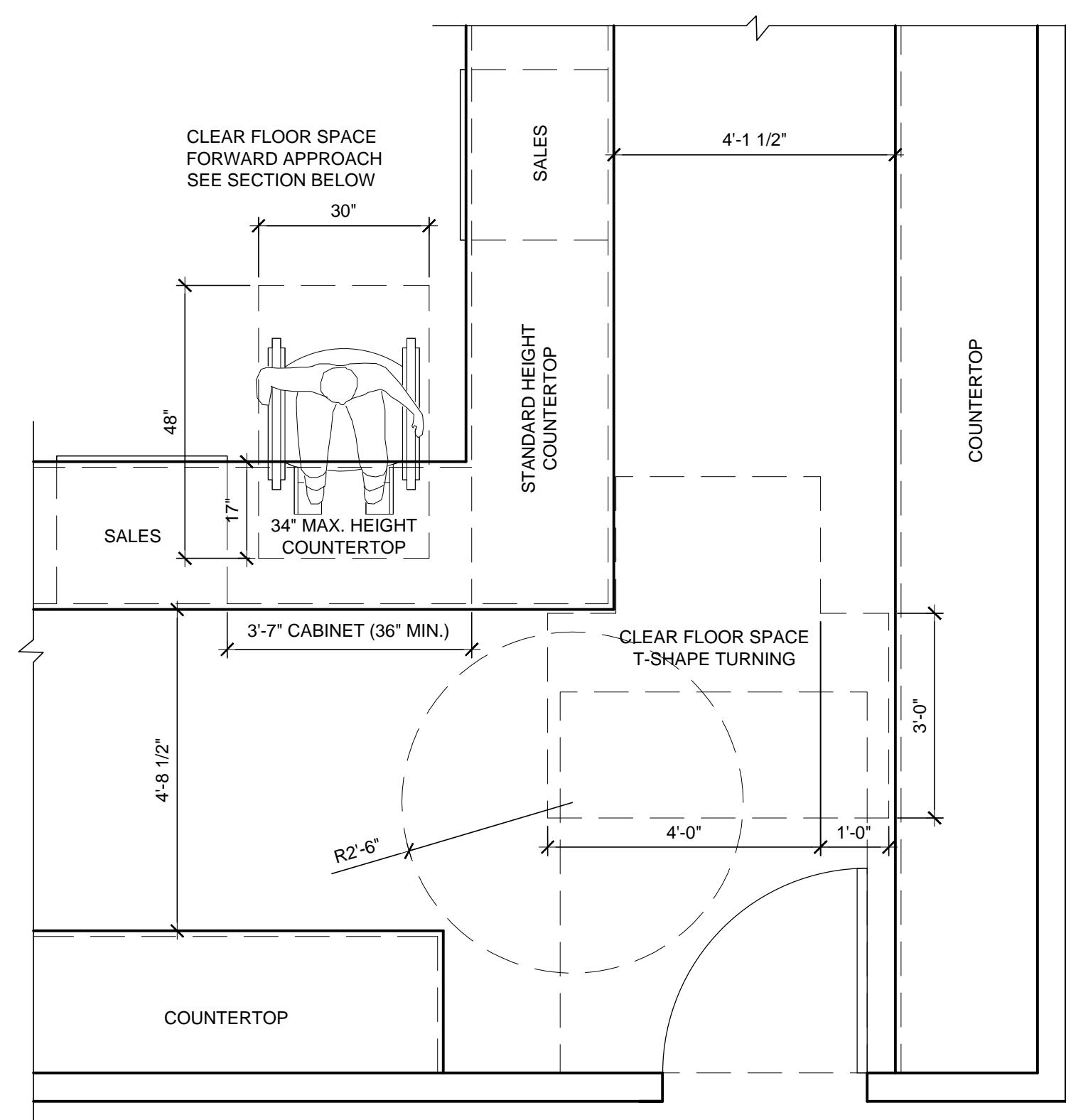
EXTERIOR
ELEVATIONS
& SECTION

A.301

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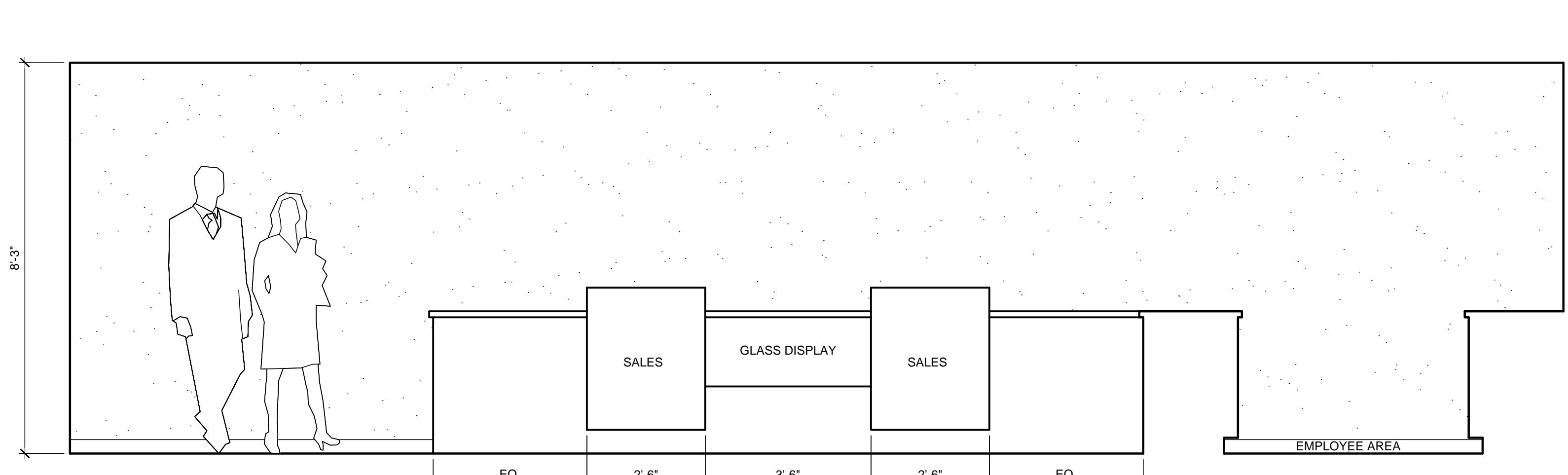
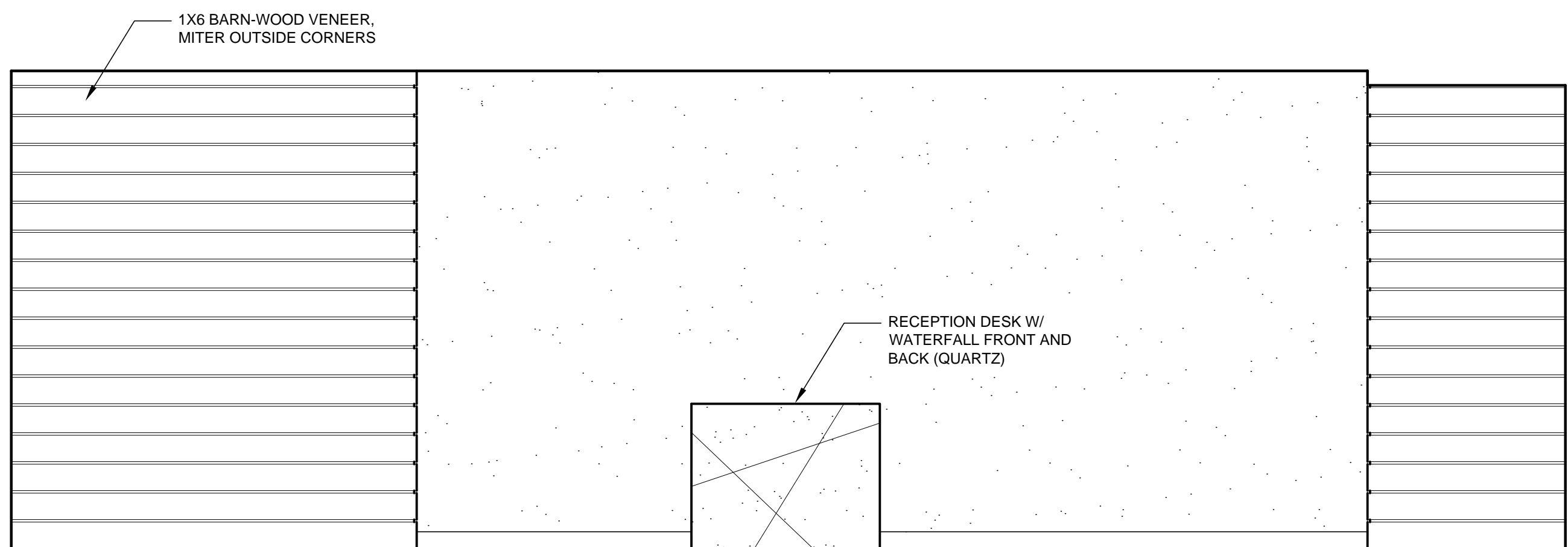
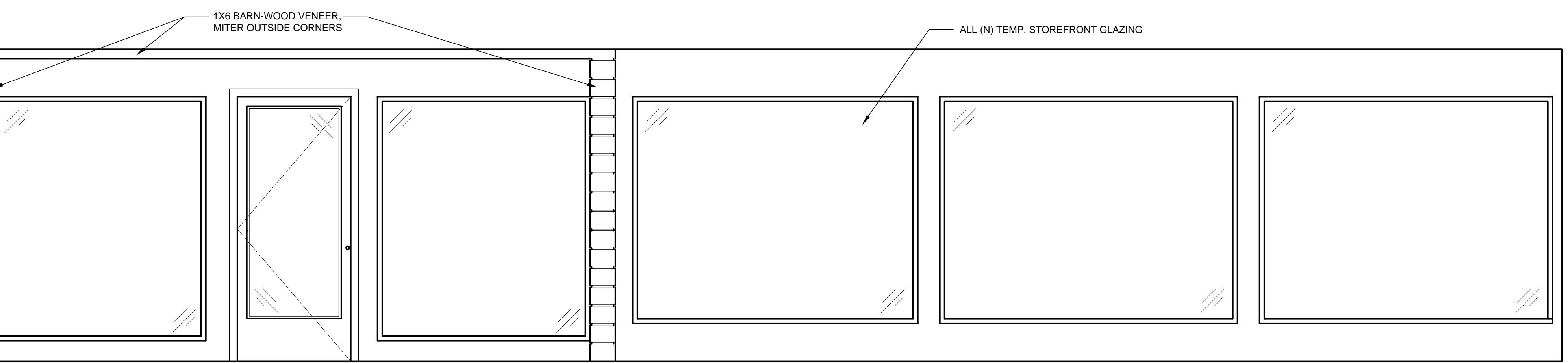
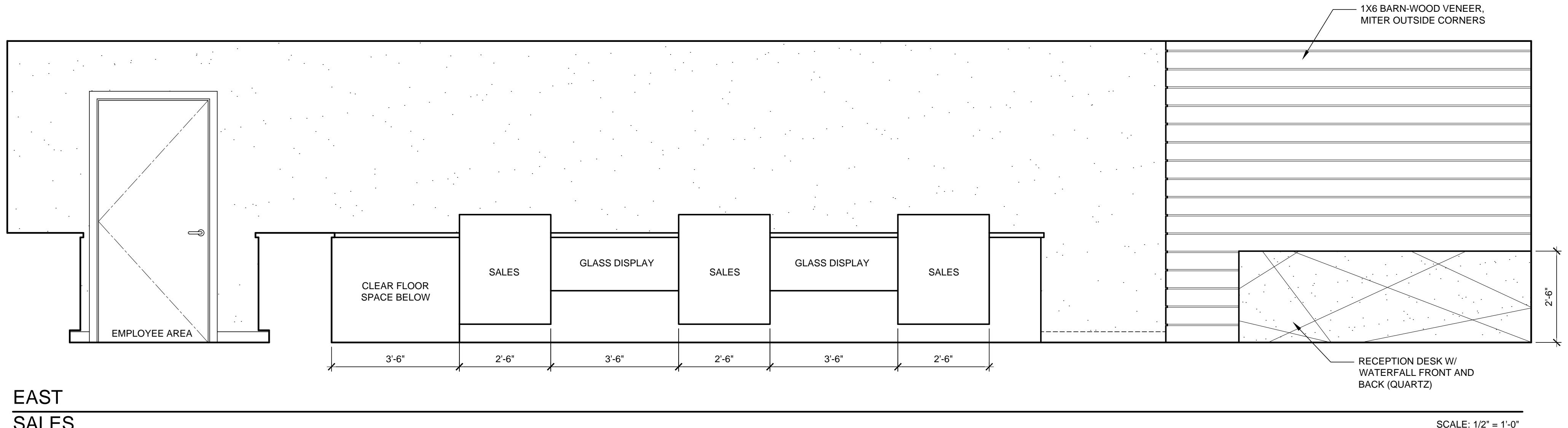
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FORWARD APPROACH AT SALES COUNTER

3B - CABINETRY SECTION

SCALE: 1/2" = 1'-0"



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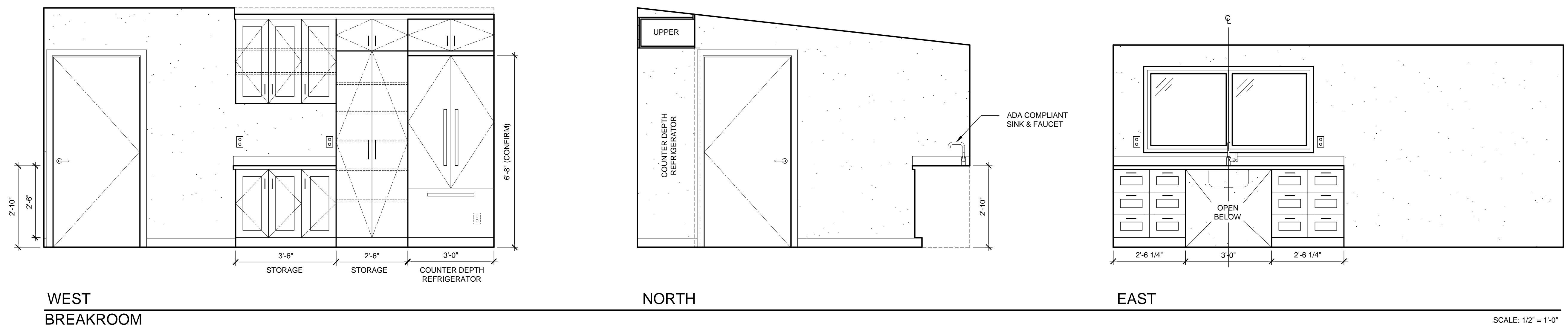
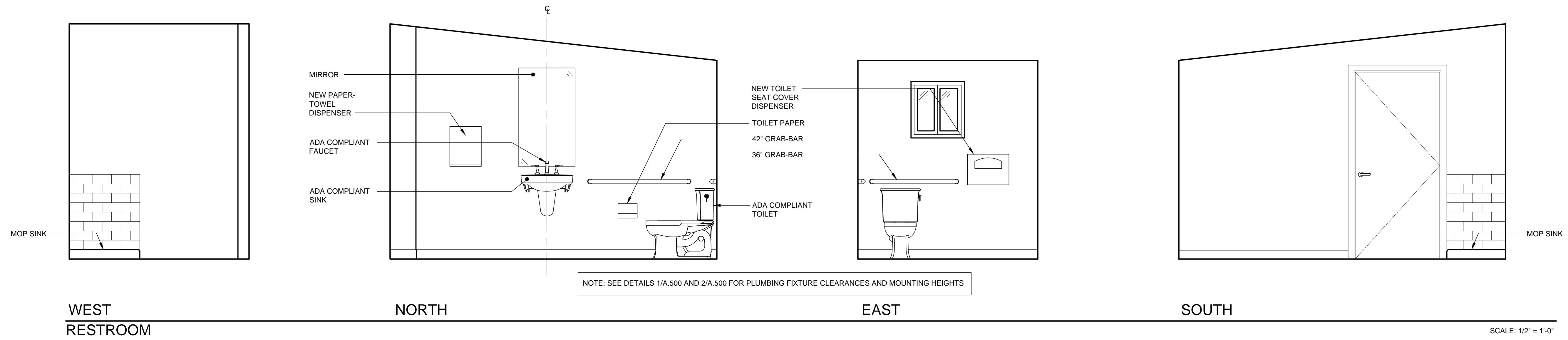
INTERIOR
ELEVATIONS

A.501

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