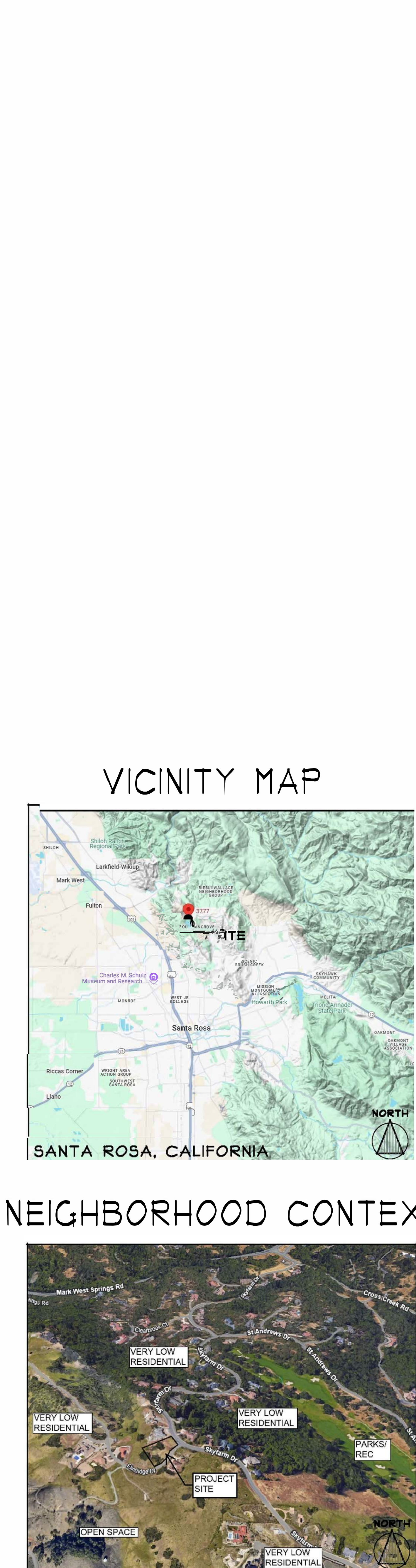




DANOFF RESIDENCE

3911 FLINTRIDGE DRIVE

SANTA ROSA, CALIFORNIA

PROJECT DATA

DESCRIPTION:
ONE-STORY, FOUR-BEDROOM, FIVE-BATHROOM, SINGLE-FAMILY DWELLING WITH GYM, GAME ROOM, ATTACHED TWO-CAR GARAGE AND ATTACHED THREE-CAR GARAGE & ONE-STORY ONE-BEDROOM, 1.5-BATHROOM ACCESSORY DWELLING UNIT.

ASSESSOR'S PARCEL NUMBER: 173-760-031
ZONING DISTRICT: PD
OCCUPANCY CLASSIFICATION: R-3 and U
CONSTRUCTION TYPE: V-B (SPRINKLERED)
ZONING CODE: PD
GENERAL PLAN: VERY LOW RESIDENTIAL

FLOOR AREA SUMMARY:
MAIN RESIDENCE LIVING AREA: APPROX 5931 SQ FT
ADU LIVING AREA: APPROX 799 SQ FT
COVERED OUTDOOR LIVING AREA: APPROX 1411 SQ FT
TOTAL GARAGE AREA: APPROX 1542 SQ FT

PROJECT TEAM

OWNER
PAUL AND KIM DANOFF
545 WEST COLLEGE AVENUE
SANTA ROSA, CA 95401
(707) 584-4311

ARCHITECT
FARRELL-FABER & ASSOCIATES
1022 MENDOCINO AVE
SANTA ROSA, CA 95401
(707) 519-3811

CIVIL ENGINEER
CARLILE MACY
15 THIRD ST
SANTA ROSA, CA 95401
(707) 542-4451

GEOTECHNICAL ENGINEER
BAUER & ASSOCIATES
4470 MIRABEL ROAD
FORESTVILLE, CA 95434
(707) 881-2505

CONSTRUCTION CONSULTANT
545 WEST COLLEGE AVENUE
545 WEST COLLEGE AVENUE
SANTA ROSA, CA 95401
(707) 584-4311

SHEET INDEX

ARCHITECTURE
C5 COVER SHEET
1 ELEVATIONS
2 ELEVATIONS AND ROOF PLANS
3 OVERALL FLOOR PLANS
4 FLOOR PLAN - NORTH WING
5 FLOOR PLAN - SOUTH WING
6 FLOOR PLAN - GARAGE WING and ADU
7 SECTIONS
8 SECTIONS

CIVIL DRAWINGS
1 of 2 PLOT PLAN
2 of 2 DETAILS
1 of 1 SLOPE ANALYSIS

LANDSCAPE DRAWINGS
L1 PRELIMINARY LANDSCAPE PLAN

City of Santa Rosa

September 29, 2025

Planning & Economic
Development Department

DATE1/14/2025

DRAWN BY:
CHECKED BY:
REVISIONS: DATE:

NOTES

1022 MENDOCINO AVENUE
SANTA ROSA, CA 95401
TEL: 707.519.3811
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ARCHITECTURE - PLANNING

CHRISTOPHERSON BUILDERS

3911 FLINTRIDGE DRIVE
SANTA ROSA, CALIFORNIA

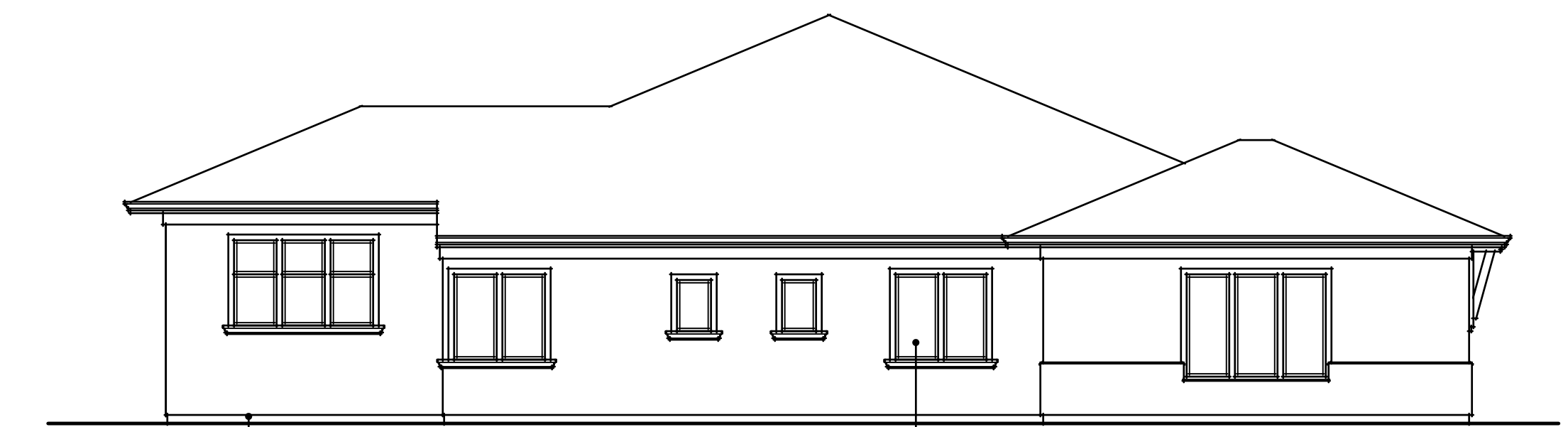
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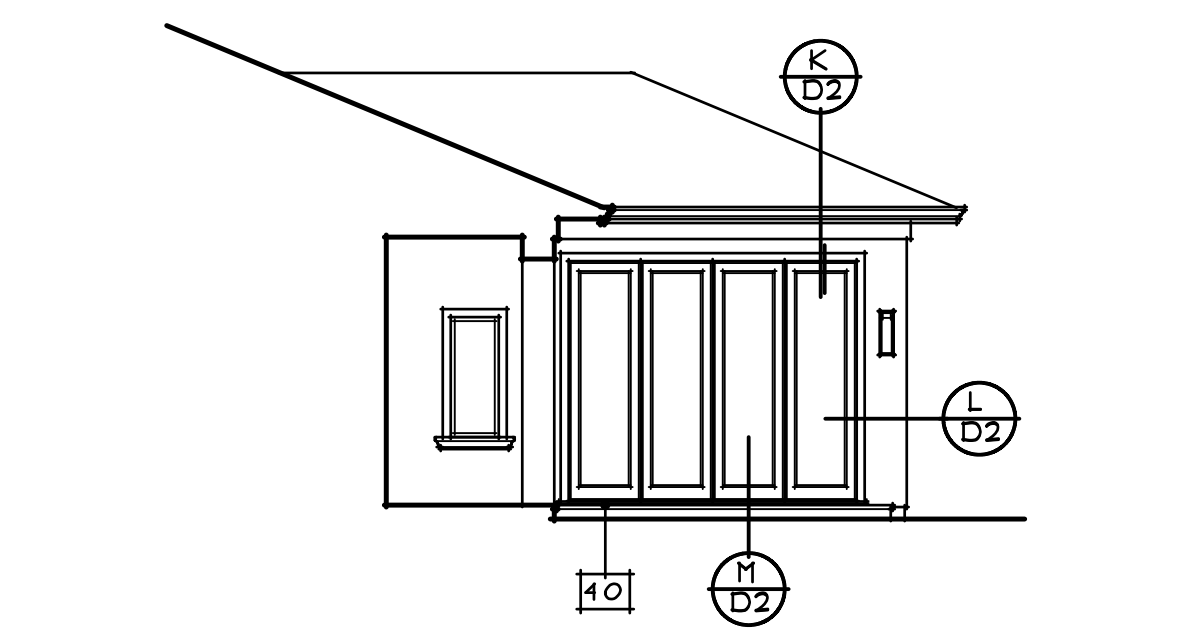
DO NOT SCALE PLANS

SHEET JOB NO. 25008

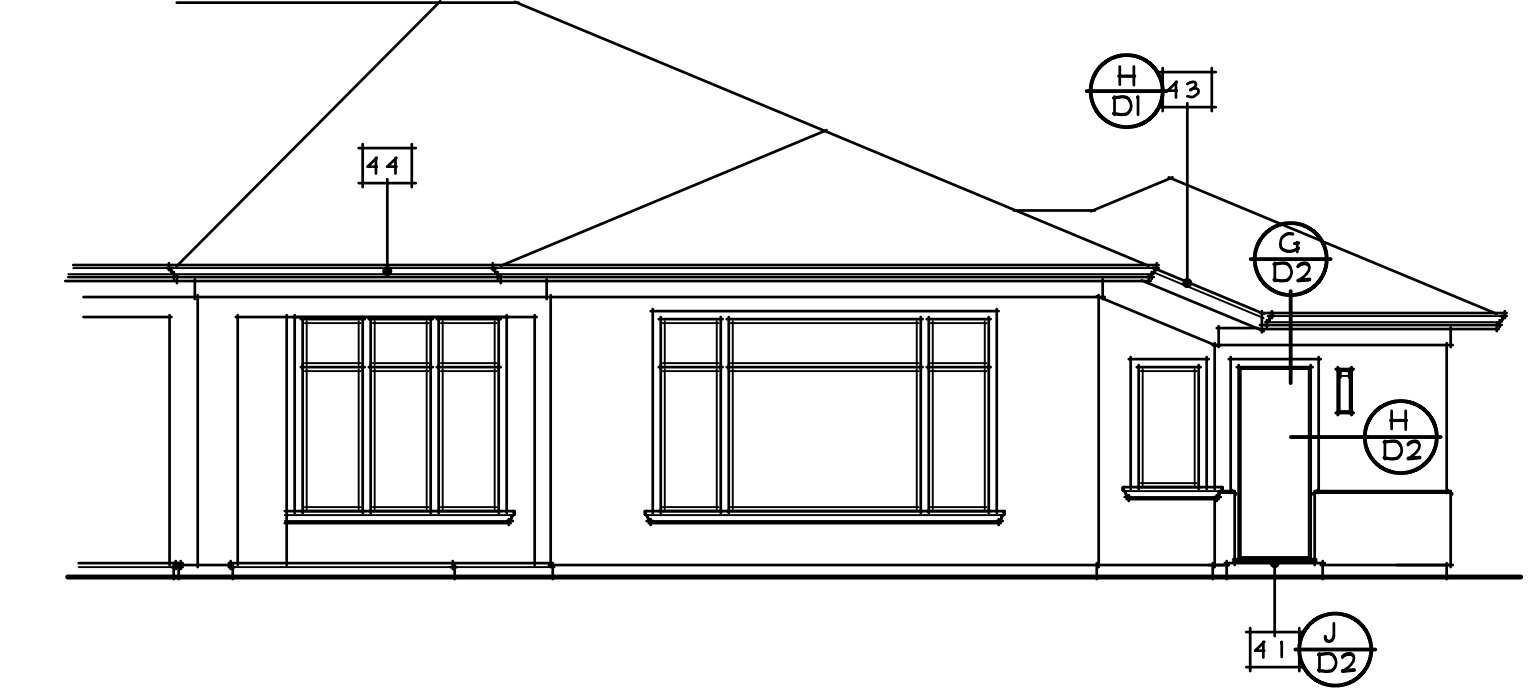
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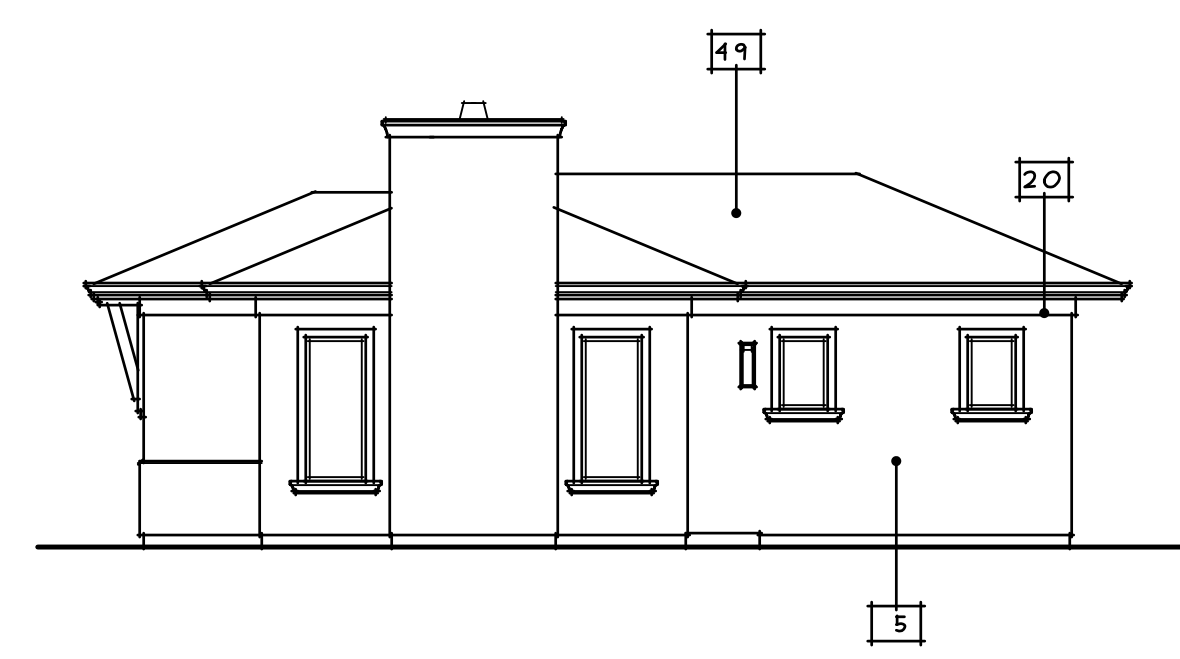
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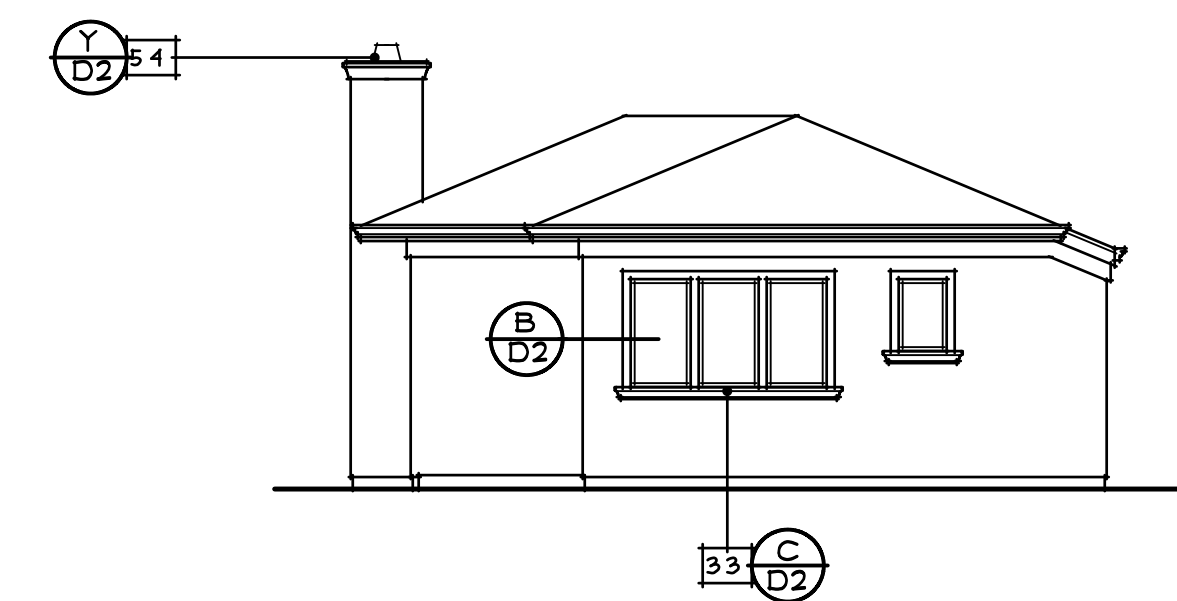
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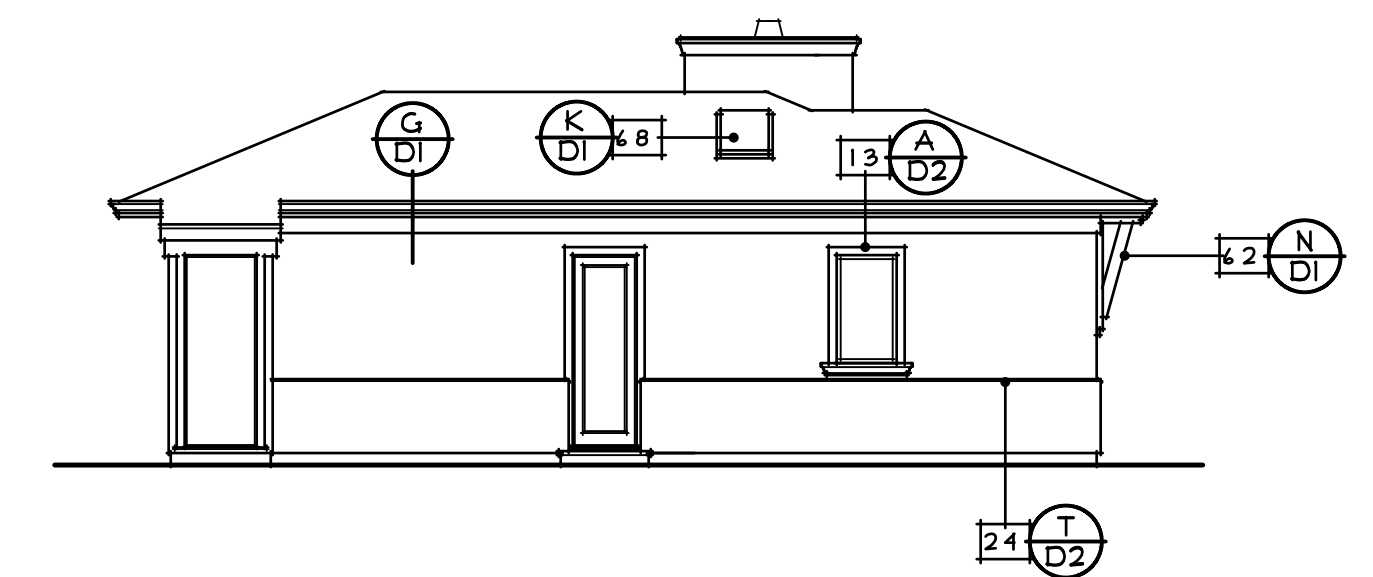
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SCALE: 1/8" = 1'-0"

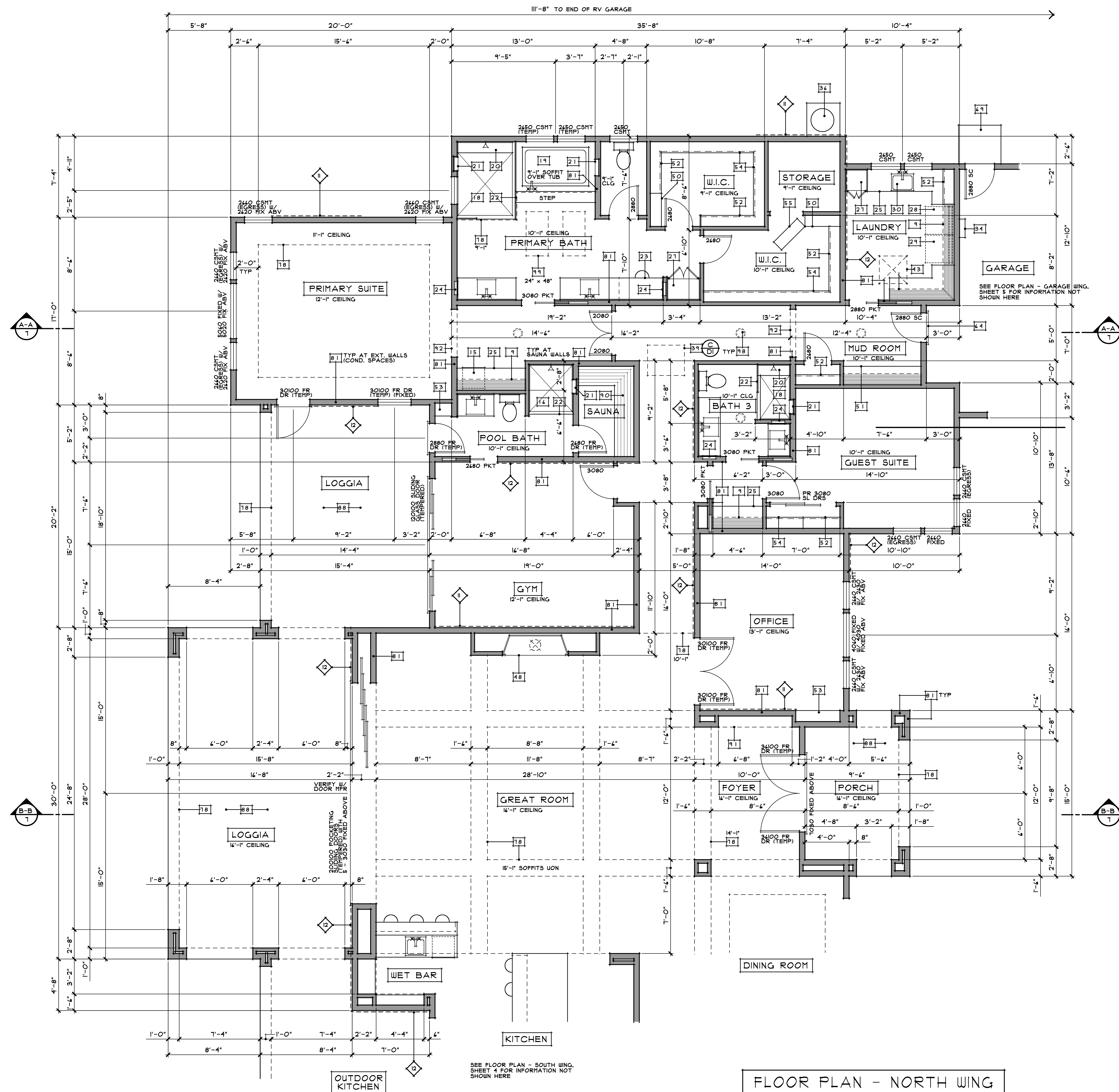


SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

- NOTE: ALL EXTERIOR TRIM TO BE APPROVED STYROFOAM
WITH METAL LATH AND SMOOTH STUCCO OVER. U. O. N.
- NOTE: DIVERT PLUMBING VENTS, ROOF VENTS, SOLAR TUBES AND
OTHER ROOF PENETRATIONS TO BACK SIDE OF RIDGE
WHEREVER POSSIBLE.
- NOTE: COMPLY WITH ALL REQUIREMENTS FOR ALL EXTERIOR
ASSEMBLIES. SEE COVERSHEET FOR NOTES.

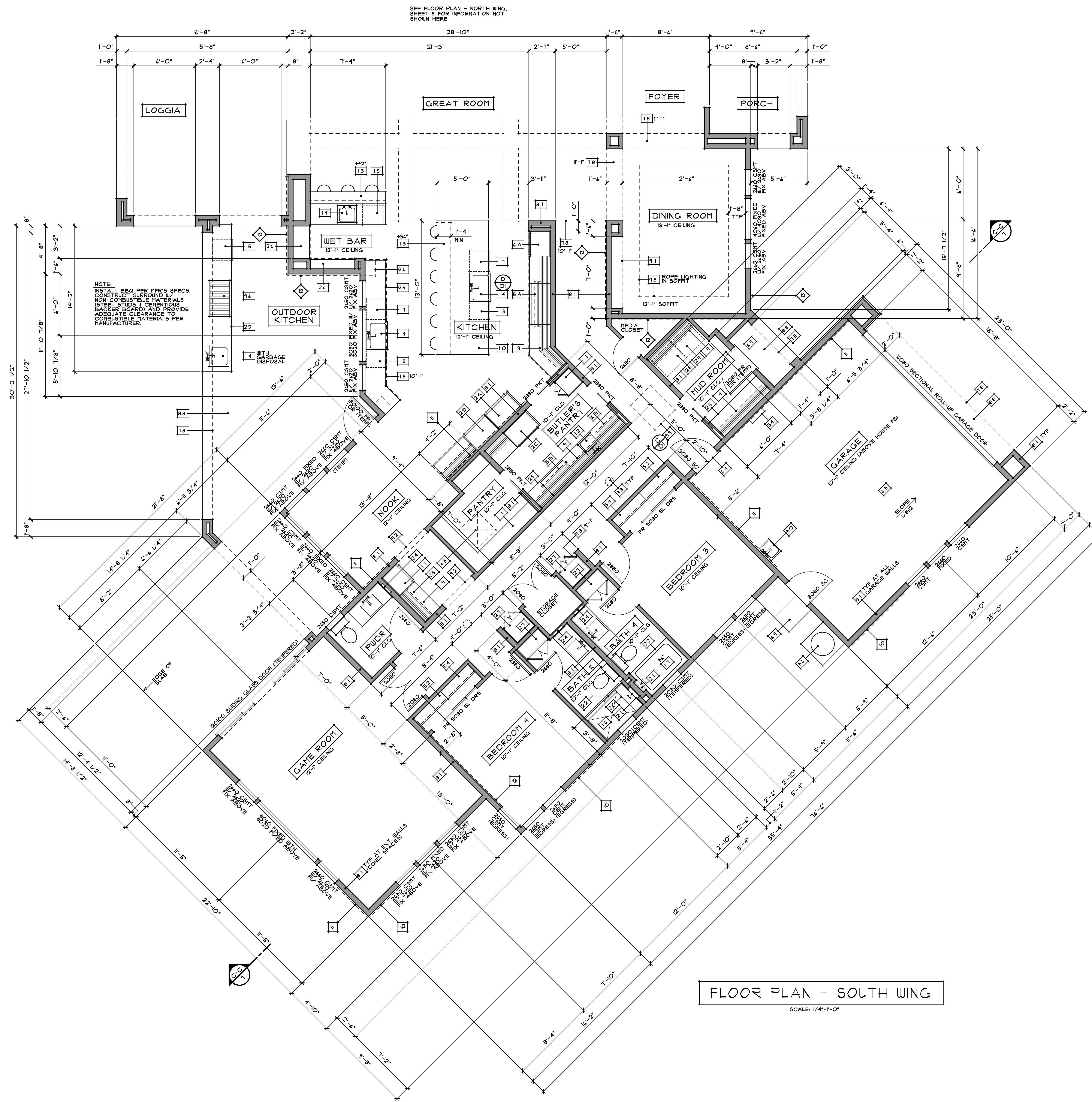


FLOOR PLAN NOTES

1. PANTRY - 4 SHELVES.
2. PROVIDE 36" BUILT-IN REFRIGERATOR.
3. PROVIDE 36" BUILT-IN FREEZER AND PLUMBING FOR ICE MAKER IN RECESSED WALL BOX.
4. PROVIDE 34" REFRIGERATOR SPACE AND ROUGH PLUMBING FOR ICE MAKER IN RECESSED WALL BOX.
5. BUILT-IN TRASH COMPACTOR. (VERIFY DIMENSIONS W/MFR.)
6. FARM-STYLE KITCHEN SINK W/ GARBAGE DISPOSAL. (PROVIDE VENT LOOP AS NECESSARY PER CPC 909.0)
7. 48" SLIDE-IN RANGE-OVEN WITH HOOD ABOVE. VENT TO EXTERIOR AND PROVIDE BACKDRAFT DAMPER. (VERIFY DIMS W/MFR.)
8. 34" DROP-IN COOKTOP W/ METAL HOOD, LIGHT & FAN. VENT TO EXTERIOR AND PROVIDE BACKDRAFT DAMPER. (VERIFY DIMS W/MFR.)
9. 48" SLIDE-IN RANGE-OVEN WITH MICROWAVE ABOVE. VENT TO EXTERIOR AND PROVIDE BACKDRAFT DAMPER. (VERIFY DIMS W/MFR.)
10. BUILT-IN WALL OVEN/MICROWAVE. (VERIFY VENTILATION AND DIMS W/MFR.)
11. MICROWAVE IN CABINETS ABOVE.
12. BUILT-IN DISHWASHER. (VERIFY DIMENSIONS W/MFR.)
13. BUILT-IN RECYCLING DRAWER PER OWNER.
14. LINE OF CABINETS ABOVE.
15. KITCHEN ISLAND COUNTER TOP. (SEE PLAN FOR DIMS.)
16. FULL-HIGHT WINE REFRIGERATOR. VERIFY DIMS W/MFR.
17. VEGETABLE SINK W/GARBAGE DISPOSAL. VERIFY DIMS W/MFR.
18. (PROVIDE VENT LOOP AS NECESSARY PER CPC 909.0)
19. BREAKFAST BAR. SEE PLAN FOR HEIGHT AND DIMS.
20. STAINLESS STEEL PARTY SINK. VERIFY DIMS. W/MFR.
21. (PROVIDE VENT LOOP AS NECESSARY PER CPC 909.0)
22. UNDER-COUNTER REFRIGERATOR. VERIFY DIMS. W/MFR.
23. TILE SHOWER ENCLOSURE W/ MIN. 12" MAINSCOT (STALL SHALL COMPLY W/ SECTION 408 OF THE CALIF. PLUMBING CODE.)
24. STEEL TUB SHOWER COMB. W/ 12" TILE MAINSCOT. PROVIDE ONE-PIECE WELDED TRAP OR ACCESS PANEL PER LOCAL CODE.
25. CURBLESS TILE SHOWER ENCLOSURE WITH MIN. 12" MAINSCOT (STALL SHALL COMPLY WITH SECTION 408 OF THE CPC.)
26. DEPRESS SLAB AND SLOPE TILE MIN. 1/4" 1'-0". THRESHOLD TO BE MIN. 1" ABOVE DRAIN INLET. ADJOINING SPACE TO BE CONSIDERED A SET LOCATION AND SHALL COMPLY W/ CBC & CEC.
27. 42" X 12" DROP-IN ACRYLIC TUB W/TILE MAINSCOT. PROVIDE ONE-PIECE WELDED TRAP OR ACCESS PANEL PER LOCAL CODE.
28. 20" HIGH CERAMIC TILE SEAT/PLATFOM.
29. SHAMPOO NICHE PER OWNER SPEC.
30. TEMPERED GLASS ENCLOSURE. SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN A 22" UNOBSTRUCTED OPENING FOR EGRESS.
31. BUILT-IN VANITY.
32. MEDICINE CABINET.
33. BASE CABINET.
34. OPEN SHELVES PER OWNER.
35. LINEN-4 SHELVES.
36. WASHER SPACE. PROVIDE HOT & COLD WATER AND WASTE. DRYER SPACE. PROVIDE 4" DIA. SMOOTH WALLED VENT THRU PROVIDE FLOOR 1/4" DIA. DRIP PAN. PROVIDE 1/2" DIA. SMOOTH FLOOR. PROVIDE VENT TRAP & DRYER VENT. (VENT SHALL COMPLY WITH MFR'S SPECS. AND SECTIONS 504 & 905 OF THE CBC.)
37. LAUNDRY SINK.
38. STACKED WASHER/DRYER SPACE. PROVIDE HOT & COLD WATER, WASTELINE, AND PAN W/ 3/4" DRAIN. PROVIDE 4" DIA. SMOOTH WALL DRYER VENT THRU ROOF. INSULATE VENT WHERE IT PASSES THROUGH UNHEATED ATTIC SPACE. INSTALL DRYER VENT ROOF CAP W/ BACKDRAFT DAMPER & ROOF. (VENT RUN SHALL COMPLY WITH MFR'S SPECS. AND SECTIONS 504 & 905 OF THE CBC.)
39. HEAT PUMP WATER HEATER WITH DRAIN PAN. INSTALL PRESSURE RELIEF VALVE AND DRAIN TO OUTSIDE (COMPLY WITH CBC CHAPTER 5, CPC CHAPTER 5 AND SECTION 408). (REFER TO THE ENERGY COMPLIANCE REPORT). PROVIDE VENTS FOR HIGH AND LOW COMBUSTION AIR COMPLYING WITH CBC CHAPTER 1. ACCESS DOOR SHALL BE TIGHT FITTING WITH WEATHER STRIPPING.
40. TANKLESS WATER HEATER MOUNTED ON WALL. INSTALL PRESSURE RELIEF VALVE W/VENT, AND DRAIN TO OUTSIDE (COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND LOCAL CODES) (REFER TO ENERGY COMPLIANCE REPORT).
41. DIRECT VENT TO ROOF.
42. PROVIDE CONCRETE PADS FOR AIR CONDITIONING UNITS. (INSTALL PER MFR. SPECIFICATIONS)
43. FAU IN ATTIC (INSTALLATION OF FURNACE SHALL COMPLY W/ CHAPTER 1 & SECTION 904 OF THE CALIF. MECH. CODE & MFR. SPECS.) (REFER TO ENERGY COMPLIANCE REPORT)
44. 22" X 30" ATTIC ACCESS. GASKET OR WEATHERSEAL
45. 30" X 30" ATTIC ACCESS. GASKET OR WEATHERSEAL
46. DECORATIVE GAS APPLIANCE "MAJESTIC" ECHELON 11 48". AGA ANSI Z223.1 (OR EQUAL) (INSTALL PER MFR.)
47. DECORATIVE GAS APPLIANCE "MAJESTIC" ECHELON 11 12". AGA ANSI Z223.1 (OR EQUAL) (INSTALL PER MFR.)
48. BUILT-IN DRESSER PER OWNER.
49. BENCH WITH STORAGE ABOVE PER OWNER.
50. SINGLE POLE AND SHELF.
51. BUILT-IN SHELVES PER OWNER.
52. DOUBLE POLE AND SHELF.
53. HIDDEN DOOR CABINETRY.
54. 1/2" GYP BOARD AT WALLS, 1/2" TYPE "X" GYP BOARD AT CEILING AT GARAGE. WRAP BEAMS & POSTS, TYPICAL.
55. SELF LATCHING AND SELF LATCHING 5/8" SOLID WOOD DOOR W/ TIGHT-FITTING GASKETS AND SWEEPER & SILL.
56. CONCRETE STOOP.
57. LINE OF CEILING CHANGE ABOVE.
58. 2 X 4 STUDS @ 16" OC WALL.
59. 2 X 10 STUDS (OR 2 X 4 @ 2 X 4) @ 16" OC WALL.
60. STUCCO SOFFIT/CEILING.
61. SAUNA BENCH.
62. FLAT TOP OPENING. SEE INTERIOR ELEVATIONS.
63. BUILT-IN BARBEQUE PER OWNER.
64. (INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PROVIDE CLEARANCE TO COMBUSTIBLE MATERIALS.)
65. TRELLIS. SEE ELEVATIONS AND DETAILS.
66. SOLAR TUBE. INSTALL PER MFR'S SPECS.
67. SKYLIGHT ABOVE. SEE PLAN FOR SIZE.

◆ SHEAR WALL SYMBOL. LOCATE SIZE AND NAILING PER STRUCTURAL DRAWINGS. ▲ NAILING PATTERN AT ALL EXTERIOR WALLS (UON).

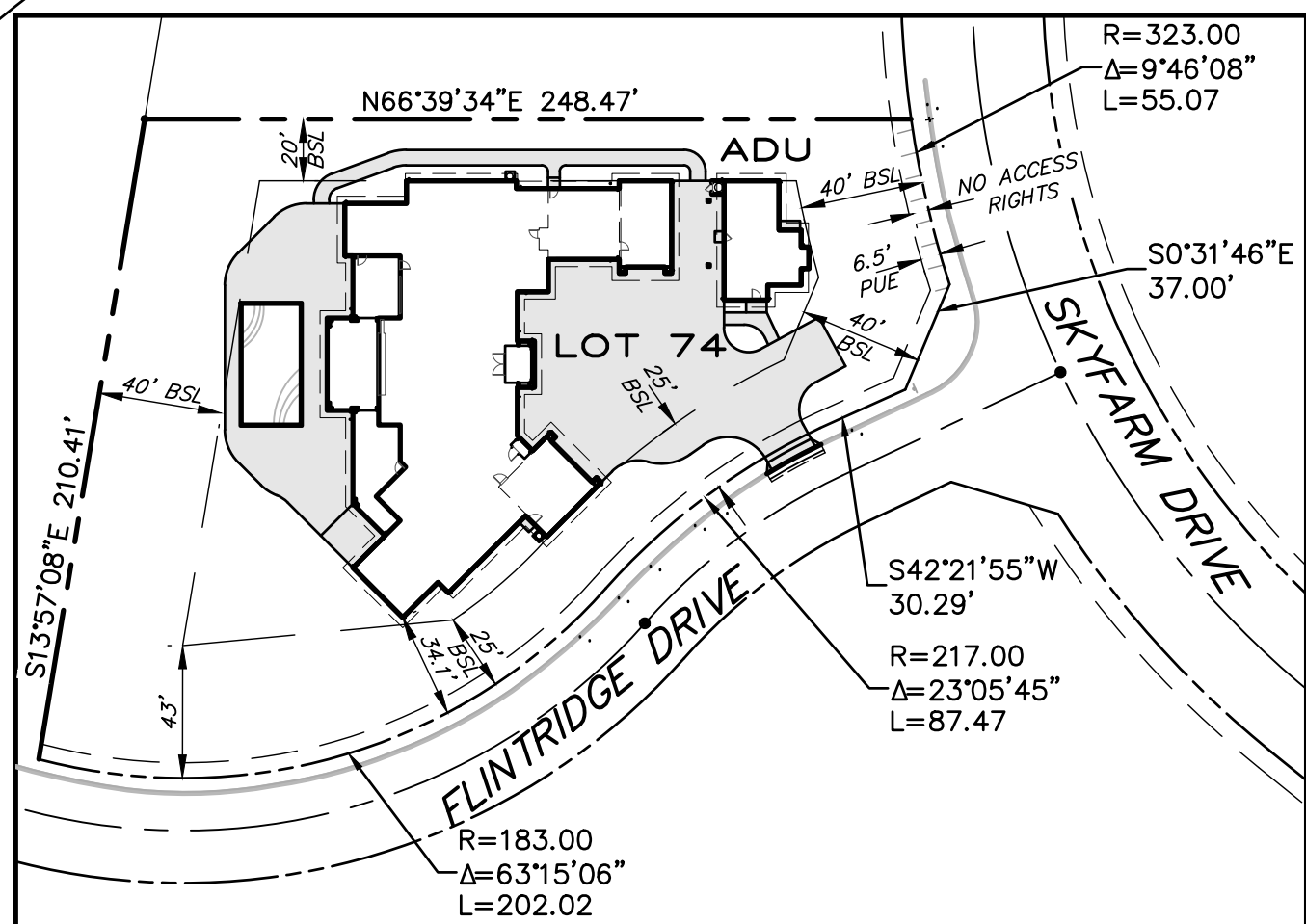
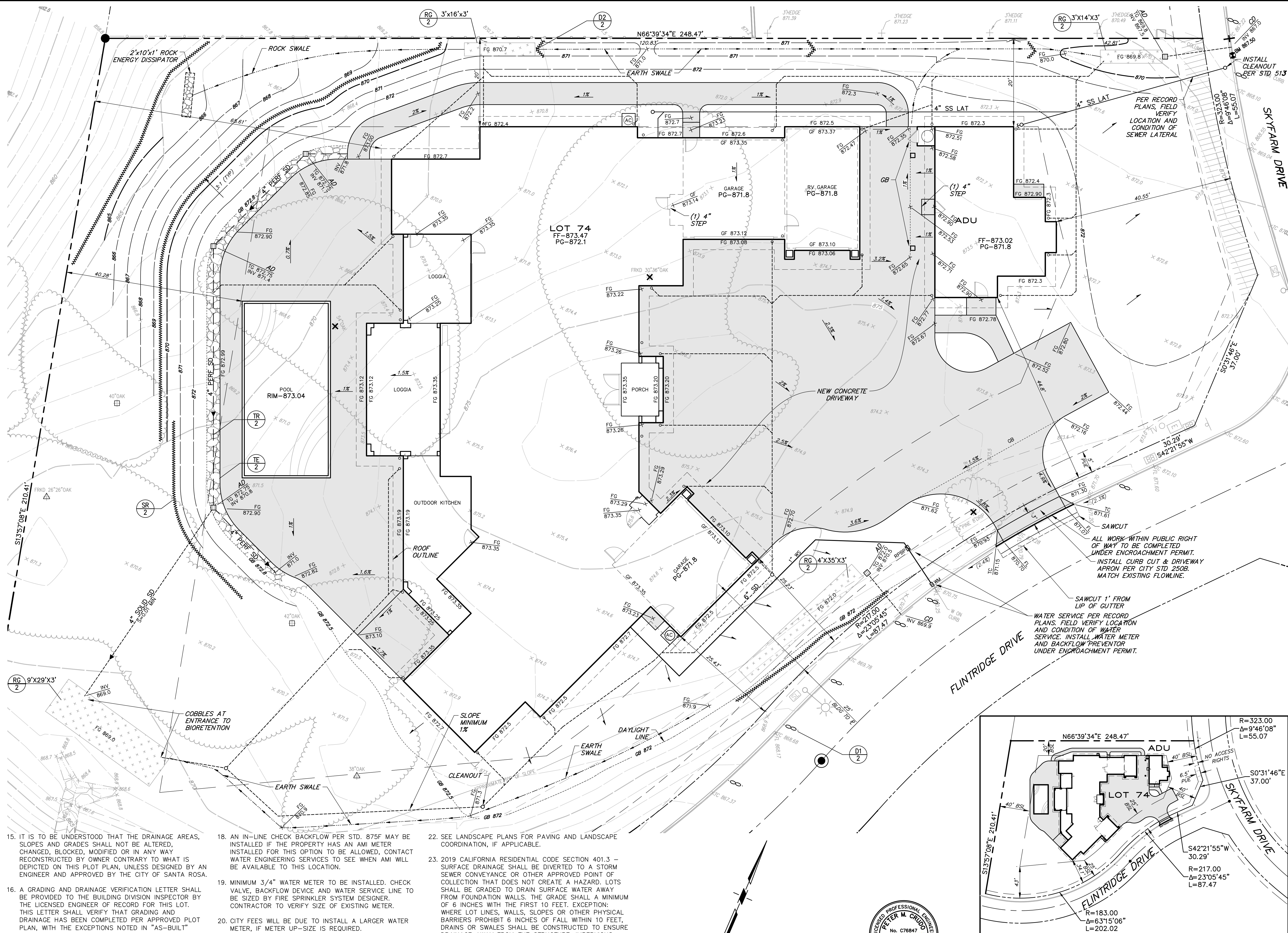
MAIN RESIDENCE LIVING AREA = APPROX 5931 SQ FT
COVERED OUTDOOR LIVING AREA = APPROX 1411 SQ FT
TOTAL GARAGE AREA = APPROX 1542 SQ FT



AD	AREA DRAIN
AE	ACCESS EASEMENT
BSL	BUILDING SETBACK LINE
BSW	BACK OF SIDEWALK
CB	CATCH BASIN
CD	3" CURB DRAIN PER STD 406A
CI	DROPPLET INLET
ES	EARTH SWALE
FC	FACE OF CURB
FD	FIELD DRAIN
FF	FINISH FLOOR
FG	FINISH GRADE
FWL	FLOW LINE
GB	GRADE BREAK
GF	GARAGE FINISH FLOOR
GSL	GARAGE SETBACK LINE
HP	HIGH POINT
IFO	IN FAVOR OF
LF	LOWER FINISH FLOOR
PG	PAVED GRADE
PSDE	PRIVATE SE EASEMENT
PSE	PRIVATE SEWER EASEMENT
PUE	PUBLIC UTILITY EASEMENT
RS	ROCK SWALE
SD	STORM DRAIN
SL	STREET LIGHT
SS LAT	SEWER LATERAL
SSCO	SEWER CLEANOUT
SWC	PUBLIC SIDEWALK EASEMENT
TC	TOP OF CURB
TCG	TOP OF GRATE
WM	WATER METER
△	SAVE TREE
×	REMOVE TREE
+	PROPERTY LINE SCRIBE

 NEW CONCRETE
 EXISTING CONCRETE
 REPAIR/REPLACE EXISTING CONCRETE
 NO ACCESS RIGHTS
 PERFORATED SD
 SOLID SD

1. CONSTRUCTION TO COMPLY WITH ANY NOTES OR RESTRICTIONS SHOWN ON THE FINAL MAP, SUBDIVISION IMPROVEMENT PLANS, ZONING ORDINANCES, SOILS REPORT OR OTHER APPLICABLE ITEMS.
2. FOR ALL BUILDING DIMENSIONS, SEE ARCHITECT'S FLOOR PLAN.
3. LOCATION OF UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF UTILITIES WITH APPROPRIATE AGENCIES PRIOR TO STARTING WORK.
4. CONTRACTOR TO VERIFY LOCATION OF SANITARY SEWER PRIOR TO CONNECTING TO EXISTING LATERAL.
5. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY INCLUDING PUBLIC EASEMENTS, REQUIRES AN ENCROACHMENT PERMIT FROM THE ENGINEERING DEPT.
6. NO STRUCTURE MAY ENCROACH ON ANY PUBLIC WATER OR SEWER EASEMENT ABOVE OR BELOW THE SURFACE OF THE GROUND. THIS INCLUDES FOOTINGS OF FOUNDATIONS OR EAVES FROM THE ROOF OF ANY ADJACENT STRUCTURES.
7. RAINWATER LEADERS SHALL BE CONNECTED, USING 3" RIDGID PVC STORM DRAIN PIPING, TO THE ON-SITE DRAINAGE SYSTEM.
8. FOUNDATION DRAIN LINES TO BE PROVIDED TO DRAIN WATER AWAY FROM FOUNDATION AND UNDER FLOOR AREAS.
9. PROVIDE POSITIVE DRAINAGE FROM UNDER FLOOR -AREA TO PREVENT THE PONDING OF WATER.
10. EXCESS EARTH TO BE REMOVED TO A SITE APPROVED BY THE CITY OF SANTA ROSA FIRE DEPARTMENT AND BUILDING DIVISION.
11. CONTRACTOR SHALL PROVIDE EROSION PREVENTION AND SEDIMENT CONTROL DURING CONSTRUCTION PER CITY APPROVED BEST MANAGEMENT PRACTICES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IMPLEMENT ADEQUATE EROSION AND SEDIMENT CONTROL MEASURES TO THE SATISFACTION OF THE CITY INSPECTOR.
12. FIXTURES INSTALLED ON A FLOOR LEVEL THAT IS LOWER THAN THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC, OR PRIVATE SEWER SHALL BE PROTECTED FROM BACKFLOW OF SEWAGE BY INSTALLING AN APPROVED TYPE OF BACKWATER VALVE. FIXTURES ON SUCH FLOOR LEVEL THAT ARE NOT BELOW THE NEXT UPSTREAM MANHOLE COVER SHALL NOT BE REQUIRED TO BE PROTECTED BY A BACKWATER VALVE. FIXTURES ON FLOOR LEVELS ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. CLEANOUTS FOR DRAINS THAT PASS THROUGH A BACKWATER VALVE SHALL BE CLEARLY IDENTIFIED WITH A PERMANENT LABEL STATING "BACKWATER VALVE DOWNSTREAM."
13. PUBLIC UTILITY EASEMENTS MAY CONTAIN ELECTRICAL TRANSFORMERS, OTHER UTILITY VAULTS, MAIL BOXES, LIGHT POLES, STREET SIGNS, FIRE HYDRANTS, AND/OR OTHER ITEMS REQUIRED BY THE LOCAL GOVERNING AGENCIES. THE BUYER(S) SHOULD INSPECT THE SPECIFIC LOT THE BUYER(S) WISH TO PURCHASE TO DETERMINE WHAT IS CONTAINED WITHIN THE PUBLIC EASEMENT.
14. ALL ONSITE SWALES SHALL BE PERMANENTLY MAINTAINED BY THE HOMEOWNER SUCH THAT THEY FUNCTION PROPERLY AND NO LOT TO LOT DRAINAGE OCCURS.



REVISIONS:	PLOT PLAN	SKYFARM FOUNTAIN GROVE UNIT 1B SANTA ROSA, CA
____	PLAN SCALE: 1" = 10'	LOT No. 74
____	DATE: SEPTEMBER 2025	LOT AREA: 44,866 SF
____		ADDRESS: 3911 FLINTBRIDGE DRIVE

- 1 RAIN GARDEN BIOTENTION SOIL MIX SHALL BE 85/15 AMENDED SOIL LOAM PROVIDED BY RICE TRUCKING SOIL FARM AS DESCRIBED IN BIOTENTION SOIL SPECIFICATIONS.
- 2 BOTTOM OPEN TO ALLOW INFILTRATION INTO NATIVE SOIL.
- 3 ALL PLANTING SHALL BE PER CITY OF SANTA ROSA LOW IMPACT DEVELOPMENT TECHNICAL DESIGN MANUAL, APPENDIX F.



- NOTES:
1. BAGS SHALL BE POLYPROPYLENE, POLYETHYLENE, OR POLY AMIDE WOVEN FABRIC, MIN WEIGHT 4 OZ/SY, MULLEN BURST STRENGTH 300 PSI MIN, AND ULTRAVIOLET STABILITY 70% MIN.
 2. FILLED WEIGHT 90 TO 125 LBS.

NO SCALE



NO SCALE



- NOTES:
1. STRAW ROLLS ARE MANUFACTURED FROM STRAW THAT IS WRAPPED IN TUBULAR BLACK PLASTIC NETTING. THEY ARE APPROX. 8" IN DIA. BY 25 TO 30 FEET LONG.
 2. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH 2" TO 3" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.

NO SCALE

NOTE: TOTAL NEW IMPERVIOUS SURFACE INCLUDING
ROOFTOP AND CONCRETE IS 20,209 SQ. FT.

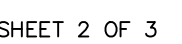
MAXIMUM 20% LOT COVERAGE REQUIRED UNDER
SUBDIVISION POLICY STATEMENT. 20% OF LOT
AREA IS 8,956 SQ. FT.

TOTAL LIVING SPACE OF MAIN RESIDENCE,
COVERED OUTDOOR AND GARAGE EQUALS 8,956
SQ. FT.

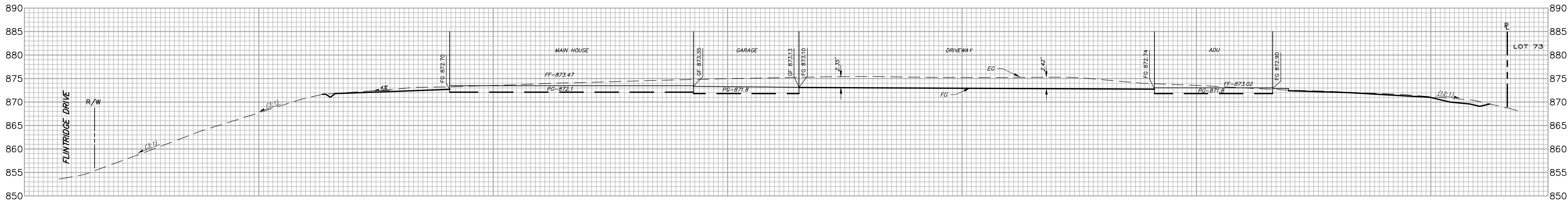


1. THICKENED SLAB EDGE AT PERIMETER OF POOL PATIO.
2. CONCRETE PER CITY STANDARDS & SPECIFICATIONS.

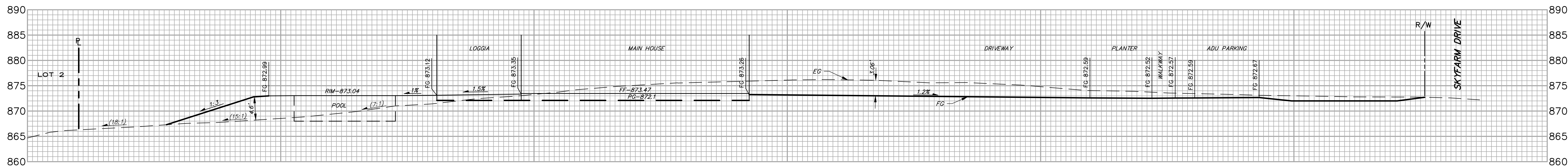
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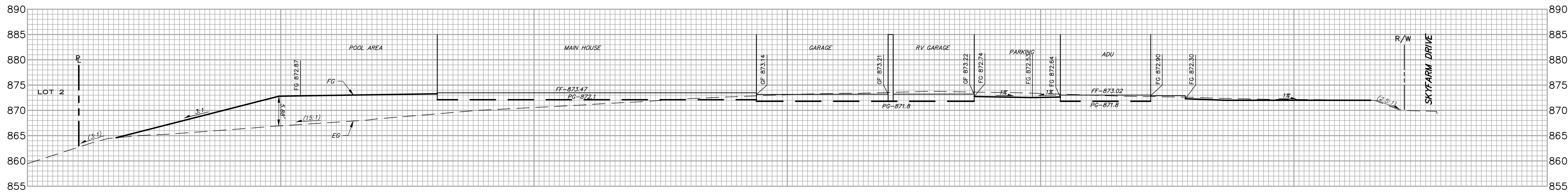
REVISIONS:	PLOT PLAN	SKYFARM FOUNTAIN GROVE UNIT 1B SANTA ROSA, CA
_____	PLAN SCALE: 1" = 10'	LOT No. 74
_____	DATE: SEPTEMBER 2025	LOT AREA: 44,866 SF
_____		ADDRESS: 3911 FLINTRIDGE DRIVE



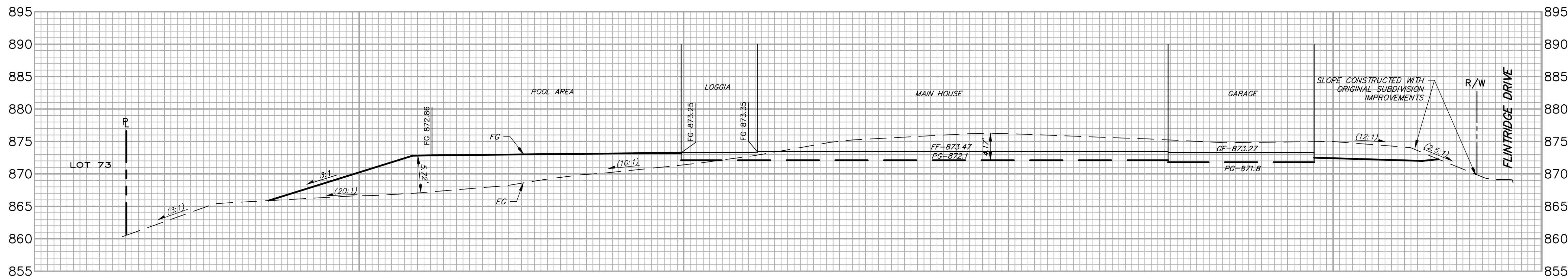
SECTION A-A



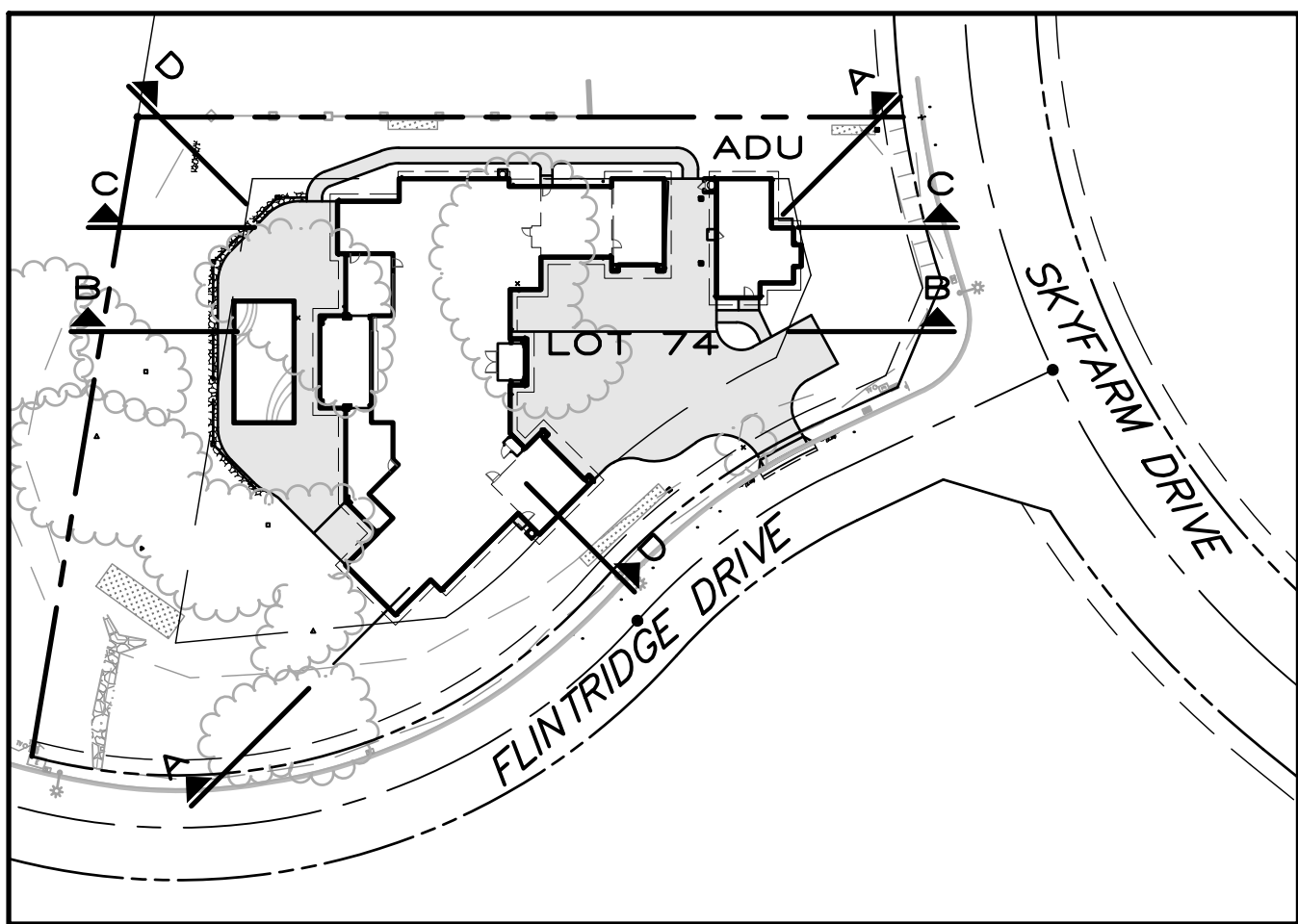
SECTION B-B



SECTION C-C



SECTION D-D



KEY MAP
SCALE: 1" = 80'

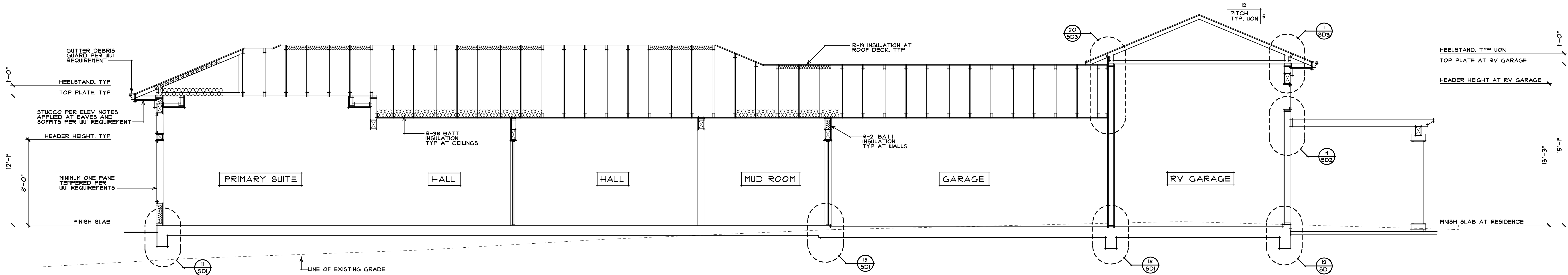


September 18, 2025
CARLILE • MACY DATE

SCALE: HORIZONTAL 1" = 10'
VERTICAL 1" = 10'

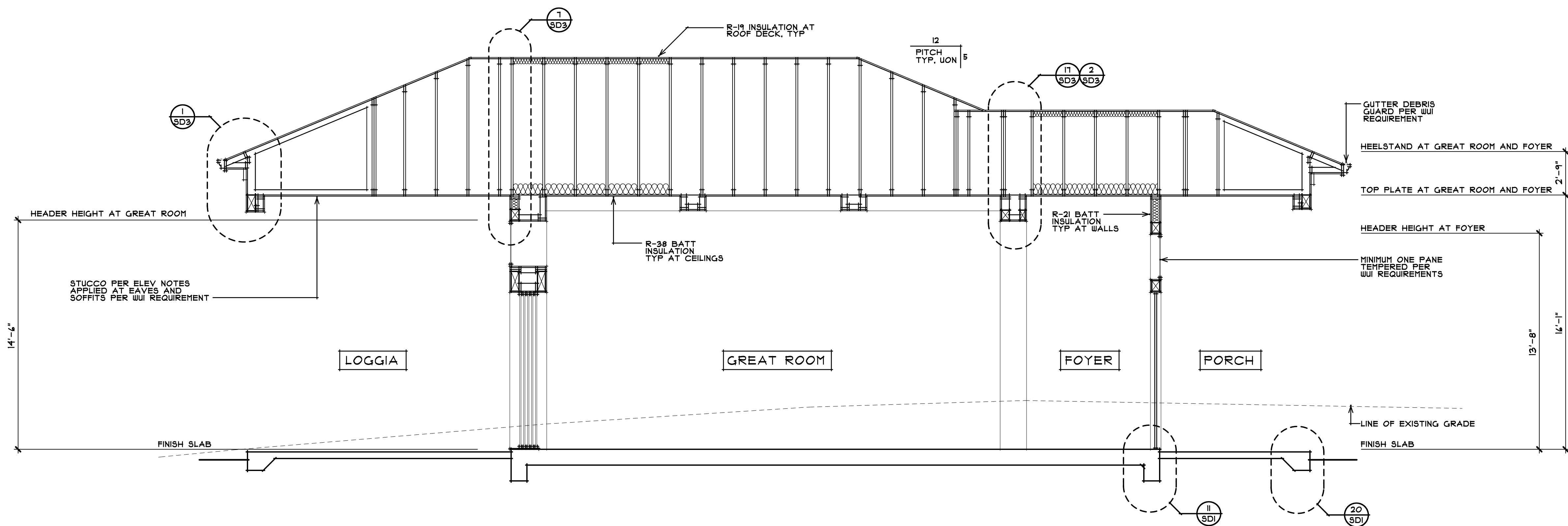
REVISIONS:		PLOT PLAN	SKYFARM FOUNTAIN GROVE UNIT 1B SANTA ROSA, CA LOT No. 74 LOT AREA: 44,866 SF ADDRESS: 3911 FLINTRIDGE DRIVE
PLAN SCALE: 1" = 10'		DATE: SEPTEMBER 2025	

SHEET 3 OF 3



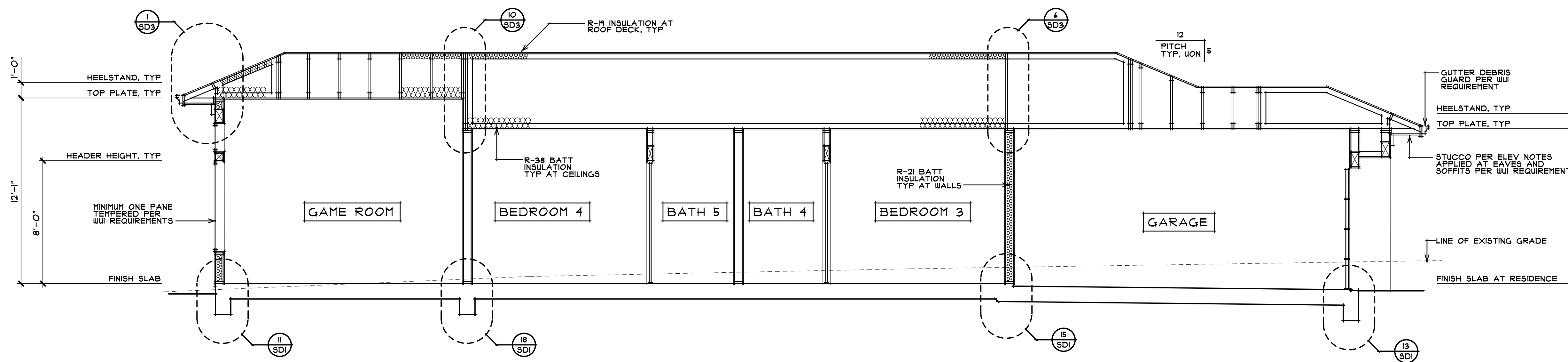
SECTION A-A

SCALE: 1/4" = 1'-0"



SECTION B-B

SCALE: 1/4" = 1'-0"



SECTION C-C

SCALE: 1/4" = 1'-0"

DATE 1/14/2025

DRAWN BY:
CHECKED BY:
REVISIONS: DATE:

NOTES

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Santa Rosa, CA 95401
TEL: 707.579.9811
www.farrellfaber.com

FARRELL-FABER
& ASSOCIATES IN C.
ARCHITECTURE • PLANNING

DESIGN FOR

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DO NOT SCALE PLAN

SHEET JOB NO 25008

1

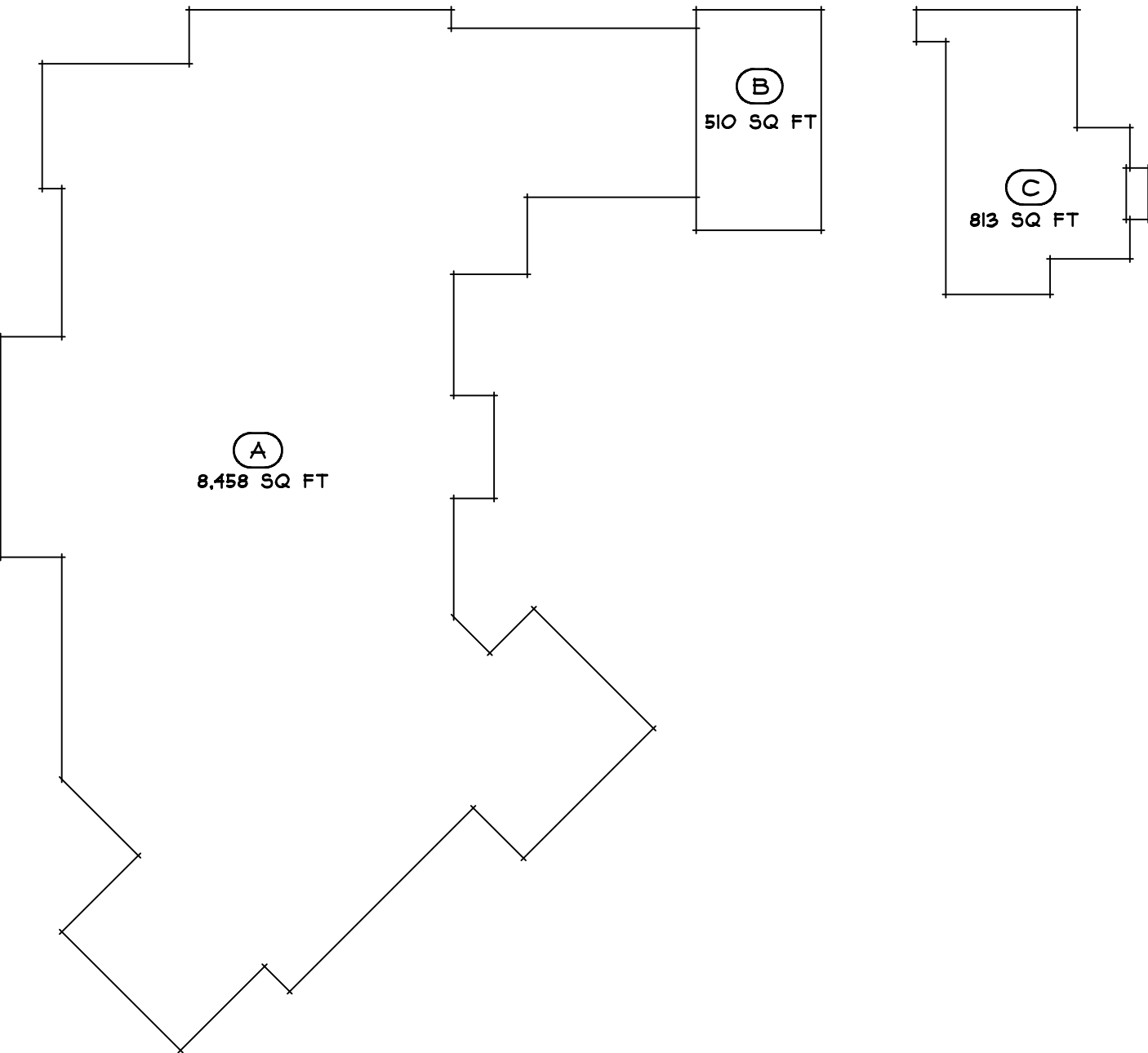
ATTIC VENT SCHEDULE

VENTS PROVIDED:
O'HAGIN FIRE AND ICE FLAT TILE ATTIC VENT (OR EQUAL)
(0.45 SQ. FT. FREE FLOW AREA)
COR-A-VENT V-600 RIDGE VENT
(0.14 SQ. FT. FREE FLOW AREA / LINEAL FOOT)

A. ATTIC AREA OVER MAIN HOUSE = 8,458 SQ. FT.
8458 X 1/300 = 28.19 SQ. FT. REQ'D VENT AREA
-USE (90) LINEAR FEET RIDGE VENT = 12.40 SQ. FT. (HIGH)
-USE (35) O'HAGIN FLAT TILE VENTS = 15.15 SQ. FT. (LOW)
TOTAL VENT AREA PROVIDED = 28.35 SQ. FT.

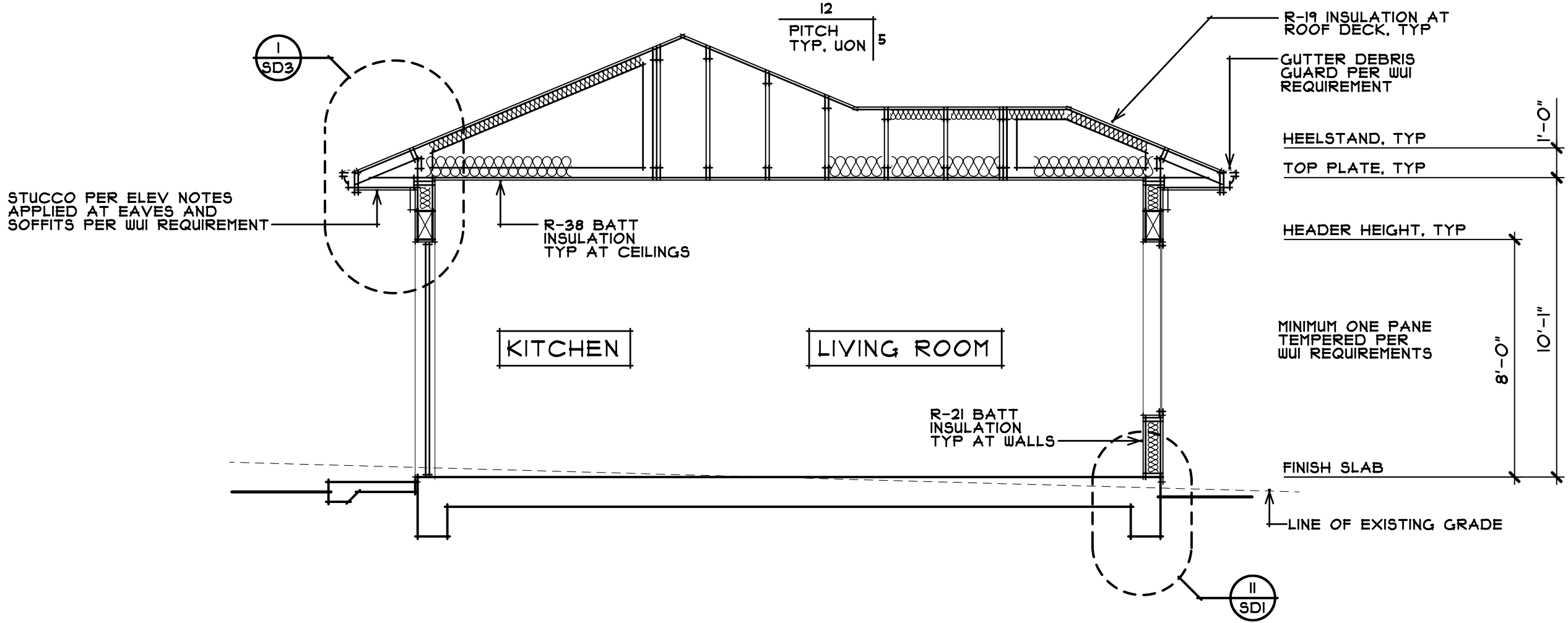
B. ATTIC AREA OVER GARAGE = 510 SQ. FT.
510 X 1/300 = 1.7 SQ. FT. REQ'D VENT AREA
-USE (4) LINEAR FEET RIDGE VENT = 0.84 SQ. FT. (HIGH)
-USE (2) O'HAGIN FLAT TILE VENTS = 0.90 SQ. FT. (LOW)
TOTAL VENT AREA PROVIDED = 1.74 SQ. FT.

C. ATTIC AREA OVER ADU = 1,036 SQ. FT.
813 X 1/300 = 2.71 SQ. FT. REQ'D VENT AREA
-USE (12) LINEAR FEET RIDGE VENT = 1.26 SQ. FT. (HIGH)
-USE (4) O'HAGIN FLAT TILE VENTS = 1.80 SQ. FT. (LOW)
TOTAL VENT AREA PROVIDED = 3.06 SQ. FT.



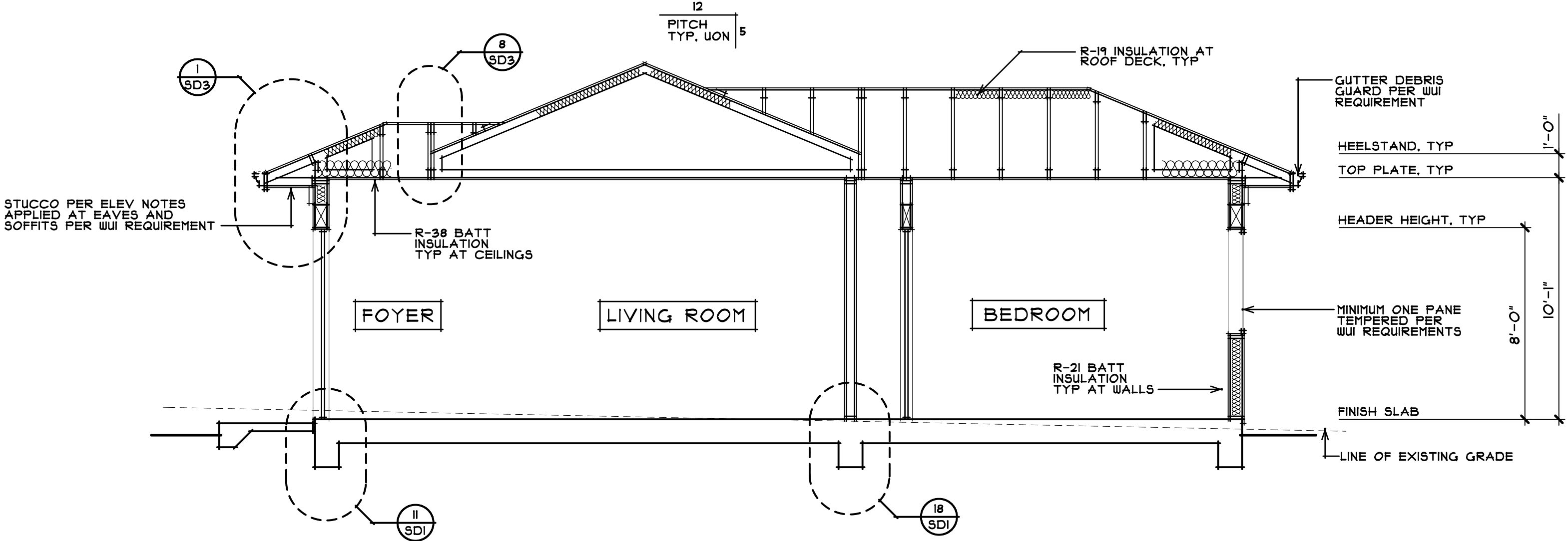
ATTIC AREA KEY PLAN
NOT TO SCALE

NOTES: FOR "HIGH" AND "LOW" VENT DISTRIBUTION, PLACEMENT OF "HIGH" VENTS SHALL BE A MIN. 36" ABOVE THE EAVE. DISTRIBUTE "LOW" VENTING EVENLY THROUGHOUT ROOF EAVE LINE. DISTRIBUTE "HIGH" VENTS THROUGHOUT REAR & SIDE ELEVATION. MINIMIZE FRONT ELEVATION PLACEMENT.
PROVIDE A CONTINUOUS RADIANT BARRIER PER TITLE 24 (CF-1R)
ALL O'HAGIN VENTS SHALL BE PAINTED TO MATCH ROOFING.
O'HAGIN MODELS ARE LISTED AT WWW.OHAGINVENT.COM
RIDGE VENT SHALL BE COR-A-VENT (OR EQUAL) AND IS LISTED AT WWW.COR-A-VENT.COM



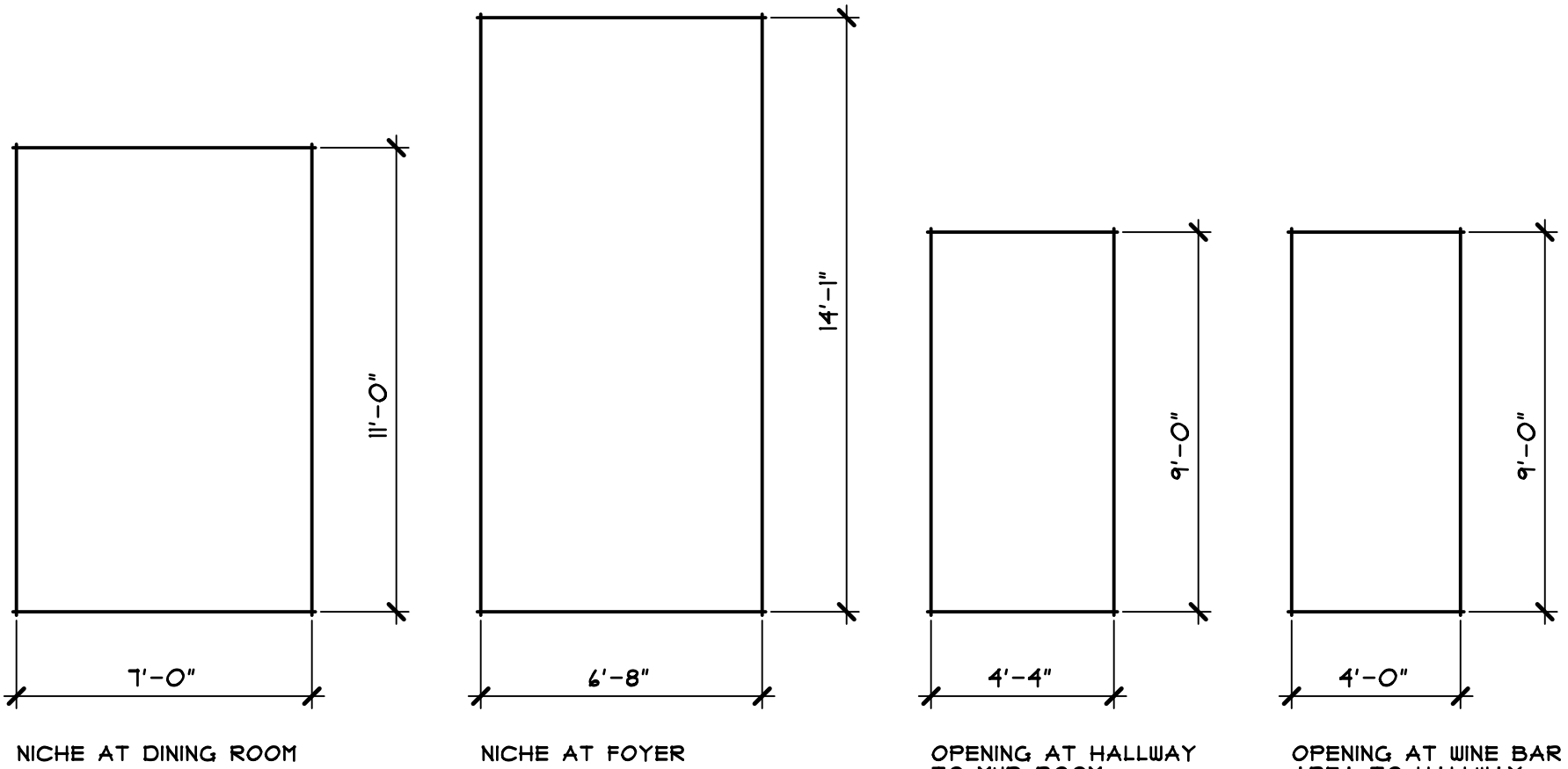
SECTION D-D

SCALE: 1/4" = 1'-0"



SECTION E-E

SCALE: 1/4" = 1'-0"



NOTE: 6" JAMBS TYPICAL AT ALL CASED OPENINGS (UON)

INTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

DATE 1/14/2025

DRAWN BY:
CHECKED BY:
REVISIONS: DATE:
NOTES

1022 Mendocino Avenue
Santa Rosa, CA 95401
TEL: 707.579.3811
www.farrellfaber.com
FARRELL-FABER
& ASSOCIATES INC.
ARCHITECTURE • PLANNING

CHRISTOPHERSON BUILDERS
3911 FLINTRIDGE DRIVE
SANTA ROSA, CALIFORNIA

DESIGN FOR
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DO NOT SCALE PLAN

SHEET JOB NO 25008





Steve Kovanis
Landscape Architect

(707) 978-4455
4015 Sutterman Way
Occidental, CA 95455
sklandscapearchitect.com



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GENERAL NOTE
SEE SHEET L2 FOR PLANT & GENERAL LEGEND

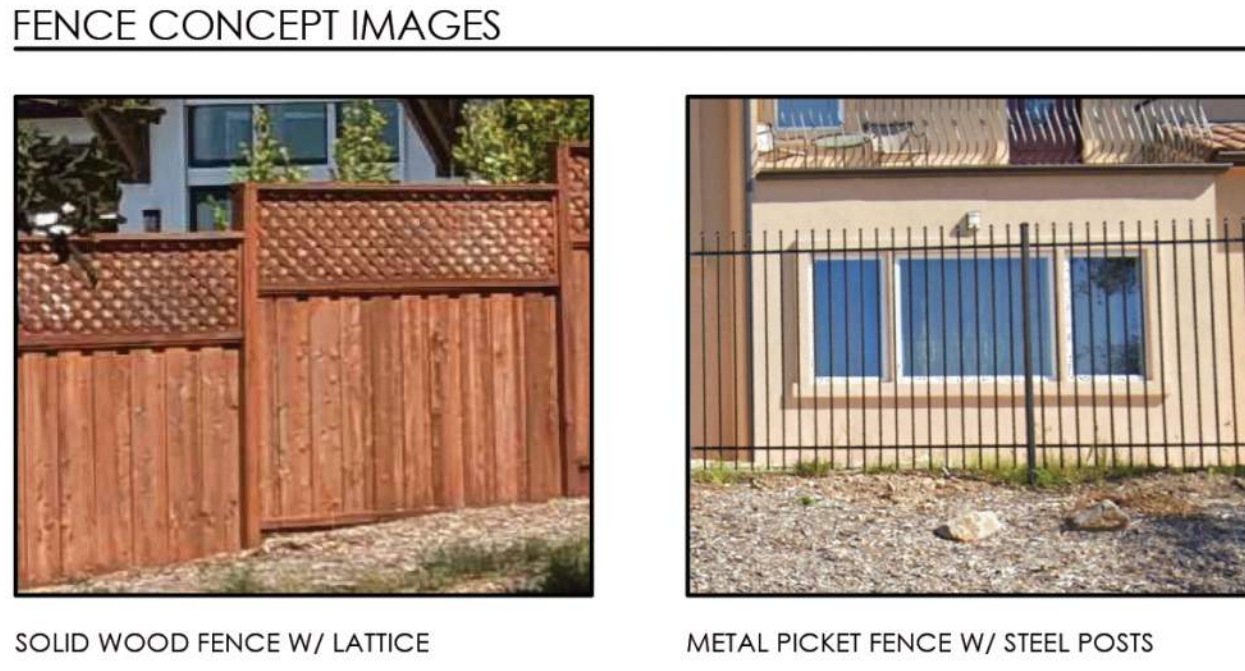
PLANTING & IRRIGATION CONCEPT STATEMENTS
THE PLANT PALETTE FEATURES LOW-MAINTENANCE AND DROUGHT TOLERANT SPECIES WHICH ARE WELL SUITED TO THRIVE IN THE SITE SOILS AND LOCAL MICROCLIMATE CONDITIONS IN FOUNTAIN GROVE. THE PLANTING LAYOUT IS INTENDED TO PROVIDE LAYERS OF VISUAL INTEREST, PRIVACY SCREENING FROM OFFSITE VIEWS, EROSION CONTROL ON GRADED SLOPES, AND FIRE SAFE LANDSCAPE DESIGN.

THE PROJECT WILL HAVE A HIGH EFFICIENCY DRIP IRRIGATION SYSTEM FOR ALL NEW PLANTINGS WITH STATE OF THE ART EQUIPMENT TO AUTOMATICALLY ADJUSTING THE WATERING SCHEDULE BASED ON LOCAL WEATHER CONDITIONS. OTHER IRRIGATION EQUIPMENT SHALL BE INSTALLED TO PROMOTE WATER USE EFFICIENCY AND CONSERVATION.

WATER EFFICIENT LANDSCAPE ORDINANCE STATEMENT
I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE. THE PLANTING IS DESIGNED TO MEET THE CRITERIA OF THE CITY'S ORDINANCE FOR THE EFFICIENT USE OF WATER.

FENCE DESCRIPTION
THE PROJECT PROPOSES BOTH METAL AND WOOD FENCING TO PROVIDE SECURITY, PRIVACY, AND TO DETER ANIMALS. THE FENCE CONCEPT IMAGES ARE FROM NEIGHBORING LOTS AND ILLUSTRATE THE STYLE AND HEIGHT OUR PROPOSED FENCING WILL MIMIC FOR COMPATIBILITY.

- FENCE LEGEND**
- METAL PICKET FENCE, BLACK COLOR, HEIGHT PER PLAN, TO MATCH NEIGHBOR'S FENCE
 - SOLID WOOD FENCE W/ LATTICE, HEIGHT PER PLAN, TO MATCH NEIGHBOR'S FENCE



DANOFF RESIDENCE

3911 FLINTRIDGE DR
SANTA ROSA CALIFORNIA

ISSUED:
9/18/2025 HILLSIDE REVIEW

PROJECT INFO

PROJECT NO.	25.20
DATE:	SEPTEMBER, 2025
DESIGNED BY:	SK
DRAWN BY:	SK

CONTENTS

PRELIMINARY
LANDSCAPE PLAN

SHEET NO.

L1



3911 FLINTRIDGE DR
SANTA ROSA CALIFORNIA

ISSUED:

PROJECT INFO	
PROJECT NO.	25.20
DATE:	SEPTEMBER, 2025
DESIGNED BY:	SK
DRAWN BY:	SK

CONTENTS

LEGEND

SHEET NO.

L2

PLANT PALETTE

TREES



LAGERSTROEMIA 'MUSKOGEE'
CRAPE MYRTLE

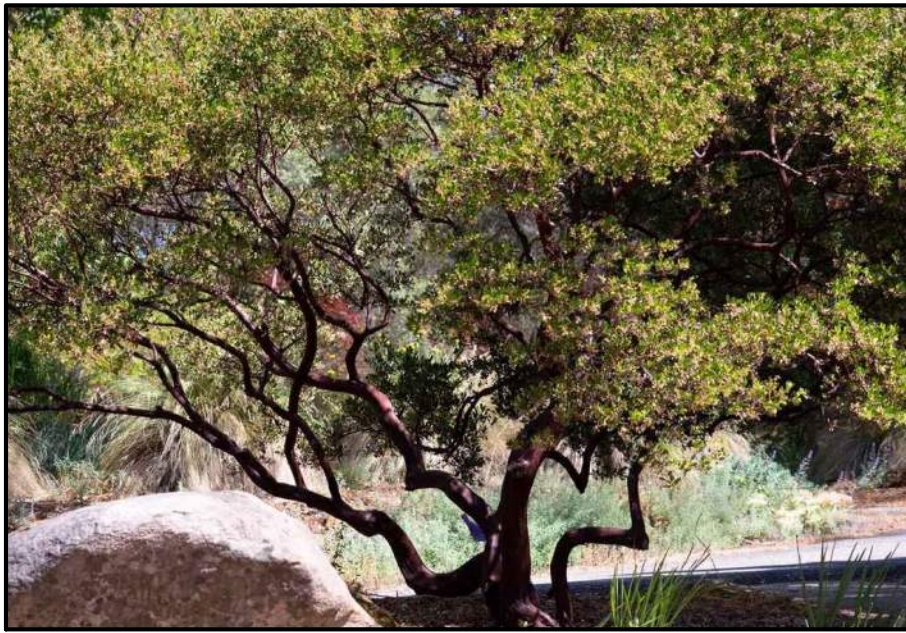


OLEA EUROPAEA
OLIVE TREE



SYAGRUS ROMANZOFFIANUM
QUEEN PALM

SHRUBS



ARCTOSTAPHYLOS 'SENTINEL'
SENTINEL MANZANITA



ASPARAGUS D. 'MYERS'
FOXTAIL FERN



CEANOTHUS 'DARK STAR'
DARK STAR CA LILAC

SHRUBS



FEIJOA SELLOWIANA
PINEAPPLE GUAVA



LAVANDULA SPP.
LAVENDER



PHORMIUM SPP.
NEW ZEALAND FLAX



RIBES S. 'KING EDWARD VII'
FLOWERING CURRANT



SALVIA CLEVELANDII
CLEVELAND SAGE



SALVIA GREGGII
AUTUMN SAGE

GROUNDCOVERS & PERENNIALS



ARCTOSTAPHYLOS 'PACIFIC MIST'
PACIFIC MIST MANZANITA



GREVILLEA SPP.
GREVILLEA



PENSTEMON 'MARGARITA BOP'
FOOTHILL PENSTEMON



SALVIA 'BEE'S BLISS'
CREEPING SAGE



SALVIA SPP.
SAGE

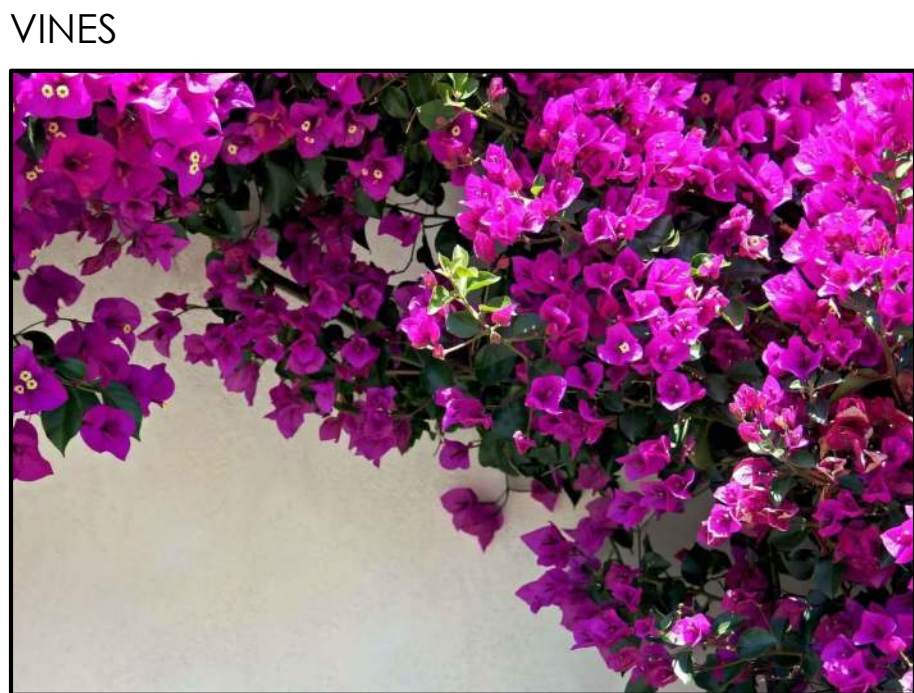


VERBENA 'DE LA MINA'
CEDROS ISLAND VERBENA

GROUNDCOVERS & PERENNIALS



ZAUSCHNERIA SPP.
CALIFORNIA FUCHSIA



BOUGAINVILLEA 'SAN DIEGO RED'



BIOFILTRATION SOD



Steve Kovanis
Landscape Architect
1001 W. 10th St.
401 S. Bohannon Hwy.
Covina, CA 91724
skovano@skovanoarchitect.com



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SANTA ROSA CALIFORNIA

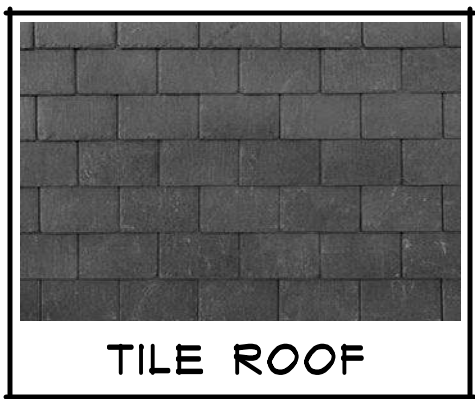
ISSUED:

PROJECT INFO	
PROJECT NO.	25.20
DATE:	SEPTEMBER, 2025
DESIGNED BY:	SK
DRAWN BY:	SK

CONTENTS
PLANT PALETTE

SHEET NO.

L3



TILE ROOF

CALIFORNIA SLATE
COMPANY
DEL CASTILLO GRAY



TRIM

BENJAMIN MOORE
OWL GRAY
OC-52



STUCCO

BENJAMIN MOORE
DECORATOR'S WHITE
OC-149



GUTTERS/FASCIA

BENJAMIN MOORE
KENDALL GRAY
HC-166



GARAGE DOORS

BENJAMIN MOORE
OWL GRAY
OC-52



WINDOWS

ANDERSEN
400 SERIES
BLACK BLACK

DATE
9/29/25

JOB NO
25008

SHEET
EX-2

DESIGN FOR:

CHRISTOPHERSON BUILDERS

3911 FLINTRIDGE DRIVE
SANTA ROSA, CALIFORNIA

FARRELL-FABER
& ASSOCIATES INC.
ARCHITECTURE • PLANNING

1855 Cleveland Ave, Ste 202
Santa Rosa, CA 95401
TEL: 707.579.3811
www.farrellfaber.com



RIDGELINE VIEW - 1



RIDGELINE VIEW - 2

RIDGELINE EXHIBIT

DATE 9/29/2025
DRAWN BY:
CHECKED BY:
REVISIONS: DATE:
NOTES:
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DESIGN FOR
JOB NO 25008
SHEET EX-1