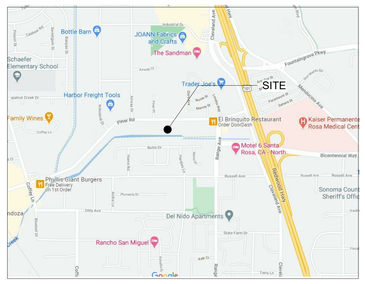
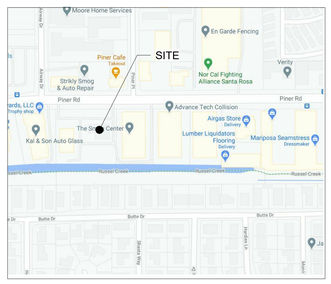
WCSS - SANTA ROSA

970 PINER RD,
SANTA ROSA, CA 95404
DESIGN REVIEW PLAN SET
RESUBMITTAL 09/13/2021

SHEET INDEX



VICINITY MAP
N.T.S.
TRUE NORTH



LOCATION MAP
N.T.S.
TRUE NORTH

LEGAL DESCRIPTION

LEGAL DESCRIPTION (PER TITLE REPORT)
REAL PROPERTY IN THE CITY OF SANTA ROSA, COUNTY OF SONOMA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
LOT 2, AS SHOWN ON CITY OF SANTA ROSA PARCEL MAP NO. 749, FILED ON JULY 1ST, 2020, IN BOOK 814 OF PARCEL MAPS AT PAGES 49 TO 53, SONOMA COUNTY RECORDS.
APN: 015-680-013-000 UNDERLYING, (NEW APN NOT YET ASSESSED)

PROJECT DESCRIPTION

CONSTRUCTION A STORAGE FACILITY THAT INCLUDES:

A LEASING OFFICE AND RETAIL BUILDING AT THE FORWARD PORTION OF THE BUILDING AND A 3-STORY, SEMI-CONDITIONED SELF-STORAGE STRUCTURE.

ZONING:

LIGHT INDUSTRIAL (IL) SRMC 20-24.040

OCCUPANCY CLASSIFICATION :

S-1

CODE INFORMATION:

REFERENCE SHEETS G0.02- .03, AND G0.05 DETAILED CODE ANALYSIS

DEFERRED PERMITTING:

CONTRACTOR TO SUBMIT
- ELEVATOR
- FIRE PROTECTION (SPRINKLER & FIRE ALARM)
- AUTOMATIC GATE
- SIGNAGE

NOTE:
1. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL SHALL BE SUBMITTED TO THE ARCHITECT FOR DESIGN REVIEW AND APPROVAL **PRIOR** TO SUBMITTAL TO THE AUTHORITY HAVING JURISDICTION.
2. GENERAL CONTRACTOR SHALL SUBMIT AND OBTAIN APPROVAL FOR ALL DEFERRED SUBMITTALS

DELEGATED DESIGN

THE GENERAL CONTRACTOR SHALL SCHEDULE A FIRESTOPPING MEETING WITH THE BUILDING INSPECTOR AND ALL SUBCONTRACTORS THAT WILL BE INSTALLING FIRESTOPPING MATERIALS. EACH SUBCONTRACTOR WILL PROVIDE A LIST OF FIRESTOP MATERIALS / ASSEMBLIES WHICH WILL BE USED, AND THE LISTING AND APPROVAL INFORMATION (I.E. CBC OR OTHER APPROVED REPORT / LISTING NUMBERS). THIS INFORMATION MUST BE SUBMITTED TO AND APPROVED BY THE BUILDING INSPECTOR PRIOR TO ANY INSTALLATION.

SPECIAL INSPECTIONS

THE GENERAL CONTRACTOR SHALL SCHEDULE A FIRESTOPPING MEETING WITH THE BUILDING INSPECTOR AND ALL SUBCONTRACTORS THAT WILL BE INSTALLING FIRESTOPPING MATERIALS. EACH SUBCONTRACTOR WILL PROVIDE A LIST OF FIRESTOP INFORMATION (I.E ICC OR OTHER APPROVED REPORT/LISTING NUMBERS). THIS INFORMATION MUST BE SUBMITTED TO AND APPROVED BY THE BUILDING INSPECTOR PRIOR TO ANY INSTALLATION. CONTRACTOR SHALL ARRANGE FOR THE FOLLOWING SPECIAL INSPECTIONS:
- GRADING
- AIR BARRIER TESTING
- REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL SPECIAL INSPECTIONS
- INTUMESCENT PAINT

OWNER
WEST COAST SELF STORAGE
808 134TH St SW BLDG B, SUITE 211
EVERETT, WASHINGTON 98204
PHONE: 408 836 4543
EMAIL: stangney@wcselfstorage.com
CONTACT: Steve Tangney

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ARCHITECT: Robin Murphy

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BAUER ASSOCIATES INC.
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FORESTVILLE, WA. 95436
PHONE: 707 884 2505
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CONTACT: Arthur H. Graff - Geo Tech Eng

CIVIL ENGINEER
SUMMIT ENGINEERING
463 AVIATION BLVD STE 200
SANTA ROSA, CALIFORNIA 95403
PHONE: 707 527 0775
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CONTACT: Hongu Wang - PE, SE

MECHANICAL & PLUMBING ENGINEER
LMR CONSULTING MEHANICAL ENGINEERS
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SANTA CLARA, CA. 94541
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CONTACT: Leonard M. Rose - Principal PE

ELECTRICAL ENGINEER
AMERICAN CONSULTANT ENGINEERS ELECTRICAL INC.
100 SARATOGA AVE, SUITE 200
SANTA CLARA, CA. 98051
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LANDSCAPE ARCHITECT
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808 134TH ST SW, BLDG.B, STE 211
EVERENTT WA, 98204

WCSS - SANTA ROSA
970 PINER RD,
SANTA ROSA, CA 95404

NO.	DATE	DESCRIPTION
0	07/24/21	DESIGN REVIEW - DR21-004
1	08/24/21	AHJ OR RESPONSE #1

NOT FOR CONSTRUCTION
FOR REVIEW ONLY

PROJECT NO.: 20143
PROJECT MGR.: LH
DRAWN BY: AK
CHECKED BY: RAM

COVER SHEET

G0.00

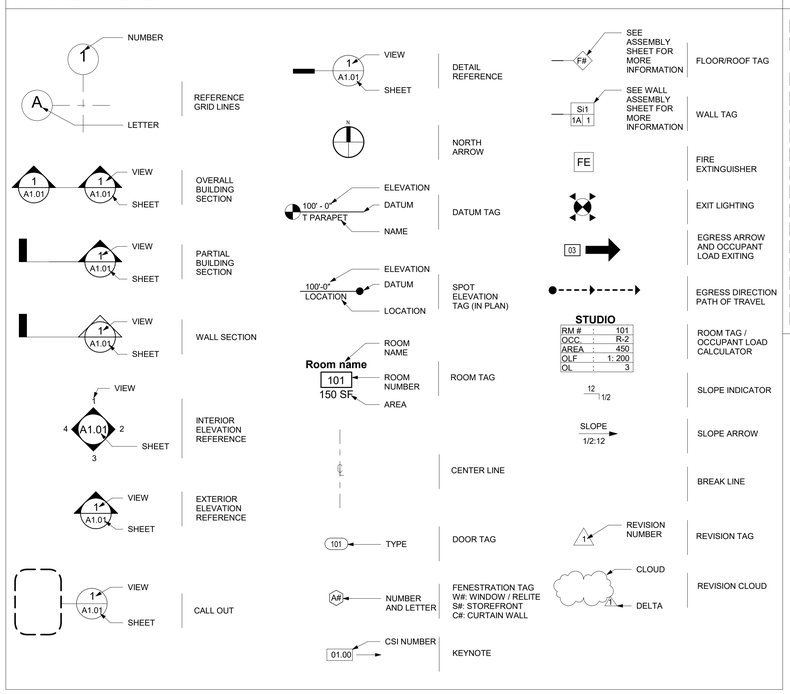
9/14/2021 10:52:59 AM

ARCHITECTURAL ABBREVIATIONS

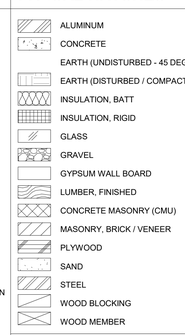
NOTE: ALL ABBREVIATIONS MAY NOT BE USED, ABBREVIATIONS MAY BE USED IN CONJUNCTION WITH EACH OTHER.

A.B.	AIR BARRIER	DIM.	DIMENSION	HDRL.	HANDRAIL	O.C.	ON CENTER	RSF.	RESURFACE	V.E.C.P.	VALUE ENGINEERING CHANGE PROPOSAL
ABV.	ABOVE	DISP.	DISPENSER or DISPOSAL	HDW.	HARDWARE	O.D	OUTSIDE DIAMETER or OUTSIDE DIMENSION	RSVR.	RESERVOIR	VERP.	VERTICAL PANEL
A/C	AIR CONDITIONING	DN.	DOWN	HDWD.	HARDWOOD	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED	S.	SOUTH	VERT.	VERTICAL
A.C.P.	ACOUSTICAL CEILING PANEL	DR.	DOOR	H.M.	HOLLOW METAL	O.F.O.I.	OWNER FURNISHED, OWNER INSTALLED	S.A.M.	SELF ADHERING MEMBRANE	V.G.	VERTICAL GRAIN or VARIABLE GRADE
A.D.A.	AMERICANS WITH DISABILITIES ACT	D.S.	DOWNSPOUT	HR.	HOUR	O.L.	OCCUPANT LOAD	SAN.	SANITARY	V.I.F.	VERIFY IN FIELD
ADDL.	ADDITIONAL	DTL.	DETAIL	HT.	HEIGHT	O.L.F.	OCCUPANT LOAD FACTOR	S.C.	SOLID CORE	VOL.	VOLUME
ADJ.	ADJUST(ABLE)	D.W.	DISHWASHER	H.V.A.C.	HEATING, VENTILATING, AIR CONDITIONING	OPP.	OPPOSITE	SCHED.	SCHEDULE	V.W.	VARIABLE WIDTH
A.F.F.	ABOVE FINISHED FLOOR	DWG(S).	DRAWING(S)			OPT.	OPTION(AL)	SECT.	SECTION		
AGG.	AGGREGATE	(E)	EXISTING	I.B.C.	INTERNATIONAL BUILDING CODE	ORIG.	ORIGIN(AL)	s.f.	SQUARE FEET (FOOT)	W.	WEST or WIDTH or WIDE
A.H.J.	AUTHORITIES(ITY) HAVING JURISDICTION	E.	EAST	I.C.C.	INTERNATIONAL CODE COUNCIL	O.S.B.	ORIENTED STRAND BOARD	SIM.	SIMILAR	W/	WITH
A.I.A.	AMERICAN INSTITUTE OF ARCHITECTS	EA.	EACH	I.F.C.	INTERNATIONAL FIRE CODE	O.T.S.	OPEN TO STRUCTURE	S.M.A.C.N.	SHEET METAL & AIR CONDITIONING CONTRACTOR'S NATIONAL ASSOCIATION	W.C.	WATER CLOSET
ALT.	ALTERNATE OR ALTERNATIVE	E.J.	EXPANSION JOINT	I.M.C.	INTERNATIONAL MECHANICAL CODE	OVHD.	OVERHEAD	A.		W.C.O.	WALL CLEANOUT
ALUM.	ALUMINUM	ELEC.	ELECTRIC(AL)	I.P.C.	INTERNATIONAL PLUMBING CODE			S.P.	STANDPIPE	WD.	WOOD
ANOD.	ANODIZED	ELEV.	ELEVATOR	IN.	INCH	P.	PAINT(ED)	SPEC.	SPECIFICATION(S)	W.F.	WIDE FLANGE
A.N.S.I.	AMERICAN NATIONAL STANDARDS INSTITUTE	EMER.	EMERGENCY	INCL.	INCLUDE(D) or (ING)	PANL.	PANEL	S.P.M.	SINGLE PLY MEMBRANE	W.G.	WIRE GLASS
A.O.R.	ARCHITECT OF RECORD	ENCL.	ENCLOSURE	INSUL.	INSULATE(D) or INSULATION	PC.	PORTLAND CEMENT or PRECAST CONCRETE	SQ.	SQUARE	W.H.	WATER HEATER
A.P.	ACCESS PANEL	E.O.R.	ENGINEER OF RECORD	INT.	INTERIOR or INTERSECTION			S.S.	SOLID SURFACE	W/O	WITHOUT
ASSOC.	ASSOCIATION(S)	EPX.	EPOXY (PAINT)			PED.	PEDESTRIAN	S.Stl.	STAINLESS STEEL	W.O.M.	WALK OFF MAT
A.S.T.M.	AMERICAN SOCIETY FOR TESTING AND MATERIALS	EQ.	EQUAL	JAN.	JANITOR	PEN.	PENETRATION	S.T.C.	SOUND TRANSMISSION CLASSIFICATION	W.P.	WATERPROOF(ING)
		EQP.	EQUIPMENT	JAN. C.	JANITOR'S CLOSET	PERF.	PERFORATE(D)	STD.	STANDARD	W.P.M.	WATERPROOFING MEMBRANE
		ETC.	ET CETERA	JCT.	JUNCTION	PERIM.	PERIMETER	STOR.	STORAGE	W.R.B.	WEATHER RESISTANT BARRIER
		EXT.	EXTERIOR	JST.	JOIST	PKG.	PARKING or PACKAGE	STRUC.	STRUCTURE	W.S.	WATERSTOP or WAINSCOT
BD.	BOARD	(F)	FUTURE	JT.	JOINT	P.L.	PROPERTY LINE or PLATE	SUB.	SUBSTITUTION	WT.	WEIGHT
BLDG.	BUILDING	F.C.P.	FIBER CEMENT PANEL			PLAM.	PLASTIC LAMINATE	SUPP.	SUPPLEMENT or SUPPLY(ER)	W.W.F.	WELDED WIRE FABRIC
BLK.	BLOCK	F.C.S.	FIBER CEMENT SIDING	K.D.	KNOCK DOWN	PLWD.	PLYWOOD	SURF.	SURFACE		
BLKG.	BLOCKING	F.E.	FIRE EXTINGUISHER & BRACKET	K.P.	KICKPLATE	P.O.C.	POINT OF CONNECTION	SUSP.	SUSPEND(ED)	YD.	YARD(S)
BM.	BEAM or BENCH MARK	F.E.C.	FIRE EXTINGUISHER CABINET	K.O.	KNOCK OUT	PR.	PAIR	SWK.	SIDEWALK		
B.O.	BOTTOM OF	F.F.	FINISHED FLOOR			PRE-FIN.	PRE-FINISH	SYM.	SYMBOL or SYMMETRICAL		
B.P.	BUILDING PAPER	F.F.E.	FINISHED FLOOR ELEVATION	LAM.	LAMINATE(D)	PREFAB.	PREFABRICATE				
B.T.B.	BACK TO BACK	FIN.	FINISH(ED)	LAV.	LAVATORY	PROST.	PROSTHESIS	T.	TREAD		
BTWN.	BETWEEN	FLR.	FLOOR(ING)	L.O.C.	LIMITS OF CONSTRUCTION	PROP.	PROPERTY	T&B	TOP & BOTTOM		
B.W.	BACK OF WALK or BOTTOM WIDTH	FND.	FOUND(ATION)			P.T.	PRESERVATIVE TREATED	T&G	TOP & GROOVE		
B.U.R.	BUILT UP ROOF	F.O.	FACE OF	MAINT.	MAINTENANCE	P.U.D.	PLANNED URBAN DEVELOPMENT or PLANNED UNIT DEVELOPMENT	TEMP.	TEMPORARY or TEMPERATURE		
		F.O.C.	FACE OF CONCRETE	MANF.	MANUFACTURE(R) or (D)			THK.	THICK(NESS)		
CAB.	CABINET	F.O.F.	FACE OF FINISH	MATL.	MATERIAL	Q.A.	QUALITY ASSURANCE	T.O.	TOP OF		
C.B.	CATCH BASIN	F.O.M.	FACE OF MASONRY	MAX.	MAXIMUM	Q.C.	QUALITY CONTROL	T.O.C.	TOP OF CURB		
C.B.B.	CEMENTITIOUS BACKER BOARD	F.O.S.	FACE OF STUD or FACE OF STEEL	M.D.F.	MEDIUM DENSITY FIBERBOARD	QTY.	QUANTITY	T.O.P.	TOP OF PARAPET		
C.G.	CORNER GUARD	F.O.W.	FACE OF WALL	MECH.	MECHANIC(AL)			TRANS.	TRANSFORMER		
C.J.	CONTROL JOINT	FRM.	FRAME (D)	MEMB.	MEMBANE	R.	RISER	TYP.	TYPICAL		
C.L.	CENTER LINE or CHAIN LINK	F.R.T.W.	FIRE RETARDANT-TREATED WOOD	M.E.P.	MECHANICAL, ELECTRICAL, & PLUMBING	R.C.P.	REFLECTED CEILING PLAN				
CLG.	CEILING	FT.	FOOT or FEET	MIN.	MINIMUM or MINUTE	R.D.	ROOF DRAIN	U.F.C.	UNIFORM FIRE CODE		
CLO.	CLOSET	FURN.	FURNISH	MISC.	MISCELLANEOUS	RECT.	RECTANGULAR	U.L.	UNDERWRITERS LABORATORIES		
CLR.	CLEARANCE	FURR.	FURRING	M.R.	MOISTURE RESISTANT	REF.	REFERENCE or REFER TO	UNF.	UNFINISHED		
C.M.U.	CONCRETE MASONRY UNIT			MTD.	MOUNTED	REFR.	REFRIGERATOR	UNTR.	UNTREATED		
C.O.	CLEAN OUT	G.A.	GYPSUM ASSOCIATION	MTL.	METAL	REINF.	REINFORCE(D) or (ING)	U.N.O.	UNLESS NOTED OTHERWISE		
COL.	COLUMN	ga	GAUGE	MULL.	MULLION	RELOC.	RELOCATE(D) or (TION)	U.O.S.	UNDERSIDE OF STRUCTURE		
CONC.	CONCRETE	GALV.	GALVANIZED			REM.	REMOVAL or REMARK	U.P.S.	UNINTERRUPTED POWER SUPPLY		
COND.	CONDITION(AL)	GAR.	GARAGE	(N)	NEW	REPL.	REPLACE	U.S.P.S.	UNITED STATES POSTAL SERVICE		
CONT.	CONTINUE(UOUS)	G.B.	GRAB BAR	N.	NORTH	REQD.	REQUIRED	UTIL.	UTILITIES		
CSMT.	CASEMENT	GD.	GRID LINE	N/A	NOT APPLICABLE or NOT AVAILABLE	RES.	RESIDENCE or (TIAL)	U.V.	UNIT VENTILATOR or ULTRA VIOLET		
CSWK.	CASEWORK	GR.	GRADE			RET.	RETENTION or RETURN				
CTR.	CENTER	GYP.	GYPSUM	N.F.R.C.	NATIONAL FENESTRATION RATING COUNCIL	RET.W.	RETAILING WALL				
CORR.	CORRUGATED	GYP. BD.	GYPSUM BOARD	N.I.C.	NOT IN CONTRACT	REV.	REVISE(D) or (ION)	V.	VOLTS		
		GYP. CEM.	GYPSUM CEMENT	NOM.	NOMINAL	RM.	ROOM	VAR.	VARIES		
DBL.	DOUBLE	GYP. SH.	GYPSUM SHEATHING	N.T.P.	NOTICE TO PROCEED	RND.	ROUND	V.B.	VAPOR BARRIER		
DEMO.	DEMOLISH(ED) or DEMOLITION			N.T.S.	NOT TO SCALE	R.O.	ROUGH OPENING	V.D.	VOLUME DAMPER		
DEPT.	DEPARTMENT					R.O.W.	RIGHT OF WAY	V.E.	VALUE ENGINEERING		
dia.	DIAMETER					R.P.	REFERENCE POINT				
		H.B.	HOSE BIB								

TYPICAL SYMBOLS



TYPICAL HATCHES



FIRE AND LIFE SAFETY NOTES

A. CONFIGURE FIRE DETECTION, INTERNAL ALARM AND CENTRAL REPORTING SYSTEMS IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION AND IN COMPLIANCE WITH THE GOVERNING EDITIONS OF ADA, ANSI AND THE BUILDING CODE. THE EQUIPMENT FURNISHED SHALL BE COMPATIBLE AND BE UL LISTED, FM APPROVED OR LISTED BY A NATIONALLY RECOGNIZED TESTING LABORATORY IN ACCORDANCE WITH THE APPLICABLE NATIONAL FIRE PROTECTION ASSOCIATION STANDARDS.
B. ALL INSULATION INDICATED ON PLANS SHALL COMPLY WITH OR EXCEED THE REQUIREMENTS OF THE MOST RESTRICTIVE PREVAILING BUILDING CODE GOVERNING EDITION) FOR SMOKE DENSITY AND FLAME SPREAD.
C. PROVIDE EMERGENCY EXIT / EGRESS ILLUMINATION AND SIGNAGE WHERE REQUIRED BY PREVAILING LOCAL JURISDICTION, BUILDING CODE, NFDA, OR NFPA (CURRENT EDITION).
D. REFER TO AS-BUILT SERIES FOR SPECIFIC WALL, FLOOR AND ROOF ASSEMBLY TYPES RELATING TO FIRE RATINGS.
E. REFER TO FLOOR PLANS FOR SPECIFIC DIMENSIONS AND CLEARANCES.
F. BUILDING IS FULLY SPRINKLED PER SECTION 903.3 NFPA13.
G. COORDINATE ALL ELECTRICAL WORK, INCLUDING EXIT SIGNS AND EMERGENCY LIGHTING WITH ELECTRICAL ENGINEER.
H. THE COMPLETED BUILDING WILL NEED TO BE TESTED AND COMPLY WITH THE DISTRIBUTED ANTENNA SYSTEMS (DAS). THE CABLING FOR THIS SYSTEM WILL NEED TO COMPLY WITH THE RATINGS FROM THE LOCAL FIRE DEPARTMENT.
I. STANDPIPES ARE REQUIRED IN EACH INTERIOR STAIRWELL AT BUILDING. STANDPIPE CONNECTIONS ARE REQUIRED AT EACH INTERMEDIATE STAIR LANDING UNLESS OTHERWISE APPROVED BY THE AUTHORITIES HAVING JURISDICTION.
J. GC TO INSTALL 2 WAY COMMUNICATION SYSTEMS PER ADOPTED BUILDING CODE AT ALL ELEVATOR FLOOR LANDINGS, OTHER THAN THE LEVEL OF EXIT DISCHARGE.
K. AS DIRECTED BY THE LOCAL FIRE MARSHAL, BUILDING SHALL COMPLY WITH LOCAL JURISDICTION'S EMERGENCY RESPONDER RADIO COVERAGE PROVISIONS AND PREVAILING FIRE CODE. EMERGENCY RESPONDER RADIO SIGNAL STRENGTH SHALL MEET OR EXCEED THE JURISDICTIONAL REQUIREMENT FOR EACH FLOOR, WITHIN ELEVATORS AND, CONTROL ROOMS REQUIRING SUCH. GC SHALL PROVIDE AN ALLOWANCE TO ADJUST SYSTEM WITHIN THE STRUCTURE POST TESTING, IF REQUIRED BY JURISDICTION.

EGRESS NOTES

A. THE CONTRACTOR SHALL PROVIDE ILLUMINATION AT ALL POINTS OF THE EGRESS PATH. THE EGRESS PATH SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING IS OCCUPIED.
B. THE CONTRACTOR SHALL PROVIDE EMERGENCY EGRESS ILLUMINATION LEVEL NOT LESS THAN 1 FOOT CANDLE AT THE WALKING SURFACE. THE EMERGENCY ELECTRICAL SYSTEM WHICH SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS IN THE EVENT OF A POWER FAILURE:
   1. AISLES AND UNENCLOSED EGRESS STAIRWAYS.
   2. CORRIDORS, AND PASSAGEWAYS.
   3. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THE BUILDING LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED.
   4. INTERIOR EXISTING DISCHARGE ELEMENTS.
   5. EXTERIOR LANDINGS AT EXIT DISCHARGE DOORWAYS.
   6. CONTRACTOR IS TO VERIFY LIGHT LEVELS OF THE EGRESS LIGHTING USED, THE EMERGENCY LIGHT FIXTURES SHOWN ON THE PLAN ARE CONCEPTUAL ONLY.
C. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ONSITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH THE 2019 CBC
D. EXIT AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. EXIT SIGN PLACEMENT SHALL BE SUCH THAT NO POINT IN A CORRIDOR IS MORE THAN 100FT OR THE LISTED VIEWING DISTANCE FOR THE SIGN WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.
E. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED.
F. PROVIDE TACTILE EXIT SIGNAGE AT EACH EXIT DOOR TO AN EGRESS STAIRWAY, EXIT PASSAGEWAY, AND EXIT DISCHARGE AS REQUIRED BY CODE.

GRAPHIC CONVENTIONS

A. WALL ASSEMBLY TYPE SYMBOLS APPLY TO THE FULL LENGTH OF CONTINUOUS WALLS INCLUDING OFFSETS AND AROUND CORNERS UNLESS INDICATED OTHERWISE.
B. CHANGES IN PARTITION TYPES ARE INDICATED BY DIFFERENT SYMBOLS OCCURRING AT EACH SIDE OF A TRANSITION OR INTERRUPTION, OR BY A CHANGE IN THE GRAPHICS ON THE PLAN, UNLESS REQUIRED FOR CLARITY.
C. DRAWING REFERENCE SYMBOLS: DRAWINGS CROSS-REFERENCES NORMALLY ARE REFERENCED ON SMALLER SCALE DRAWINGS TO THE NEXT LARGER SCALE VIEW. FOR EXAMPLE, A BUILDING ELEVATION WILL SHOW A WALL SECTION, AND THE WALL SECTION WILL REFER TO THE LARGER-SCALE DETAILS WHICH APPLY, U.N.O.
D. REFER TO LARGEST AVAILABLE DETAIL OR VIEW TO DETERMINE COMPLETE ASSEMBLY, CONDITION AND/OR DIMENSION, AND FOR SIMILAR INFORMATION. WHERE DRAFTING DISCREPANCIES OCCUR BETWEEN VIEWS OF SAME CONDITION AT DIFFERENT SCALES, THE LARGER-SCALE VIEW GOVERNS UNLESS NOTED OTHERWISE.
E. DETAIL VIEWS MAY BE DRAFTED TO CONVEY ONLY PORTIONS OF THE OVERALL CONDITION AT A SPECIFIC LOCATION. REFER TO OTHER SIMILAR AND SUPPORTING VIEWS TO DETERMINE OVERALL CONDITION OR ASSEMBLY IN PLACE.

DIMENSION CONVENTIONS

A. DO NOT SCALE FROM DRAWINGS: ALL DIMENSIONS INDICATED AS V.I.F. OR "+/-" SHALL BE FIELD VERIFIED AND COORDINATED WITH THE WORK OF ALL TRADES. WHEN DIMENSION INDICATED AS 'CLEAR' OR 'CLR', THE DIMENSIONS ARE TO THE FACE OF FINISH AND CODE REQUIRED. CODE REQUIRED DIMENSIONS ARE SHOWN THROUGHOUT THE DOCUMENTS AND ARE APPLICABLE IN ALL CONDITIONS.
B. DIMENSIONING STANDARDS: DIMENSIONS ARE TO GRID LINE, FACE OF CONCRETE. C.M.U. OR STUD, UNLESS NOTED OTHERWISE IN PLANS.
C. CONTROL DIMENSIONS FOR BUILDING LOCATION IS RELATIVE TO PROPERTY LINE AND BENCHMARK DATUM ARE SET BY THE CIVIL DOCUMENTS.
D. THE BUILDING DATUM IS AN ARTIFICIAL DATUM SET FROM THE SURVEY, CIVIL, TOPOGRAPHICAL CONTOURS, AND OTHER DATUMS ARE SHOWN ON THE CIVIL DOCUMENTS.
E. CONTROLLING DIMENSIONS FOR THE BUILDING ARE NORMALLY SET BY THE "A" SERIES DRAWINGS. THE "S" SERIES DRAWINGS NORMALLY SET PRIMARY STRUCTURAL ELEMENTS. CONTRACTOR SHALL HAVE RESPONSIBILITY TO COORDINATE INFORMATION OF ALL DISCIPLINES TO DETERMINE EXACT DIMENSIONS, LOCATIONS, AND OTHER INFORMATION.
F. THE STRUCTURAL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS. PRIMARY STRUCTURAL ELEMENTS ARE DIMENSIONED ON THE STRUCTURAL DRAWINGS, PLANS, AND DETAILS. NOT ALL SECONDARY DIMENSIONS ARE SHOWN ON THE STRUCTURAL DRAWINGS SUCH AS EXACT DOOR AND WINDOW LOCATIONS, WALL CONFIGURATIONS, SLAB SLOPES AND DEPRESSIONS. CURBS ETC. COORDINATION OF THE STRUCTURE WITH THE DIMENSIONS AS SHOWN ON THE DRAWINGS AND ARCHITECTURAL ITEMS EMBEDDED INTO, OR ATTACHED TO, THE STRUCTURE IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
G. DIMENSIONAL DISCREPANCIES BETWEEN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS OR BETWEEN DIFFERENT DRAWINGS WITHIN THE ARCHITECTURAL SERIES, OR DIMENSIONS WHICH ARE UNABLE TO BE DETERMINED, SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION IN WRITING PRIOR TO THE FABRICATION OF MATERIALS OR COMMENCEMENT OF THE WORK.
H. INTERIOR DIMENSIONS ARE AS NOTED FOR SPECIFIC OTHER DIMENSIONAL CONDITIONS, SET LAYOUT TO CONTROL POINTS AS GIVEN.
I. OPEN DIMENSIONS: WHERE DIMENSIONS ARE NOT GIVEN, LAY OUT TO KNOWN CONTROL POINTS AND LAY OUT OPEN DIMENSIONS ACCORDINGLY.
J. DOORS: ALL DOORS IN WOOD FRAMING ARE 4 1/2" FROM THE OUTSIDE EDGE OF THE HINGE SIDE FRAME TO THE NEAREST PERPENDICULAR SURFACE U.N.O. WHEN USED ANY DOOR IN MASONRY SHALL BE TO FACE OF MASONRY OR OFFSET 8" PER PLAN.
K. WHEN USED COILING OR OVERHEAD DOORS OF ANY TYPE ARE CENTERED WITHIN INDICATED AREA U.N.O.

DRAWING NOTATIONS

A. TYP (TYPICAL): INDICATES THAT THE INDIVIDUAL ELEMENT NOTED OR REFERENCED IS REPRESENTATIVE OF LIKE ITEMS AND/ OR CONDITIONS WHICH ARE SHOWN IN THE SAME DRAWING BUT FOR REASONS OF DRAFTING CLARITY ARE NOT INDIVIDUALLY NOTED OR REFERENCED.
B. SIM (SIMILAR): INDICATES THAT THE REQUIRED BUILT CONDITION DEPICTED IS SIMILAR TO BUT NOT IDENTICAL TO THE REFERENCED VIEW.
C. CONT (CONTINUOUS): INDICATES THAT THE ELEMENT OR CONDITION SO NOTED IS CONTINUOUS ALONG FULL EXTENT OF OVERALL ASSEMBLY SHOWN. EXAMPLE: "SEALANT CONT." INDICATES THAT SEALANT SHALL BE APPLIED ALONG FULL EXTENT OF SEAM TO FORM WEATHER-TIGHT SEAL.
D. OPP (OPPOSITE): INDICATES THAT THE DRAWING REFERENCED IS DRAWN OPPOSITE-HAND TO THE CONDITION. WHEN USED IN CONJUNCTION WITH A NOTE, THE TERM REFERS TO CONDITION AT OPPSITE SIDE OF DRAFTED CONDITION, AREA, OR ELEMENT. WHEN USED FOR A BUILT ITEM IT REFERS TO A CONDITION WHERE THE ITEM IS INSTALLED OR OPERATED IN THE OPPOSITE DIRECTIONS, I.E. WINDOW OPERATION.
E. CLR (CLEAR): INDICATES THAT THE DIMENSION PROVIDED IS TO FACE OF FINAL FINISH, CODE OR GOVERNING BODY REQUIRES IT. NOTE: CLEAR DIMS ALWAYS TAKE PRIORITY TO OTHER DIMENSIONS.

PRESERVATIVE TREATED WOOD

ALL WOOD IN CONTACT WITH CONCRETE, EXPOSED TO WEATHER, SOIL, WATER OR INTERIOR HIGH MOISTURE CONDITIONS SHALL BE PRESERVATIVE TREATED OR SHALL BE OF NATURALLY DURABLE SPECIES. PRESERVATIVE TREATMENT SHALL MEET THE REQUIREMENTS OF A.W.P.A. FOR THE APPLICABLE USE CATEGORIES. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE PRESERVATIVE TREATED WOOD IS RATED FOR THE USE REQUIREMENTS FOR EACH APPLICATION DESCRIBED AS FOLLOWS:

UC1: INTERIOR USE AND INSECT PROTECTION ONLY
UC2: INTERIOR DAMP CONDITIONS
UC3A: EXTERIOR USE, NO GROUND CONTACT AND PROTECTED FROM WEATHER
UC3B: EXTERIOR USE, NO GROUND CONTACT BUT EXPOSED TO WEATHER
UC4A: GROUND AND/OR FRESH WATER CONTACT
UC4B: HEAVY DUTE GROUND AND/OR FRESH WATER CONTACT
UC5A: BRACKISH OR SALT WATER EXPOSURE

ALL CONDITIONS WHERE TREATED WOOD AND ALUMINUM ARE ADJACENT TO EACH OTHER (TO PREVENT DIRECT CONTACT). PROVIDE CONTINUOUS SELF-ADHERING FLEXIBLE MEMBRANE FLASHING

GENERAL NOTES

A. AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS IN ONE CLEAN, RED-LINED, FULL SIZE SET IDENTIFYING ALL DESIGN, MATERIAL AND SPECIFICATION CHANGES MADE THROUGHOUT CONSTRUCTION TO THE OWNER.
B. UNLESS OTHERWISE NOTED, ALL MATERIAL AND DESIGN SPECIFICATIONS CITED HEREIN SHALL CONFORM TO THE MOST RECENT BUILDING CODE.
C. THESE ARCHITECTURAL NOTES ARE A SUPPLEMENT TO THE PROJECT SPECIFICATIONS. ANY DISCREPANCY FOUND AMONG THE DRAWINGS, SPECIFICATIONS, THESE NOTES, AND ANY SITE CONDITIONS SHALL BE REPORTED IN A TIMELY MANNER AND IN WRITING TO THE ARCHITECT WHO SHALL CLARIFY ANY DISCREPANCY IN WRITING. ANY WORK DONE BY THE CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE CONTRACTOR'S RISK.
D. CONTRACTOR SHALL VERIFY AND COORDINATE THE DIMENSIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH ANY WORK OR FABRICATION.
E. THE ARCHITECTURAL DRAWINGS REPRESENT THE DESIGN INTENT AND ARE NOT INTENDED TO INDICATE THE MEANS AND METHOD OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCING, AND SAFETY REQUIRED FOR THIS PROJECT.
F. ALL FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE THE SAME TYPE AND CHARACTER AS SHOWN FOR SIMILAR CONDITIONS SUBJECT TO REVIEW BY THE ARCHITECT.
G. ALL PRODUCTS AND MATERIALS BEING PROVIDED BY THE CONTRACTOR SHALL BE APPLIED, PLACED, ERECTED OR INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
H. THESE DOCUMENTS CONTAIN NOTES THAT MAY APPLY GENERALLY TO ALL DESIGN ELEMENTS, SPECIFICALLY TO ONE SHEET, OR SPECIFICALLY TO ONE OR MORE DESIGN ELEMENTS. THE NOTES ARE NOT MERE GUIDELINES, THEY ARE PART AND PARCEL OF THE DESIGN. ANY WORK THAT IS PERFORMED THAT IS NOT IN COMPLIANCE WITH THE NOTES IS NOT IN COMPLIANCE WITH THE DESIGN AND IS SUBJECT TO REJECTION. ANY ALTERATION, MODIFICATION, DELETION, OR ADDITION TO THE NOTES BY WRITING, ACT OR FAILURE TO ACT, SHALL BE CARRIED OUT ONLY WITH THE PRIOR EXPRESS WRITTEN CONSENT AND APPROVAL OF THE ARCHITECT.

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EVERENTT WA, 98204

WCSS - SANTA ROSA
970 PINER RD,
SANTA ROSA, CA 95404

DATE	NO.	DESCRIPTION

NOT FOR CONSTRUCTION
FOR REVIEW ONLY

PROJECT NO.:	20143
PROJECT MGR.:	LH
DRAWN BY:	AK
CHECKED BY:	AOR

PROJECT INFORMATION & ANNOTATION KEY

G0.01

UNIT MIX AND ACCESSIBILITY :

NUMBER OF ACCESSIBLE STORAGE UNITS REQUIRED:
PER 2019 CBC TABLE 11B-225.3 : 10, PLUS 2% OF TOTAL NUMBER OF UNITS OVER 200

NUMBER OF ACCESSIBLE STORAGE UITS PROVIDED:
10 + ((599-200)*.02)) = 7.98 UNITS TO BE ACCESSIBLE; 8 ACCESSIBLE UNITS PROVIDED

11B-225.3.1: DISTRIBUTED EVENLY PER UNIT TYPE : **8/9 = 0.8 OR 1 EACH**

UNIT MIX - TOTAL

Type	Count	Area	Total Area	Percentage
5x5	107	25.00 SF	2675.00 SF	18%
5x10	138	50.00 SF	6900.00 SF	23%
7.5x5	5	37.50 SF	187.50 SF	1%
7.5x10	78	75.00 SF	5850.00 SF	13%
10x10	115	100.00 SF	11500.00 SF	19%
10x15	39	150.00 SF	5850.00 SF	6%
10x20	36	200.00 SF	7200.00 SF	6%
10x25	2	250.00 SF	500.00 SF	0%
10x30	1	300.00 SF	300.00 SF	0%
CSTM	74		6274.39 SF	12%
CSTM 'L'	6		480.71 SF	1%
TOTAL: 601			47717.61 SF	

UNIT MIX - LEVEL 1

Type	Count	Area	Total Area	Percentage
5x5	5	25.00 SF	125.00 SF	4%
5x10	8	50.00 SF	400.00 SF	7%
10x10	38	100.00 SF	3800.00 SF	32%
10x15	3	150.00 SF	450.00 SF	3%
10x20	36	200.00 SF	7200.00 SF	30%
10x25	2	250.00 SF	500.00 SF	2%
10x30	1	300.00 SF	300.00 SF	1%
CSTM	24		2629.77 SF	20%
CSTM 'L'	2		284.17 SF	2%
TOTAL: 119			15688.94 SF	

UNIT MIX - LEVEL 2

Type	Count	Area	Total Area	Percentage
5x5	45	25.00 SF	1125.00 SF	20%
5x10	50	50.00 SF	2500.00 SF	22%
7.5x5	2	37.50 SF	75.00 SF	1%
7.5x10	42	75.00 SF	3150.00 SF	19%
10x10	39	100.00 SF	3900.00 SF	17%
10x15	19	150.00 SF	2850.00 SF	8%
CSTM	25		1826.03 SF	11%
CSTM 'L'	2		98.38 SF	1%
TOTAL: 224			15524.41 SF	

UNIT MIX - LEVEL 3

Type	Count	Area	Total Area	Percentage
5x5	57	25.00 SF	1425.00 SF	22%
5x10	80	50.00 SF	4000.00 SF	31%
7.5x5	3	37.50 SF	112.50 SF	1%
7.5x10	36	75.00 SF	2700.00 SF	14%
10x10	38	100.00 SF	3800.00 SF	15%
10x15	17	150.00 SF	2550.00 SF	7%
CSTM	25		1818.59 SF	10%
CSTM 'L'	2		98.16 SF	1%
TOTAL: 258			16504.25 SF	

UTILITY- TOTAL

Type	Count	Area	Total Area	Percentage
ELEC	3		206.89 SF	38%
ELEV	2		180.96 SF	25%
ELEV MECH	1	116.68 SF	116.68 SF	13%
SPRK	1	64.28 SF	64.28 SF	13%
TRASH	1	110.12 SF	110.12 SF	13%
TOTAL: 8			678.94 SF	

ROOMS AREA

NAME	NUMBER	LEVEL	Area
LEVEL 1CORRIDOR	03	Not Placed	Not Placed
REST ROOM	05	LEVEL 01	101.48 SF
REST ROOM 02	06	LEVEL 01	107.18 SF
STAIR 02	07	LEVEL 01	142.40 SF
STAIR 01	08	LEVEL 01	166.96 SF
RETAIL	101	LEVEL 01	722.99 SF
10x10	102	Not Placed	Not Placed
BREAK ROOM	103	LEVEL 01	108.16 SF
ELEC	104	Not Placed	Not Placed
ELEC	115	LEVEL 01	175.30 SF
RISER	116	LEVEL 01	55.02 SF

Totals: 11

TBD by CUP

ZONING ANALYSIS

PROJECT NAME:	**WCSS Santa Rosa** Job #: **20143**
SITE ADDRESS:	**970 Piner Road, Santa Rosa CA 95403**
OWNER/ APPLICANT:	**West Coast Self-Storage (WCSS)**
CONTACT:	**Steve Tangney**
EMAIL:	stangney@wcselfstorage.com
TELEPHONE:	**408. 836-4543**
OWNER ADDRESS:	**808 134th St SW, Bldg. B, Ste 211 Everett, WA 98204**
PARCEL #:	**015-680-013**
LEGAL DESCRIPTION:	**Lot 2, As shown on city of Santa Rosa Parcel Map #749, filed on 07/01/20 in book 814 of parvel maps at pages 49-53 Sonoma County Records**
SECTION, TOWNSHIP & RANGE:	**SW 1/4 of SE 1/4 of S30 T8N R8W**
GEOLOGIC HAZARD CATEGORY:	**Seismic Zone 2**
FLOOD PLAIN, TSUNAMI OR OTHER HAZARD AREA:	**No Flood or Tsunami, Wind Zone B**
FINDINGS PER CODE:	**Santa Rosa Municipal Code**

DEVELOPMENT AREAS

	SQUARE FEET		ACRES
TOTAL SITE AREA:	**41,382**		**1.66**
MAX. ALLOWABLE LOT COVERAGE:	Determined by CUP		85.0%
LOT COVERAGE:	SQUARE FOOTAGE		PERCENTAGE
BUILDING FOOTPRINT:	**21,520** sf		**52.0%**
AT GRADE HARDSCAPE: SIDEWALKS, PAVING, ETC.:	**14,699** sf		**35.5%**
TOTAL IMPERVIOUS AREA AT GRADE:	**36,219** sf		**87.5%**
TOTAL LANDSCAPED AREA:	**3,213** sf		**7.8%**

SITE ZONING

COMP PLAN DESIGNATION:	**IL: (Light Industry, Retail & Business Services) SRMC 20-24.040 Table 2-11**			
OVERLAY(S)/ DESIGN DISTRICT(S):	**N/A**			
CURRENT USAGE:	Warehouse - 10304 sf	PROPOSED USAGE:	**Self-Storage**	
FLOOR AREA RATIO (F.A.R.):	MAX ALLOWED :	2.0	=	82,764 sf MAX. BLDG AREA
	PROPOSED:	**66,080** sf	=	1.60
MAX HEIGHT/ STORIES:	ALLOWED - PER CBC	70'	4-Stories	CBC Sections 504.3 + 504.4
	ALLOWED - ZONING	55'	-	SRMC 20-24.040
	ALLOWED - FIRE	30'	-	Fire Marshal directed at access pts
	PROVIDED	**30'-0"**	**3-Stories**	*At Access pts per Fire Marshal

BUILDING SETBACKS

	CODE	REQUIRED	PROPOSED
STREET / FRONT YARD	MC 20-24.040 TABLE 2-11	Determined by CUP	**15'-0"**
SIDE YARD		Determined by CUP	**10'-6" West / 26'-11" East**
REAR YARD		10' at residential	**50 FROM T.O.BANK**

PARKING SUMMARY

PARKING AND LOADING AREAS (per SRMC20-36.040 TABLE 3-4)

SELF STORAGE		REQUIRED	PROVIDED
2 FOR MANAGER /CARETAKER; 1 TO BE COVERED	NA WAIVED IN REVIEW	0	**0**
5 CUSTOMER STALLS		5	**5**
LOADING OVER 20k sf =2		2	**2**
GRAND TOTAL ALL PARKING:		7	7
BICYCLE PARKING		**REQUIRED**	**PROVIDED**
SELF STORAGE		Not Required	2

STALL SIZES

Dimensions	Stall Type	Section	Required	PROVIDED
9'-0' x 19.0' (w/ 26' Aisle)	STANDARD	SRMC 20-36.070 Table 3-6	7	**2**
9-0' x 16.0' (w/ 23' Aisle)	COMPACT	50% Can be Compact	0	**2**
12-0' x 19.0' (w/ 23' Aisle) 5' Stripe	ACCESSIBLE	CBC	0.35	**1**

BUILDING DATA & OTHER RELEVANT CODES

CONSTRUCTION TYPE:	**II-B**
NO. OF STORIES:	**THREE**
OCCUPANCY GROUP(S):	**S-1**

PROPOSED BUILDING AREAS (GROSS SF)

USE	OCCUPANT LOAD FACTOR	AREA (sf)	OCCUPANT LOAD
S-1	**300**	66,080	220
	TOTAL	**66,080**	**220**

BUILDING UTILITY INFORMATION

POWER SERVICE PROVIDER:	**PG&E**
WATER SERVICE PROVIDER:	**SANTA ROSA WATER**
TRASH SERVICE PROVIDER:	**NORTH BAY COROPORATION**
GAS SERVICE PROVIDER:	**PG&E**

ENVIRONMENTAL

AHJ GREEN INCENTIVES:	**Santa Rosa Climate Action Plan**
HAZARDOUS MATERIALS:	**Remediation Part of Contract**
PHOTO VOTAICS:	**Site Ready Required**
ELEC. CAR STALLS:	**Site Ready Optional**
OTHER:	**ITEMS REQUIRED By SR Climate Action Plan** •Provide subsidized transit passes to employees over 50 •Increase diversion of construction waste •Minimize construction equipment idling time to 5 minutes or less •Maintain Construction equipment per manf. Specs •Limit GHG const eqpm emissions by using electrical equipment or alt fuels •Install real time energy monitors •Sidewalks to have high solar reflectance •Comply with City Tree preservation Ordinance •Low water landscapes •Parking Tree Compliance

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WCSS - SANTA ROSA
970 PINER RD,
SANTA ROSA, CA 95404

NO.	DESCRIPTION	DATE
0	DESIGN REVEIW - DR21-004	07/24/21

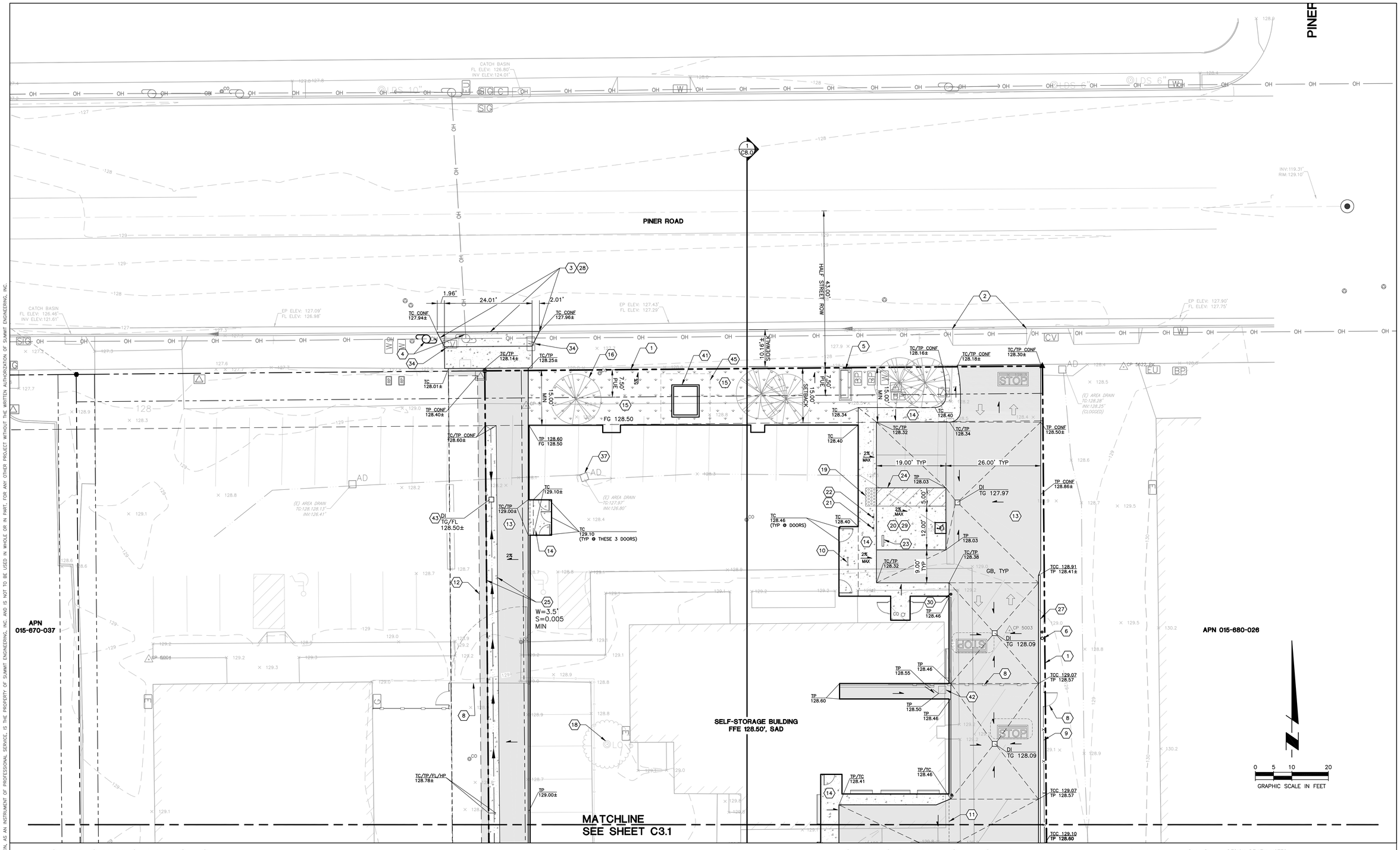
NOT FOR CONSTRUCTION
FOR REVIEW ONLY

PROJECT NO.: 20143
PROJECT MGR.: LH
DRAWN BY: AK
CHECKED BY: AOR

CODE INFORMATION & ANALYSIS

G0.02

9/14/2021 11:45:29 AM



LAYOUT & GRADING KEY NOTES

#	DESCRIPTION
1.	APPROXIMATE PROPERTY LINE, TYP
2.	(E) DRIVEWAY APRON
3.	DRIVEWAY APRON PER CITY OF SANTA ROSA STANDARDS 250A
4.	(E) POWER POLE TO BE RELOCATED, USP
5.	SIGN, SAD
6.	GATE CONTROL & KNOX BOX, SAD
7.	KNOX BOX, SAD
8.	GATE, SAD
9.	FENCE, SAD
10.	BIKE RACK, SAD
11.	LIMITS OF ROOF OVERHANG, TYP, SAD
12.	SAWCUT AND CONFORM TO (E) GRADE
13.	SHADING REPRESENTS LIMITS OF ASPHALT CONCRETE SURFACING, 3" AC OVER 12" CL 2 AB OR 3" AC OVER 6" CL 2 AB OVER 12" AGG SUBBASE, TI=5.5, OVEREXCAVATION & RECOMPACTION PER SOILS REPORT
14.	HATCH REPRESENTS LIMITS OF CONC SIDEWALK, SEE DETAIL 8/C9.1
15.	LANDSCAPING, SLAD
16.	TREE, TYP, SLAD
17.	(E) TREE, TYP, PIP, UNO
18.	(E) TREE TO BE REMOVED
19.	HATCH REPRESENTS LIMITS OF TRUNCATED DOMES SURFACING OVER PAVEMENT
20.	ACCESSIBLE PARKING (VAN STALL), SEE 12/C9.1
21.	ACCESSIBLE PARKING SIGNAGE, SEE 14/C9.1
22.	UNAUTHORIZED PARKING SIGNAGE, SEE 15/C9.1
23.	WHEEL STOP, SEE 16/C9.1
24.	PAVEMENT STRIPING, TYP
25.	CONCRETE VALLEY GUTTER, SEE 11/C9.1
26.	CONCRETE CURB & GUTTER, SEE 10/C9.1
27.	RAISED CONCRETE CURB, TYP SEE 9/C9.1
28.	CURB CUT PER COSR STDS 250A
29.	HATCH REPRESENTS LIMITS OF 5.5" THK CONC W/#4 BARS AT 16" OC EW, OVEREXCAVATION & RECOMPACTION PER SOILS REPORT
30.	4" GUARD POSTS, SEE 2/C9.1
31.	FIRE HYDRANT, SEE UTILITY PLANS
32.	BIORETENTION FACILITY, SEE 9/C9.1
33.	RIPRAP OUTLET, TYP, SEE 5/C9.0
34.	(E) UTILITY STRUCTURE IN APRON, PIP, ADJUST LIDS TO FINISH GRADE
35.	2' CURB CUT, TYP, SEE 13/C9.0
36.	(E) DI, & 18" SD, PIP
37.	REMOVE (E) DI AND ASSOCIATED PIPING.
38.	(E) TOP OF CREEK BANK
39.	(E) SWALE, PIP
40.	(E) STORAGE CONTAINER, PIP
41.	TRANSFORMER, SED
42.	CONTROLLER GATE PAD, SAD
43.	DRAIN INLET IN VALLEY GUTTER, SEE 11/C9.0
44.	GUARD RAIL, SEE 12/C9.0
45.	REQUIRED CLEARANCE FROM TRANSFORMER, TYP

NOTES:

1. ALL CUTS AND FILL SLOPES SHALL BE PLANTED WITH EROSION RESISTANT VEGETATION UPON COMPLETION OF GRADING OR NO LATER THAN OCTOBER 1ST.
2. LOCATIONS OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. CONTRACTOR TO VERIFY SIZE, LOCATION AND DEPTH IN FIELD PRIOR TO CONSTRUCTION.
3. SUBGRADE PREPARATION PAVEMENT THICKNESS PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
4. MODIFICATIONS TO ANY UTILITIES WITHIN THE CITY RIGHT OF WAY TO BE DONE UNDER A SEPARATE ENCROACHMENT PERMIT.
5. SEE SHEET C1.1 FOR UTILITY STRUCTURE TABLE.
6. DEMOLITION OF (E) BUILDING AND ASSOCIATED UTILITIES UNDER SEPARATE PERMIT.

GRADING & DRAINAGE LEGEND

EXISTING

- OVERHEAD POWERLINE
- STORM DRAIN (<10"ø)
- STORM DRAIN (>10"ø)
- MANHOLE OR SUMP
- FH
- PIV, CV, FDC
- VALVE
- SPOT ELEVATION
- CONTOUR
- E/SWALE/DITCH
- FENCE
- PROPERTY LINE
- EASEMENT

NEW

- ELECTRICAL
- STORM DRAIN
- DRAINAGE STRUCTURE
- RIPRAP ENERGY DISSIPATOR
- GRADE BREAK
- FH
- PIV, CV, FDC
- CONNECTION POINT
- CAP OR PLUG
- CLEANOUT
- DOWNSPOUT

ABBREVIATIONS:

AC	ASPHALT CONCRETE
AD	AREA DRAIN
APN	ASSESSOR'S PARCEL NUMBER
BASMAA	BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION
BFE	BASE FLOOD ELEVATION
BLDG	BLDG
BOT	BOTTOM
℄	CENTERLINE
CONC	CONCRETE
DI	DRAIN INLET
DS	DOWNSPOUT
(E)	EXISTING
FF	FINISH FLOOR
FH	FIRE HYDRANT
GB	GRADE BREAK
LIDF	LOW IMPACT DEVELOPMENT FACILITY
LL	LOWER LEVEL
PD	PLANTER DRAIN
PIP	PROTECT IN PLACE
PW	PROCESS WASTE
SAD	SEE ARCHITECTURAL DRAWINGS
SB	SETBACK
SD	STORM DRAIN
SLAD	SEE LANDSCAPE ARCHITECTURAL DRAWINGS
SS	SANITARY SEWAGE
STD	STANDARD
TC	TOP OF CONCRETE
TD	TRENCH DRAIN
TG	TOP OF GRATE
TOW	TOP OF WALL
TP	TOP OF PAVEMENT
TYP	TYPICAL
TW	TRAVELED WAY
UL	UPPER LEVEL

DESIGN REVIEW NOTES:

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4. MODIFICATIONS TO ANY UTILITIES WITHIN THE CITY RIGHT OF WAY TO BE DONE UNDER A SEPARATE ENCROACHMENT PERMIT.
5. SURFACE CONTOURS AND GROUND ELEVATIONS PER SURVEY FROM HOGAN LAND SERVICES DATED 2018 AND LIDAR DATA OBTAINED FROM SONOMA COUNTY VEGETATION MAPPING.
6. PROJECT DATUM AND BENCHMARK:
   6.1. HORIZONTAL CONTROL PER IRON PIPE FOUND IN THE CENTER OF PINER ROAD
   6.2. VERTICAL CONTROL ELEVATION DATUM BASED ON A CITY OF SANTA ROSA BENCHMARK "089" (128.373) LOCATED IN THE INTERSECTION OF PINER ROAD AND AIRWAY DRIVE.

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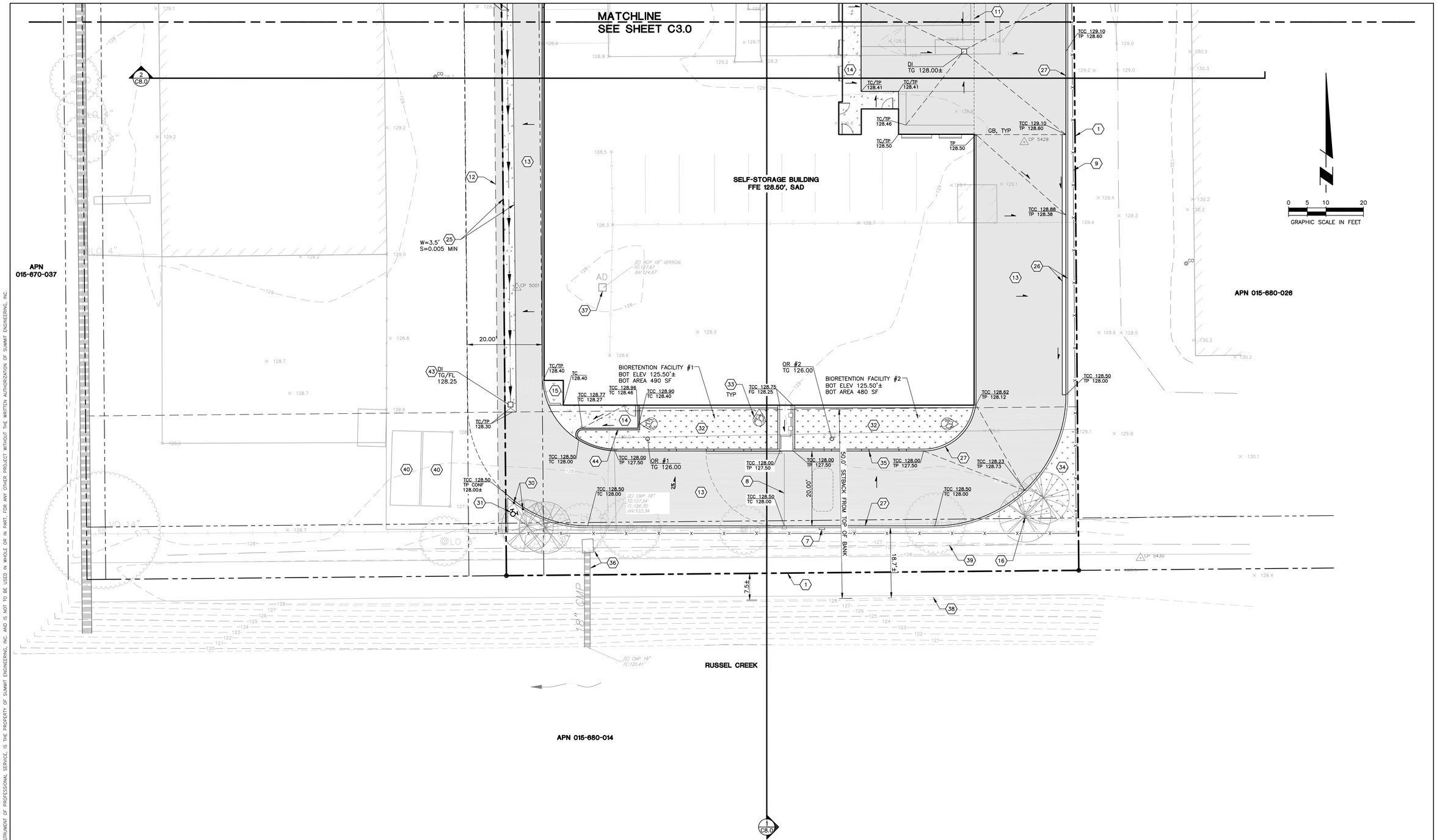
NO.	DATE	DESCRIPTION
	2020-12-08	DESIGN REVIEW
	2021-02-05	FINAL DESIGN REVIEW
1	2021-06-16	DESIGN REVIEW COMMENTS
2	2021-09-13	DESIGN REVIEW RESUBMITTAL

REGISTERED PROFESSIONAL ENGINEER
MONICA A. SHEA
No. C 85515
CIVIL
STATE OF CALIFORNIA

PROJECT NO.: 20213
PROJECT MGR.: MS
DRAWN BY: TF
CHECKED BY: MS

Layout & Grading Plan

C3.0
2
1 OF 7



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28.	CURB CUT PER COSR STDS 250A
29.	HATCH REPRESENTS LIMITS OF 5.5" THK CONC W/#4 BARS AT 16" OC EW, OVEREXCAVATION & RECOMPACTION PER SOILS REPORT
30.	4" GUARD POSTS, SEE 2/C9.1
31.	FIRE HYDRANT, SEE UTILITY PLANS
32.	BIORETENTION FACILITY, SEE 9/C9.1
33.	RIPRAP OUTLET, TYP, SEE 5/C9.0
34.	(E) UTILITY STRUCTURE IN APRON, PIP, ADJUST LIDS TO FINISH GRADE
35.	2' CURB CUT, TYP, SEE 13/C9.0
36.	(E) DI, & 18" SD, PIP
37.	REMOVE (E) DI AND ASSOCIATED PIPING.
38.	(E) TOP OF CREEK BANK
39.	(E) SWALE, PIP
40.	(E) STORAGE CONTAINER, PIP
41.	TRANSFORMER, SED
42.	CONTROLLER GATE PAD, SAD
43.	DRAIN INLET IN VALLEY GUTTER, SEE 11/C9.0
44.	GUARD RAIL, SEE 12/C9.0
45.	REQUIRED CLEARANCE FROM TRANSFORMER, TYP

NOTES:

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2. LOCATIONS OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. CONTRACTOR TO VERIFY SIZE, LOCATION AND DEPTH IN FIELD PRIOR TO CONSTRUCTION.
3. SUBGRADE PREPARATION PAVEMENT THICKNESS PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
4. MODIFICATIONS TO ANY UTILITIES WITHIN THE CITY RIGHT OF WAY TO BE DONE UNDER A SEPARATE ENCROACHMENT PERMIT.
5. SEE SHEET C1.1 FOR UTILITY STRUCTURE TABLE.
6. DEMOLITION OF (E) BUILDING AND ASSOCIATED UTILITIES UNDER SEPARATE PERMIT.

GRADING & DRAINAGE LEGEND

EXISTING

- OVERHEAD POWERLINE
- STORM DRAIN (<10"ø)
- STORM DRAIN (>10"ø)
- MANHOLE OR SUMP
- FH
- PIV, CV, FDC
- VALVE
- SPOT ELEVATION
- CONTOUR
- E/SWALE/DITCH
- FENCE
- PROPERTY LINE
- EASEMENT

NEW

- ELECTRICAL
- STORM DRAIN
- DRAINAGE STRUCTURE
- RIPRAP ENERGY DISSIPATOR
- GRADE BREAK
- FH
- PIV, CV, FDC
- CONNECTION POINT
- CAP OR PLUG
- CLEANOUT
- DOWNSPOUT

ABBREVIATIONS:

AC	ASPHALT CONCRETE
AD	AREA DRAIN
APN	ASSESSOR'S PARCEL NUMBER
BASMAA	BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION
BFE	BASE FLOOD ELEVATION
BLDG	BLDG
BOT	BOTTOM
℄	CENTERLINE
CONC	CONCRETE
DI	DRAIN INLET
DS	DOWNSPOUT
(E)	EXISTING
FF	FINISH FLOOR
FH	FIRE HYDRANT
GB	GRADE BREAK
LIDF	LOW IMPACT DEVELOPMENT FACILITY
LL	LOWER LEVEL
PD	PLANTER DRAIN
PIP	PROTECT IN PLACE
PW	PROCESS WASTE
SAD	SEE ARCHITECTURAL DRAWINGS
SB	SETBACK
SD	STORM DRAIN
SLAD	SEE LANDSCAPE ARCHITECTURAL DRAWINGS
SS	SANITARY SEWAGE
STD	STANDARD
TC	TOP OF CONCRETE
TD	TRENCH DRAIN
TG	TOP OF GRATE
TOW	TOP OF WALL
TP	TOP OF PAVEMENT
TYP	TYPICAL
TW	TRAVELED WAY
UL	UPPER LEVEL

DESIGN REVIEW NOTES:

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   6.2. VERTICAL CONTROL ELEVATION DATUM BASED ON A CITY OF SANTA ROSA BENCHMARK "089" (128.373) LOCATED IN THE INTERSECTION OF PINER ROAD AND AIRWAY DRIVE.

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707.527.0775 • www.summit-sr.com

WEST COAST SELF STORAGE GROUP
808 134TH ST SW, BLDG.B, STE 211
EVERENTT WA, 98204

WCSS - SANTA ROSA
970 PINER RD,
SANTA ROSA, CA 95404

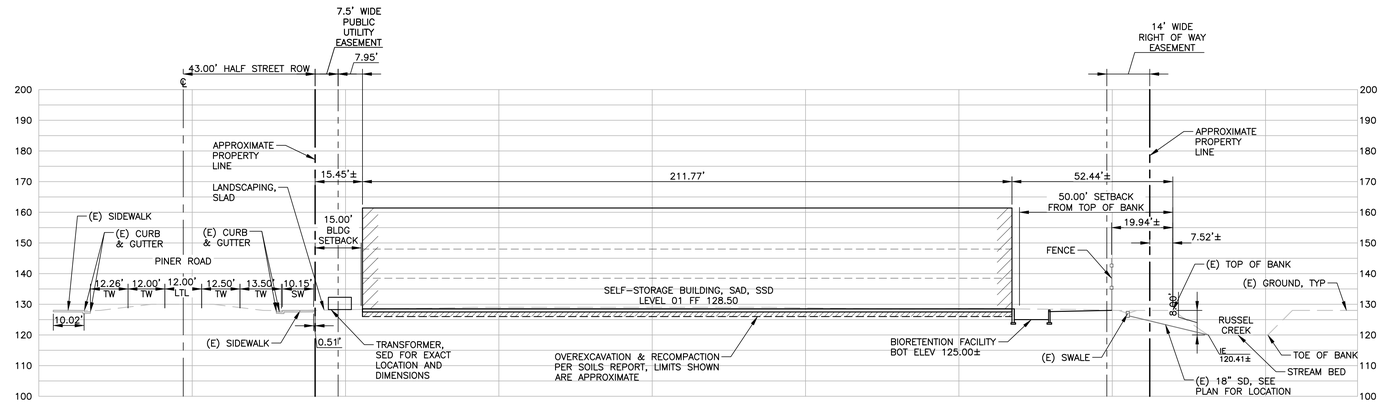
NO.	DATE	DESCRIPTION
	2020-12-08	DESIGN REVIEW
	2021-02-05	FINAL DESIGN REVIEW
1	2021-05-06	DESIGN REVIEW COMMENTS
2	2021-06-13	DESIGN REVIEW RESUBMITTAL

REGISTERED PROFESSIONAL ENGINEER
DOMINIC A. SANTOS
No. C 85515
CIVIL
STATE OF CALIFORNIA

PROJECT NO.:	20213
PROJECT MGR.:	MS
DRAWN BY:	TF
CHECKED BY:	MS

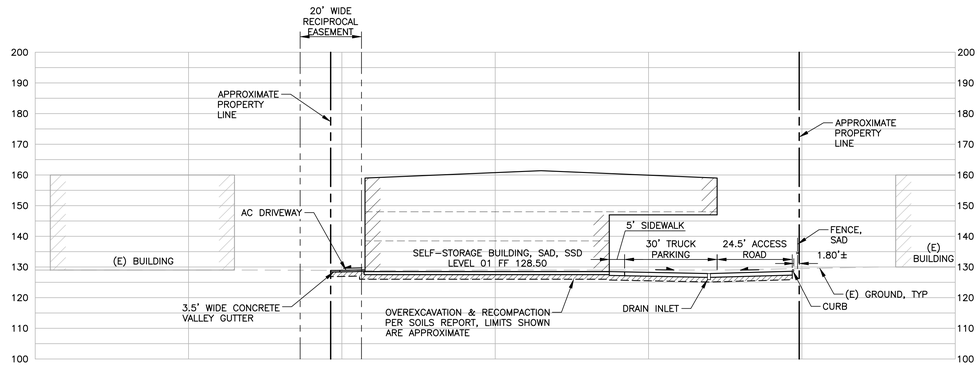
Layout & Grading Plan

C3.1
2 OF 7



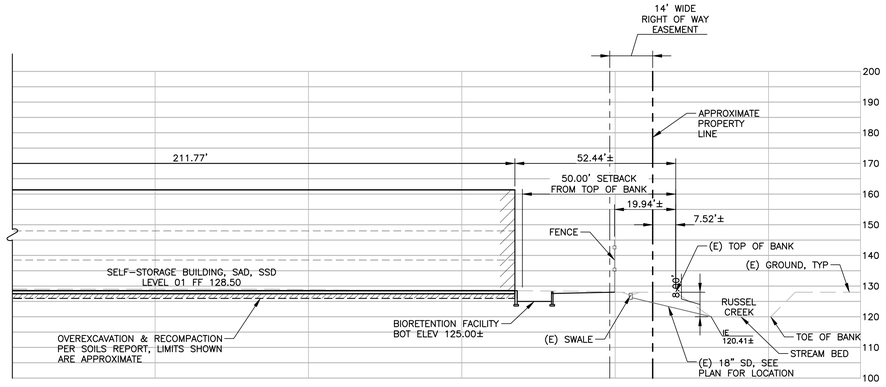
SECTION 1

SCALE: 1"=20' HORIZ
1"=10' VERT



SECTION 2

SCALE: 1"=20' HORIZ
1"=10' VERT



CREEK CROSS SECTION 3

SCALE: 1"=20' HORIZ
1"=10' VERT

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WCSS - SANTA ROSA
970 PINER RD,
SANTA ROSA, CA 95404

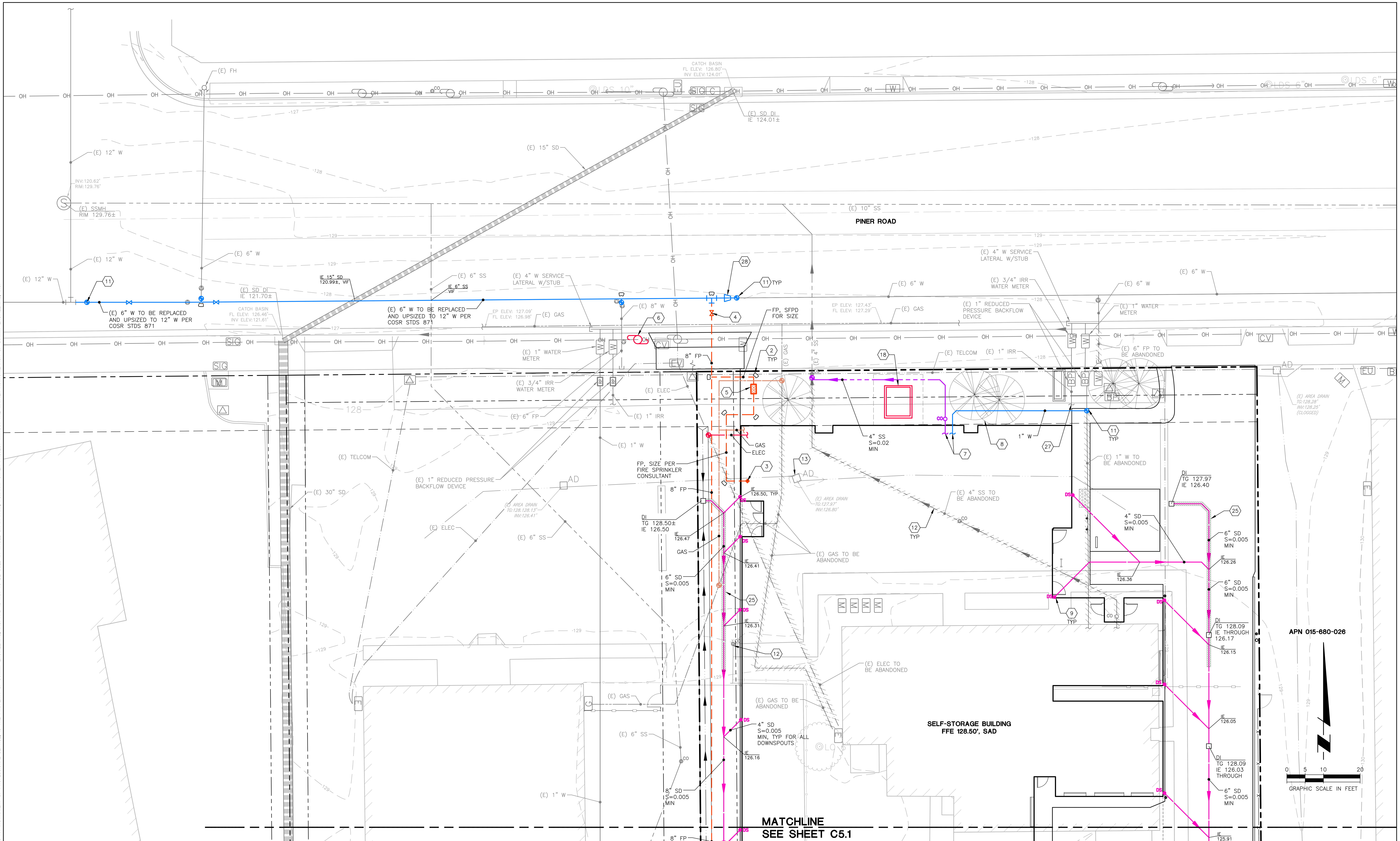
DATE	NO.	DESCRIPTION
2021-08-18		PERMIT SUBMITTAL
2021-09-13		PERMIT RESUBMITTAL

REGISTERED PROFESSIONAL ENGINEER
VERONICA A. SHAW
No. C 85515
CIVIL
STATE OF CALIFORNIA

PROJECT NO.: 20213
PROJECT MGR.: MS
DRAWN BY: TF
CHECKED BY: MS

Sections

C8.0



UTILITY KEY NOTES

#	DESCRIPTION	#	DESCRIPTION	#	DESCRIPTION
1.	FIRE HYDRANT SEE 1/C9.1	10.	CONNECT TO BUILDING UNDERSLAB DRAINAGE, BY OTHERS, INVERT TO BE VERIFIED IN FIELD AND TO BE ABOVE THE INVERT OF THE SD FROM THE OVERFLOW RISER	18.	TRANSFORMER, SED
2.	ANTICIPATED FIRE PROTECTION THRUST BLOCK LOCATION, SEE 3/C9.1 AND PER COSR STDS 854 WITHIN CITY ROW	11.	CONNECT TO (E) UTILITY OR UTILITY STRUCTURE (VERIFY SIZE, LOCATION AND ELEVATION PRIOR TO START OF CONSTRUCTION)	19.	WALL BACK DRAIN HIGH POINT, S=0.01 MIN TO DRAIN PER SOILS REPORT
3.	FIRE SPRINKLER RISER, SPD	12.	ABANDON (E) UTILITY, TYP	25.	CONCRETE CAP FOR SD WITH LESS THAN 2' MIN DEPTH OF BURY, TYP ALL STORM DRAIN PIPES, SEE 18/C9.1
4.	GATE VALVE W/ VALVE BOX, SEE 4/C9.1 AND PER COSR STDS 877 WITHIN CITY ROW	13.	REMOVE (E) DI AND ASSOCIATED PIPING. PLUG PIPE ENDS WITH CONCRETE OR REMOVE AS NECESSARY	26.	SAD AND SSD FOR WATER PROOFING BETWEEN BUILDING FOUNDATION AND BIORETENTION FACILITY
5.	DOUBLE CHECK DETECTOR FIRE LINE BACKFLOW ASSEMBLY PER COSR STDS 880	14.	BIORETENTION FACILITY, SEE 9/C9.0	27.	SLAD FOR CONTINUATION FOR THE IRRIGATION SYSTEM
6.	(E) POWER POLE TO BE RELOCATED, USP, SED	15.	RIPRAP OUTLET, SEE 5/C9.0	28.	12" x 6" REDUCER
7.	FOR CONTINUATION OF UTILITY INTO BUILDING SPD	16.	CURB CUT, TYP		
8.	CLEANOUT, SEE 6/C9.1	17.	ADJUST EXISTING UTILITY COVER, TO FINISH GRADE		
9.	DOWNSPOUT, CONNECT TO STORM DRAIN, SEE 7/C9.1				

NOTES:

1. SEE SHEET C1.1 FOR UTILITY STRUCTURE TABLE.
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EXISTING

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- (T/TEL) TELEPHONE LINE
- (W) WATER LINE
- MANHOLE
- FH
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- VALVE

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REGISTERED PROFESSIONAL ENGINEER MONICA A. SHAH No. C 85515 CIVIL STATE OF CALIFORNIA

PROJECT NO.:	20213
PROJECT MGR.:	MS
DRAWN BY:	TF
CHECKED BY:	MS

Utility Plan

C5.0

P:\2020\2020213 970 PINER ROAD\CAD\CIVIL\20213-C2.0-C6.0-PLANS.DWG
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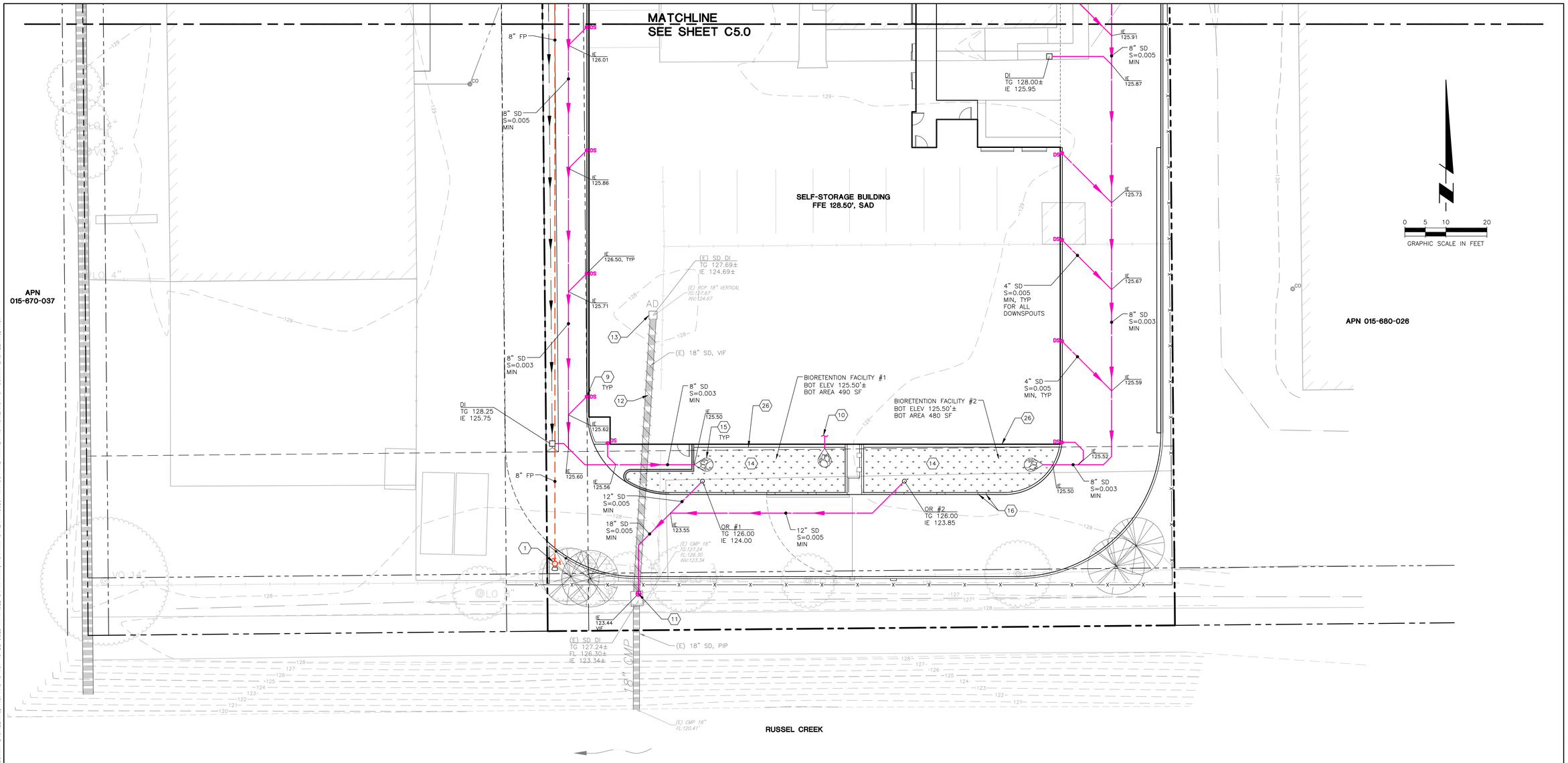

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26.	SAD AND SSD FOR WATER PROOFING BETWEEN BUILDING FOUNDATION AND BIORETENTION FACILITY
27.	SLAD FOR CONTINUATION FOR THE IRRIGATION SYSTEM
28.	12" x 6" REDUCER

NOTES:

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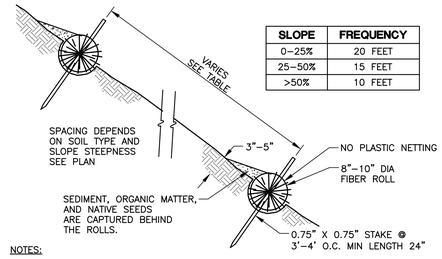
REGISTERED PROFESSIONAL ENGINEER
MICHAEL A. SCHLOSSER
No. C 85515
CIVIL
STATE OF CALIFORNIA

PROJECT NO.: 20213
PROJECT MGR.: MS
DRAWN BY: TF
CHECKED BY: MS

Utility Plan

C5.1
4 OF 7

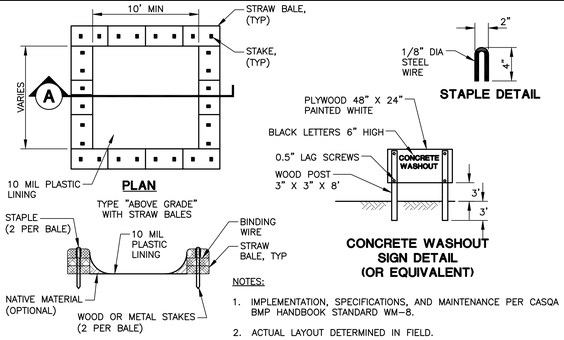


SLOPE	FREQUENCY
0–25%	20 FEET
25–50%	15 FEET
>50%	10 FEET

NOTES:

1. IMPLEMENTATION, SPECIFICATIONS, AND MAINTENANCE PER CASQA BMP HANDBOOK STANDARD SE–5.
2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH. TRENCH DEPTH SHOULD BE 1/4 TO 1/3 OF THE THICKNESS OF THE ROLL, AND THE WIDTH SHOULD EQUAL THE ROLL DIAMETER, IN ORDER TO PROVIDE AREA TO BACKFILL THE TRENCH. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
3. ENDS OF ADJACENT ROLLS SHALL OVERLAP 1' MINIMUM.
4. FIBER ROLLS MUST BE PLACED ALONG SLOPE CONTOURS.
5. EXPOSED SLOPES SHALL HAVE FIBER ROLLS INSTALLED ALONG THE TOE OF SLOPE, AT GRADE BREAKS, AND IN ACCORDANCE WITH THE TABLE ABOVE.
6. FIBER ROLLS SHALL NOT BE PLACED ALONG THE TOP OF CUT SLOPES UPHILL OF THE GRADE BREAK.

FIBER ROLL 1
NTS ER013



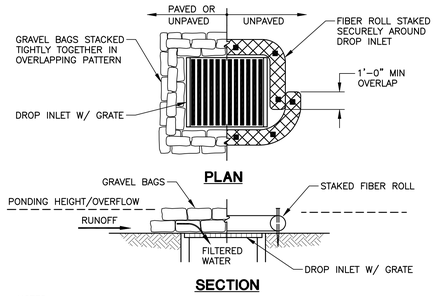
STAPLE DETAIL

CONCRETE WASHOUT SIGN DETAIL (OR EQUIVALENT)

NOTES:

1. IMPLEMENTATION, SPECIFICATIONS, AND MAINTENANCE PER CASQA BMP HANDBOOK STANDARD WM–8.
2. ACTUAL LAYOUT DETERMINED IN FIELD.
3. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
4. TIGHTLY STACKED GRAVEL BAGS CAN BE SUBSTITUTED FOR STRAW BALES.

CONCRETE WASHOUT 2
NTS ER019

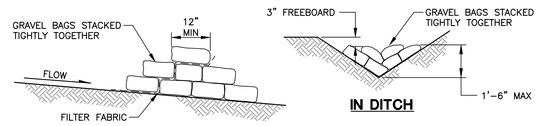


SECTION

NOTES:

1. IMPLEMENTATION, SPECIFICATIONS, AND MAINTENANCE PER CASQA BMP HANDBOOK STANDARD SE–10.
2. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.

DROP INLET FIBER ROLL/ GRAVEL BAG FILTER 3
NTS ER023

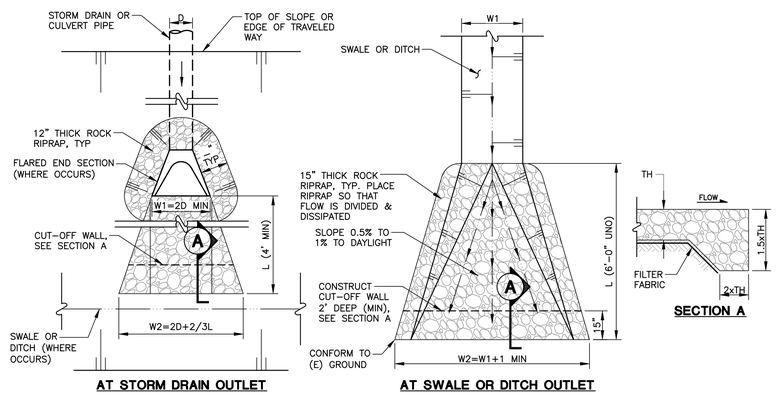


LONGITUDINAL SECTION

NOTES:

1. IMPLEMENTATION, SPECIFICATIONS AND MAINTENANCE PER CASQA BMP HANDBOOK STANDARD SE–4.
2. EACH GRAVEL–FILLED BAG SHOULD HAVE A LENGTH OF 18 ON., WIDTH OF 12IN., THICKNESS OF 3 IN., AND MASS OF APPROXIMATELY 33 LBS. BAG DIMENSIONS ARE NOMINAL, AND MAY VARY BASED ON LOCALLY AVAILABLE MATERIALS.
3. BAGS SHOULD BE WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC OR BURLAP, MINIMUM UNIT WEIGHT OF 4 OUNCES/YD^2, MULLEN BURST STRENGTH EXCEEDING 300 LB/IN^2 IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM DESIGNATION D3786, AND ULTRAVIOLET STABILITY EXCEEDING 70% IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM DESIGNATION D4355.
4. FILL MATERIAL SHOULD BE NON–COHESIVE, CLASS 3 (CALTRANS STANDARD SPECIFICATION, SECTION 25) OR SIMILAR PERMEABLE MATERIAL FREE FROM CLAY AND DELETERIOUS MATERIAL, SUCH AS RECYCLED CONCRETE OR ASPHALT.

GRAVEL BAG CHECK DAM 4
NTS ER022A



RIPRAP ENERGY DISSIPATOR 5
NTS DR002

NOTES:

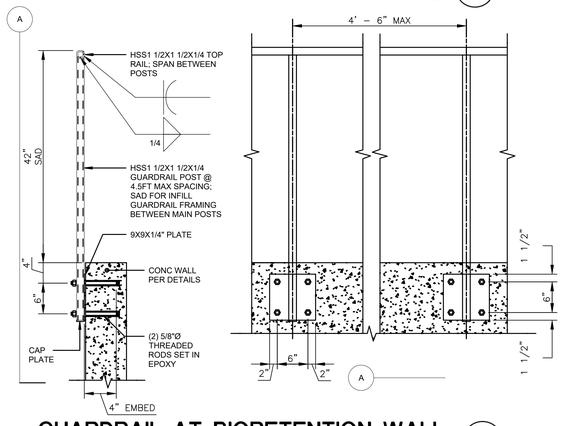
1. SEE PLANS FOR SIZE AND DIMENSIONS.

BIORETENTION FACILITY W/ VERTICAL SIDES 9
NTS DR036B

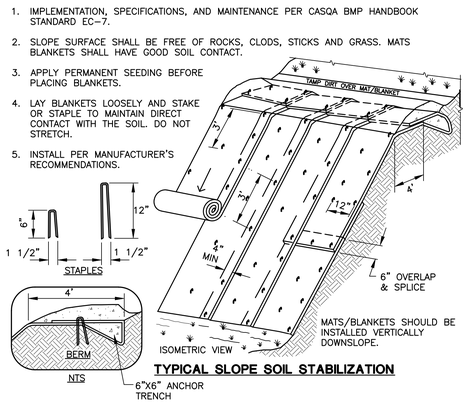
NOTES:

1. IMPLEMENTATION, SPECIFICATIONS AND MAINTENANCE PER CASQA WM–3 BMP.
2. HAZARDOUS MATERIALS AND REFUSE MUST BE KEPT IN CLOSED CONTAINERS THAT ARE COVERED AND UTILIZE SECONDARY CONTAINMENT NOT DIRECTLY ON SOIL.
3. PLACE BAGGED MATERIALS ON PALLETS AND UNDER COVER.
4. STOCKPILES NEED TO BE PROTECTED IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS.

STOCKPILE BMP 8
NTS ER025



GUARDRAIL AT BIORETENTION WALL 12
NTS

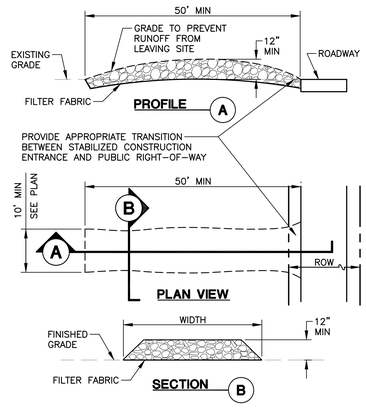


TYPICAL SLOPE SOIL STABILIZATION

NOTES:

1. IMPLEMENTATION, SPECIFICATIONS, AND MAINTENANCE PER CASQA BMP HANDBOOK STANDARD EC–7.
2. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS BLANKETS SHALL HAVE GOOD SOIL CONTACT.
3. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
4. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
5. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

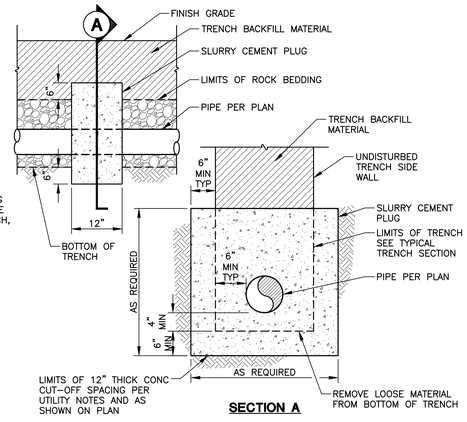
EROSION CONTROL MAT INSTALLATION 6
NTS ER015B



NOTES:

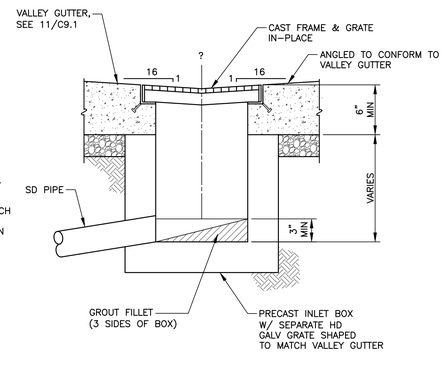
1. IMPLEMENTATION, SPECIFICATIONS AND MAINTENANCE PER CASQA BMP HANDBOOK STANDARD TC–1
2. STONE SIZE: 3"–6" CRUSHED ANGULAR AGGREGATE.
3. LENGTH: AS EFFECTIVE BUT NOT LESS THAN 50'.
4. THICKNESS: NOT LESS THAN 12"
5. WIDTH: AS REQUIRED TO ACCOMMODATE ANTICIPATED TRAFFIC.
6. WASHING: WHEN NECESSARY. VEHICLE WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE AND DRAINS INTO AN APPROVED TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
7. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. AS WELL AS REPAIR AND CLEAN OUT OF ANY MEASURE DEVICES USED TO TRAP SEDIMENT. ALL SEDIMENTS THAT ARE SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADWAY MUST BE REMOVED WITHIN 24 HOURS.
8. DRAINAGE: ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

STABILIZED CONSTRUCTION ENTRANCE/EXIT 7
NTS ER018



SECTION A

SLURRY CEMENT PLUG 10
NTS UG004



DRAIN INLET IN VALLEY GUTTER 11
NTS DR009

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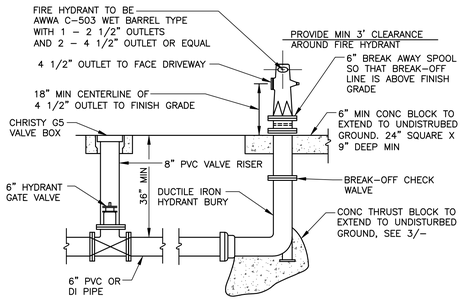
NO.	DATE	DESCRIPTION
	2020-12-08	DESIGN REVIEW
1	2021-02-26	FINAL DESIGN REVIEW
2	2021-04-06	DESIGN REVIEW COMMENTS
	2021-09-13	DESIGN REVIEW RESUBMITTAL

REGISTERED PROFESSIONAL ENGINEER
MONICA A. SHEA
No. C 85515
CIVIL
STATE OF CALIFORNIA

PROJECT NO.: 20213
PROJECT MGR.: MS
DRAWN BY: TF
CHECKED BY: MS

Details

C9.0
2
6 OF 7

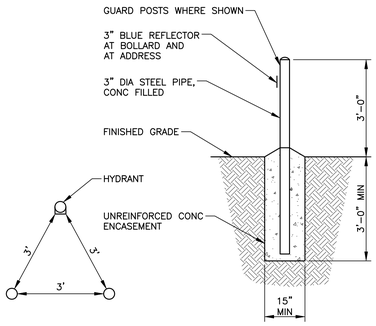


NOTES:

1. FIRE HYDRANT TO BE CLOW MODEL 865 WET BARREL TYPE WITH (1) 2-1/2" OUTLETS AND (2) 4-1/2" OUTLET OR EQUAL.
2. RESIDENTIAL HYDRANTS SHALL HAVE (1) 2-1/2" OUTLET AND (1) 4-1/2" OUTLET
3. VERIFY WITH LOCAL FIRE DEPARTMENT.
4. THE TOPS AND NOZZLES SHALL BE PAINTED ACCORDING TO THE LATEST EDITION OF NFPA 291 "FIRE FLOW TESTING AND MARKING HYDRANTS". HYDRANTS SHALL BE CLASSIFIED IN ACCORDANCE WITH THEIR RATED CAPACITIES AS FOLLOWS:

CLASSIFICATION	RATED CAPACITIES	COLOR
CLASS AA	1500 GPM OR GREATER	LIGHT BLUE
CLASS A	1000 - 1499 GPM	GREEN
CLASS B	500 - 999 GPM	ORANGE
CLASS C	LESS THAN 500 GPM	RED

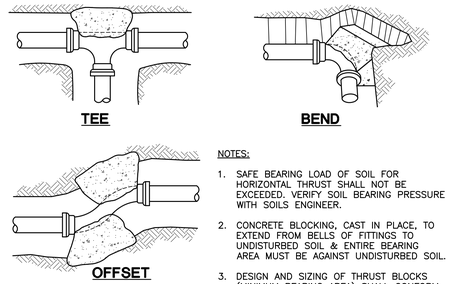
SONOMA COUNTY FIRE HYDRANT
NTS FP014 — 1



HYDRANT AND POST/BOLLARD TYP SPACING

GUARD POST/BOLLARD SEC. 13-52(e), 13-53

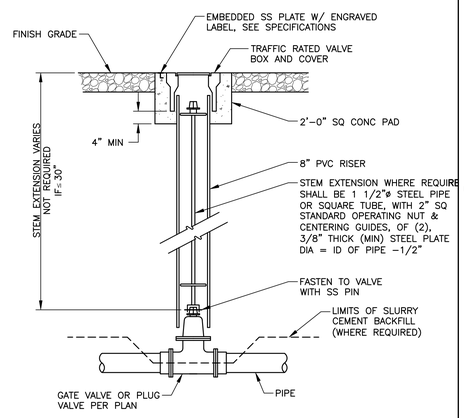
SONOMA COUNTY GUARD POST/BOLLARD
NTS FP013 — 2



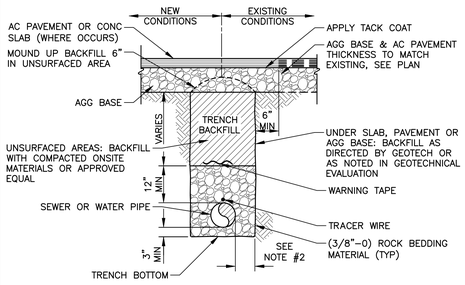
NOTES:

1. SAFE BEARING LOAD OF SOIL FOR HORIZONTAL THRUST SHALL NOT BE EXCEEDED. VERIFY SOIL BEARING PRESSURE WITH SOILS ENGINEER.
2. CONCRETE BLOCKING, CAST IN PLACE, TO EXTEND FROM BELLS OF FITTINGS TO UNDISTURBED SOIL & ENTIRE BEARING AREA MUST BE AGAINST UNDISTURBED SOIL.
3. DESIGN AND SIZING OF THRUST BLOCKS (MINIMUM BEARING AREA) SHALL CONFORM TO NFPA 24.

THRUST BLOCK
NTS FP004 — 3



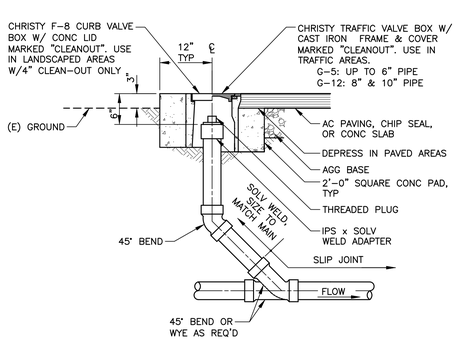
VALVE & RISER
NTS UG012 — 4



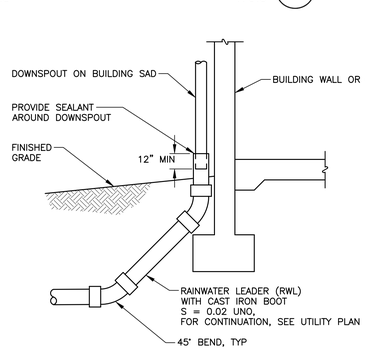
NOTES:

1. WHEN TRENCH BOTTOM IS UNSTABLE, OVER EXCAVATE AND INSTALL ADDITIONAL BEDDING MATERIAL AS INDICATED IN SPECS.
2. PIPE DIAMETER 18" OR LESS: 6" MIN, 9" MAX.
   PIPE DIAMETER GREATER THAN 18": 9" MIN, 12" MAX.
3. WITH MULTIPLE PIPES, PROVIDE 3" MIN HORIZONTAL SEPARATION

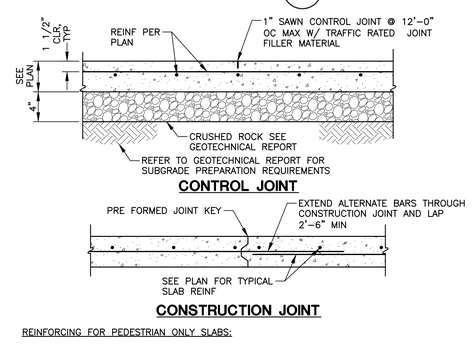
TYPICAL UTILITY PIPE TRENCH SECTION
NTS UG001A — 5



GRAVITY CLEANOUT
NTS UG006A — 6



DOWNSPOUT CONNECTION TO SD
NTS DR017A — 7



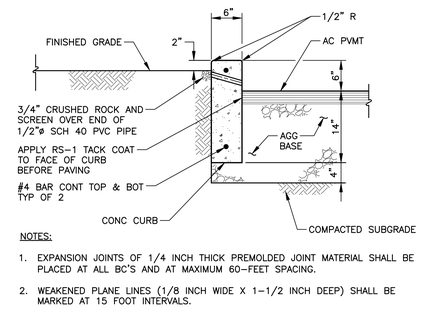
CONTROL JOINT

CONSTRUCTION JOINT

REINFORCING FOR PEDESTRIAN ONLY SLABS:

1. FOR 4" THICK SLABS: USE 6X6 /10-10 WIRE MESH, SUPPLIED IN FLAT SHEETS, NOT FROM A ROLL, OTHERWISE THE WAVINESS IS NOT CONTROLLED; THE WIRE MESH SHEETS MUST BE SUPPORTED DURING CONCRETE PLACEMENT SO THEY'RE CENTERED IN THE 4" THICKNESS.
2. IF REBAR IS USED – THE MINIMUM SLAB THICKNESS IS 5½", WITH #4 @ 16" OC EA WAY, SECURED AT 1½" CLEAR FROM THE TOP OF THE SLAB.

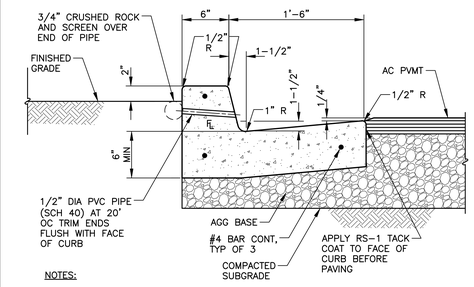
TYP SLAB ON GRADE
NTS ST001 — 8



NOTES:

1. EXPANSION JOINTS OF 1/4 INCH THICK PREMOLDED JOINT MATERIAL SHALL BE PLACED AT ALL BC'S AND AT MAXIMUM 60-FEET SPACING.
2. WEAKENED PLANE LINES (1/8 INCH WIDE X 1-1/2 INCH DEEP) SHALL BE MARKED AT 15 FOOT INTERVALS.
3. ALL EXPOSED SURFACES OF CURB SHALL BE GIVEN A MORTAR BRUSH COAT CONSISTING OF ONE PART PORTLAND CEMENT AND ONE PART SAND AND THEN TROWELED SMOOTH.
4. CURB SHALL BE SANDBLASTED AS NECESSARY AFTER PAVING AND SEALING OPERATIONS TO REMOVE DISCOLORATIONS, EXCESS TACK COAT, ETC.

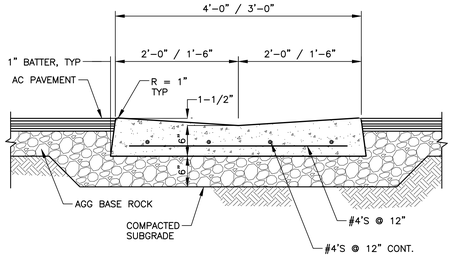
VERTICAL FACE CONCRETE CURB
NTS SW003 — 9



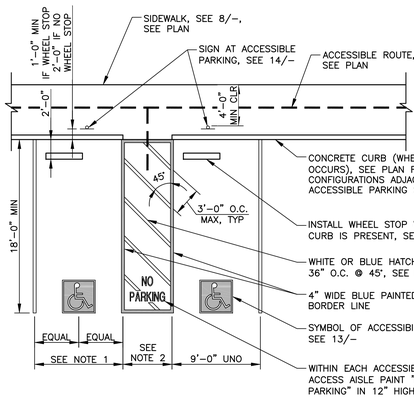
NOTES:

1. EXPANSION JOINTS OF 1/4" INCH THICK PREMOLDED JOINT MATERIAL SHALL BE PLACED AT ALL BC'S AND AT MAXIMUM 40 – FEET SPACING.
2. WEAKENED PLANE LINES (1/8 INCH WIDE x 1 – 1/2 INCH DEEP) SHALL BE MARKED AT 8 FOOT INTERVALS.
3. ALL EXPOSED SURFACES OF CURB SHALL BE GIVEN A MORTAR BRUSH COAT CONSISTING OF ONE PART PORTLAND CEMENT AND ONE PART SAND AND THEN TROWELED SMOOTH.

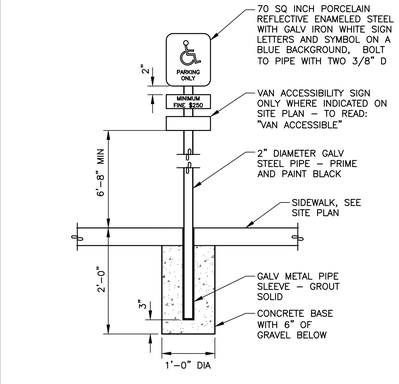
CONCRETE CURB & GUTTER
NTS SW001 — 10



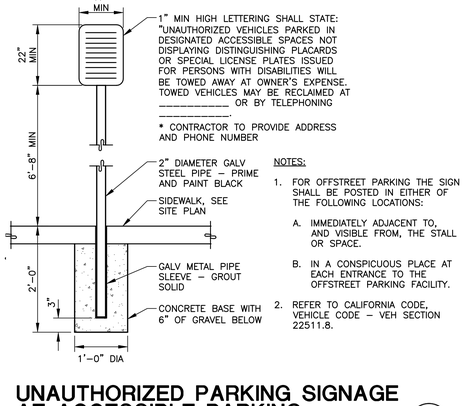
CONCRETE VALLEY GUTTER
NTS SW008 — 11



ACCESSIBLE PARKING
NTS ADA001 — 12



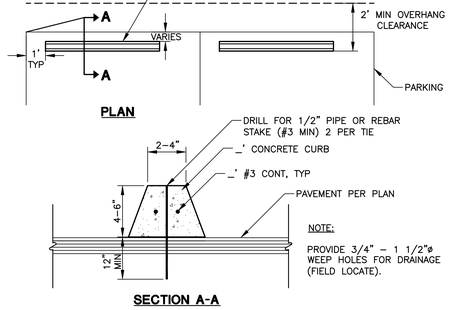
SIGN AT ACCESSIBLE PARKING
NTS ADA003A — 14



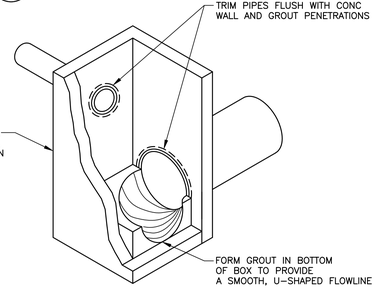
NOTES:

1. FOR OFFSTREET PARKING THE SIGN SHALL BE POSTED IN EITHER OF THE FOLLOWING LOCATIONS:
   A. IMMEDIATELY ADJACENT TO, AND VISIBLE FROM, THE STALL OR SPACE.
   B. IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO THE OFFSTREET PARKING FACILITY.
2. REFER TO CALIFORNIA CODE, VEHICLE CODE – VEH SECTION 22511.8.

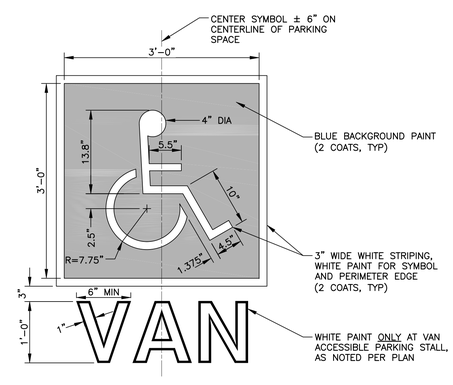
UNAUTHORIZED PARKING SIGNAGE AT ACCESSIBLE PARKING
NTS ADA003B — 15



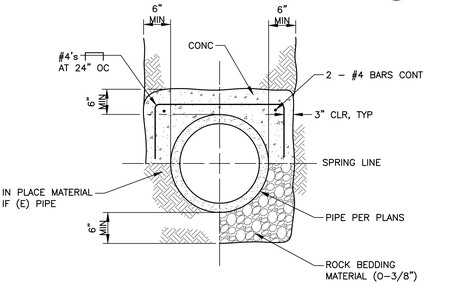
CONCRETE WHEEL STOP
NTS SW024 — 16



GROUTING FOR DRAINAGE STRUCTURE
NTS DR020 — 17



SYMBOL OF ACCESSIBILITY
NTS ADA002 — 13



CONCRETE CAP
NTS UG009 — 18

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WCSS - SANTA ROSA
970 PINER RD.
SANTA ROSA, CA 95404

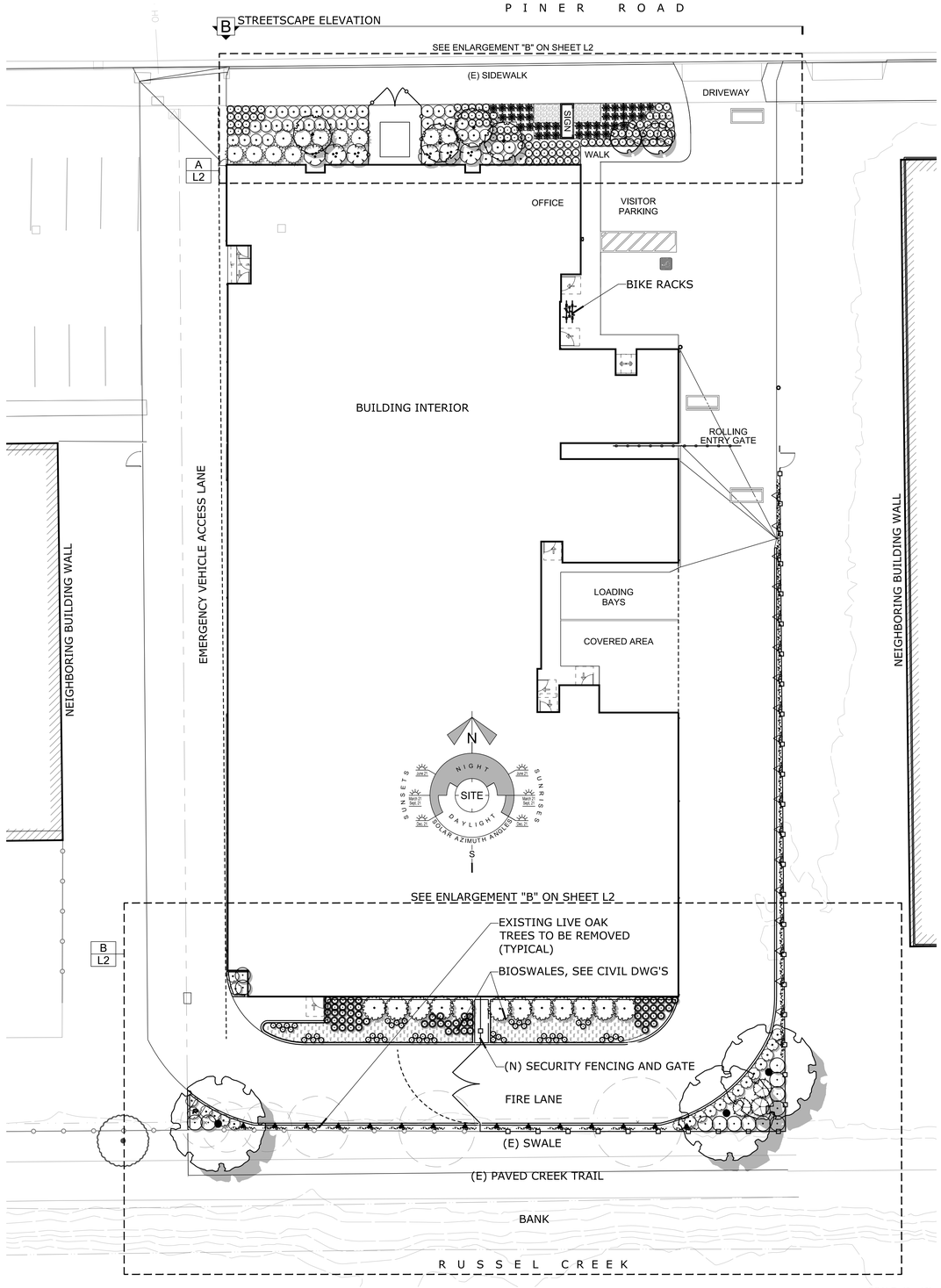
NO.	DATE	DESCRIPTION
	2020-12-08	DESIGN REVIEW
1	2021-02-05	FINAL DESIGN REVIEW
2	2021-06-08	DESIGN REVIEW RESUBMITTAL
	2021-09-13	DESIGN REVIEW RESUBMITTAL

REGISTERED PROFESSIONAL ENGINEER — DOMINICA A. SMITH — No. C 85515 — CIVIL — STATE OF CALIFORNIA

PROJECT NO.:	20213
PROJECT MGR.:	MS
DRAWN BY:	TF
CHECKED BY:	MS

Details

C9.1
2
7 OF 7



SCALE: 1" = 16'
0' 2' 4' 8' 16'

A OVERALL LANDSCAPE PLAN - SEE SHEET L2 FOR AREA ENLARGEMENTS AND DETAILED PLANTING PLANS

PLANT LEGEND

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	ACE GOL	ACER RUBRUM `ARMSTRONG GOLD`	GOLDEN ARMSTRONG MAPLE	24" BOX	4
	LAG CEN	LAGERSTROEMIA INDICA `CENTENNIAL SPIRIT`	COLUMNAR CRAPE MYRTLE	24" BOX	2
	QUE AGR	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	3
SHRUBS	**CODE**	**BOTANICAL NAME**	**COMMON NAME**	**SIZE**	**QTY**
	AGA BLG	AGAVE X `BLUE GLOW`	BLUE GLOW AGAVE	2 GAL.	38
	BAM GRA	BAMBUSA TEXTILIS `GRACILIS`	SLENDER WEAVER`S BAMBOO	15 GAL.	6
	CAL OCC	CALYCANTHUS OCCIDENTALIS	SPICE BUSH	5 GAL.	12
	CAR ELI	CARPENTERIA CALIFORNICA `ELIZABETH`	ELIZABETH BUSH ANEMONE	5 GAL.	14
	ELY CA2	ELYMUS CONDENSATUS `CANYON PRINCE`	CANYON PRINCE WILD RYE	1 GAL.	52
	EUP POR	EUPHORBIA CHAR. 'PORTUGUESE VELVET'	PORTUGUESE VELVET SPURGE	5 GAL.	41
	ILE GOL	ILEX AQUIFOLIUM `GOLD COAST` TM	GOLD COAST HOLLY	15 GAL.	11
	JUN ELK	JUNCUS PATENS `ELK BLUE`	SPREADING RUSH	1 GAL.	59
	LOM LIM	LOMANDRA X 'LITTLE LIME'	LITTLE LIME MAT RUSH	1 GAL.	96
	RIB SPE	RIBES SPECIOSUM	FUCHSIA FLOWERING GOOSEBERRY	5 GAL.	3
	RIB VIB	RIBES VIBURNIFOLIUM	EVERGREEN CURRANT	5 GAL.	21
VINES	**CODE**	**BOTANICAL NAME**	**COMMON NAME**	**SIZE**	**QTY**
	MAC UNG	MACFADYENA UNGUIS-CATI	YELLOW TRUMPET VINE	5 GAL.	19
	ROS BAN	ROSA BANKSIAE	LADY BANKS ROSE	5 GAL.	15
GROUND COVERS	**CODE**	**BOTANICAL NAME**	**COMMON NAME**	**SIZE**	**QTY**
	CAR TUM	CAREX TUMULICOLA	FOOTHILL SEDGE	1 GAL. @18" O.C.	168
	MIX SED	MIXED SEDUMS AND SUCCULENTS	SEE BELOW	4" POT @12" O.C.	77

LANDSCAPE GENERAL NOTES

1. LANDSCAPE SHALL COMPLY WITH SANTA ROSA'S WATER EFFICIENT LANDSCAPE ORDINANCE (WELO).
2. HYDROZONE AREAS ARE SUBJECT TO CHANGE, BUT SHALL NOT CAUSE THE LANDSCAPE TO EXCEED THE "MAXIMUM APPLIED WATER ALLOWANCE" AS SHOWN ON THE "APPENDIX A" SPREADSHEET BELOW.
3. ALL UNPAVED AREAS SHALL BE TOP-DRESSED WITH A 3" LAYER OF ORGANIC OR AGGREGATE MULCH.
4. ALL PLANTINGS SHALL BE IRRIGATED BY A PERMANENT, AUTOMATIC, WATER CONSERVING IRRIGATION SYSTEM COMPLIANT WITH SANTA ROSA'S WELO.
5. SOIL SHALL BE TESTED BY AN APPROVED LABORATORY AND AMENDED AS RECOMMENDED BY THE LAB ANALYSIS
6. STREET TREES SHALL BE INSTALLED PER SANTA ROSA STANDARD DETAIL AND "STANDARDS FOR PLANTING OF PARKWAY TREES."
7. ALL TREES PLANTED WITHIN 4' OF BUILDINGS, WALL, CURBS OR PAVEMENTS WILL BE INSTALLED WITH ROOT BARRIERS.
8. ALL TREES WILL BE PLANTED FROM 24" BOXES (MINIMUM) EXCEPT WHERE NOTED OTHERWISE
9. A MINIMUM OF ONE FOOT DEPTH OF NON-MECHANICALLY COMPACTED SOIL SHALL BE AVAILABLE FOR WATER ABSORPTION AND ROOT GROWTH IN PLANTED AREAS.
10. SEE CIVIL ENGINEERS DRAWINGS FOR GRADING AND DRAINAGE, AND FOR LOCATIONS AND DESCRIPTIONS OF LANDSCAPE BASED STORMWATER MANAGEMENT BMP'S

SANTA ROSA WELO - APPENDIX "A"

Maximum Applied Water Allowance

The following calculations will help you determine your site specific water budget and establish a planting mix that will allow you to meet your water budget. Your Estimated Total Water Use must be less than your Maximum Applied Water Allowance.

1.) Maximum Applied Water Allowance (MAWA) COMMERCIAL

MAWA = (ETo) (0.62)[(0.45x LA) + (0.55 x SLA)]

Where:
ETo = Annual Net Reference Evapotranspiration (inches)
0.45 = ET Adjustment Factor
LA = Landscaped Area (square feet)
0.62 = Conversion factor (to gallons per square foot)
SLA = Portion of the landscape area identified as Special Landscape Area (square feet)
0.55 = the additional ET adjustment factor for Special Landscape Area (1.0 - 0.45 = 0.55)

A.) Net Evapotranspiration Calculation

44.33 (Annual ETo)						
29.07 (Annual Rainfall)	x	.25	=	7.42 (Effective Rainfall)		
Net Evapotranspiration Calculation	=	Annual ETo	-	Effective Rainfall	=	36.91

B.) Adjusted Landscape Area Calculation

5190 (Landscaped Area)	x 0.45 (Adjustment Factor)	=	2335.5		
0 (Special Landscaped Area)	x 0.55 (Adjustment Factor)	=	0		
		Sum of Adjusted Landscape Area	=	2335.5	
MAWA =	36.91 x 0.62 x 2335.5			53450 gallons	

2.) Estimated Total Water Use (ETWU)

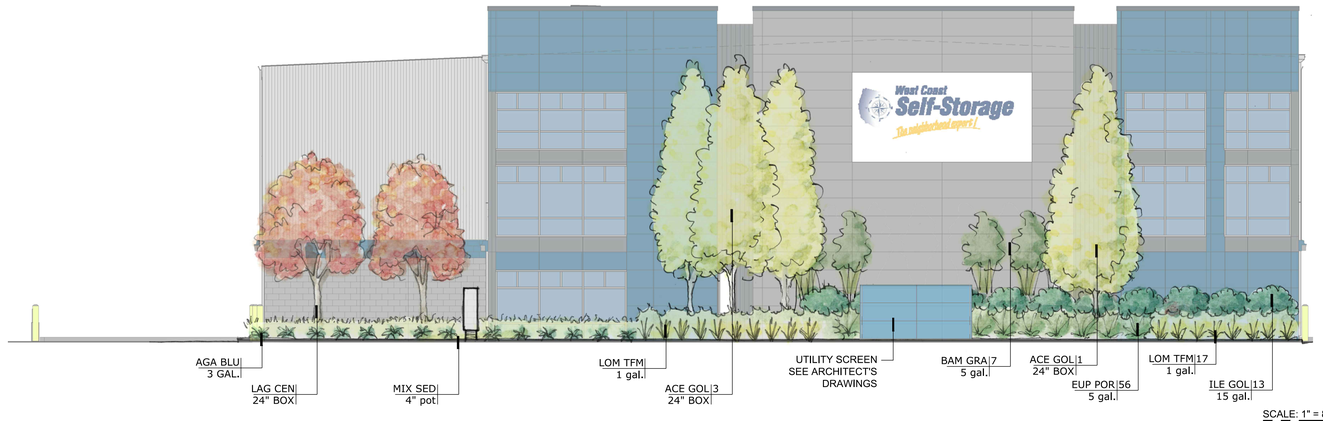
A.) Net Evapotranspiration Calculation

Net Evapotranspiration Calculation	=	Annual ETo	-	Effective Rainfall	=	36.91

B.) Adjusted Landscape Area Calculation

0 (Very low water use plant sqft)	x 0.1	=	0	
4819 (Low water use plant sqft)	x 0.3	=	1445.7	
371 (Moderate water use plant sqft)	x 0.6	=	222.6	
0 (High water use plant sqft)	x 1.0	=	0	
	Sum of Adjusted Landscape Area	=	1,668	
ETWU =	36.91 x 0.62 x 1,668 / 0.81			47136 gallons

Irrigation Efficiency Factor	
Square footage of landscape on drip	5190
Square footage of landscape on spray	0
Total square footage of landscape	5190
Adjusted Irrigation Efficiency Factor	0.81



SCALE: 1" = 8'
0' 1' 2' 4' 8'

B FRONTAGE LANDSCAPE - ELEVATION (SEE SHEET L2 FOR IMAGES OF KEY PLANT MATERIALS)

PRELIMINARY LANDSCAPE PLANS - FINAL DESIGN REVIEW

WEST COAST SELF STORAGE

970 PINER ROAD
SANTA ROSA, CA 95404
APN: 015-680-013

JRLA JOHNSON RINEHART LANDSCAPE ARCHITECTURE
118 ENGLISH STREET
PETALUMA, CA, 94952
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West Coast Self-Storage
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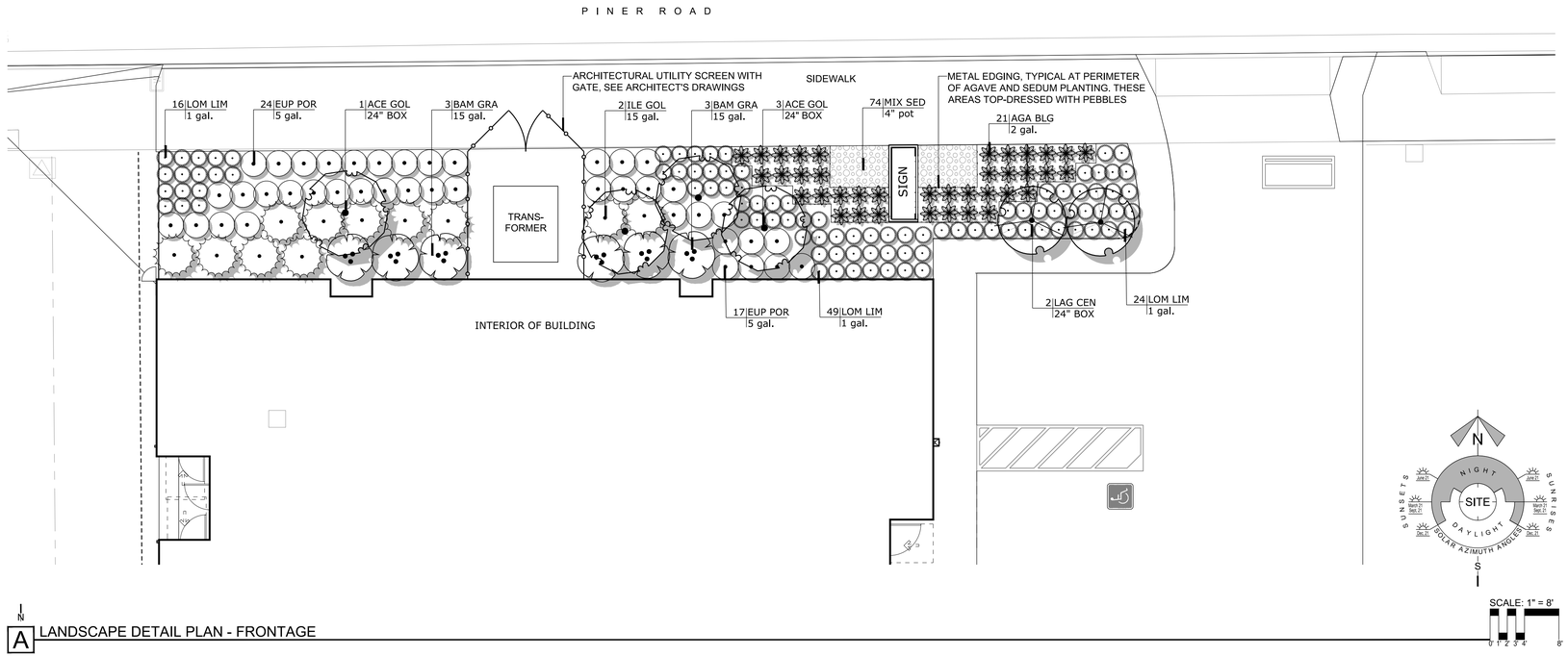
WILLIAM M. RINEHART LICENSED LANDSCAPE ARCHITECT No. 3854 Exp. 12/31/22 STATE OF CALIFORNIA

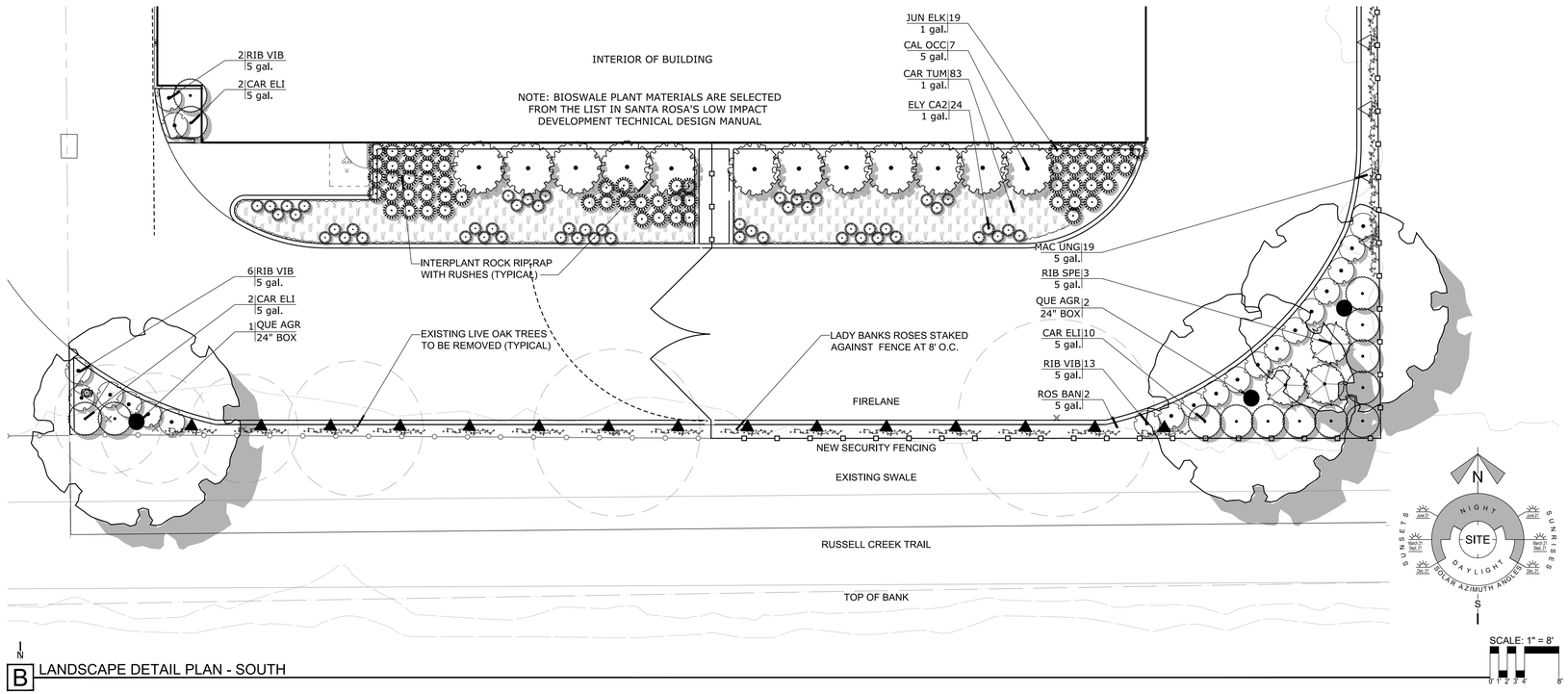
SEPTEMBER 13, 2021
SCALE: AS NOTED
SHEET SIZE: 24X36
JRLA PROJECT: 20114

L-1
SHEET 1 OF 2



N

A LANDSCAPE DETAIL PLAN - FRONTAGE



N

B LANDSCAPE DETAIL PLAN - SOUTH

PLANT LEGEND

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	ACE GOL	ACER RUBRUM `ARMSTRONG GOLD`	GOLDEN ARMSTRONG MAPLE	24" BOX	4
	LAG CEN	LAGERSTROEMIA INDICA `CENTENNIAL SPIRIT`	COLUMNAR CRAPE MYRTLE	24" BOX	2
	QUE AGR	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	3
SHRUBS	**CODE**	**BOTANICAL NAME**	**COMMON NAME**	**SIZE**	**QTY**
	AGA BLG	AGAVE X `BLUE GLOW`	BLUE GLOW AGAVE	2 GAL.	38
	BAM GRA	BAMBUSA TEXTILIS `GRACILIS`	SLENDER WEAVER`S BAMBOO	15 GAL.	6
	CAL OCC	CALYCANTHUS OCCIDENTALIS	SPICE BUSH	5 GAL.	12
	CAR ELI	CARPENTERIA CALIFORNICA `ELIZABETH`	ELIZABETH BUSH ANEMONE	5 GAL.	14
	ELY CA2	ELYMUS CONDENSATUS `CANYON PRINCE`	CANYON PRINCE WILD RYE	1 GAL.	52
	EUP POR	EUPHORBIA CHAR. 'PORTUGUESE VELVET'	PORTUGUESE VELVET SPURGE	5 GAL.	41
	ILE GOL	ILEX AQUIFOLIUM `GOLD COAST` TM	GOLD COAST HOLLY	15 GAL.	11
	JUN ELK	JUNCUS PATENS `ELK BLUE`	SPREADING RUSH	1 GAL.	59
	LOM LIM	LOMANDRA X 'LITTLE LIME'	LITTLE LIME MAT RUSH	1 GAL.	96
	RIB SPE	RIBES SPECIOSUM	FUCHSIA FLOWERING GOOSEBERRY	5 GAL.	3
	RIB VIB	RIBES VIBURNIFOLIUM	EVERGREEN CURRANT	5 GAL.	21
VINES	**CODE**	**BOTANICAL NAME**	**COMMON NAME**	**SIZE**	**QTY**
	MAC UNG	MACFADYENA UNGUIS-CATI	YELLOW TRUMPET VINE	5 GAL.	19
	ROS BAN	ROSA BANKSIAE	LADY BANKS ROSE	5 GAL.	15
GROUND COVERS	**CODE**	**BOTANICAL NAME**	**COMMON NAME**	**SIZE**	**QTY**
	CAR TUM	CAREX TUMULICOLA	FOOTHILL SEDGE	1 GAL. @18" O.C.	168
	MIX SED	MIXED SEDUMS AND SUCCULENTS	SEE BELOW	4" POT @12" O.C.	77

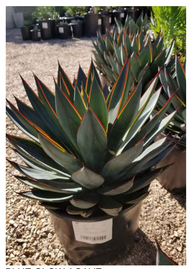

ACE GOL - 'ARMSTRONG GOLD' MAPLE


LOM LFT - LITTLE LIME LOMANDRA


EUP POR - VELVET SPURGE


BAM GRA - SLENDER WEAVER'S BAMBOO


LAG CEN - CRAPE MYRTLE


BLUE GLOW AGAVE


MIXED SEDUMS AND SUCCULENTS


ILE GOL - GOLD COAST HOLLY

PRELIMINARY LANDSCAPE PLANS - FINAL DESIGN REVIEW
WEST COAST SELF STORAGE

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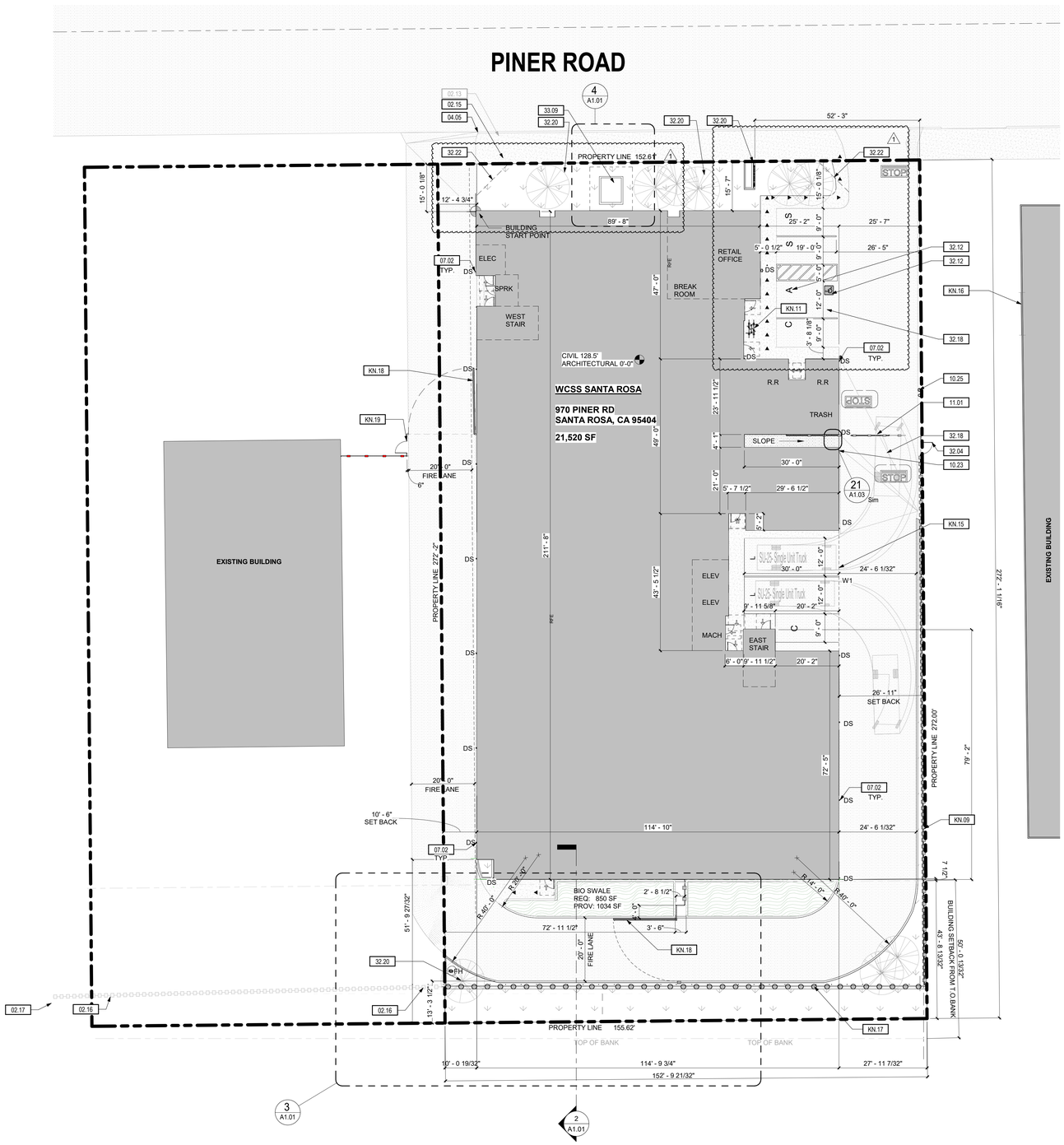
WILLIAM M. RINEHART No. 3654 Exp. 12/31/22 LICENSED LANDSCAPE ARCHITECT STATE OF CALIFORNIA

SEPTEMBER 13, 2021
SCALE: AS NOTED
SHEET SIZE: 24X36
JRLA PROJECT: 20114

L-2
SHEET 2 OF 2



SHEET NOTES:

A. LIMITS OF WORK ARE DEFINED WITHIN THE PROPERTY LINES AND ADJACENT RIGHT OF WAYS.
B. SITE CONTROLS ARE EXISTING PROPERTY CORNERS AS IDENTIFIED BY PROPERTY SURVEY.
C. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION ON ALL LANDSCAPE FEATURES AND ELEMENTS.
D. REFER TO CIVIL DRAWINGS FOR SITE GRADING AND UTILITY LOCATIONS.
E. EXPANSION JOINTS ARE SHOWN ON SITE PLANS. ALL OTHER LINES WITHIN CONCRETE PAVING AREAS ARE TO BE CONTROL JOINTS UNLESS OTHERWISE NOTED, REFER TO CIVIL DRAWINGS.
F. SIDEWALKS TO MAINTAIN A SLOPE NO GREATER THAN 1:20 IN THE PRIMARY DIRECTION OF TRAVEL AND A SLOPE NO GREATER THAN 1:50 PERPENDICULAR TO THE PRIMARY DIRECTION OF TRAVEL REFER TO CIVIL DRAWINGS.
G. CURB TO BE MEDIUM BROOM FINISH, PARALLEL TO GUTTER LINE, UNLESS OTHERWISE NOTED.
H. GRIDLINES CORRESPOND WITH BUILDING FLOOR PLAN GRIDLINES.
I. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING.
J. ARCHITECT SITE PLAN IS SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR PARAMETERS OF SITE INCLUDING ROADWORK, SITE STRIPING, LANDSCAPING AND CONTEXTUAL SITE INFORMATION.
K. REFER TO CIVIL FOR FINISH FLOOR ELEVATIONS (FFE) - THESE CORRESPOND TO ARCHITECTURAL 0'-0"

AREA CALCULATIONS:

BUILDING AREA:

LEVEL 1 :	21,520 SF
LEVEL 2 :	21,650 SF
LEVEL 3 :	22,910 SF
TOTAL	**66,080 SF**

ZONING:
LIGHT INDUSTRIAL (IL) SRMC 20-24.040

LOT AREA:
+/- 41,382 SF
BUILDING COVERAGE: 21,421 SF
BUILDING LOT COVERAGE: 52%

SETBACKS: REQ.	SETBACKS: PROPOSED
FRONT: NORTH (15')	NORTH (15')
REAR: SOUTH (50' FROM TOP OF BANK)	SOUTH (50' FROM TOP OF BANK)
SIDE: EAST (0' SETBACK REQ.) WEST (10' EASEMENT FROM P.L)	EAST (26'-11" PROPOSED) WEST (10' -6" PROPOSED)

REQUIRED PARKING PER (SRMC :20-36.040)	PROPOSED PARKING SIZE PER (SRMC :20-36.070)
5 CUSTOMER	5 CUSTOMER 2 (S) STANDARD (9x19') 2 (C) STANDARD (9x16') 1 ACCESSIBLE VAN (12x19') W/ 5ft-STRIPING
2 LOADING DOCKS 0 BICYCLE	2 LOADING DOCKS (10x30') BICYCLE : 2 PROVIDED.

SITE PLAN LEGEND

- PROPERTY LINE
- BUILDING FOOTPRINT
- LANDSCAPING
- ASPHALT
- PROPOSED CONCRETE
- WROUGHT IRON FENCE
- CHAIN LINK FENCE
- TRAFFIC DIRECTIONAL ARROWS
- EGRESS PATH
- FH — FIRE HYDRANT - REF. CIVIL
- BOLLARDS. REF CIVIL.
- DS — DOWNSPOUT WITH BOOT PER. CIVIL.

KEYNOTES:

#	NOTE
02.13	EXISTING POWER POLE WITH SERVICE DROP. TO BE RELOCATED.
02.15	EXISTING ELECTRICAL BOX
02.16	EXISTING FENCE TO REMAIN
02.17	EXISTING TREE TO BE REMOVED
04.05	NEW CURB CUT
07.02	18ga. PRE-FINISHED ALUMINUM DOWNSPOUT PER S.M.A.C.N.A. RECOMMENDATIONS, SIZED PER ROOF DRAINAGE CALCULATIONS; COLOR PER EXTERIOR ELEVATIONS, PROTECTION BOOT AT BASE.REF. CIVIL
10.23	CONCRETE PAD FOR GATE CONTROL. B.O.D SHUGARD LINEAR GATE OPARATOR (SLIDING. SL SERIES. SWING; SWC SERIES)
10.25	ENTRY KEY PAD REF. SITE DETAILS
11.01	VEHICULAR ACCESS GATE PER SITE PLAN AND DETAILS; BASIS OF DESIGN: TELESCOPING ROLLING GATE WITH 20'-0" CLEAR OPENING (OR GREATER PER F.D.), MOTOR OPERATOR, KEY-PAD PANEL MOUNTED ON KEYPAD BOLLARD PER DETAIL; PROVIDE ELECTRICAL CONDUIT RUNS TO MOTOR OPERATOR AND BOLLARD LOCATIONS; REF. ELECTRICAL SITE PLAN
32.04	CHAIN-LINK PEDESTRIAN GATE, TUBULAR METAL, 36" WIDE EQUIPPED WITH ANSI A117.1 COMPLIANT HARDWARE AND MESH TO PREVENT ENTRY OR ACTUATION FROM EXTERIOR SIDE. MATERIALS AND COLOR TO MATCH CHAIN-LINK FENCING
32.12	ACCESSIBLE PARKING PER PLANS AND CIVIL;
32.18	STRIPING PER CIVIL TYP.
32.20	TREE. REF. LANDSCAPING PLANS
32.22	CITY REQUIRED VIEW ANGLE AT STREET (10x10')
33.09	ELECTRICAL TRANSFORMER. REF. ELECTRICAL DRAWINGS
KN.09	NEW 6'-0" WROUGHT IRON SECURITY FENCING. REF SITE DETAILS;
KN.11	BICYCLE RACK/PARKING REF SITE DETAILS;
KN.15	BUILDING OUTLINE ABOVE
KN.16	NEIGHBOR'S SHOP BAY DOOR
KN.17	NEW CHAINLINK FENCE 6'-0". REF SITE DETAILS
KN.18	MANUALLY CONTROLLED GATE. AT OPEN POSITION. REF SITE DETAILS
KN.19	PEDESTRIAN GATE. EXIT ONLY. REF. SITE DETAILS

1 SITE PLAN
1/16" = 1'-0"
0' 8' 16' 32' 64'
PROJECT NORTH

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808 134TH ST SW, BLDG.B, STE 211
EVERENTT WA, 98204

WCSS - SANTA ROSA
970 PINER RD,
SANTA ROSA, CA 95404

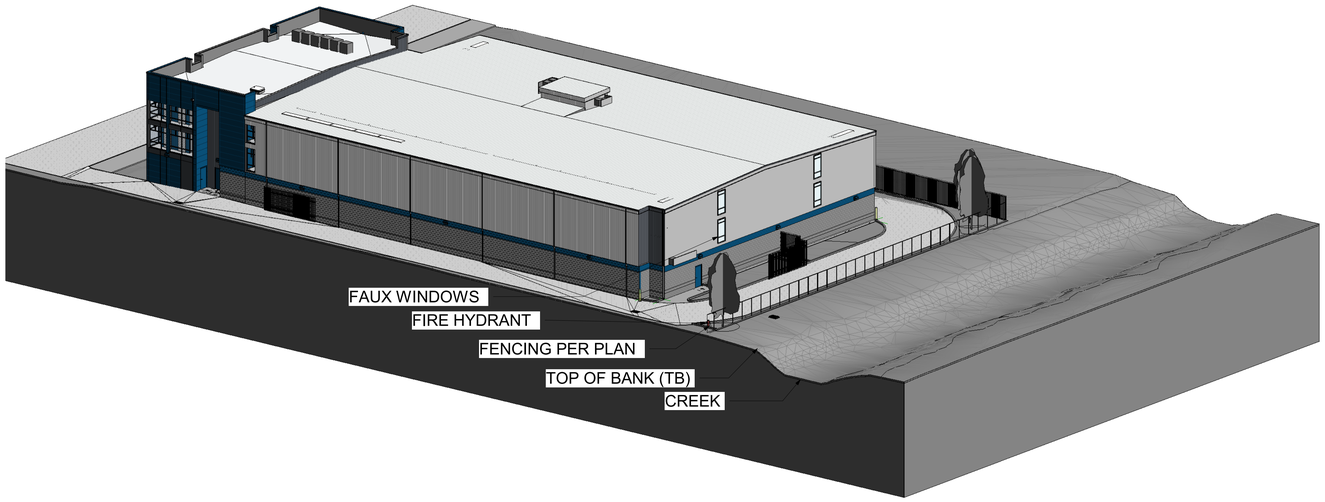
NO.	DATE	DESCRIPTION
0	07/24/21	DESIGN REVIEW - DR21-004
1	08/24/21	AHJ DR RESPONSE #1

NOT FOR CONSTRUCTION
FOR REVIEW ONLY

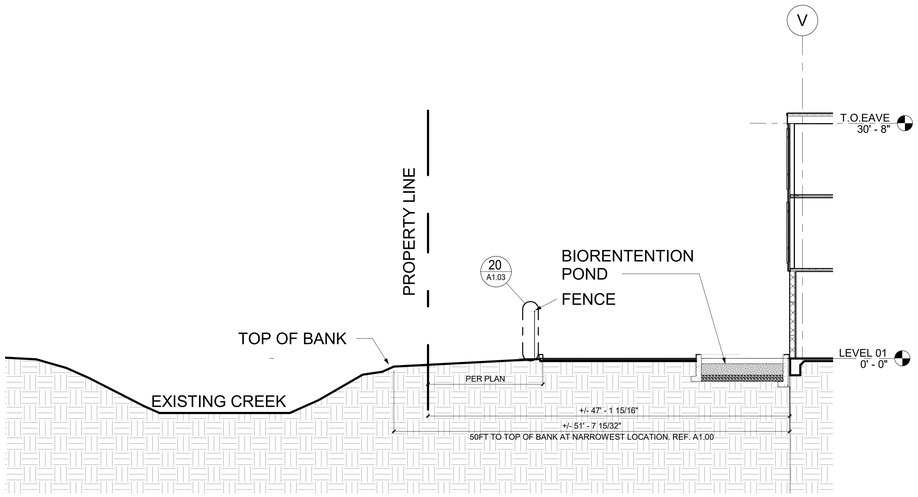
PROJECT NO.:	20143
PROJECT MGR.:	LH
DRAWN BY:	AK
CHECKED BY:	LH

SITE PLAN

A1.00

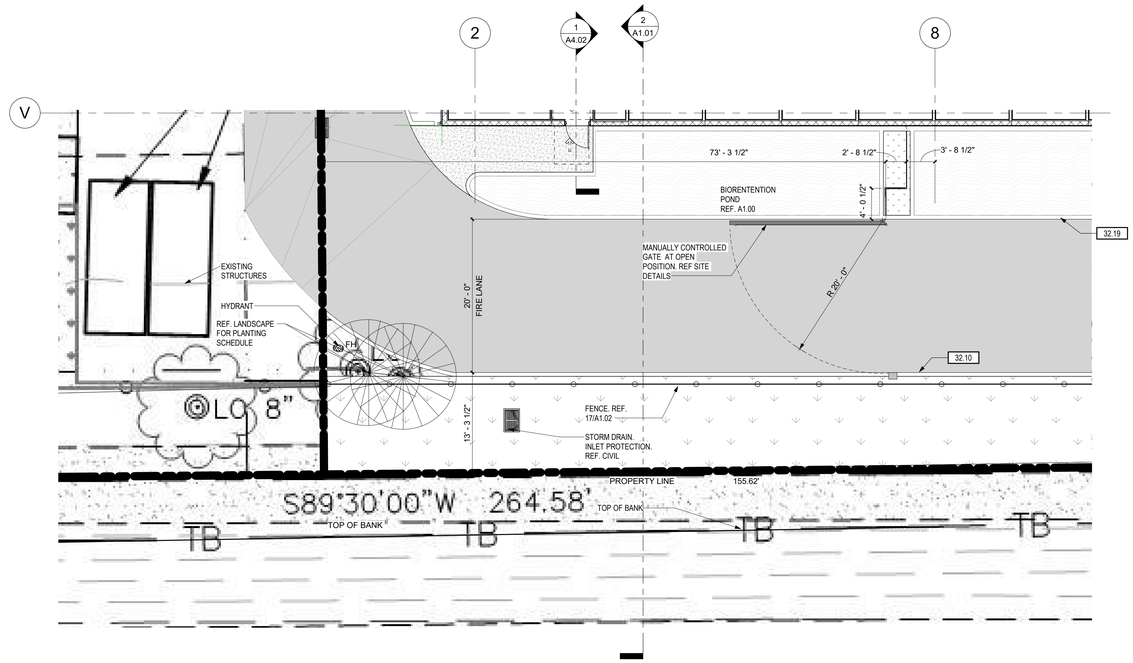


1 3D VIEW OF CREEK AT SOUTH OF PROPERTY



2 SECTION THROUGH SOUTH END OF PROPERTY

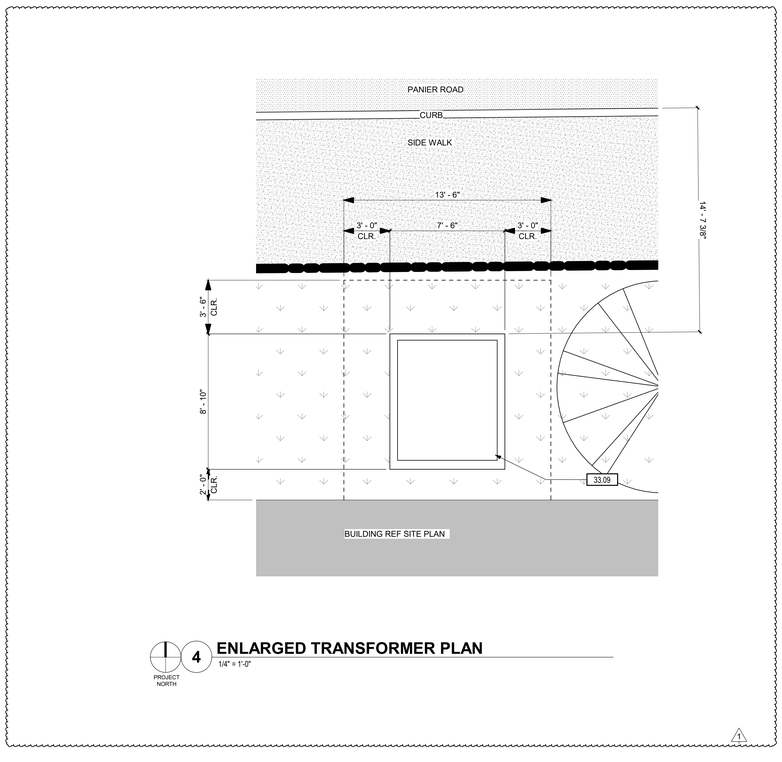
1/8" = 1'-0"



3 CALL OUT - ENLARGED SITE PLAN

1/8" = 1'-0"

PROJECT NORTH



4 ENLARGED TRANSFORMER PLAN

1/4" = 1'-0"

PROJECT NORTH

#	NOTE
32.10	FORMED CONCRETE CURB AND GUTTER PER PLANS; REF. CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
32.19	6" CURB ALONG DRIVE ISLE
33.09	ELECTRICAL TRANSFORMER. REF. ELECTRICAL DRAWINGS

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EVERENTT WA, 98204

WCSS - SANTA ROSA
970 PINER RD,
SANTA ROSA, CA 95404

NO.	DESCRIPTION	DATE
1	AHJ DR RESPONSE #1	08/24/21

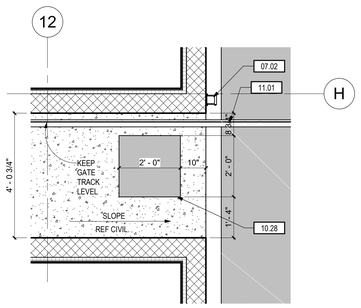
NOT FOR CONSTRUCTION
FOR REVIEW ONLY

PROJECT NO.:	20143
PROJECT MGR.:	LH
DRAWN BY:	AK
CHECKED BY:	LH

ENLARGED SITE PLAN

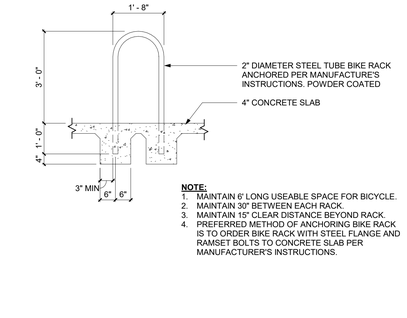
A1.01

9/14/2021 11:44:08 AM



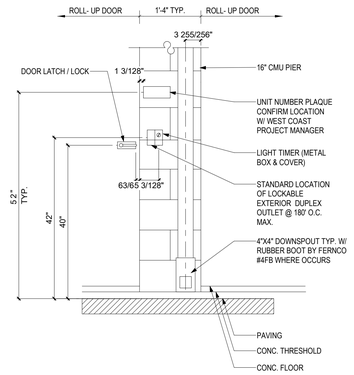
21 GATE PAD
1/2" = 1'-0"

#	NOTE
07.02	18ga. PRE-FINISHED ALUMINUM DOWNSPOUT PER S.M.A.C.N.A. RECOMMENDATIONS, SIZED PER ROOF DRAINAGE CALCULATIONS; COLOR PER EXTERIOR ELEVATIONS, PROTECTION BOOT AT BASE.REF. CIVIL
10.28	GATE CONTROLLER PAD. B.O.D LINEAR SL SERIES. REF. WCSS SPECS
11.01	VEHICULAR ACCESS GATE PER SITE PLAN AND DETAILS; BASIS OF DESIGN: TELESCOPING ROLLING GATE WITH 20'-0" CLEAR OPENING (OR GREATER PER F.D.), MOTOR OPERATOR, KEY-PAD PANEL MOUNTED ON KEYPAD BOLLARD PER DETAIL; PROVIDE ELECTRICAL CONDUIT RUNS TO MOTOR OPERATOR AND BOLLARD LOCATIONS; REF.: ELECTRICAL SITE PLAN

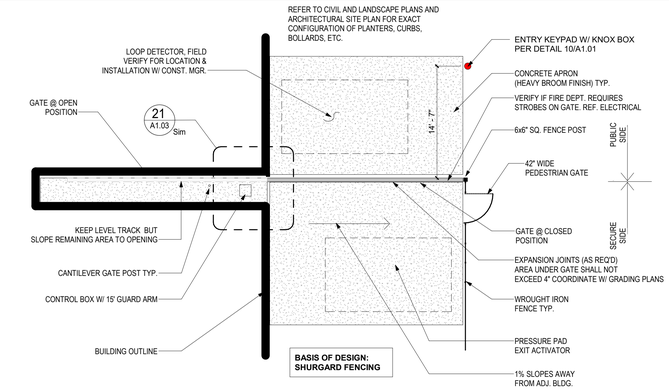


NOTE:
1. MAINTAIN 6' LONG USEABLE SPACE FOR BICYCLE.
2. MAINTAIN 30" BETWEEN EACH RACK.
3. MAINTAIN 15" CLEAR DISTANCE BEYOND RACK.
4. PREFERRED METHOD OF ANCHORING BIKE RACK IS TO ORDER BIKE RACK WITH STEEL FLANGE AND RAMSET BOLTS TO CONCRETE SLAB PER MANUFACTURER'S INSTRUCTIONS.

16 BICYCLE RACK - SINGLE LOOP STEEL TUBE
1/2" = 1'-0"

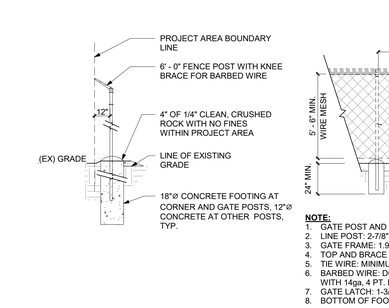


11 PLAQUE AND TIMER LOCATION1
3/4" = 1'-0"



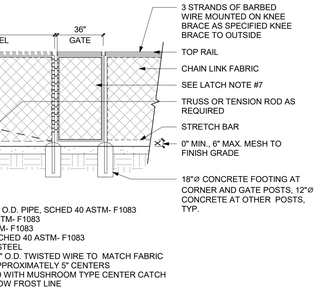
PROJECT NORTH

7 VEHICLE ACCESS GATE PLAN
1/8" = 1'-0"



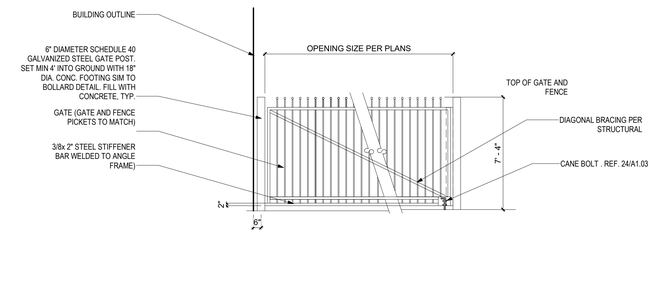
NOTE:
DESIGN LIGHT STANDARD BASE FOR 90 MPH WIND LOAD

17 LIGHT POLE - CONCRETE FOOTING
1/2" = 1'-0"

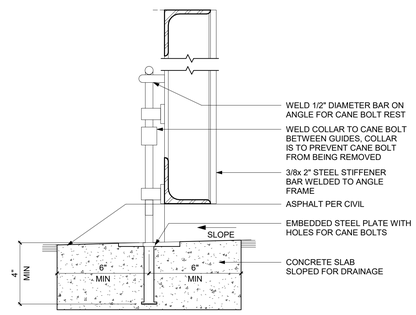


NOTE:
1. DETECTABLE WARNINGS SHALL BE INSTALLED AS SHOW IN PLANS & DETAILS, TO THE FULL WIDTH OF CURB RAMP OR FLUSH SURFACE. THE DETECTABLE WARNING SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE OR OTHER POTENTIAL HAZARD IS 6"-8" FROM THE CURB LINE OR OTHER POTENTIAL HAZARD.
2. DETECTABLE WARNING SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

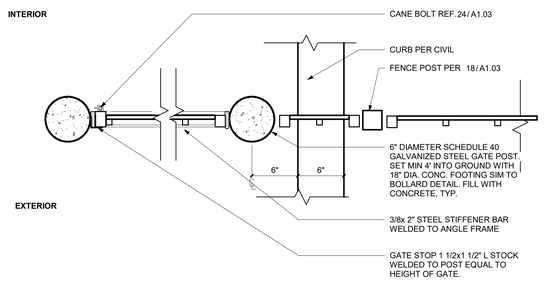
12 CURB RAMP AT DETECTABLE WARNING
1/4" = 1'-0"



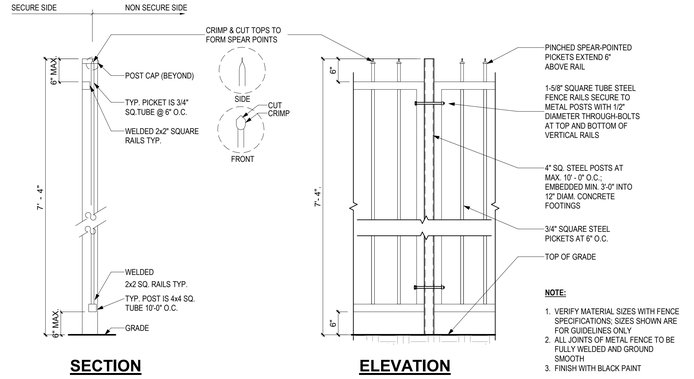
8 SLIDING GATE ELEVATION1
1/4" = 1'-0"



23 SWING GATE POST DETAIL
1 1/2" = 1'-0"



24 CANE BOLT DETAIL AT GATE
3" = 1'-0"



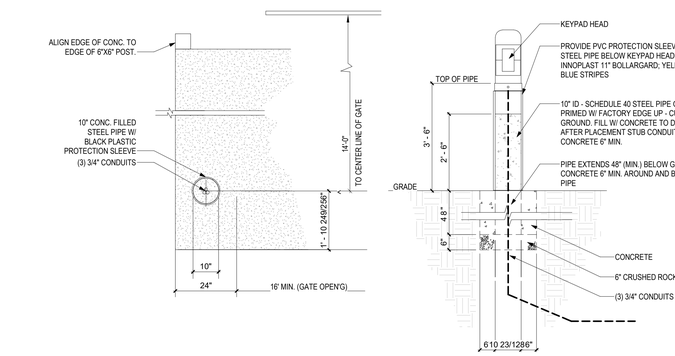
NOTE:
1. VERIFY MATERIAL SIZES WITH FENCE SPECIFICATIONS. SIZES SHOWN ARE FOR GUIDELINES ONLY.
2. ALL JOINTS OF METAL FENCE TO BE FULLY WELDED AND GROUND SMOOTH
3. FINISH WITH BLACK PAINT

18 TYP. WROUGHT IRON FENCING
3/4" = 1'-0"

NOTE:
1. GATE POST AND CORNER POST: 2- 7/8" O.D. PIPE, SCHED 40 ASTM- F1083
2. LINE POST: 2-7/8" O.D PIPE, SHED 40 ASTM- F1083
3. GATE FRAME: 1.90" O.D, SCHED 40 ASTM- F1083
4. TOP AND BRACE RAIL 1.66 O.D. PIPE, SCHED 40 ASTM- F1083
5. TIE WIRE: MINIMUM 11ga GALVANIZED STEEL
6. BARBED WIRE: DOUBLE STRAND 12-1/2" O.D. TWISTED WIRE TO MATCH FABRIC WITH 14ga. 4 PT. BARBS SPACED ON APPROXIMATELY 5" CENTERS
7. GATE LATCH: 1-3/8" O.D. PLUNGER ROD WITH MUSHROOM TYPE CENTER CATCH
8. BOTTOM OF FOOTING MUST BE 6" BELOW FROST LINE

20 CHAIN LINK SECURITY FENCE ELEVATIONS & DETAILS
1/4" = 1'-0"

9 SWING GATE ELEVATION
1/4" = 1'-0"



2 ENTRY KEYPAD BOLLARD LAYOUT
1/2" = 1'-0"

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WEST COAST SELF STORAGE GROUP
808 134TH ST SW, BLDG.B, STE 211
EVERENTT WA, 98204

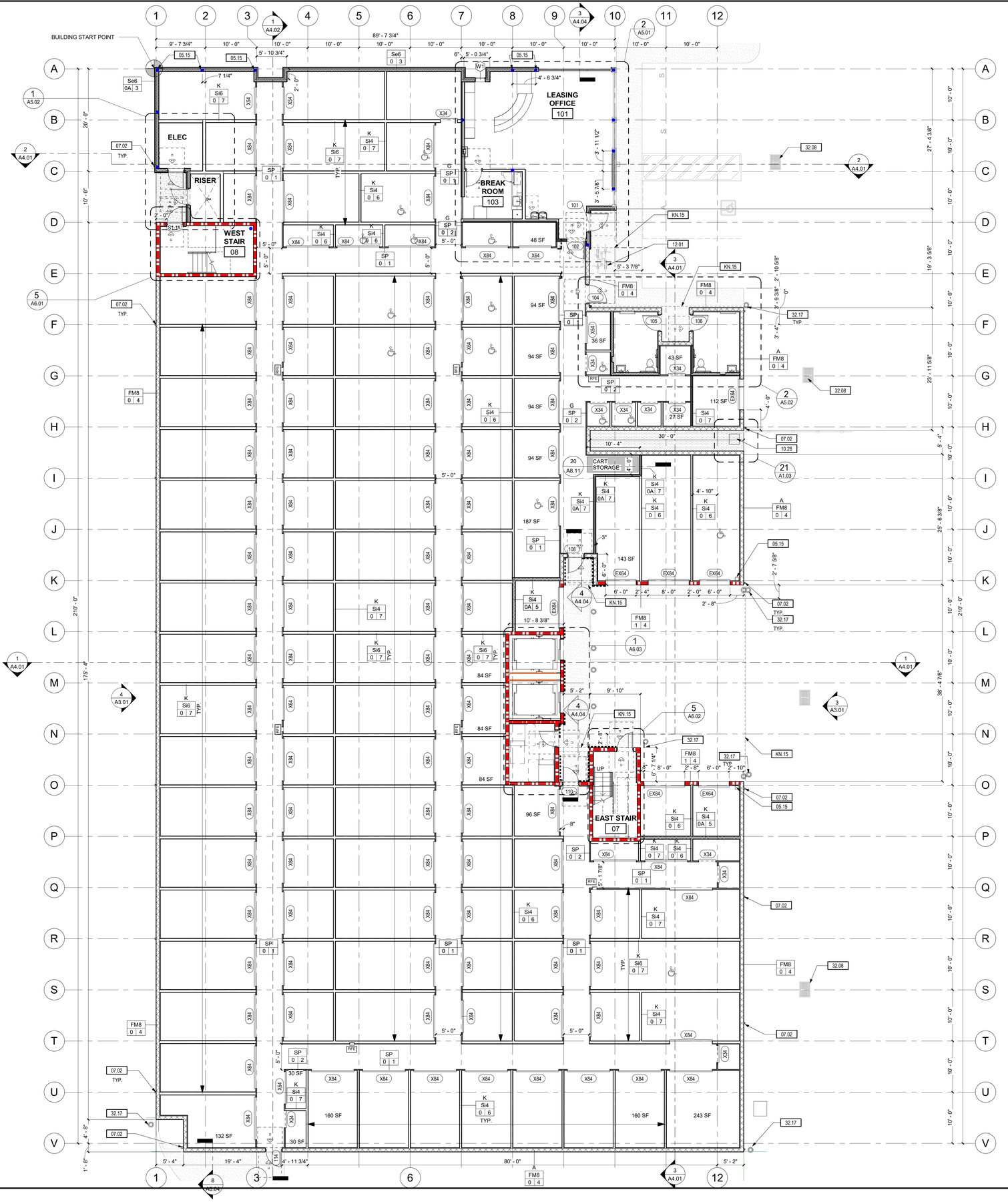
WCSS - SANTA ROSA
970 PINER RD,
SANTA ROSA, CA 95404

DATE	NO.	DESCRIPTION

PROJECT NO.:	20143
PROJECT MGR.:	LH
DRAWN BY:	AK
CHECKED BY:	DM

SITE DETAILS

A1.03



SHEET NOTES:

A. REFER TO G0.01 FOR ABBREVIATIONS, SYMBOLS AND GENERAL PROJECT NOTES.
B. REFER TO G SERIES SHEETS FOR CODE & ACCESSIBILITY STANDARDS.
C. REFER TO A8 SERIES FOR SPECIFIC WALL ASSEMBLY INFORMATION
D. REFER TO DOOR AND WINDOW MANUFACTURER SPECIFICATIONS FOR ACTUAL ROUGH OPENING SIZES.
E. REFER TO STRUCTURAL DRAWINGS FOR SHEAR WALL, HOLD DOWN LOCATIONS, AND BEAM SIZES.
F. PROVIDE WALL GUARDS AT ALL EXPOSED GYPSUM BOARD OUTSIDE CORNERS IN PUBLIC AREAS.
G. FOR FRAMED WALLS- LOCATE HINGE SIDE OF ALL DOORS 4-1/2" FROM PERPENDICULAR FRAMING U.N.O.
H. FOR MASONRY WALLS- LOCATE HINGE SIDE OF DOOR 8" FROM PERPENDICULAR WALL U.N.O.
I. GENERAL NOTES ON THIS PAGE DO NOT EXCLUDE NOTES ELSEWHERE; THIS DOCUMENT SET IS COMPLIMENTARY. NOTES ON OTHER SHEETS MAY HAVE BEARING/ APPLICATION TO WORK SHOWN ON THIS SHEET

BUILDING AREA:

LEVEL 1 :	21,520 SF
LEVEL 2 :	21,650 SF
LEVEL 3 :	22,910 SF
TOTAL	**66,080 SF**

LEGEND- FLOOR PLAN

- FH — FIRE HYDRANT - REF. CIVIL
- BOLLARDS. REF CIVIL.
- DS — DOWNSPOUT WITH BOOT PER. CIVIL.
- 1HR RATED WALL. REF. A8.XX SERIES
- WALLS WITHIN 25FT OF ELEVATOR TO HAVE METAL WAINSCOT TO NEAREST CORNER
- INSULATED WALLS
- RFE — RECESSED FIRE EXTINGUISHER
- ACCESSIBLE UNITS.REF. 1/G0.04

KEYNOTES:

#	NOTE
05.15	STEEL COLUMN, REF. STRUCTURAL. PAINT TO MATCH AJECENT WALL FINISH IF EXPOSED.
07.02	18ga, PRE-FINISHED ALUMINUM DOWNSPOUT PER S.M.A.C.N.A. RECOMMENDATIONS, SIZED PER ROOF DRAINAGE CALCULATIONS; COLOR PER EXTERIOR ELEVATIONS, PROTECTION BOOT AT BASE.REF. CIVIL
10.28	GATE CONTROLLER PAD. B.O.D LINEAR SL SERIES. REF. WCSS SPECS
12.01	BICYCLE RACK SYSTEM, REF. 16/A1.03
32.08	CATCH BASIN PER CIVIL PLANS
32.17	BOLLARD LOCATED PER PLANS, DETAIL PER CIVIL, TYP.
KN.15	BUILDING OUTLINE ABOVE

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CHECKED BY:	DM

FLOOR PLAN - LEVEL 01

A2.01

20143 WCSS Santa Rosa_detached.rvt
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C. REFER TO A8 SERIES FOR SPECIFIC WALL ASSEMBLY INFORMATION
D. REFER TO DOOR AND WINDOW MANUFACTURER SPECIFICATIONS FOR ACTUAL ROUGH OPENING SIZES.
E. REFER TO STRUCTURAL DRAWINGS FOR SHEAR WALL, HOLD DOWN LOCATIONS, AND BEAM SIZES.
F. PROVIDE WALL GUARDS AT ALL EXPOSED GYPSUM BOARD OUTSIDE CORNERS IN PUBLIC AREAS.
G. FOR FRAMED WALLS- LOCATE HINGE SIDE OF ALL DOORS 4-1/2" FROM PERPENDICULAR FRAMING U.N.O.
H. FOR MASONRY WALLS- LOCATE HINGE SIDE OF DOOR 8" FROM PERPENDICULAR WALL U.N.O.
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BUILDING AREA:

LEVEL 1 :	21,520 SF
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LEVEL 3 :	22,910 SF
TOTAL	**66,080 SF**

LEGEND- FLOOR PLAN

FH	FIRE HYDRANT - REF. CIVIL
	BOLLARDS. REF CIVIL.
DS	DOWNSPOUT WITH BOOT PER. CIVIL.
	1HR RATED WALL. REF. A8.XX SERIES
	WALLS WITHIN 25FT OF ELEVATOR TO HAVE METAL WAINSCOT TO NEAREST CORNER
	INSULATED WALLS
RFE	RECESSED FIRE EXTINGUISHER
	ACCESSIBLE UNITS.REF. 1/G0.04

KEYNOTES:

#	NOTE
05.15	STEEL COLUMN, REF. STRUCTURAL. PAINT TO MATCH AJECENT WALL FINISH IF EXPOSED.
07.02	18ga, PRE-FINISHED ALUMINUM DOWNSPOUT PER S.M.A.C.N.A. RECOMMENDATIONS, SIZED PER ROOF DRAINAGE CALCULATIONS; COLOR PER EXTERIOR ELEVATIONS, PROTECTION BOOT AT BASE.REF. CIVIL
10.29	SURFACE MOUNTED 3X8' FAUX ROLL-UP DOOR. JUNUS ROYAL BLUE. SPACE EQUALLY ON WALL
10.30	MECHANICAL EQUIPMENT SCREENING WALL. REF EXTERIOR DETAILS
13.03	SURFACE MOUNTED FRAMING AND SPANDREL GLASS "WINDOW" MOUNTED OVER W.R.B. REF FAUX WINDOW DETAILS (A8.04) FOR SIZING
26.05	SITE/EXTERIOR LIGHTING. WALL MOUNT AT 9'-0" AFF. REF. ELECTRICAL

1 FLOOR PLAN - LEVEL 02
1/8" = 1'-0"

PROJECT NORTH

0' 2' 4' 8' 16'

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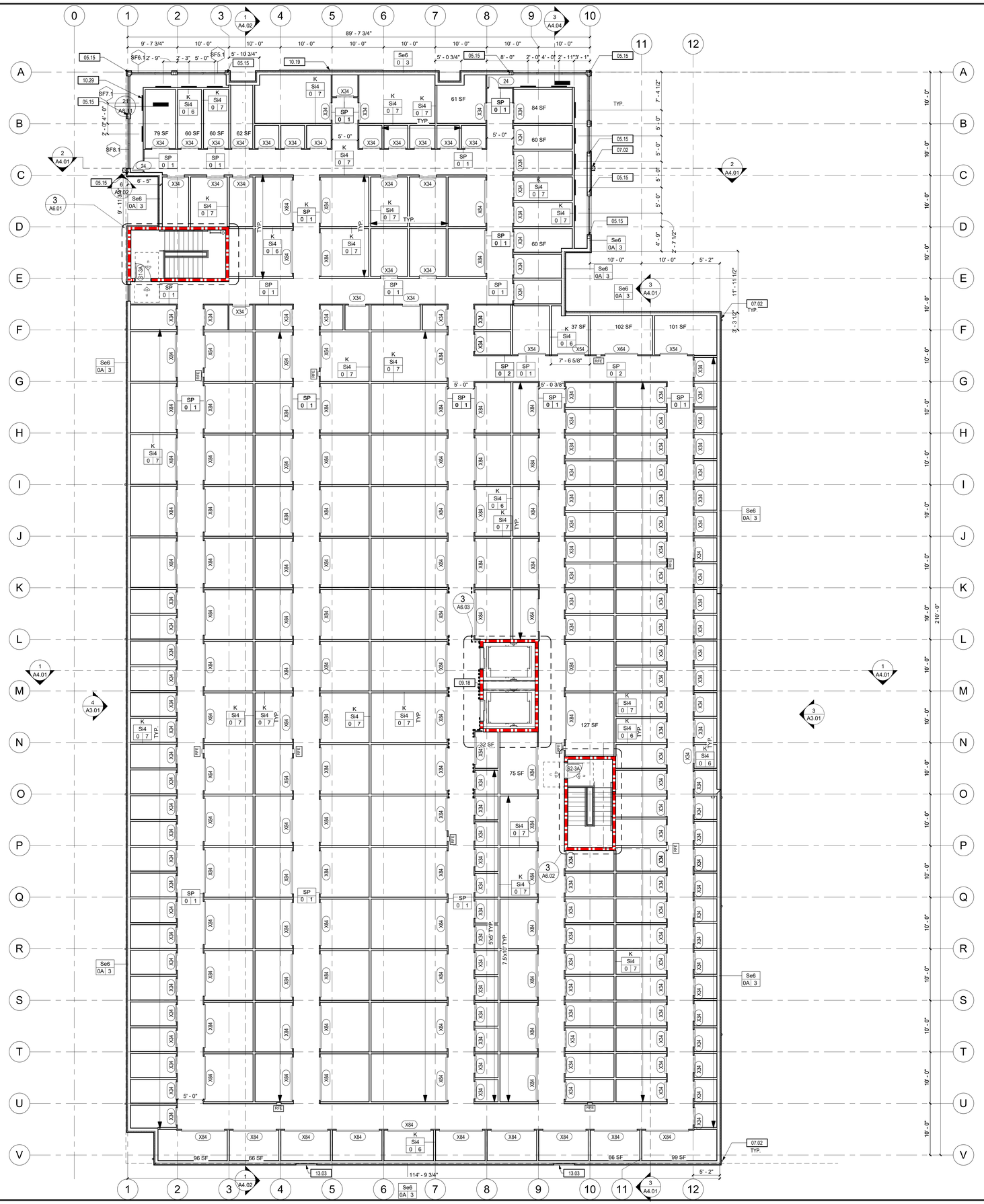
CHECKED BY:	DM

FLOOR PLAN - LEVEL 02

A2.02



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C. REFER TO A8 SERIES FOR SPECIFIC WALL ASSEMBLY INFORMATION
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LEGEND- FLOOR PLAN

FH	FIRE HYDRANT - REF. CIVIL
	BOLLARDS. REF CIVIL.
DS	DOWNSPOUT WITH BOOT PER. CIVIL.
	1HR RATED WALL. REF. A8.XX SERIES
	WALLS WITHIN 25FT OF ELEVATOR TO HAVE METAL WAINSCOT TO NEAREST CORNER
	INSULATED WALLS
RFE	RECESSED FIRE EXTINGUISHER
	ACCESSIBLE UNITS.REF. 1/G0.04

KEYNOTES:

#	NOTE
05.15	STEEL COLUMN, REF. STRUCTURAL. PAINT TO MATCH AJECENT WALL FINISH IF EXPOSED.
07.02	18ga, PRE-FINISHED ALUMINUM DOWNSPOUT PER S.M.A.C.N.A. RECOMMENDATIONS, SIZED PER ROOF DRAINAGE CALCULATIONS; COLOR PER EXTERIOR ELEVATIONS, PROTECTION BOOT AT BASE.REF. CIVIL
09.18	WALLS BY ELEVATOR HAVE STEEL WAINSCOT. REF WCSS SPECS. TYP.
10.19	10x20 AREA FOR BUILDING SIGNAGE, REF. ELEVATIONS. SIGNAGE UNDER SEPARATE PERMIT
10.29	SURFACE MOUNTED 3X8' FAUX ROLL-UP DOOR. JUNUS ROYAL BLUE. SPACE EQUALLY ON WALL
13.03	SURFACE MOUNTED FRAMING AND SPANDREL GLASS "WINDOW" MOUNTED OVER W.R.B. REF FAUX WINDOW DETAILS (A8.04) FOR SIZING

1 FLOOR PLAN - LEVEL 03
1/8" = 1'-0"

PROJECT NORTH

0' 2' 4' 8' 16'

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FLOOR PLAN - LEVEL 03

A2.03

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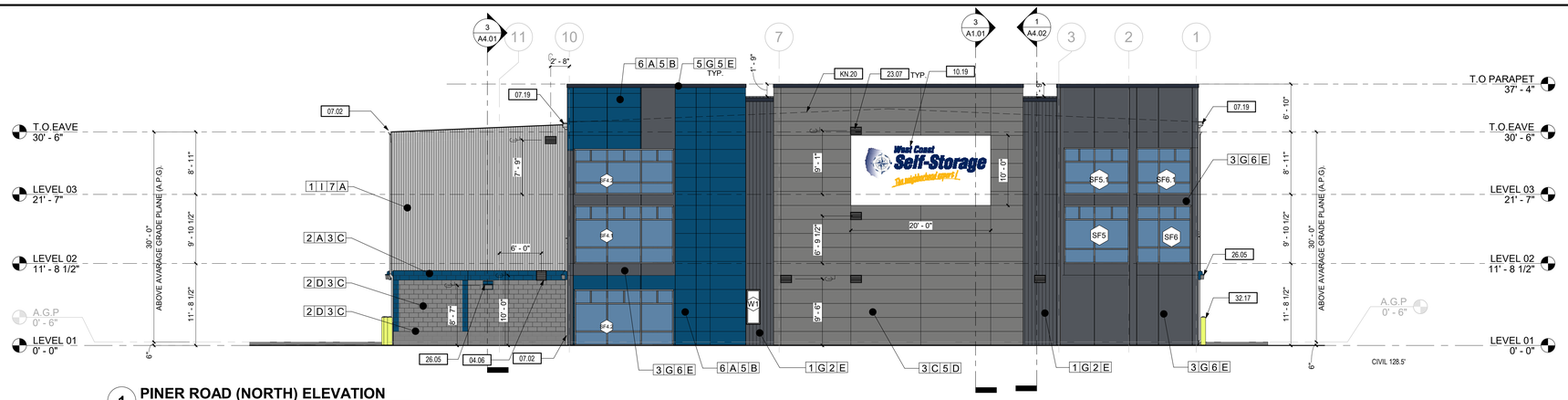
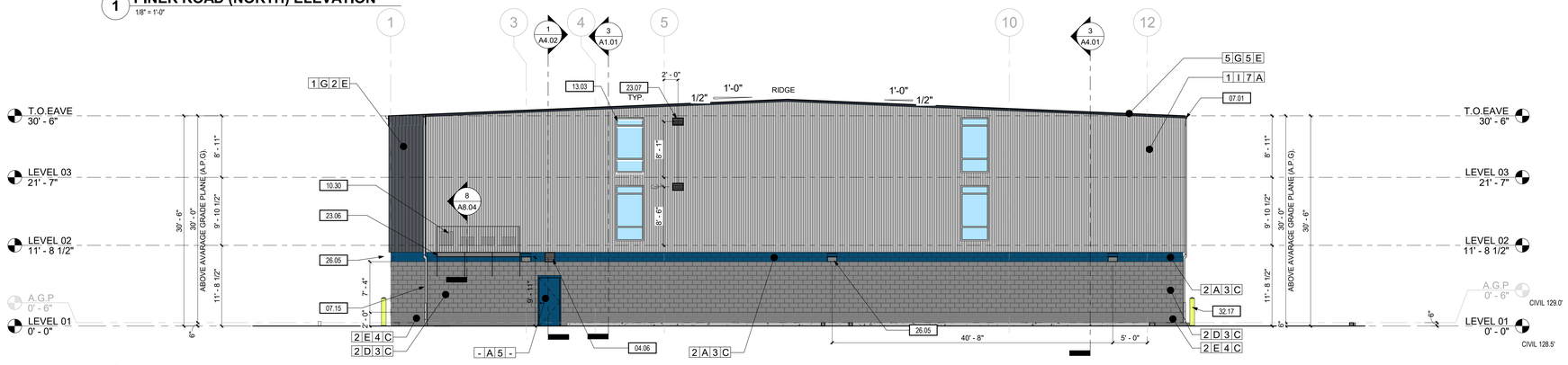


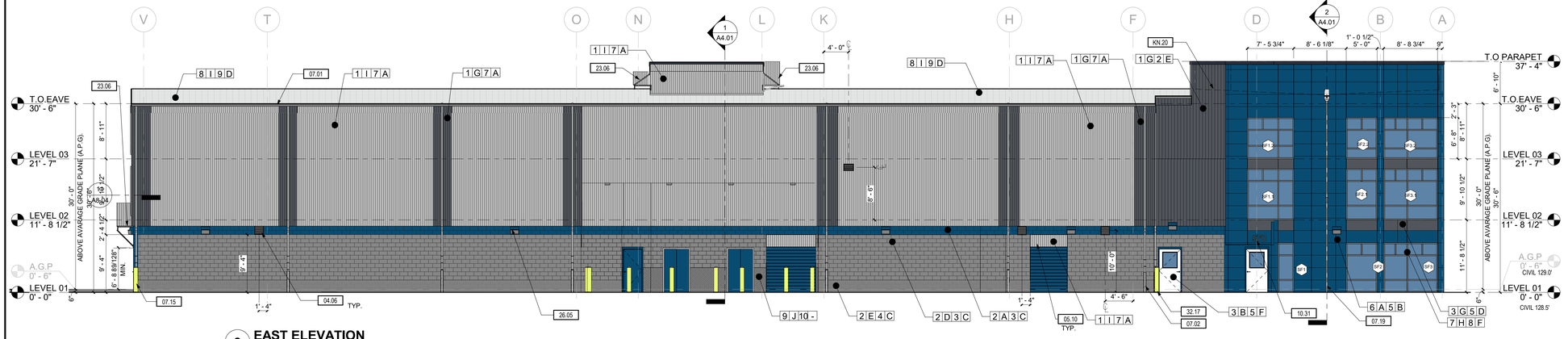
1 PINER ROAD (NORTH) ELEVATION

1/8" = 1'-0"



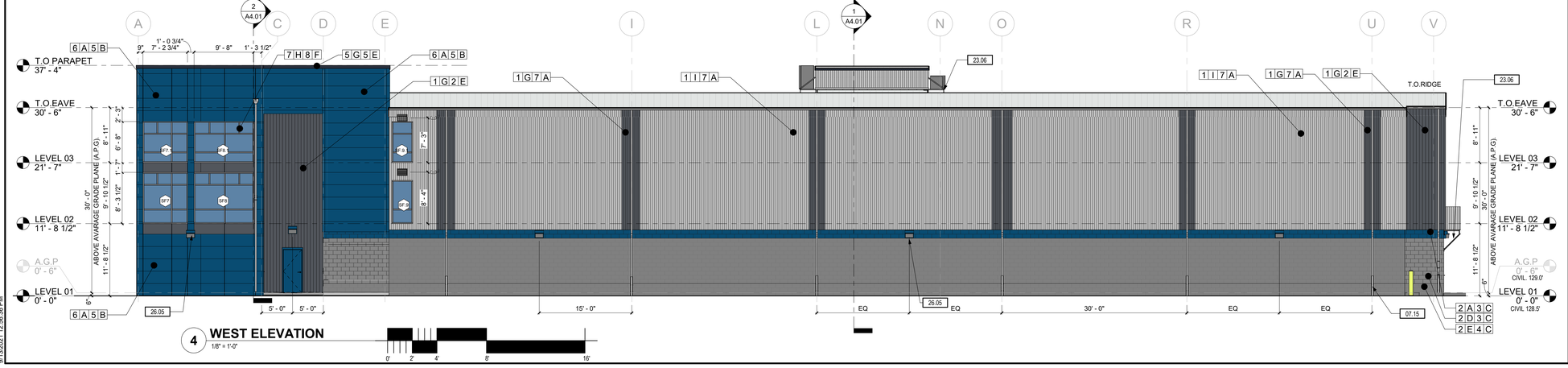
2 SOUTH ELEVATION

1/8" = 1'-0"



3 EAST ELEVATION

1/8" = 1'-0"



4 WEST ELEVATION

1/8" = 1'-0"

0' 2' 4' 8' 16'

SHEET NOTES:

A. REFER TO G0.01 FOR ABBREVIATIONS, SYMBOLS AND GENERAL PROJECT NOTES.
B. LOCATIONS OF DOORS AND WALLS PER PLAN. REFER TO SCHEDULES FOR ADDITIONAL INFORMATION.
C. COORDINATE ALL CONTROL JOINT LOCATIONS WITH ARCHITECT PRIOR TO INSTALL.
D. GALVANIZE EXPOSED EXTERIOR STEEL MEMBERS, SIZE PER STRUCTURAL TOUCH-UP WELD BURNS WITH GALVANIZING PAINT PRIOR TO APPLYING FINISH.
E. PROVIDE CONTINUOUS SUBSILLS WITH END DAMS, WELDED JOINTS AT ALL ALUMINUM FRAMING SYSTEMS.
F. AT JOINTS BETWEEN DISSIMILAR MATERIALS, PROVIDE CONTINUOUS MINIMUM 3/8" BACKER ROD AND SEALANT.
G. SUBMIT ALL EXTERIOR MATERIAL SAMPLES IN SINGLE SUBMITTAL. MATERIALS SUBMITTED SEPARATELY SHALL BE REJECTED.
H. MAINTAIN CODE REQUIRED SEPARATION BETWEEN ALL EXHAUST DISCHARGES AND OPERABLE OPENINGS OR PROPERTY LINE.
I. MAINTAIN CODE REQUIRED SEPARATION BETWEEN ALL EXHAUST DISCHARGES AND MECHANICAL INTAKES.
J. ALL EXTERIOR FINISHES SHALL TERMINATE AT AN INTERIOR CORNER U.N.O.
K. COORDINATE WITH ARCHITECT, CONSULTANTS AS NECESSARY LOCATION AND HEIGHTS OF EXTERIOR LOUVERS, HORNS, LIGHT FIXTURES, FIRE ALARM DEVICES PRIOR TO INSTALL.
L. COORDINATE WITH MANUFACTURER ALL VERTICAL AND HORIZONTAL FIBER CEMENT PANELS JOINTS OR BATTENS PER EXTERIOR ELEVATIONS.
M. EXTERIOR SOFFITS FINISH IS TO MATCH FASCIA U.N.O.
N. DAMPPROOFING TO BE TROWELED-ON U.N.O. IN SPECIFICATIONS.
O. EXPOSED CONCRETE WALL, COLUMNS, AND BEAMS FINISH CARBORUNDUM-RUBBED AND PAINTED, COLOR SELECTED BY ARCHITECT.
P. WITHIN MASONRY WALLS:
   1. EXTEND STEEL LINTELS MINIMUM 8" PAST EACH SIDE OF OPENING. PAINT ALL EXPOSED SURFACES BLACK
   2. PROJECT ROWLOCK/ SOLDIER BRICK ACCENT BANDS 5/8" FROM ADJACENT FINISH FACE OF FACADE.
   3. MASONRY WEEP HOLES AT 24" O.C. TYP. U.N.O. PER SPECIFICATIONS.
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MATERIAL LEGEND

X # X
PRODUCT — MANUFACTURER
COLOR — PROFILE

PRODUCTS
1. VERTICAL METAL SIDING
2. CONCRETE MASONRY UNITS
3. METAL PANELS
4. STANDING SEAM ROOFING
5. FLASHING
6. CEMENT BOARD PANEL (W/ PAINTED ALUMINUM EXTRUSIONS)
7. K700 SERIES STOREFRONT
8. STANDING SEAM ROOF SYSTEM
9. WAINSCOT

PROFILE / TEXTURE
1. 24ga SINEWAVE 2" PANELS
2. 24ga 4" BOX RIB PROFILE
3. GROUND FACE C.M.U.
4. SPLIT FACE C.M.U.
5. SMOOTH PANEL
6. 12" SMOOTH FACE
7. 24" BOLD RIB I
8. 2x4" MULLION
9. ULTRA DECK
10. DIAMOND PLATE

COLOR
A. SHERWIN WILLIAMS - 6804 DIGNITY BLUE
B. WHITE
C. SHERWIN WILLIAMS- 2849 WESTCHESTER GRAY
D. NATURAL
E. CHARCOAL
F. OLD TOWN GRAY (COLOR W25)
G. SLATE GRAY (COLOR W38)
H. ANODIZED
I. SOLAR WHITE
J. POLISHED ALUMINIUM

MANUFACTURER
A. CORRUGATED METALS INC.
B. JAMES HARDIE
C. MUTUAL MATERIALS
D. MBCI - METAL PRODUCTS
E. METAL SALES
F. KAWNEER

KEYNOTES:

#	NOTE
04.06	MASONRY OPENING. REF. STRUCTURAL STADANDARD MASONRY OPENING DETAIL
05.10	METAL PANELS OVER C.M.U AT EXTERIOR OVERHEAD DOORS. REF. DETAIL 6/A7.04.FINISH PER SCHEDULE (OR EXTERIOR ELEVATIONS)
07.01	PRE-FINISHED ALUMINUM GUTTERS PER S.M.A.C.N.A. RECOMMENDATIONS, SIZED PER ROOF DRAINAGE CALCULATIONS; COLOR PER EXTERIOR ELEVATIONS
07.02	18ga. PRE-FINISHED ALUMINUM DOWNSPOUT PER S.M.A.C.N.A. RECOMMENDATIONS, SIZED PER ROOF DRAINAGE CALCULATIONS; COLOR PER EXTERIOR ELEVATIONS, PROTECTION BOOT AT BASE.REF. CIVIL
07.15	4x3" DOWNSPOUT WITH A PROTECTION BOOT AT BASE. REF DETAIL ON (A8.04) . PAINT TO MATCH BUILDING
07.19	18ga. PRE-FINISHED ALUMINUM DOWNSPOUT WITH 5x16" OVERFLOW SCUPPER (REF. 15/A8.05) PER S.M.A.C.N.A. RECOMMENDATIONS, SIZED PER ROOF DRAINAGE CALCULATIONS; COLOR PER EXTERIOR ELEVATIONS, PROTECTION BOOT AT BASE OF DOWNSPOUT PER CIVIL
10.19	10x20 AREA FOR BUILDING SIGNAGE, REF. ELEVATIONS. SIGNAGE UNDER SEPARATE PERMIT
10.30	MECHANICAL EQUIPMENT SCREENING WALL. REF EXTERIOR DETAILS
10.31	PROJECT ADDRESS IN CONTRASTING COLORS, MIN LETTER HEIGHT 6", REVIEW WITH FIRE MARSHAL PRIOR FOR APPROVAL TO PURCHASE OR INSTALLATION
13.03	SURFACE MOUNTED FRAMING AND SPANDREL GLASS "WINDOW" MOUNTED OVER W.R.B. REF FAUX WINDOW DETAILS (A8.04) FOR SIZING
23.06	HEAT PUMP EQUIPMENT MOUNTED ON WALL PLATFORM. REF STRUCTURAL FOR DETAIL. SCREENING WALL TO MATCH BUILDING SIDING
23.07	LOUVER SIZES PER MECHANICAL PLANS.
26.05	SITE/EXTERIOR LIGHTING. WALL MOUNT AT 9'-0" AFF. REF. ELECTRICAL
32.17	BOLLARD LOCATED PER PLANS, DETAIL PER CIVIL, TYP.
KN.20	ROOF OUTLINE BEYOND

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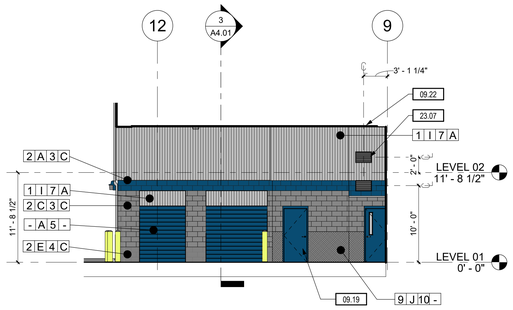
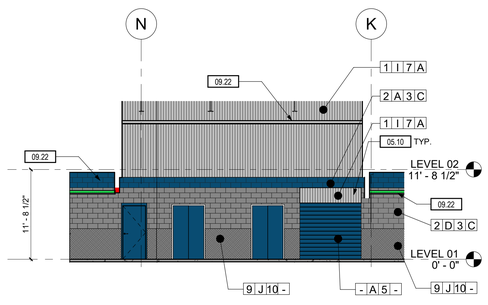
EXTERIOR ELEVATIONS

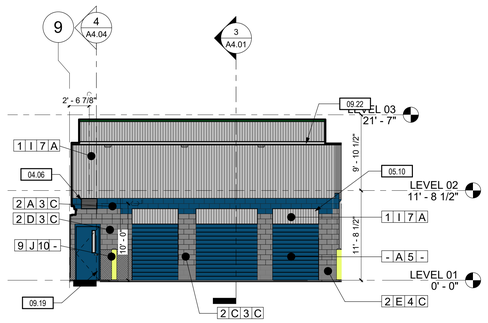
A3.01



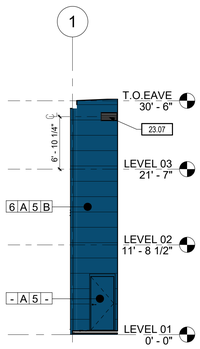
3 LOADING - SOUTH ELEVATION.
1/8" = 1'-0"



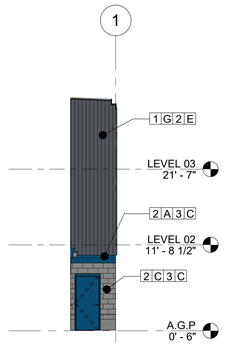
2 LOADING - WEST ELEVATION.
1/8" = 1'-0"



1 LOADING - NORTH ELEVATION.
1/8" = 1'-0"



6 Elevation 2 - a
1/8" = 1'-0"



5 WEST STAIR ENTRY - NORTH ELEVATION
1/8" = 1'-0"

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E. PROVIDE CONTINUOUS SUBSILLS WITH END DAMS, WELDED JOINTS AT ALL ALUMINUM FRAMING SYSTEMS.
F. AT JOINTS BETWEEN DISSIMILAR MATERIALS, PROVIDE CONTINUOUS MINIMUM 3/8" BACKER ROD AND SEALANT.
G. SUBMIT ALL EXTERIOR MATERIAL SAMPLES IN SINGLE SUBMITTAL. MATERIALS SUBMITTED SEPARATELY SHALL BE REJECTED.
H. MAINTAIN CODE REQUIRED SEPARATION BETWEEN ALL EXHAUST DISCHARGES AND OPERABLE OPENINGS OR PROPERTY LINE.
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L. COORDINATE WITH MANUFACTURER ALL VERTICAL AND HORIZONTAL FIBER CEMENT PANELS JOINTS OR BATTENS PER EXTERIOR ELEVATIONS.
M. EXTERIOR SOFFITS FINISH IS TO MATCH FASCIA U.N.O.
N. DAMPPROOFING TO BE TROWELED-ON U.N.O. IN SPECIFICATIONS.
O. EXPOSED CONCRETE WALL, COLUMNS, AND BEAMS FINISH CARBORUNDUM-RUBBED AND PAINTED, COLOR SELECTED BY ARCHITECT.
P. WITHIN MASONRY WALLS:
   1. EXTEND STEEL LINTELS MINIMUM 8" PAST EACH SIDE OF OPENING. PAINT ALL EXPOSED SURFACES BLACK
   2. PROJECT ROWLOCK/ SOLDIER BRICK ACCENT BANDS 5/8" FROM ADJACENT FINISH FACE OF FACADE.
   3. MASONRY WEEP HOLES AT 24" O.C., TYP. U.N.O. PER SPECIFICATIONS.
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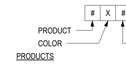
MATERIAL LEGEND



PRODUCTS
1. VERTICAL METAL SIDING
2. CONCRETE MASONRY UNITS
3. METAL PANELS
4. STANDING SEAM ROOFING
5. FLASHING
6. CEMENT BOARD PANEL (W/ PAINTED ALUMINUM EXTRUSIONS)
7. K700 SERIES STOREFRONT
8. STANDING SEAM ROOF SYSTEM
9. WAINSCOT

PROFILE / TEXTURE
1. 24ga SINEWAVE 2" PANELS
2. 24ga 4" BOX RIB PROFILE
3. GROUND FACE C.M.U.
4. SPLIT FACE C.M.U.
5. SMOOTH PANEL
6. 12" SMOOTH FACE
7. 24" BOLD RIB I
8. 2x4" MULLION
9. ULTRA DECK
10. DIAMOND PLATE

COLOR
A. SHERWIN WILLIAMS - 6804 DIGNITY BLUE
B. WHITE
C. SHERWIN WILLIAMS- 2849 WESTCHESTER GRAY
D. NATURAL
E. CHARCOAL
F. OLD TOWN GRAY (COLOR W25)
G. SLATE GRAY (COLOR W38)
H. ANODIZED
I. SOLAR WHITE
J. POLISHED ALUMINUM

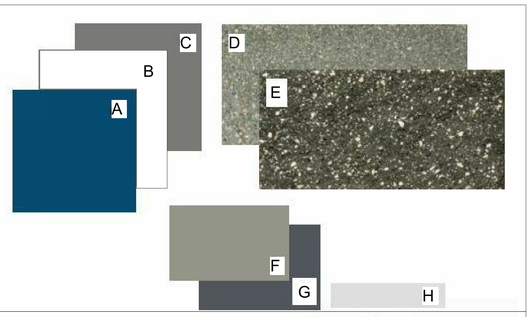
MANUFACTURER
A. CORRUGATED METALS INC.
B. JAMES HARDIE
C. MUTUAL MATERIALS
D. MBCI - METAL PRODUCTS
E. METAL SALES
F. KAWNEER

KEYNOTES:

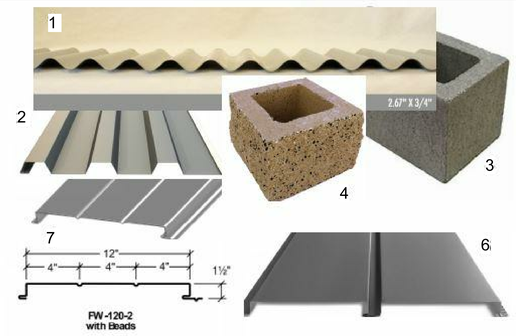
#	NOTE
04.06	MASONRY OPENING. REF. STRUCTURAL STADANDARD MASONRY OPENING DETAIL
05.10	METAL PANELS OVER C.M.U AT EXTERIOR OVERHEAD DOORS. REF. DETAIL 6/A7.04.FINISH PER SCHEDULE (OR EXTERIOR ELEVATIONS)
09.19	DOOR PAINT COLOR SHERWIN WILLIAMS DIGNITY BLUE
09.22	SOFFIT & FRAMING OVER LOADING REF. RCP FOR SOFFIT DETAILS. REF. STRUCTURAL DRAWINGS FOR FRAMING DETAILS
23.07	LOUVER SIZES PER MECHANICAL PLANS.

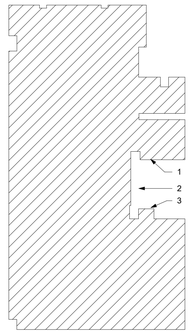
MATERAIL PALLETTE

COLOR



PROFILE/ MATERIAL





ELEVATION - KEY PLAN
1" = 40'-0"
TRUE NORTH

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EVERENTT WA, 98204

WCSS - SANTA ROSA
970 PINER RD,
SANTA ROSA, CA 95404

DATE	NO.	DESCRIPTION
07/24/21	2	DESIGN REVIEW - DR21-004

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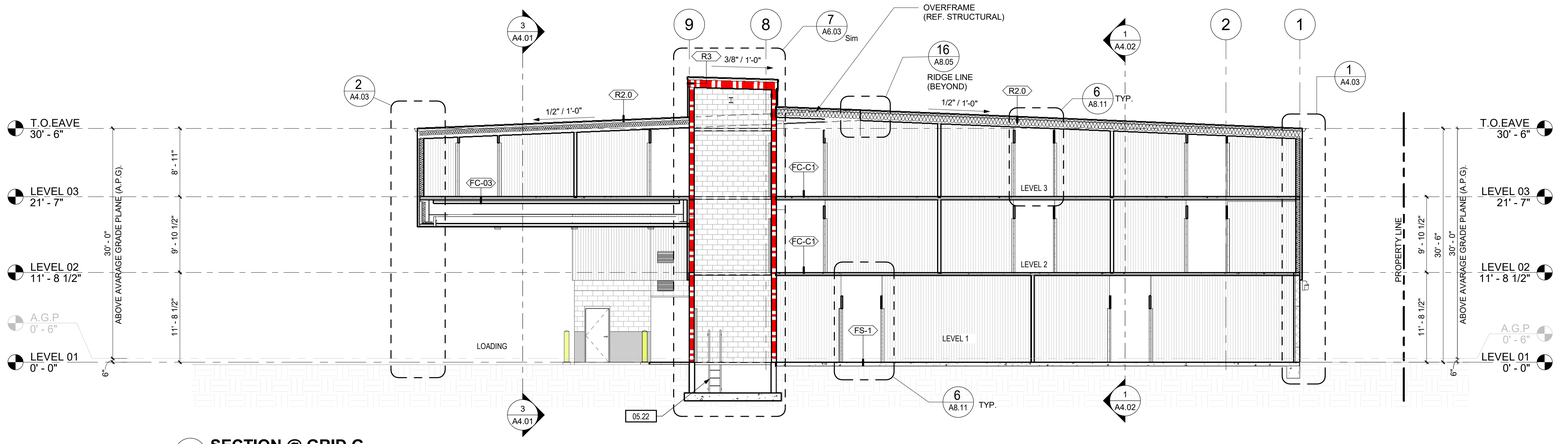
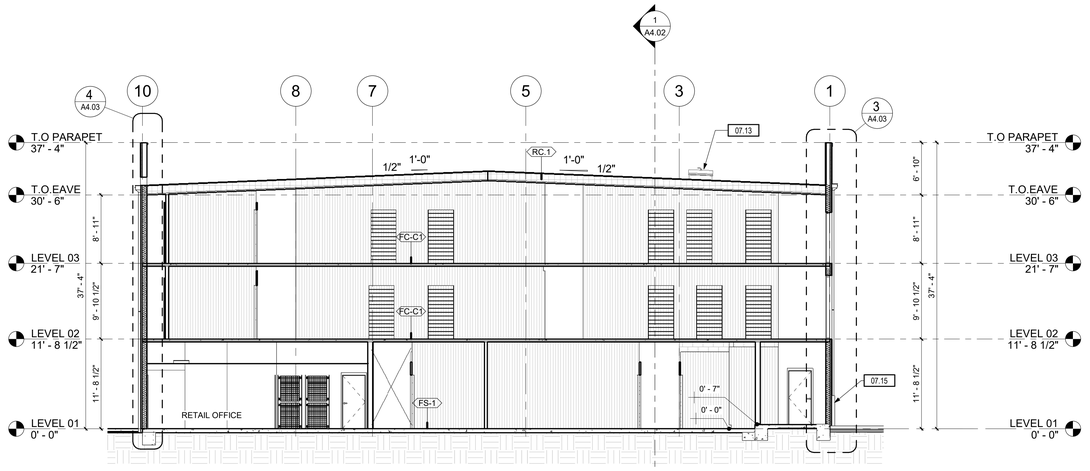
PROJECT NO.:	20143
PROJECT MGR.:	LH
DRAWN BY:	AK
CHECKED BY:	D.M

EXTERIOR ELEVATIONS

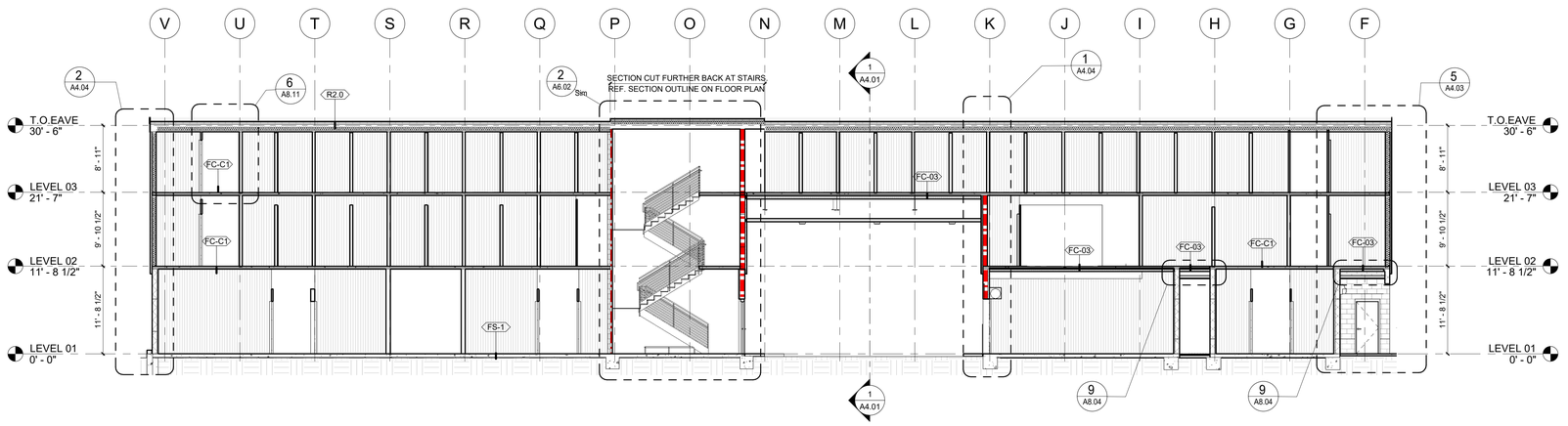
A3.02



1 **SECTION @ GRID G**
1/8" = 1'-0"



2 **SECTION @ GRID C**
1/8" = 1'-0"



3 **SECTION @ GRID 11**
1/8" = 1'-0"

WALL SECTION NOTES

A. REFER TO G0.01 FOR ABBREVIATIONS, SYMBOLS AND GENERAL PROCEDURAL NOTES.
B. REFER TO WINDOW AND DOOR SCHEDULES FOR SILL HEIGHTS, ETC.
C. REFER TO FINISH FLOOR PLANS, INTERIOR ELEVATIONS, AND FINISH SCHEDULES FOR INTERIOR FINISH MATERIALS AND TRANSITIONS.
D. REFER TO EXTERIOR DETAILS FOR TYPICAL ROOF AND FLASHING DETAILS.
E. REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR FINISH MATERIALS PATTERNS AND COLORS.
F. REFER TO STRUCTURAL DRAWINGS FOR ALL FOOTING, BRACING, AND SUPPORT COMPONENTS.
G. THROUGH-WALL COUNTERFLASHING SHALL BE APPROPRIATE TWO-PIECE PREFINISHED SHEET METAL PER S.M.A.C.N.A. MANUAL FIG 4-4D U.O.N.
H. ALL PENETRATION FIRESTOP ASSEMBLIES SHALL MATCH THE RATINGS OF THE ASSEMBLIES THEY PENETRATE.
I. PROVIDE AND INSTALL BLOCKING, BRACING AND STRAPPING FOR CABINETS, GRAB BARS, M.E.P. EQUIPMENT, AND ALL OTHER ITEMS THAT REQUIRE SUPPORT. FOR METAL FRAMING REF. SHEET A8.02 FOR BACKING PLATE DETAILS AND INFORMATION.
J. GENERAL NOTES ON THIS PAGE DO NOT EXCLUDE NOTES ELSEWHERE. THIS DOCUMENT SET IS COMPLIMENTARY. NOTES ON OTHER SHEETS MAY HAVE BEARING/APPLICATION TO WORK SHOWN ON THIS SHEET.

KEYNOTES:

#	NOTE
05.22	ELEVATOR LADDER. REF A7.12 FOR LADDER DETAIL AND VERIFY ELEVATOR WITH MANUFUCTURE FOR PLACEMENT LOCATION
07.13	ROOF ACCESS HATCH PER PLANS, 36x 36" (U.N.O.); THERMALLY BROKEN WITH INTEGRAL INSULATED CURB BILCO TYPE E-50TB OR APPROVED EQUAL
07.15	4x3" DOWNSPOUT WITH A PROTECTION BOOT AT BASE. REF DETAIL ON (A8.04) . PAINT TO MATCH BUILDING

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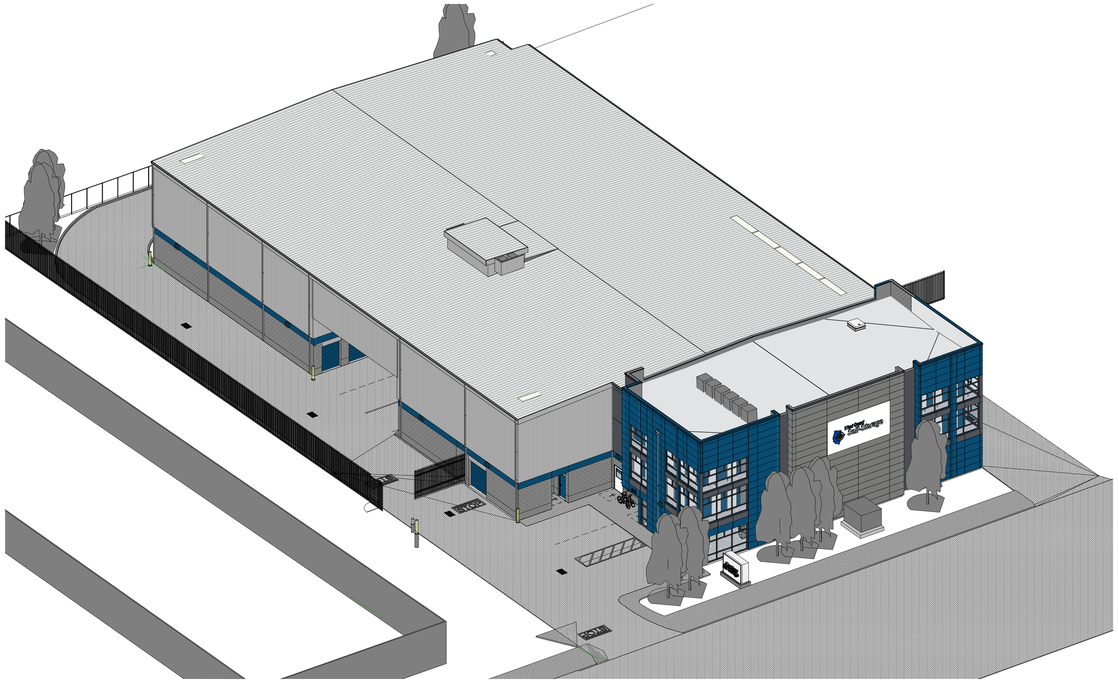
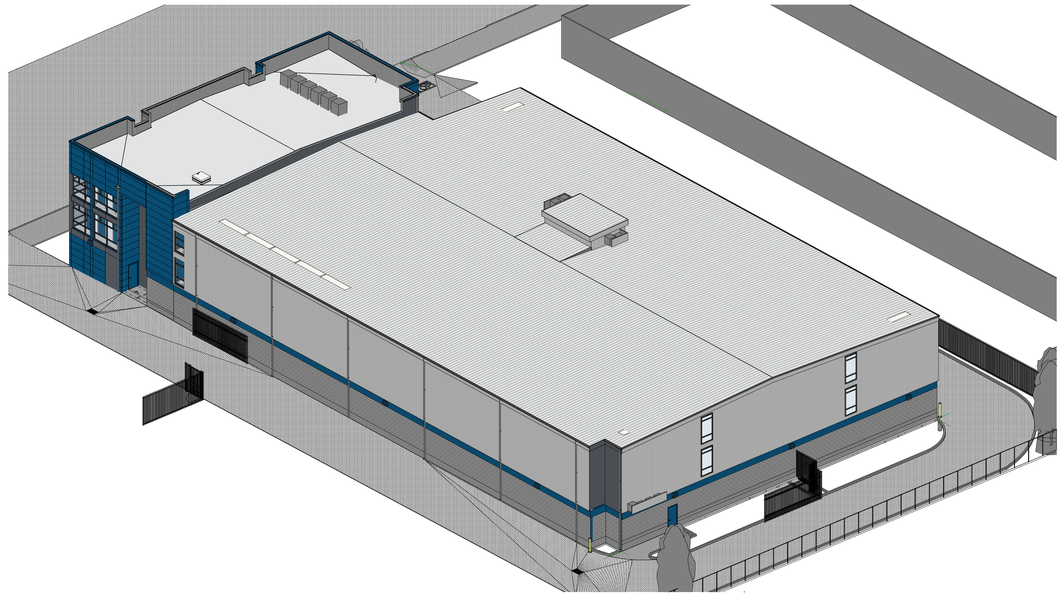
BUILDING SECTIONS

A4.01



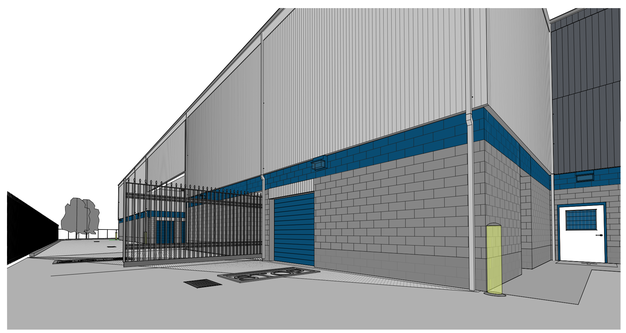
2 NORTH EAST - AERIAL VIEW



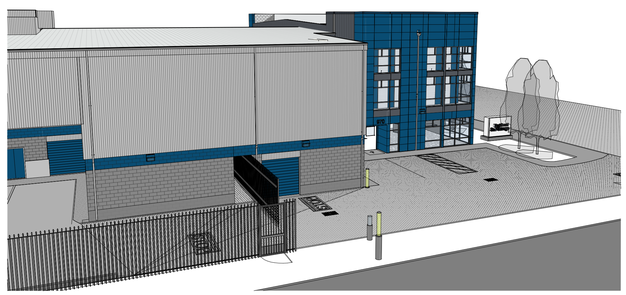
1 SOUTH WEST - AERIAL VIEW

4 NORTH EAST - PERSPECTIVE VIEW

3 NORTH WEST - PERSPECTIVE VIEW



7 LOADING AT GATE



6 LOADING FROM THE EAST

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CHECKED BY:	RAM

PROJECT IMAGERY

A10.01

9/13/2021 3:14:39 PM