

# 2056 DENNIS LANE - FRONT FENCE REPLACEMENT

## 2056 DENNIS LANE

### SANTA ROSA, CA 95403

**RECEIVED**  
By *Hana Michaelson* at 1:58 pm, Jun 06, 2025

### DRAWING INDEX

Sheet Number	Sheet Title
G-1	TITLE SHEET, DRAWING INDEX, GENERAL NOTES & VICINITY MAP
A-1	SITE PLAN
A-2	SITE PLAN WITH AERIAL IMAGERY



MICHELANGELO ARENALES ROMERO  
DESIGNER  
175 F STONEGATE CIR/CL  
CLOVERDALE, CA 95425  
707.483.0536  
tangible\_ds@mail.com  
©Copyright 2020

REVISIONS		
NO.	DATE	DESCRIPTION
1	05/23/24	PLAN CHECK
2	04/24/25	PLAN CHECK
---	---	---
---	---	---
---	---	---

APPROVED BY :

### GENERAL NOTES

- ALL WORK TO CONFORM TO THE FOLLOWING REQUIREMENTS (AS ADOPTED BY AUTHORITIES HAVING JURISDICTION WITH AMENDMENTS):  
STATE OF CALIFORNIA TITLE 24 (2022 EDITION) - PART 1 BUILDING STANDARDS ADMINISTRATIVE CODE  
STATE OF CALIFORNIA TITLE 24 (2022 EDITION) - PART 2 / VOL. 1 CALIFORNIA BUILDING CODE  
STATE OF CALIFORNIA TITLE 24 (2022 EDITION) - PART 2 / VOL. 2 CALIFORNIA BUILDING CODE  
STATE OF CALIFORNIA TITLE 24 (2022 EDITION) - PART 2.5 CALIFORNIA RESIDENTIAL BUILDING CODE  
STATE OF CALIFORNIA TITLE 24 (2022 EDITION) - PART 3 CALIFORNIA ELECTRICAL CODE  
STATE OF CALIFORNIA TITLE 24 (2022 EDITION) - PART 4 CALIFORNIA MECHANICAL CODE  
STATE OF CALIFORNIA TITLE 24 (2022 EDITION) - PART 5 CALIFORNIA PLUMBING CODE  
STATE OF CALIFORNIA TITLE 24 (2022 EDITION) - PART 6 CALIFORNIA ENERGY CODE  
STATE OF CALIFORNIA TITLE 24 (2022 EDITION) - PART 9 CALIFORNIA FIRE CODE  
STATE OF CALIFORNIA TITLE 24 (2022 EDITION) - PART 11 CALIFORNIA GREEN BUILDING STANDARDS CODE
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND OBTAIN ALL PERMITS, LICENSES, AND PAY REQUIRED FEES.
- THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS, DIMENSIONS TO THE PROPERTY LINES, AND EXISTING CONSTRUCTION ADJACENT TO, AND BEING ALIGNED WITH NEW CONSTRUCTION PRIOR TO COMMENCING WORK AND NOTIFY THE DESIGNER IMMEDIATELY OF ANY CONFLICTS BETWEEN THE ACTUAL FIELD CONDITIONS, THOSE SHOWN IN THE DRAWINGS AND THOSE STATED WITHIN THE BUILDING CODES.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND THE COMPLETION OF SAID WORK. THE CONTRACTOR SHALL REVIEW ALL MATERIALS AND WORKMANSHIP, AND REJECT DEFECTIVE WORK WITHOUT WAITING FOR THE DESIGNER / OWNER TO REJECT THE WORK.
- THE CONTRACTOR SHALL CLEAN UP AREAS AFFECTED BY DAILY WORK, AND REMOVE DEBRIS AND MATERIALS FORM THE SITE UPON COMPLETION OF THE WORK. AT THE END OF THE PROJECT, THE CONTRACTOR SHALL CLEAN THE PROJECT AREA, ITEMS INCLUDED, BUT ARE NOT LIMITED TO, FLOORS, WALLS, CEILINGS, PLUMBING FIXTURES, APPLIANCES AND THE SURROUNDINGS AREA OF THE PROJECT.
- WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. IF DIMENSIONAL CLARIFICATIONS ARE REQUIRED, CONTRACTOR SHALL NOTIFY THE DESIGNER PRIOR TO COMMENCING THAT PORTION OF THE WORK.
- DIMENSIONS SHOWN ON PLANS ARE TO FACE OF FRAMING OR FACE OF CONCRETE UNLESS OTHERWISE NOTED OR DETAILLED.
- ANY DISCREPANCY OR CONFLICT BETWEEN VARIOUS ELEMENTS ON THE PLANS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO PROCEEDING WITH ANY WORK.
- TYPICAL DETAILS SHALL APPLY WHERE NO SPECIAL DETAIL IS SHOWN.
- ALL MATERIAL SHALL BE NEW AND QUALITY ACCEPTABLE. ALL MATERIALS SHALL MEET ASTM STANDARDS AND ALL APPLICABLE ORDINANCES. CONDEMNED MATERIALS SHALL BE PROMPTLY REMOVED AND ANY DAMAGE CAUSED BY SUCH REMOVAL MADE GOOD AT NO COST TO THE OWNER.
- ALL METAL COMPONENTS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED OR EQUAL.
- PROVIDE SEALANT AT ALL PENETRATIONS NOT DETAILED OTHERWISE.
- CONSTRUCTION ACTIVITIES SHALL COMPLY WITH APPLICABLE ZONING ORDINANCE AND MUNICIPAL CODE PERFORMANCE STANDARDS (NOISE, DUST, COOR, ETC.)

### NOTE FOR OWNER AND CONTRACTOR

THESE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED FOR USE BY AN EXPERIENCED CONTRACTOR, WHO WILL BE RESPONSIBLE FOR INTERPRETATION OF THE INFORMATION INCLUDED IN THESE PLANS, FOR COORDINATION OF THE WORK BETWEEN TRADES, AND FOR COMPLETION OF THE CONSTRUCTION PHASE OF THE PROJECT CONSISTENT WITH THE CONSTRUCTION DOCUMENTS AND GENERALLY ACCEPTED STANDARDS OF PRACTICE. THESE CONSTRUCTION DOCUMENTS ARE A "BUILDER SET" THAT INCLUDE NECESSARY INFORMATION FOR GENERAL CONSTRUCTION AND BUILDING PERMIT PURPOSES ONLY. THE OWNER AND CONTRACTOR ARE RESPONSIBLE FOR SELECTING MATERIALS, FINISHES, FIXTURES, APPLIANCES, AND SIMILAR ITEMS FOR THE PROJECT AND FOR ALL ASPECTS OF INSTALLATION AND QUALITY CONTROL. IT IS UNDERSTOOD AND AGREED THAT THE SERVICES PERFORMED BY TANGIBLE DESIGN STUDIO ARE LIMITED TO THE DESIGN AND PREPARATION OF THE CONSTRUCTION DOCUMENTS AND THAT TANGIBLE DESIGN STUDIO HAS NO CONTROL WHATSOEVER WITH REGARD TO THE CONSTRUCTION PHASE AND COMPLIANCE WITH THE APPROVED PLANS. THE OWNER AND CONTRACTOR, THEIR HEIRS AND ASSIGNS, SHALL INDEMNIFY, HOLD HARMLESS AND DEFEND TANGIBLE DESIGN STUDIO FROM ANY AND ALL CLAIMS OF ANY PERSON OR ENTITY ARISING OUT OF THE CONSTRUCTION PERFORMED.

### PROJECT INFORMATION

**PROJECT SCOPE:**  
REPLACE EXISTING 6'-0" HIGH WOOD FENCE WITH A 2'-0" HIGH CONCRETE BASE AND 4'-0" IRON FENCE ON TOP OF CONCRETE FOR A TOTAL OF 6'-0" HIGH FENCE.

**BUILDING AND SITE DATA:**

ADDRESS: 2056 DENNIS LN., SANTA ROSA, CA. 95403  
ZONING: RR-20-RC  
APN: 059-010-027

LOT AREA: 1.0 AC. (43,560 S.F.)

(E) MAIN RESIDENCE: 2,977 S.F.  
(E) CAR GARAGE: 609 S.F.  
(E) DETACHED ADU: 1,146 S.F.  
(N) FENCE: 182'-3" LINEAR FEET.

FENCE MAX. HEIGHT: 6'-0"

### CONTACT INFORMATION

**BUILDING OWNER:** MICHAEL WOLFF  
2056 DENNIS LANE  
SANTA ROSA, CA. 95403  
PHONE: 707.799.4905

**DESIGNER:** MICHELANGELO ARENALES  
TANGIBLE DESIGN STUDIO  
175 F STONEGATE CIR.  
CLOVERDALE, CA. 95425  
PHONE: 707.483.0536

### DEFERRED SUBMITTAL

- LANDSCAPE DESIGN & DOCUMENTATION
- ENCROACHMENT PERMIT

ANY IMPROVEMENTS, PROPOSED OR REQUIRED, WITHIN THE PUBLIC WAY OR ANY EXISTING PUBLIC SEWER OR WATER EASEMENTS SHALL BE REVIEWED AND APPROVED WITH AN ENCROACHMENT PERMIT APPLICATION. ONLY CONSTRUCTION PLANS SUBMITTED WITH THE ENCROACHMENT PERMIT APPLICATION ARE FINAL PLANS AND WILL BE APPROVED FOR CONSTRUCTION. SUBMIT PLANS SHOWING ALL WORK IN THE PUBLIC RIGHT OF WAY, OR IN PUBLIC EASEMENTS, INCLUDING ALL WORK ON PUBLIC UTILITIES (WATER METER BOXES, SEWER LATERAL CLEANOUTS, BACKFLOW DEVICES, ETC.)

IT IS THE OWNER/BUILDER RESPONSIBILITY TO PROVIDE AND COORDINATE THIS WORK AND TO OBTAIN ALL RELEVANT PERMITS. THIS WORK SHALL COMPLY WITH APPLICABLE CODES, THE BUILDING INSPECTOR, FIRE DEPARTMENT, AND ANY OTHER AUTHORITY HAVING JURISDICTION. SUCH WORK SHALL NOT PROCEED UNTIL ALL REQUIREMENTS REGARDING ENGINEERING, SUBMISSIONS AND REVIEWS HAVE BEEN SATISFIED AND APPROVED BY THE BUILDING INSPECTOR.

### ABBREVIATIONS

&	AND	C.R.	CLEAR	F.F.	FINISH FLOOR	L.A.M.	LAMINATE	P.L.Y.W.D.	PLYWOOD	SPEC.	SPECIFICATION
∠	ANGLE	C.O.	CLEAN OUT	F.E.	FIRE EXTINGUISHER	L.A.V.	LAVATORY	P.R.	PAPER	SQ.	SQUARE
@	AT	C.O.L.	COLUMN	F.F.C.	FIRE HOSE CABINET	L.H.R.	LOCKER	P.L.	PAINT	S.S.T.	STAINLESS STEEL
~	CENTERLINE	C.O.N.C.	CONCRETE	F.N.L.	FIRE HOSE	L.T.	LIGHT	P.T.	PRESSURE TREATED	S.S.W.	SERVICE SINK
Ø	DIAMETER OR ROUND	C.O.N.N.	CONNECTION	F.L.A.S.H.	FLASH	M.A.T.	MATERIAL	P.T.D.	PAPER TONEL DISPENSER	S.T.A.	STATION
#	POUND OR NUMBER	C.O.N.S.T.R.	CONSTRUCTION	F.L.O.R.	FLOOR	M.A.X.	MAXIMUM	P.T.N.	PARTITION	S.T.D.	STANDARD
(E)	EXISTING	C.O.N.T.	CONTINGIOUS	F.L.U.R.	FLUORESCENT	M.C.	MEDICINE CABINET	P.T.R.	PAPER TONEL RECEPTACLE	S.T.L.	STEEL
(N)	NEW	C.O.R.R.	CORRIDOR	F.O.C.	FACE OF CONCRETE	M.E.C.H.	MECHANICAL	P.U.E.	PUBLIC UTILITY EASEMENT	S.T.O.R.	STORAGE
(D)	DEMOLISHED	C.O.U.N.T.E.R.	COUNTERTOP	F.O.F.	FACE OF STUD	M.E.M.B.	MEMBRANE	P.V.C.	POLYVINYL-CHLORIDE	S.T.R.L.	STRUCTURAL
A.B.	ANCHOR BOLT	C.T.R.	CENTER	F.F.S.	FRONT FULL SIZE	M.E.T.	METAL	Q.T.	QUARRY TILE	S.U.S.	SUSPENDED
A.C.	ASPHALT CONCRETE	D.B.L.	DOUBLE	F.F.	FOOT OR FEET	M.F.R.	MANUFACTURER	R.	RIBBER	S.Y.M.	SYMMETRICAL
A.C.O.U.E.	ACQUISITION	D.E.P.T.	DEPARTMENT	F.F.T.	FOOTING	M.K.	MARKING	R.A.D.	RADIUS	T.R.D.	TREAD
A.S.	AREA DRAIN	D.F.	DOUGLAS FIR	F.F.U.R.	FURRING	M.N.	MINIMUM	R.O.	ROOF DRAIN	T.O.C.	TOP OF CURB
A.D.L.	ADJUSTABLE	D.E.T.	DETAIL	F.F.U.T.	FUTURE	M.N.C.	MISCELLANEOUS	R.R.	RRORR	T.O.D.	TOP OF DOWN
A.G.G.R.	AGGREGATE	D.M.	DRAWER	G.A.	GAUGE	M.O.	MOUNTED	R.E.F.	REFERENCE	T.B.	TONGUE AND GROOVE
A.L.	ALUMINUM	D.O.S.P.	DOWNSPOUT	G.A.L.V.	GALVANIZED	M.O.S.	MASONRY OPENING	R.E.F.R.	REFRIGERATOR	T.A.G.	THICK
A.P.P.R.O.X.	APPROXIMATE	D.O.S.P.	DOWNSPOUT	G.E.N.	GENERAL	M.T.L.	MOUNTED	R.E.N.F.	REINFORCED	T.H.K.	THICK
A.R.C.H.	ARCHITECTURAL	D.O.S.P.	DOWNSPOUT	G.L.U.C.	GLUE	M.U.L.	MULLION	R.E.S.	RESIDENT	T.O.P.	TOP OF PAVEMENT
A.S.B.	ASBESTOS	D.O.S.P.	DOWNSPOUT	G.L.U.C.	GLUE	N.	NORTH	R.E.S.	RESIDENT	T.O.P.	TOP OF WALL
A.S.P.H.	ASPHALT	D.O.S.P.	DOWNSPOUT	G.L.U.C.	GLUE	N.I.C.	NOT IN CONTRACT	R.E.S.	RESIDENT	T.V.	TELEVISION
B.O.	BOARD	D.W.D.	DRAWING	G.M.M.	GALVANIZED SHEET METAL	N.O.C.	NOT TO SCALE	R.O.	ROOF OPENING	T.Y.P.	TYPICAL
B.T.U.L.	BUTANOLUS	E.A.	EAST	G.Y.P.	GYPSUM	N.O.M.	NOMINAL	R.W.O.	REDWOOD		
B.L.G.	BUILDING	E.E.	EACH	H.B.	HOSE BIBB	N.O.S.	NOT TO SCALE	R.W.L.	RAIN WATER LEADER	U.N.F.	UNFINISHED
B.L.K.	BLOCK	E.E.L.	ELEVATION JOINT	H.C.	HOLLOW CORE	N.T.S.	NOT TO SCALE	R.U.L.	RAIN WATER LEADER	U.N.L.	UNLESS OTHERWISE NOTED
B.L.G.S.	BLOODING	E.L.C.	ELEVATOR	H.D.	HOLD DOWN	O.A.	OVERALL	S.	SOUTH	U.O.N.	UNLESS OTHERWISE NOTED
B.M.	BEAM	E.M.E.R.	EMERGENCY	H.O.W.D.	HARDWOOD	O.B.S.	ON CENTER	S.C.	SOLID CORE	V.E.R.T.	VERTICAL
B.O.	BOTTOM OF	E.N.C.L.	ENCLOSURE	H.O.W.E.	HARDWARE	O.C.	ON CENTER	S.C.	SOLID CORE	V.E.R.T.	VERTICAL
B.T.W.	BETWEEN	E.N.C.L.	ENCLOSURE	H.O.W.E.	HARDWARE	O.C.	ON CENTER	S.C.	SOLID CORE	V.E.R.T.	VERTICAL
C.A.B.	CABINET	E.Q.	EQUAL	H.O.R.	HORIZONTAL	O.D.	OUTSIDE DIAMETER	S.S.D.	SEE STRUCTURAL DRAWINGS	W.	WEST
C.B.	CATCH BASIN	E.Q.P.T.	EQUIPMENT	H.R.	HOUR	O.F.F.	OFFICE	S.C.H.E.D.	SCHEDULE	W.	WEST
C.E.M.	CEMENT	E.Q.P.T.	EQUIPMENT	H.O.T.	HOT	O.P.N.G.	OPENING	S.C.H.E.D.	SCHEDULE	W.C.	WATER CLOSET
C.E.R.	CERAMIC	E.X.P.	EXPANDED	H.O.T.	HOT	O.P.N.G.	OPENING	S.C.H.E.D.	SCHEDULE	W.D.	WOOD
C.L.	CAST IRON	E.X.P.	EXPANDED	I.N.S.U.L.	INSULATION	P.R.C.S.T.	PRE-CAST	S.H.	SHIELD	W.O.	WITHOUT
C.L.G.	CEILING	E.X.T.	EXTERIOR	I.N.T.	INTERIOR	P.R.E.F.A.B.	PREFABRICATED	S.H.W.R.	SHOWER	W.P.	WATER PROOF
C.L.G.	CEILING	F.A.	FIRE ALARM	J.S.T.	JOIST	P.L.	PLATE	S.H.W.R.	SHOWER	W.P.	WATER PROOF
C.L.G.	CEILING	F.B.	FLOOR BOARD	J.T.	JOINT	P.L.A.M.	PLASTIC LAMINATE	S.H.W.R.	SHOWER	W.P.	WATER PROOF
C.L.G.	CEILING	F.F.	FLOOR FINISH	K.T.	KITCHEN	P.L.A.S.T.	PLASTIC	S.H.W.R.	SHOWER	W.P.	WATER PROOF
C.L.O.	CLOSET	F.F.N.	FLOOR FINISH	K.T.	KITCHEN	P.L.B.	PLUMBING	S.H.W.R.	SHOWER	W.P.	WATER PROOF

### DRAWING SYMBOLS LEGEND

<b>ROOM NAME</b>	<b>ROOM NAME</b>		<b>ENLARGED FLOOR OR DETAIL TARGET</b>
	ROOM NUMBER		ENLARGED PLAN SHEET SHEET
	WINDOW OR STOREFRONT TAG		EXTERIOR ELEVATION TARGET
	SIGN TAG		EXTERIOR ELEVATION SHEET NUMBER
	WALL TAG		WALL SECTION / DETAIL TARGET
	GRID LINE		WALL SECTION SHEET NUMBER
	ELEVATION (SECTION OR ELEVATION VIEW)		DETAIL TARGET
	SPOT ELEVATION (PLAN VIEW)		DETAIL SECTION NUMBER
	MATCH LINE		DETAIL SECTION SHEET NUMBER
	DRAWING REVISION		INTERIOR ELEVATION TARGET
	BUILDING SECTION TARGET		INTERIOR ELEVATION SHEET NUMBER

### VICINITY MAP



PROJECT NAME : 2056 DENNIS LANE - FRONT FENCE REPLACEMENT

PROJECT NUMBER : 2406

DATE : 03/09/24

DRAWN : MAR

CHECKED : MAR

SHEET TITLE  
TITLE SHEET, DRAWING INDEX, GENERAL NOTES & VICINITY MAP

SHEET NUMBER

G-1



MICHELANGELO ARENALES ROMERO  
DESIGNER  
175 F STONEGATE CIRCLE  
CLOVERDALE, CA 95425  
707.483.0536  
tangible\_ds@mail.com  
©Copyright 2020

REVISIONS	
NO.	DESCRIPTION
1	05/23/24 PLAN CHECK
2	04/24/25 PLAN CHECK
---	---
---	---
---	---

APPROVED BY:

PROJECT NAME: 2056 DENNIS LANE - FRONT FENCE REPLACEMENT

PROJECT ADDRESS: 2056 DENNIS LANE  
SANTA ROSA CA 95403  
OWNER'S NAME: MICHAEL WOLFF  
OWNER'S ADDRESS: 2056 DENNIS LANE  
SANTA ROSA CA 95403

PROJECT NUMBER: 2406

DATE: 03/09/24

DRAWN: MAR

CHECKED: MAR

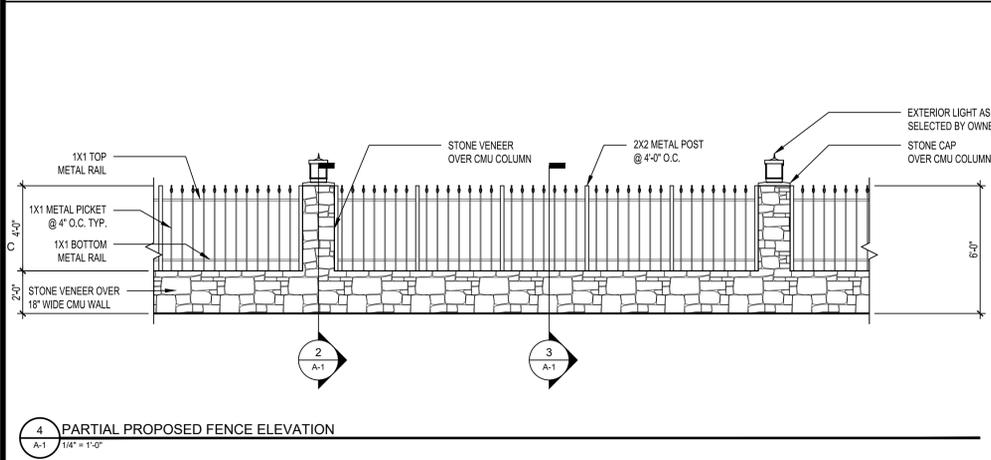
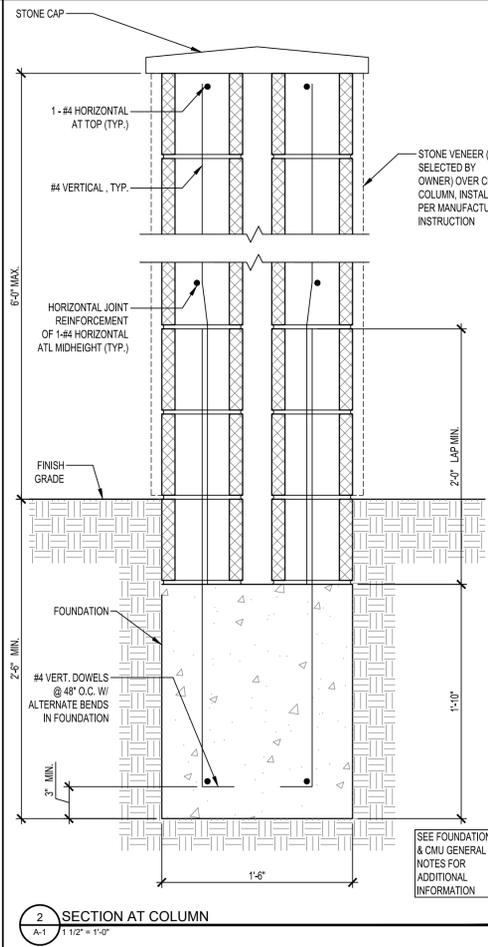
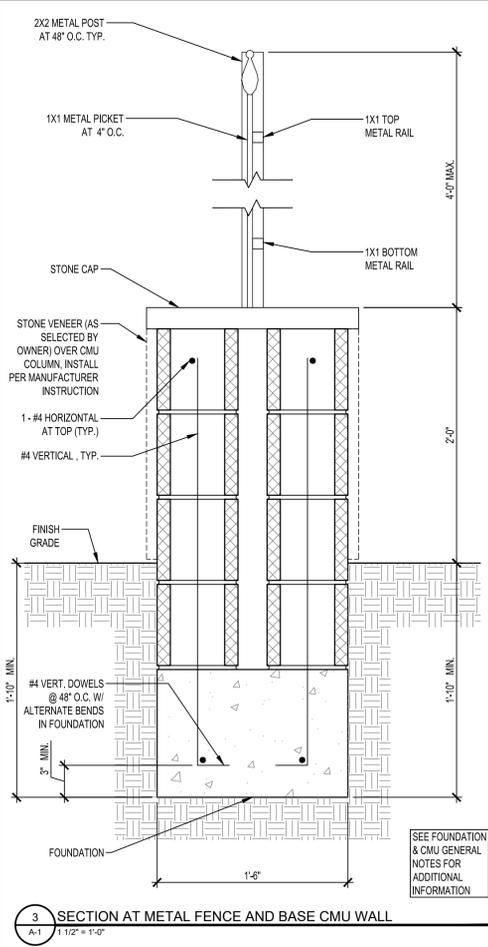
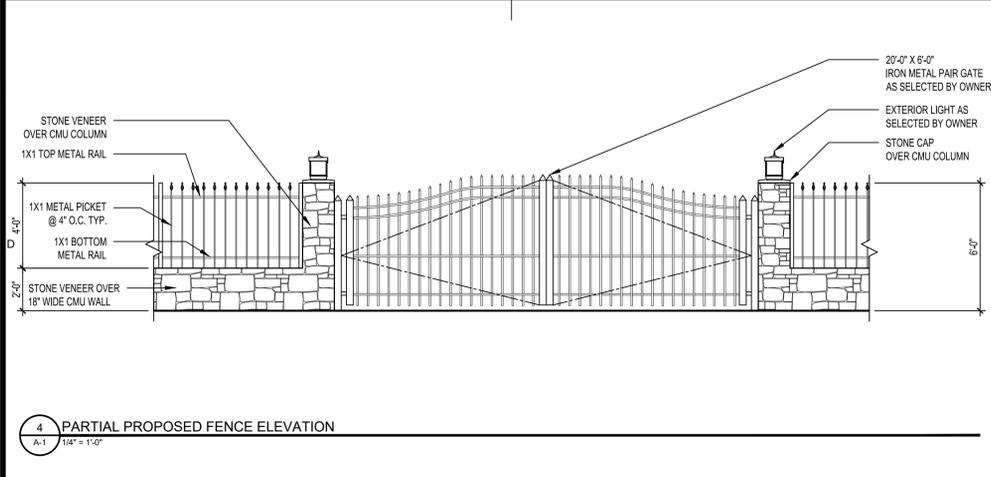
SHEET TITLE: SITE PLAN

SHEET NUMBER

A-1

### FOUNDATION AND CMU GENERAL NOTES

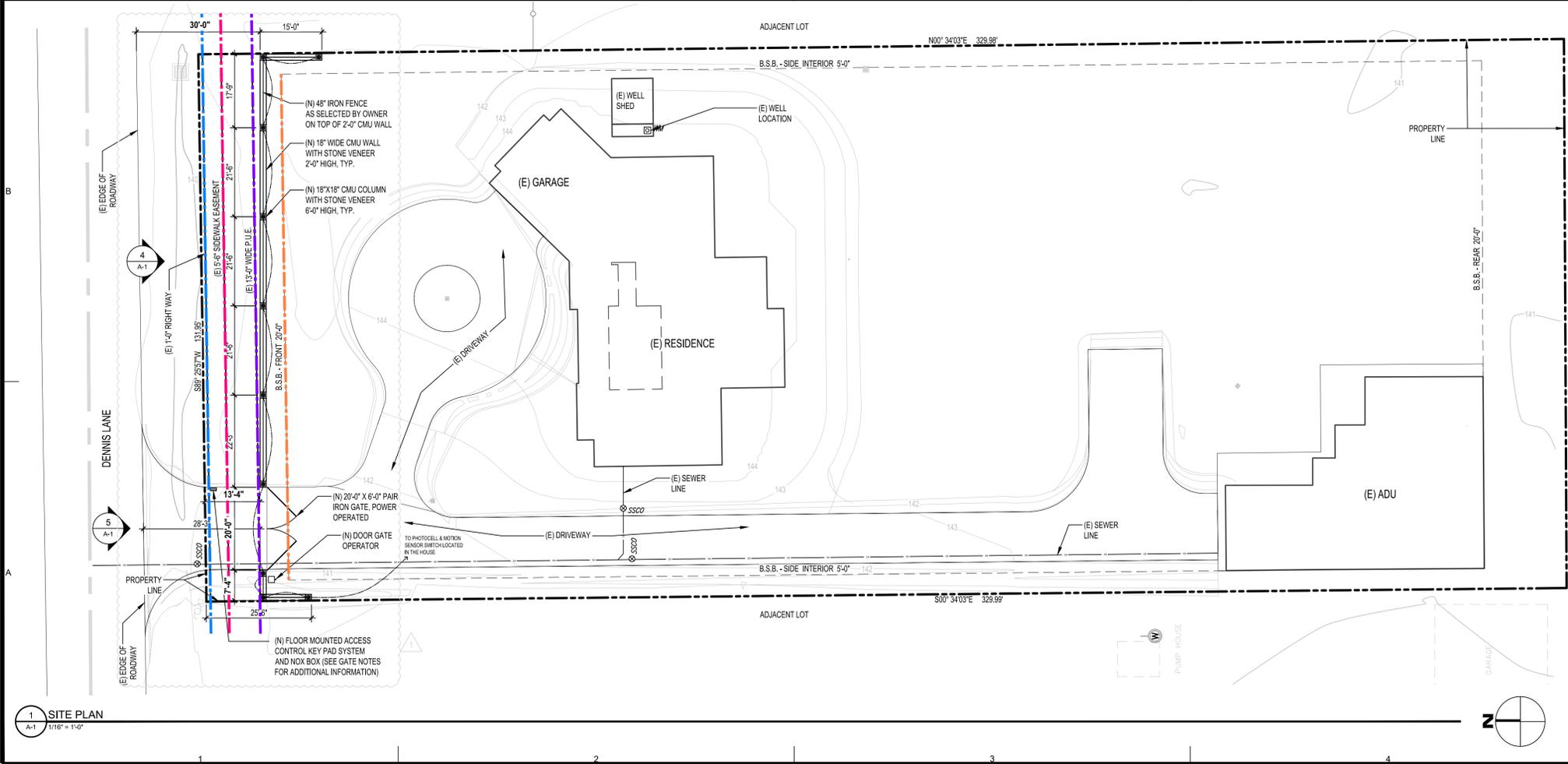
- CONCRETE MIX FOR FOOTING TO BE 1 PART CEMENT TO 2.5 PARTS SAND TO 3.5 PARTS GRAVEL WITH A MAXIMUM OF 7.5 GALLONS OF WATER PER SACK OF CEMENT/ MINIMUM FC = 2,500 PSI.
- CONCRETE BLOCK UNITS SHALL CONFORM TO ASTM C90
- REINFORCING STEEL TO BE DEFORMED AND CONFORMED TO ASTM STANDARD A615 GRADE 40 OR GRADE 60
- REBAR SHALL BE CENTERED IN THE CONCRETE BLOCK CELL IN WHICH IT IS LOCATED
- CONCRETE BLOCK UNITS SHALL BE PLACED IN A RUNNING BAND WITH HEAD JOINTS IN SUCCESSIVE COURSES HORIZONTALLY OFFSET AT LEAST ONE-QUARTER THE UNIT LENGTH.
- CONCRETE BLOCK UNITS TO HAVE VERTICAL CONTINUITY OF CELLS UNOBSTRUCTED. ALL CELLS CONTAINING REINFORCING SHALL BE SOLID GROUTED (VERTICAL AND HORIZONTAL REINFORCEMENT). CELLS NOT CONTAINING REINFORCING SHALL NOT BE GROUTED.
- MORTAR MIX FOR CONCRETE TO BE 1 PART CEMENT TO 0.5 PART LIME TO 3 PARTS DAMP LOOSE SAND.
- GROUT MIX FOR CONCRETE BLOCK WALL TO BE 1 PART CEMENT TO 3 PARTS SAND TO WHICH MAY BE ADDED NOT MORE THAN 0.1 PART LIME. SUFFICIENT WATER TO BE ADDED TO PRODUCE CONSISTENCY FOR POURING WITHOUT SEGREGATION OF CONSTITUENTS. THE GROUT MAY CONTAIN 2 PARTS PEA GRAVEL, MAXIMUM SIZE 3/8"
- BLOCK FENCE MAY BE PLACED IN THE CENTER OF THE "I" TYPE FOUNDATION AND AT EITHER EDGE TO "L" TYPE FOUNDATION.
- A FIRST INSPECTION IS REQUIRED WHEN TRENCHES ARE READY FOR CONCRETE AND ALL REQUIRED STEEL IS TIED IN PLACE. A SECOND INSPECTION IS REQUIRED WHEN FIRST HORIZONTAL BAR AND ALL VERTICAL BARS ARE IN PLACE BUT NOT GROUTED.
- FOUNDATION MUST BE POURED AGAINST UNDISTURBED SOIL WITH NO APPRECIABLE SLOPE OF SIDEWALLS ON ALL TYPES OF FOUNDATION.
- HEIGHT OF FENCE SHALL COMPLY WITH ALL PROVISIONS OF THE ZONING CODE.



### SITE NOTES

- THE CONTRACTOR SHALL EMPLOY EROSION AND STORM WATER POLLUTION CONTROL MEASURES IN COMPLIANCE WITH ALL LAWFULLY ENACTED STORM WATER MANAGEMENT AND/OR EROSION CONTROL ORDINANCES.
- SWEEP OR SCRAPE UP SOILS TRACKED ONTO THE ROAD AT THE END OF EACH DAY. DO NOT HOSE INTO STREET, GUTTER OR STORM.
- REVEGETATE DISTURBED AREAS. EXPOSED BARE DIRT SHALL BE COVERED WITH MULCH, JUT NETTING OR OTHER EROSION CONTROL BLANKET.
- ALL TEMPORARY STOCKPILE SHALL BE COVERED WITH 6 MIL PLASTIC SHEETS, SUITABLE ANCHORED TO PREVENT EROSION. LOCATION ON SITE IS AS CONTRACTOR'S SOLE DISCRETION.
- THE SITE SHALL BE MONITORED BY THE CONTRACTOR/OWNER AFTER RAIN EVENT TO VERIFY EROSION CONTROL MEASURES ARE FUNCTIONING.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES AN ENCROACHMENT PERMIT.

- GATE NOTES:
- POWER OPERATED GATE SHALL BE EQUIPPED WITH A KNOX BOX OR OTHER EMERGENCY RELEASE DEVICE APPROVED BY THE CITY OF SANTA ROSA FIRE CHIEF.
  - THE BOX SHALL BE INSTALLED ON A GATE SUPPORT PILLAR OR POST ADJACENT TO THE GATE. THE BOX MUST BE VISIBLE TO ANYONE APPROACHING THE GATE ALL THE TIMES.
  - OWNER SHALL PROVIDE THE APPROVED DEVICE AT THE DISCRETION OF THE FIRE CODE OFFICIAL.
  - OWNER SHALL BE MAINTAINED UNOBSTRUCTED AN IN GOOD CONDITION FOR VEHICULAR USAGE ALL THE TIME.





MICHELANGELO ARENALES ROMERO  
 DESIGNER  
 175 F STONEGATE CIRCLE  
 CLOVERDALE, CA 95425  
 707.483.0536  
 tangible\_ds@mail.com  
 ©Copyright 2020

REVISIONS

NO.	DATE	DESCRIPTION
1	05/23/24	PLAN CHECK
2	04/24/25	PLAN CHECK
--	--	--
--	--	--
--	--	--

APPROVED BY:



1 SITE PLAN  
 A-1 1/16" = 1'-0"



PROJECT NAME :  
**2056 DENNIS LANE - FRONT FENCE**

PROJECT ADDRESS :  
 2056 DENNIS LANE  
 SANTA ROSA CA 95403  
 OWNERS NAME :  
**MICHAEL WOLFF**  
 OWNERS ADDRESS :  
 2056 DENNIS LANE  
 SANTA ROSA CA 95403

PROJECT NUMBER : 2406

DATE :  
**03/09/24**

DRAWN : MAR

CHECKED : MAR

SHEET TITLE  
**SITE PLAN WITH  
 AERIAL IMAGERY**

SHEET NUMBER

**A-2**