SITE PLAN - PODIUM AND FIRE ACCESS DIAGRAM

CARITAS CENTER - FLOOR PLAN - LEVEL

CARITAS CENTER - FLOOR PLAN - LEVEL 2

CARITAS CENTER - FLOOR PLAN - LEVEL 3

CARITAS HOMES PHASE I - LEVEL 1 PLAN

CARITAS HOMES PHASE I - LEVEL 2 PLAN

CARITAS HOMES PHASE I - LEVEL 3 PLAN

CARITAS HOMES PHASE I - LEVEL 4 PLAN

CARITAS CENTER - ELEVATIONS - NORTH / SOUTH

CARITAS HOMES PHASE I - SECTIONS - NORTH / SOUTH

CARITAS HOMES PHASE I - SECTIONS - EAST / WEST

CARITAS CENTER - ELEVATIONS - EAST / WEST

CARITAS HOMES PHASE I - ROOF PLAN

CARITAS CENTER - ROOF PLAN

CARITAS CENTER - SECTIONS

CARITAS HOMES - ELEVATIONS

CARITAS HOMES - ELEVATIONS

COLOR & MATERIALS BOARD

CARITAS CENTER - SITE LIGHTING

CARITAS HOMES - EXTERIOR LIGHTING PLAN

CARITAS HOMES - LGIHTING PLAN - LEVEL 2

CARITAS HOMES - EXTERIOR FIXTURES

SITE ELEVATIONS

SIGNAGE

SITE PLAN

A2.01

A2.03

A2.04

A2.11

A2.12

A2.13

A2.14

A2.15

A3.10

A3.20

A3.30

A3.31

A3.41

A3.50

A3.60

A3.70

E1.00

E1.01

E3.01

05 - ELECTRICAL

BUILDING CODE SUMMARY

THIS PROJECT SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING STANDARDS CODE.

PARCEL A: CARITAS CENTER

MIXED OCCUPANCY INCLUDES:

TYPE IIIB CONSTRUCTION, FIRE SPRINKLERS NFPA-13 EMERGENCY ESCAPE OPENINGS ARE REQUIRED AT RESIDENTIAL OCCUPANCIES.

A-2 ASSEMBLY FOOD/DRINK (DINING ROOM) A-3 ASSEMBLY >50 (CLASSROOM, HOMELESS SERVICE CENTER) B BUSINESS (PROFESSIONAL/SERVICE OFFICES)

E (CHILDREN'S PROGRAM ROOMS) R-1 TRANSIENT RESIDENTIAL OVER 30 (FAMILY SUPPORT CENTER) R-2 CONGREGATE RESIDENCE (TRANSITIONAL RESIDENTIAL PROGRAM) S STORAGE

U UTILITY ANY REQUIRED OCCUPANCY SEPARATIONS ARE 1 HOUR PER CBC TABLE 508.4. FIRE SEPARATION DISTANCE IS > 30' ON ALL SIDES. EXTERIOR WINDOWS MAY BE NON-RATED PER CBC TABLE 705.8.

PARAPETS MAY BE NON-RATED. ALLOWABLE BUILDING AREA IS SUFFICIENT TO OMIT FIRE WALLS. ACCESSIBILITY IS PER CBC CH. 11B TRANSIENT LODGING GUEST ROOM ACCESSIBILITY PER 11B-224, 11B-806 ALL BATHING/TOILET FACILITIES TO BE FULLY ACCESSIBLE.

MOBILITY AND HEARING/VISION ACCESSIBLE ROOMS PER CBC TABLES 11B-224.2 AND .4.

PARCELS C AND B: CARITAS HOMES PHASE I, AND CARITAS HOMES PHASE II:

TYPE VA CONSTRUCTION, FIRE SPRINKLERS NFPA-13R EMERGENCY ESCAPE OPENINGS ARE REQUIRED AT RESIDENTIAL OCCUPANCIES GROUND FLOOR CONCRETE GARAGE PODIUM CONSTRUCTION IS ALSO TYPE VA. MIXED OCCUPANCY INCLUDES:

A-3 ASSEMBLY >50 (COMMUNITY ROOM) B BUSINESS (MANAGEMENT/SERVICE OFFICES) R-2 RESIDENTIAL APARTMENT BUILDING S STORAGE (GARAGE, BICYCLES) U UTILITY

ANY REQUIRED OCCUPANCY SEPARATIONS ARE 1 HOUR PER CBC TABLE 508.4. FIRE SEPARATION DISTANCE IS > 30' ON TWO SIDES. EXTERIOR WINDOWS MAY BE NON-RATED PER CBC TABLE 705.8. PARAPETS MAY BE NON-RATED. ALLOWABLE BUILDING AREA IS SUFFICIENT TO OMIT FIRE WALLS.

ACCESSIBILITY IS PER CBC CH. 11B AND 11A, ELEVATOR-SERVED BUILDING. 10% MOBILITY ACCESSIBLE AND 4% HEARING/VISION ACCESSIBLE UNITS PER CH 11B. ALL OTHER UNITS TO BE FULLY ADAPTABLE PER CH. 11A.

THESE BUILDINGS WILL APPLY FOR GREENPOINT RATING AND EXPECT TO SCORE GOLD.

PROJECT DESCRIPTION

CATHOLIC CHARITIES OF THE DIOCESE OF SANTA ROSA AND BURBANK HOUSING DEVELOPMENT CORPORATION ARE PARTNERING ON THIS PROJECT TO BRING FORWARD A PROJECT THAT ADDRESSES THE URGENT HOUSING NEEDS OF OUR COMMUNITY. CARITAS VILLAGE HAS TWO COMPONENTS: CARITAS CENTER AND CARITAS HOMES. THE CARITAS CENTER WILL CENTRALIZE CATHOLIC CHARITIES' SERVICES AND PROGRAMS CURRENTLY ON THE SITE -- THE FAMILY SUPPORT CENTER AND HOMELESS SERVICES CENTER -- BY CONSOLIDATING THEM INTO A SINGLE COMPREHENSIVE HOMELESS SUPPORT SERVICES FACILITY. BURBANK HOUSING WILL DEVELOP AND MANAGE CARITAS HOMES AND WILL PROVIDE UP TO 128 UNITS OF PERMANENT, AFFORDABLE RENTAL HOUSING.

CARITAS VILLAGE INCLUDES THE FOLLOWING: 1. PARCEL A: CARITAS CENTER (MIXED USE SERVICE AND EMERGENCY SHELTER FACILITY INCLUDING TRANSITIONAL HOUSING)

2. PARCEL C: CARITAS HOMES PHASE I (64 UNITS AFFORDABLE HOUSING) 3. PARCEL B: CARITAS HOMES PHASE II (64 UNITS AFFORDABLE HOUSING)

THIS PROJECT REQUESTS THE FOLLOWING ENTITLEMENTS 1. GENERAL PLAN AMENDMENT

2. SPECIFIC PLAN AMENDMENT REZONING

4. PARCEL MAP 5. CONDITIONAL USE PERMIT (SHELTER USE)

6. HOUSING ALLOCATION PLAN HEIGHT CONCESSION 7. LANDMARK ALTERATION PERMIT(S)

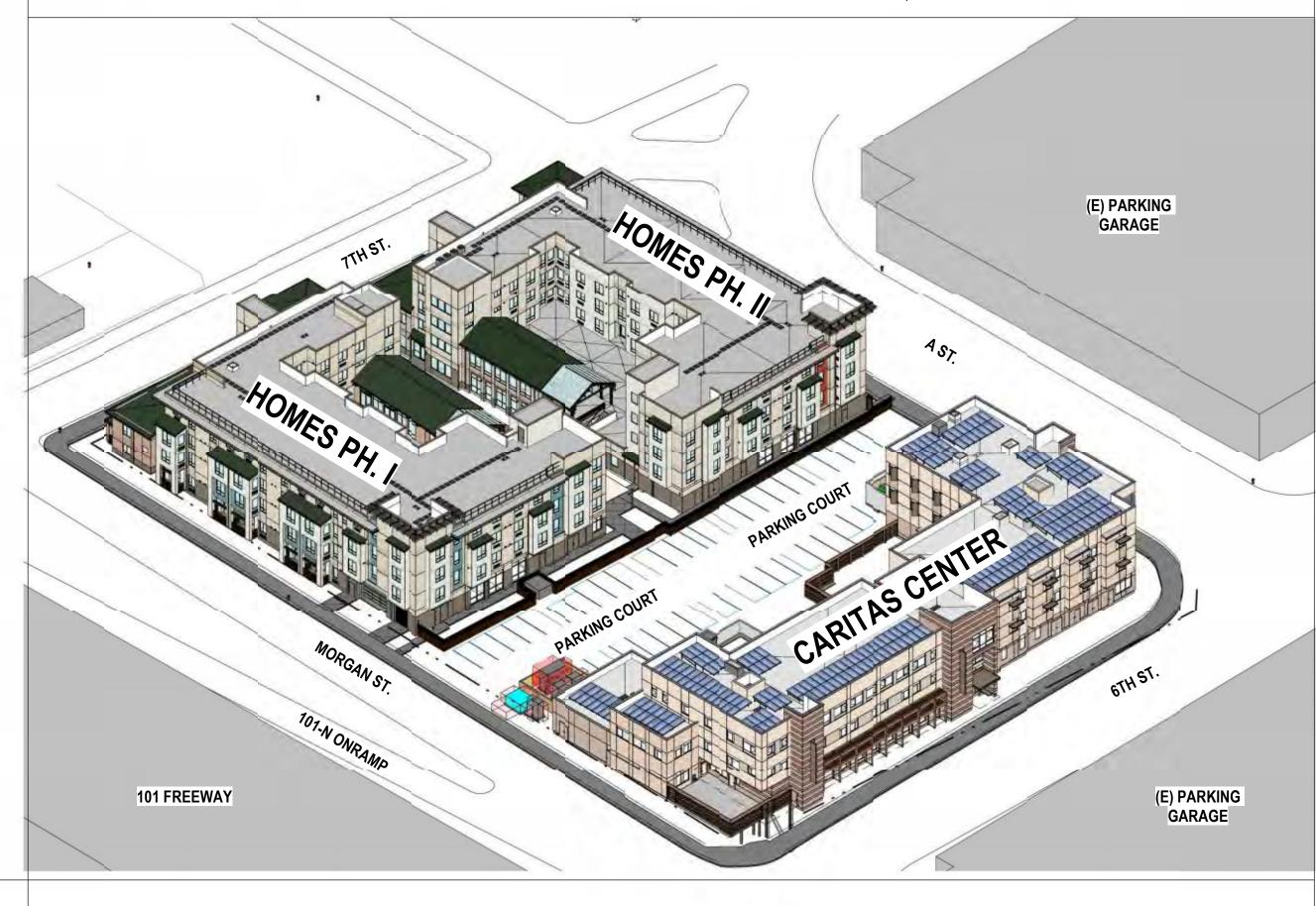
8. PRELIMINARY AND FINAL DESIGN REVIEW 9. PARKING REDUCTION

10. SIGN PERMIT 11. TREE REMOVAL PERMIT

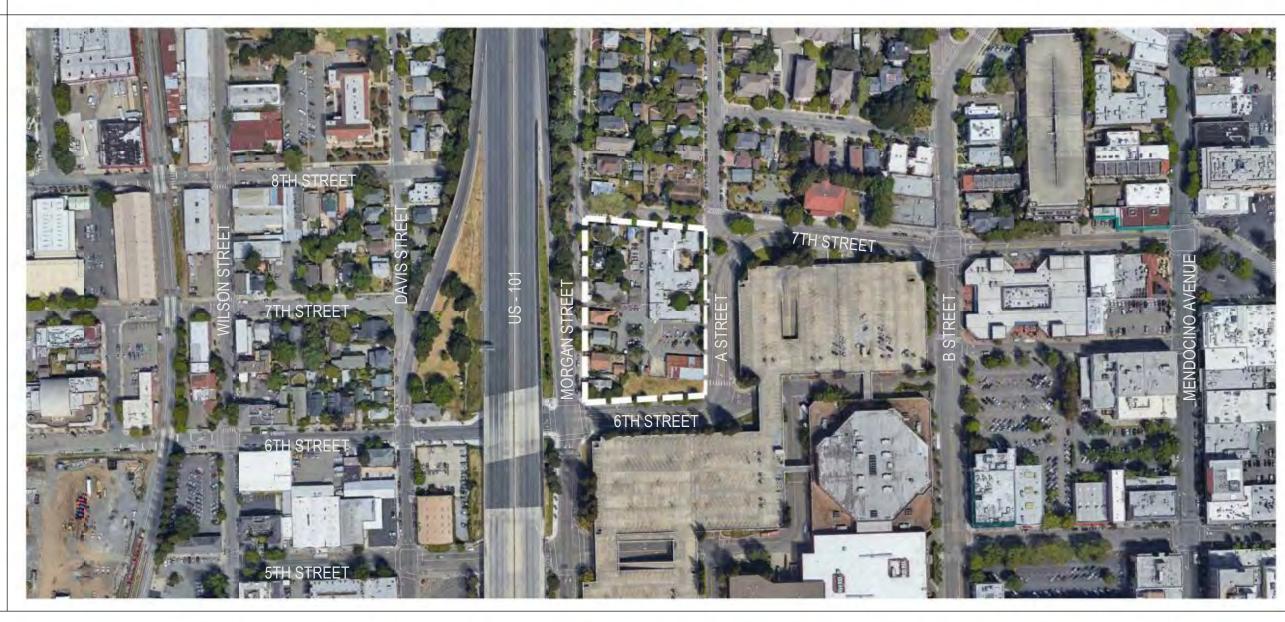
12. AFFORDABILITY AGREEMENT 13. REQUEST FOR RESERVE A ALLOTMENTS

CARITAS VILLAGE

DESIGN REVIEW BOARD PACKAGE - MAY 29, 2020



SITE AERIAL PLAN



PROJECT TEAM

CATHOLIC CHARITIES 987 AIRWAY COURT SANTA ROSA, CA 95402

OWNERS:

CONTACT: BERT BANGSBERG BCGROUP@EARTHLINK.NET

BURBANK HOUSING 790 SONOMA AVENUE SANTA ROSA, CA 95404

CONTACT: MARK KRUG MKRUG@BURBANKHOUSING.ORG

ARCHITECT:

CARITAS CENTER

CHILDREN'S PROGRAM

EMERGENCY SHELTER -

NIGHTINGALE RESPITE

VERTICAL CIRCULATION

CIRCULATION AND ENTRIES

EMERGENCY SHELTER - DAY

LEVEL 1

CHAPEL

DINING

CENTER

PROGRAM

KITCHEN

OFFICE

CLASSROOM

Name

PYATOK ARCHITECTS 1611 TELEGRAPH AVENUE, STE. 200 OAKLAND, CA 94612

BUILDING AREA SCHEDULE

Area

210 SF

1038 SF

2484 SF

485 SF

1173 SF

3143 SF

3775 SF

970 SF

669 SF

789 SF 15246 SF 47652 SF

CONTACT: THERESA BALLARD TBALLARD@PYATOK.COM

CIVIL ENGINEER: BKF ENGINEERS 200 4TH ST, STE 300

SANTA ROSA, CA 95401 CONTACT: GEOFF COLEMAN EMAIL: GCOLEMAN@BKF.COM

LANDSCAPE ARCHITECT: QUADRIGA 1212 4TH STREET, STUDIO K

NORCOAST UTILITY DESIGN

SANTA ROSA, CA 95404

DRY UTILITY:

CONTACT:

771 JONI COURT

WINDSOR, CA 95492

CONTACT: CHRISTINE TALBOT CHRISTINE@QUADRIGA-INC.COM EMAIL:

STEVE KRINSKY

NORCOASTUD@COMCAST.NET

CONTACT: JEFF BLAKESLEE JEFFB@BLAKESLEEELECTRIC.COM **CARITAS CENTER STRUCTURAL ENGINEER:**

CARITAS CENTER MECHANICAL//PLUMBING:

CONTACT: JEFF BURGESON; TIM SOUZA

CARITAS CENTER ELECTRICAL/LIGHTING:

TEP ENGINEERING

SANTA ROSA, CA 95404

BLAKESLEE ELECTRIC

14 WEST THIRD STREET

SANTA ROSA, CA 95401

880 SECOND ST

EMAIL:

EMAIL:

DCI ENGINEERS ONE POST STREET, SUITE 1050 SAN FRANCISCO, CA 94104

CONTACT: KYLE HOLMAN

KHOLMAN@DCI-ENGINEERS.COM

JEFF@TEP.NET; TIMS@TEP.NET

ONE POST STREET, SUITE 1050 SAN FRANCISCO, CA 94104 CONTACT: KYLE HOLMAN

CARITAS HOMES STRUCTURAL ENGINEER

CARITAS HOMES MECHANICAL/PLUMBING

CARITAS HOMES ELECTICAL/LIGHTING:

JOHN@HM-MECHANICAL.COM

MVOIGTLANDER@BWFCE.COM

H&M MECHANICAL GROUP

CONTACT: JOHN CHOU

BWF CONSULTING ENGINEERS

SOUTH SAN FRANCISCO, CA 94080

CONTACT: MIKE VOIGTLANDER

220 S. SPRUCE AVE STE 203

OAKLAND, CA 94621

EMAIL:

EMAIL:

DCI ENGINEERS

8517 EARHART RD, STE. 230

KHOLMAN@DCI-ENGINEERS.COM

PROPOSED DEVELOPMENT STATISTICS BY PARCEL

MIXED-USE SERVICE AND EMERGENCY SHELTER BUILDING SITE AREA: **48,310 SF (1.11 ACRES)**

BUILDING HEIGHT: 1-3 STORIES 41' TO TOP OF STRUCTURE

PARCEL A: CARITAS CENTER

46' TO TOP OF PRIMARY PARAPET 51' 3" TO HIGHEST ARCHITECTURAL ELEMENT

SETBACKS PROVIDED: FRONT (6TH ST) <u>7'-0"</u> TO <u>17'-3"</u> (INCLUDES 7'-0" P.U.E) SIDE (A ST) <u>7'-0"</u> TO <u>13'-6"</u> (NO P.U.E. PROPOSED) SIDE (MORGAN ST) <u>7'-0"</u> TO <u>8'-9"</u> (INCLUDES 7'-0" P.U.E.)

REAR <u>43'-9"</u> TO <u>69'-11"</u> USABLE OPEN SPACE PROVIDED: 7,608 SF **2,605 SF** AT FAMILY SUPPORT CENTER COURTYARD **677 SF** AT DAY CENTER ENTRY COURT 2,650 SF AT DAY CENTER COURTYARD

1,301 SF AT PLAZA 375 SF AT AMINISTRATION BALCANY (3RD FLR) PARKING PROVIDED: 39 OPEN SPACES INCLUDES 4 COMPACT SPACES, 2 ACCESSIBLE SPACES REQUIRED PARKING: 1 SPACE PER 10 BEDS. PLUS 1:1 STAFF 40 FAMILY GUEST ROOMS WITH 4 BEDS EACH = 16 SPACES

3 STAFF PERSONS ON DUTY (ONE PER FLOOR) = 3 SPACES 10 BEDS AT TRANSITIONAL RESIDENCY PROGRAM = 1 SPACE 38 BEDS AT NIGHTINGALE RESPITE PROGRAM = 4 SPACES TOTAL REQUIRED PARKING: **24** SPACES BICYCLE PARKING: PROVIDED **18** MINIMUM SPACES (18 REQUIRED)

= 5 SPACES REQUIRED FOR EMERGENCY SHELTER - FAMILY SUPPORT CENTER PROVIDED: 5 LONG-TERM SPACES (FAMILY SUPPORT CENTER COURTYARD) MULTIFAMILY: 1 SPACE PER 4 UNITS = 3 SPACES FOR TRANSITIONAL RESIDENCY PROGRAM + 1 PER 10 NIGHTINGALE RESPITE BEDS = 4 SPACES

GUEST ROOMS: 1 SPACE, PLUS 1 PER 10 ROOMS

SIGNAGE: PER SHEET A3.6

=7 SPACES PROVIDED: 7 LONG-TERM SPACES (DAY CENTER COURTYARDS) 1 SPACE PER 4.000 SF OF "MEETING FACILITY". OR 5.000 SF SERVICE USES = 7 SPACES FOR REMAINING 26,242 SF BLDG AREA PROVIDED: 3 SHORT-TERM SPACES (DAY CENTER ENTRY) PROVIDED: 4 SHORT-TERM SPACES (LOBBY STREET ENTRY)

UTILITIES 2165 SF 1037 SF VERTICAL CIRCULATION 17148 SF LEVEL 2 CIRCULATION AND ENTRIES 879 SF 7866 SF **FSC RESIDENTIAL** MEDICAL SERVICE - DOCTOR'S OFFICE OFFICE 2761 SF UTILITIES 125 SF VERTICAL CIRCULATION 793 SF 15258 SF LEVEL 3 CIRCULATION AND ENTRIES 548 SF 7836 SF FSC RESIDENTIAL HSC RESIDENTAIL - TRP 1696 SF OFFICE 4258 SF UTILITIES 118 SF

PARCEL B: CARITAS HOMES PHASE II

MULTIFAMILY RESIDENTIAL 4-STORY BUILDING SITE AREA: 30,183 SF (0.69 ACRES) RESIDENTIAL UNITS PROVIDED: 64 TOTAL **29** STUDIOS (45%), **27** 1-BR (42%) , **8** 2-BR (13%) RESIDENTIAL DENSITY: 92.6 DUA BUILDING AREA: **SEE BUILDING AREA SCHEDULE BELOW BUILDING HEIGHT: 2-4 STORIES 42'** TO TOP OF STRUCTURE **47'** TO TOP OF PRIMARY PARAPET 53' 4" TO HIGHEST ARCHITECTURAL ELEMENT **SETBACKS PROVIDED:** FRONT (7TH ST) <u>7'-0"</u> TO <u>13'-8"</u> (INCLUDES 7' P.U.E.)

SIDE (A ST) <u>3'-4"</u> TO <u>7'-0"</u> SIDE (MEWS) <u>12'-9"</u> TO <u>14'-9"</u> REAR (SOUTH) 25'-6"

USABLE OPEN SPACE PROVIDED (EXCLUDES COVERED PORCHES): 6,023 SF 3,227 SF PROVIDED AT PODIUM 2,796 SF PROVIDED AT "MEWS" AND SIDE PARKING PROVIDED: 27 GARAGE SPACES **0.42** AUTOS PER UNIT

INCLUDES 2 ACCESSIBLE SPACES

BICYCLE PARKING: 32 LONG-TERM SECURE BICYCLE SPACES 4 SHORT-TERM BICYCLE SPACES FOR VISITORS PH I & II SIGNAGE: PER SHEET A3.6

PARCEL C: CARITAS HOMES PHASE I

MULTIFAMILY RESIDENTIAL 4-STORY BUILDING SITE AREA: **29,561 SF (0.68 ACRES)** RESIDENTIAL UNITS PROVIDED: 64 TOTAL **29** STUDIOS (45%), **27** 1-BR (42%), **8** 2-BR (13%) RESIDENTIAL DENSITY: 94.3 DUA BUILDING AREA: **SEE BUILDING AREA SCHEDULE BELOW BUILDING HEIGHT: 2-4 STORIES 42'** TO TOP OF STRUCTURE **47'** TO TOP OF PRIMARY PARAPET 53' 4" TO HIGHEST ARCHITECTURAL ELEMENT SETBACKS PROVIDED: FRONT (7TH ST) <u>7'-0"</u> TO <u>10'-4"</u> (INCLUDES 7' P.U.E.) SIDE (MORGAN ST) <u>7'-0"</u> TO <u>9'-7"</u> (INCLUDES 7' P.U.E.) SIDE (MEWS) <u>9'-3"</u> TO <u>17'-3"</u>

REAR (SOUTH) 19'-3" USABLE OPEN SPACE PROVIDED (EXCLUDES COVERED PORCHES): 5,857 SF **3,231 SF** PROVIDED AT PODIUM 2,626 SF PROVIDED AT "MEWS" AND SIDE PARKING PROVIDED: 27 GARAGE SPACES

0.42 AUTOS PER UNIT INCLUDES 2 ACCESSIBLE SPACES BICYCLE PARKING: **32** LONG-TERM SECURE BICYCLE SPACES 4 SHORT-TERM BICYCLE SPACES FOR VISITORS PH I & II SIGNAGE: PER SHEET A3.6

TREES: A HERITAGE OAK TREE WILL BE REMOVED. IT WILL BE REPLACED WITH STREET TREES AT A GREATER THAN 2:1 RATIO.

CARITAS HOMES PHASE

BUILDING AREA (PHASE II SIM.) AREA LEVEL ' 10,175 SF R-2 RESIDENTIAL APARTMENT HOUSE 10,150 SF S-2 ENCLOSED PARKING GARAGE

20,325 SF LEVEL 2 R-2 RESIDENTIAL APARTMENT HOUSE 15.184 SF 1,027 SF A-3 RES COMMUNITY ROOM 16,211 SF LEVEL 3 R-2 RESIDENTIAL APARTMENT HOUSE 13,511 SF 13,511 SF LEVEL 4 R-2 RESIDENTIAL APARTMENT HOUSE 12,252 SF 12,252 SF

Grand total

62,299 SF

SITE KEY PLAN

PARCEL C: **PARCEL B: CARITAS HOMES CARITAS HOMES** PHASE I PHASE II PARCEL A: CARITAS CENTER

> JOB NUMBER: DRAWN BY: ARK, TK, KS TB, MB CHECKED BY: DATE: 05/27/20 SCALE: 1" = 80'-0" TITLE:

OAKLAND, CA 94612

www.pyatok.com

510.465.7010 p | 510.465.8575 f

BURBANK HOUSING

(

1

S

Q

4

0

PLANNING

RESUBMITTAL

UPDATE

PLANNING

RESUBMITTAL

10/31/18

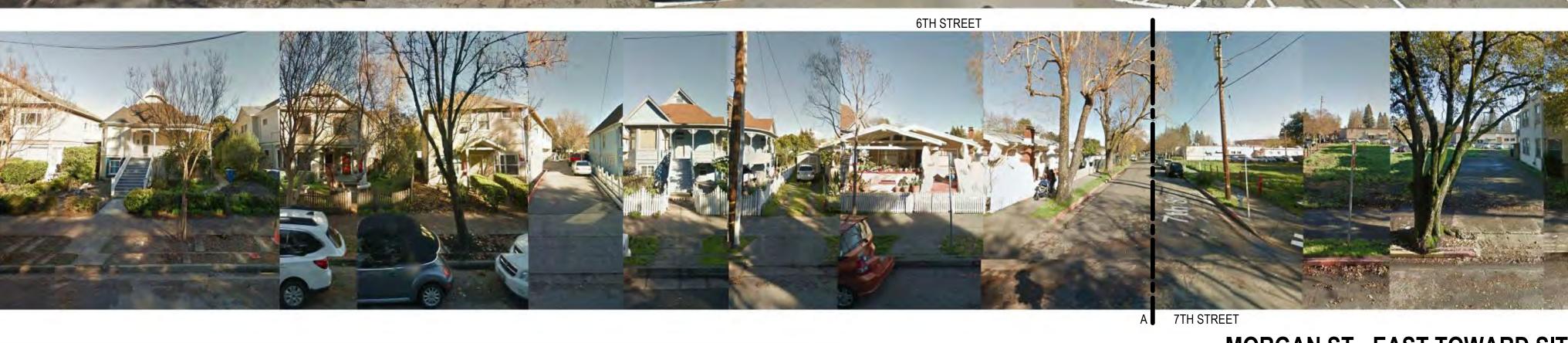
STAMP:

TITLE SHEET

PRELIMINARY - Not for Construction -

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MORGAN ST - EAST TOWARD SITE



MORGAN ST - LOOKING WEST FROM SITE



7TH ST - LOOKING SOUTH TOWARD SITE



7TH ST - LOOKING NORTH FROM SITE

A 7TH STREET

PRELIMINARY - Not for Construction -

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EXISTING CONDITIONS
PHOTOGRAPHS - MORGAN
STREET AND 7TH STREET

JOB NUMBER: DRAWN BY: CHECKED BY:

SCALE:

TITLE:

EXISTING CONDITIONS
PHOTOGRAPHS - 6TH STREET
AND A STREET G1.02

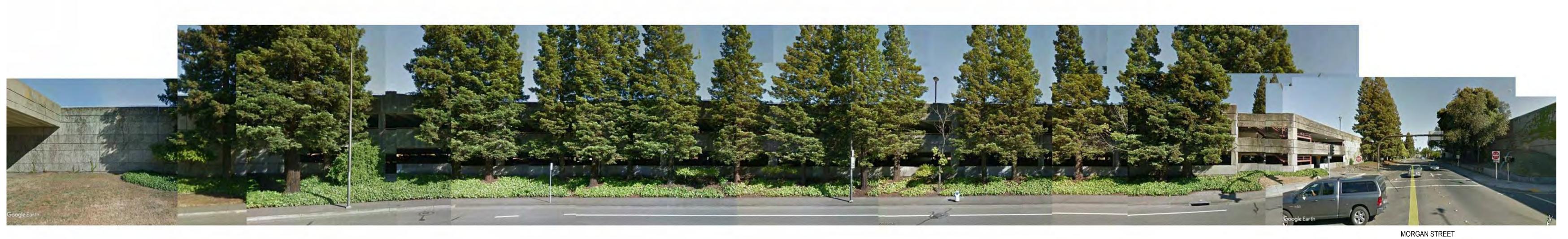
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MORGAN STREET

6TH ST - LOOKING NORTH TOWARD SITE

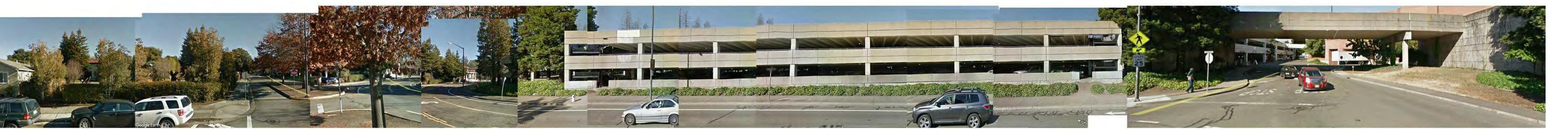


6TH ST - LOOKING SOUTH FROM SITE



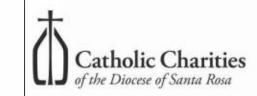


A ST - LOOKING WEST TOWARD SITE





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RITAS VILLAGE AS VILLAGE, SANTA ROSA CA

.....

B PLANNING 07/22/19 RESUBMITTAL UPDATE

JOB NUMBER: 1815
DRAWN BY: GP, ARK
CHECKED BY: TB
DATE: 05/27/20
SCALE: 1" = 160'-0"

TITLE:
VICINITY MAP

SHEET: **G1.03**

PRELIMINARY - Not for Construction -

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28' ESTIMATED HEIGHT



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Catholic Charities
of the Diocese of Santa Rosa



ARITAS VILLAGE, SANTA ROSA CA

B PLANNING 07/22/19 RESUBMITTAL UPDATE

JOB NUMBER: 1815
DRAWN BY: GP
CHECKED BY: TB
DATE: 05/27/20

SCALE: 1" = 40'-0"

TITLE:

EXISTING CONDITIONS MAP

WITH PROPOSED STRUCTURES

SHEET: **C1 04**

O 1.**UT**

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SITE ANALYSIS DIAGRAM



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www.pyatok.com

Catholic Charities
of the Diocese of Santa Rosa

BURBANK HOUSING

CARITAS VILLAGE, SANTA ROSA CA

STAMP:

B PLANNING 07/22/19
RESUBMITTAL
UPDATE
A PLANNING 10/31/18
RESUBMITTAL

JOB NUMBER: 1815
DRAWN BY: ARK, TK, KS
CHECKED BY: TB, MB
DATE: 05/27/20

SCALE: 1" = 40'-0"

TITLE:

SITE ANALYSIS AND ZONING DIAGRAMS

G1.05

PRELIMINARY - Not for Construction -

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FOOT TRAFFIC



SANTA ROSA

VICINITY MAP

IRON PIPE CENTERLINE MONUMENT

SYMBOLS & LEGEND

GATE VALVE FIRE HYDRANT STREET SIGN STREET LIGHT UTILITY POLE **GUY ANCHOR** CATCH BASIN DROP INLET MANHOLE CLEANOUT

TREE TREE TO BE REMOVED PROPERTY LINE EASEMENT

FLOW LINE FACE OF CURB

SIZE"SS SANITARY SEWER SIZE" SD STORM DRAIN

_____SIZE"WW WATER OVERHEAD UTILITY LINE UNDERGROUND UTILITY LINE UNDERGROUND ELECTRIC LINE

UNDERGROUND GAS LINE

CONCRETE

ABBREVIATIONS

MIN MINIMUM APN ASSESSOR'S PARCEL NUMBER BFP BACKFLOW PREVENTOR NTS NOT TO SCALE OH OVERHEAD UTILITY LINE BLRD BOLLARD BM BENCHMARK PAD PAD GRADE BLOWOFF PG&E PACIFIC GAS & ELECTRIC BUILDING SETBACK LINE PL PROPERTY LINE

CATCH BASIN PM PARKING METER CENTERLINE PSDE PRIVATE STORM DRAIN EASEMENT PUE PUBLIC UTILITY EASEMENT CLEAN OUT PVT PRIVATE CONC CONCRETE CYP CYPRESS TREE R/W RIGHT OF WAY DROP INLET SLOPE DOCUMENT NUMBER

DW DRIVEWAY STORM DRAIN ELECTRIC SDE PUBLIC STORM DRAIN EASEMENT EG EXISTING GROUND SDCO STORM DRAIN CLEAN OUT SDMH STORM DRAIN MANHOLE ELEV ELEVATION EP EDGE OF PAVEMENT STREETLIGHT

ESMT EASEMENT EX EXISTING SS SANITARY SEWER FDC FIRE DEPARTMENT CONNECTION SSCO SANITARY SEWER CLEAN OUT FF FINISHED FLOOR SSMH SANITARY SEWER MANHOLE FG FINISHED GRADE STA STATION

FH FIRE HYDRANT STD STANDARD SURFACE FLOWLINE TB TOP OF BOX FND FOUND TOP OF CURB TELECOMMUNICATION LINE

TOP OF FLUSH CURB TOP OF GRATE GRADE BREAK GI GRATE INLET TRAFFIC SIGNAL HORZ HORIZONTAL TOP OF WALL TYP TYPICAL IFO IN FAVOR OF

UTILITY BOX L LENGTH UNDERGROUND UTILITY LINE WATER MAX MAXIMUM WM WATER METER

EXISTING CONDITIONS MAP

TENTATIVE PARCEL MAP CARITAS VILLAGE

BEING A RE-SUBDIVISION OF 15 LOTS, AS DESCRIBED IN THE GRANT DEEDS FILED UNDER DOCUMENT NO. 2015057776, 2011022659, 2018050270, AND 2015010968,

3 LOTS

SONOMA COUNTY RECORDS. 465 A STREET

№ No. 57885 m

CITY OF SANTA ROSA, CALIFORNIA APN 010-041-001, -004, -005, -008, -009, -010, -011, -013, -014, -015, -016, -017, -018, -019, -020 CONTAINING 2.78 ACRES

MAY 27, 2020

200 4TH ST, STE. 300 SANTA ROSA, CA 95401 JOB NO. 20159153-12 SHEET 1 OF 2 SHEETS

PH: (707) 528-8712 BURBANK HOUSING

790 SONOMA AVE. SANTA ROSA, CA 95404

CIVIL ENGINEER: BKF ENGINEERS 200 4TH ST., SUITE 300 SANTA ROSA, CA. 95401 PH: (707) 583-8500

GENERAL NOTES

THE PROPOSED DEVELOPMENT WILL BE IN CONFORMANCE WITH THE CITY OF SANTA ROSA ZONING CODE, GENERAL PLAN AND DESIGN & CONSTRUCTION STANDARDS OR AS MODIFIED BY THIS TENTATIVE MAP AND AS APPROVED BY THE

REVIEWING AGENCY. WATER SUPPLY: CITY OF SANTA ROSA

SEWAGE DISPOSAL: CITY OF SANTA ROSA PRESENT ZONING: RESIDENTIAL R-3-10; CN (NEIGHBORHOOD COMMERCIAL)

THIS SUBDIVISION IS NOT WITHIN AN AREA DESIGNATED AS A HIGH FIRE SEVERITY ZONE.

ALL LOTS AND PADS SHALL BE GRADED IN A MANNER WHICH DRAINS STORMWATER

TO PUBLIC STREETS. THE ENGINEER AND DEVELOPER ARE NOT AWARE OF HAZARDOUS MATERIALS ON

FEMA FLOOD MAPS REVEAL THAT THE SITE IS OUTSIDE THE 0.2 PERCENT CHANCE FLOOD HAZARD AREA ZONE X. PROVISIONS FOR EROSION CONTROL WILL BE INCORPORATED INTO THIS

UTILITY NOTES ALL PROPOSED UTILITY IMPROVEMENTS SHALL BE INSTALLED AS PUBLIC

UTILITIES.

EXISTING SEWER AND WATER SERVICES WHICH WILL NOT BE USED WITH THESE SUBDIVISION IMPROVEMENTS WILL BE ABANDONED IN ACCORDANCE WITH THE CITY OF SANTA ROSA DESIGN AND CONSTRUCTION STANDARDS.

EXISTING SEPTIC SYSTEMS WILL BE ABANDONED IN ACCORDANCE WITH PERMITS FROM THE CITY BUILDING DEPARTMENT AND THE SONOMA COUNTY PERMIT AND RESOURCE MANAGEMENT DEPARTMENT.

ELECTRICAL SERVICE FOR THIS SUBDIVISION WILL BE UNDERGROUND.

TOPOGRAPHIC INFORMATION SHOWN HEREON WAS OBTAINED FROM FIELD SURVEYS CONDUCTED BY BKF ENGINEERS ON DECEMBER 11, 14, 16, 23, 24, & 28,

BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM RECORD DATA. THE BEARINGS AND DISTANCES DO NOT REFLECT A FIELD SURVEY AND DOES NOT CONSTITUTE A FORMAL BOUNDARY DETERMINATION.

DISTANCES AND ELEVATIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.

BASIS OF BEARINGS: BETWEEN AN IRON PIPE FOUND IN A WELL MONUMENT AT SIXTH AND 'A' STREET AND A PIN FOUND IN A MONUMENT WELL APPROXIMATELY 886 FEET NORTHERLY ALONG 'A' STREET AS N26°21'00"W AS SHOWN ON THAT RECORD OF SURVEY OF THE LANDS OF MICHAEL K. FEENEY, FILED IN BOOK 709 OF MAPS AT PAGE 43, SONOMA COUNTY RECORDS.

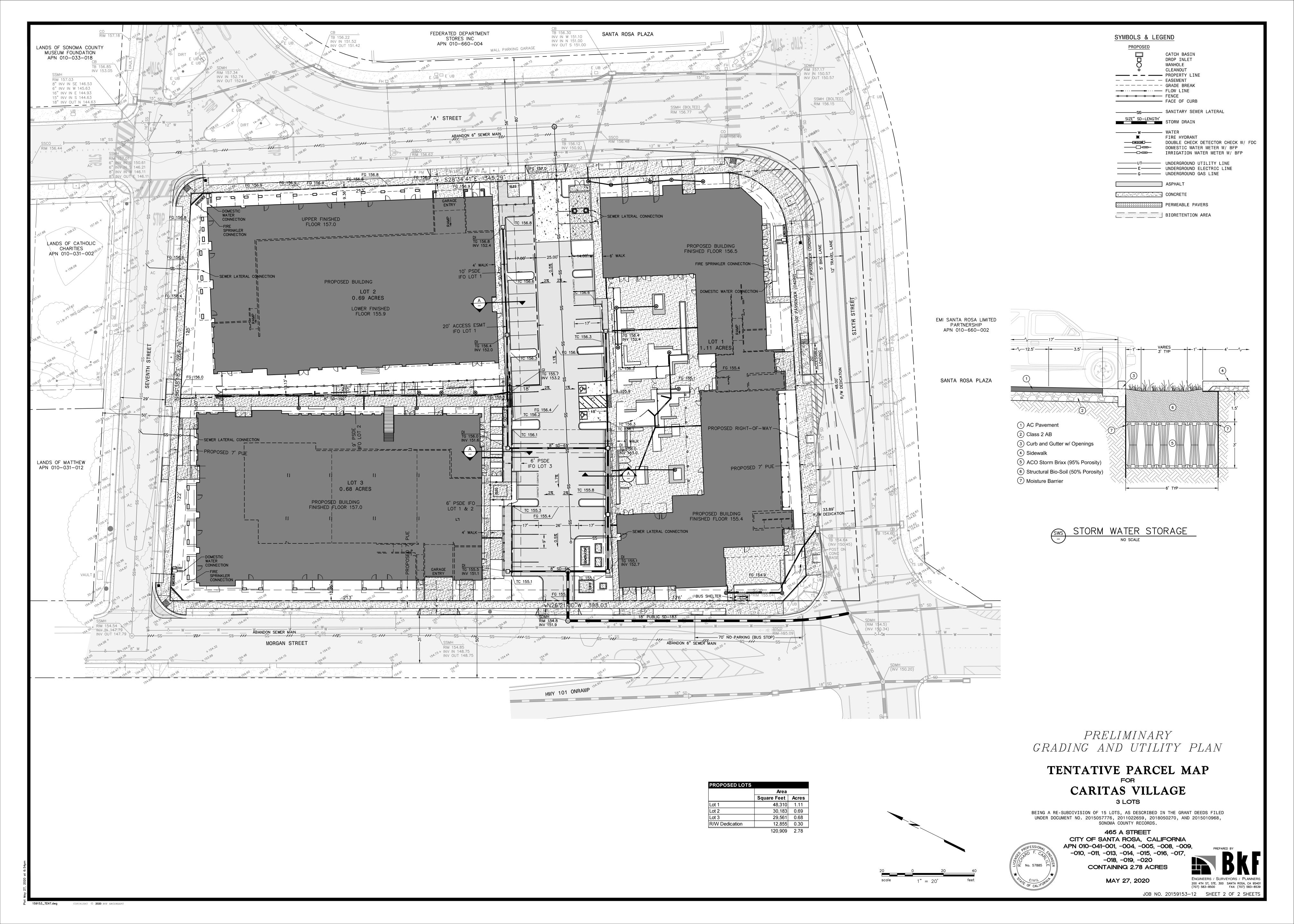
BENCHMARK: BENCHMARK: CITY OF SANTA ROSA BENCHMARK C330 DESCRIBED AS "SEVENTH ST. AND "A" ST.; 2" BRASS DISC MARKED "CITY OF SANTA ROSA" BRASS IN WELL MONUMENT, AT CL INTERSECTION" (LOCATION SHOWN HEREON). ELEVATION = 156.59' (DATUM NAVD 1929).

				Area	
APN	Owner	Address	Document#	Square Feet	Acres
010-041-001	Catholic Charities	321 7th St.	2015057776	7,193	0.17
010-041-004	Catholic Charities	439 A St.	2015057776	6,464	0.15
010-041-005	Catholic Charities	437 A St.	2015057776	6,143	0.14
010-041-008	City of Santa Rosa	307 W 6th St.	2011022659	4,352	0.10
010-041-009	City of Santa Rosa	498 Washington St.	2011022659	728	0.02
010-041-010	City of Santa Rosa	500 Washington St.	2011022659	3,964	0.09
010-041-011	Catholic Charities	506 Morgan St.	2018050270	3,831	0.09
010-041-013	Catholic Charities	516 Morgan St.	2015057776	6,923	0.16
010-041-014	Catholic Charities	520 Morgan St.	2015057776	7,115	0.16
010-041-015	Catholic Charities	600 Morgan St.	2015057776	14,102	0.32
010-041-016	Catholic Charities	608 Morgan St.	2015057776	6,987	0.16
010-041-017	Catholic Charities	512 Morgan St.	2015010968	4,539	0.10
010-041-018	Catholic Charities	(unidentified)	2015057776	2,174	0.05
010-041-019	City of Santa Rosa	431 A St.	2011022659	14,105	0.32
010-041-020	Catholic Charities	465 A St.	2015057776	32,289	0.74

120,908 2.78

THIS IS A DEVELOPMENT PERMIT.

PROPOSED ZONING: TV-M (TRANSIT VILLAGE MIXED)





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ARBORIST EVALUATION

Only a single native tree #56, a 27" Coast Live Oak, is present on site. The Oak is to be removed due to conflicts with proposed improvements.

The bulk of the trees on site are ornamental species that have either been planted or volunteered.

TREE PRESERVATION AND REMOVAL



TREE TO BE PRESERVED



TREE TO BE REMOVED, FOR CONSTRUCTION OR PER FIRE DEPARTMENT REQUIREMENTS

Tree number from Project Arborist Report Sept. 9th 2014

Pyrus

Tree species

TREE PROTECTION NOTES

- Prior to initiation of any construction activity in the area, including demolition or grading, temporary protective fencing shall be installed at each site tree in the immediate vicinity of construction. Fencing is to
- be located at a minimum of of one foot beyond the canopy drip line.

 2. Fencing shall be a minimum of four foot height at all locations, and shall form a continuous barrier without entry points and around all individual trees, or groups of trees. Barrier type fencing such as chain link or tensar plastic fencing is suggested, but any fencing system which adequately prevents entry of equipment and activity will be acceptable. Post and cable fencing is not recommended. Fencing shall be installed in a professional manner with adequate uprights and appropriate attachments. Concrete footings are not required. Any encroachment into the drip line of for fencing or construction purposes should be discussed and agreed upon in advance.
- 3. The fencing shall serve as a barrier to prevent drip line encroachment of any type by construction activities, equipment, material storage, and
- 4. Contractors and subcontractors shall direct all equipment and personnel to remain outside the fenced area at all times until project is complete. Instruction shall be given as to the purpose and the importance of fencing and preservation.
- 5. Fencing should remain in place and not be removed until ALL construction activities are completed. Temporary access may be granted to facilitate work under specific circumstances when discussed and agreed upon in advance.
- 6. Roots of single standing trees often extend two-three times the distance of the actual drip line. As much area around the circumference of the tree beyond the drip line should have minimum instruction to further ensure tree survival and health.

JOB NUMBER: 1601
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DATE: 05/27/20
SCALE: PER PLANS

STAMP:

TREE REMOVAL AND PRESERVATION PLAN

L.01

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CARITAS HOMES SITE LEGEND

- 1) COVERED GATHERING AREA
- 2 GATHERING AREA UNDER TREE CANOPY
- 3 SMALL LAWN AREA
- 4 PET RELIEF AREA
- 5 STAIRS TO PODIUM LEVEL TERRACE
- RAISED PODIUM PLANTERS
- 7 PODIUM SEATING AREAS
- PODIUM SEATING AREAS
- 8 MEWS TRELLIS AND GATE
- (9) TENANT PORCH
- 10 TENANT VEGETABLE GARDEN PLANTER
- GARAGE ENTRY
- 12 LOADING ZONES
- 19 PROPERTY LINE

CARITAS CENTER SITE LEGEND

- (13) NAVIGATION CENTER ENTRY COURTYARD
- NAVIGATION CENTER COURTYARD
- 15 FAMILY SUPPORT CENTER COURTYARD

 GARBAGE ENCLOSURE
- 17) PLAZA
- 18 SHADE TRELLIS
- 19 PROPERTY LINE
- DROP OFF
- 21 CITY BUS STOP

PLANTING LEGEND



LARGE SHADE TREE



LARGE | MEDIUM TREE



SWIALL IKEE



NEW STREET TREE - HEIGHT LIMIT 15'-0" PER FIRE DEPT.



EXISTING TREE TO REMAIN



PLANTING



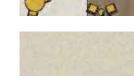
LAWN TURF PLANTING

PAVEMENT & SITE LEGEND



ENHANCED PODIUM PAVEMENT - CONCRETE, WOOD, &

ENHANCED PAVEMENT - INTEGRAL COLOR CONCRETE



CONCRETE PAVEMENT - INTEGRAL COLOR



AC PAVEMENT

PERMEABLE UNIT PAVERS



SITE FURNISHINGS



LANDSCAPE WALLS



BIKE PARKING - 18 SPACES TOTAL

- SITE LIGHTING POLE LAMP
- •• SITE LIGHTING PARKING LOT POLE LAMP





GREEN, LUSH HEALING GARDEN CONCEPT



BUILT GATHERING AREAS



SHADE STRUCTURES



FLOWERING VINES ON TRELLISES



TENANT VEGETABLE GARDEN



DROUGHT TOLERANT, LOW MAINTENANCE, AND VARIED PLANTING

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CARITAS CENTER, SANTA ROSA, C.

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TITLE:

LANDSCAPE SITE PLAN

SHEET:

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STREET FRONTAGE AND COURTYARDS	SIZE	WUCOLS	MEWS AND PODIUM PLANTERS	SIZE	WUCOLS	STORM WATER	SIZE	WUC
Achillea millefolium 'Sonoma Coast'	1 gal	Low	Abutilon striatum	5 gal	Medium	Asclepias fascicularis	1 gal	Low
Agave 'Mr. Ripple'	5 gal	Low	Aristea inaequalis	1 gal	Low	Bidens laevis	1 gal	Mediur
Agave stricta	5 gal	Low	Aspidistra elatior	1 gal	Low	Chondropetalum t. 'El Campo'	1 gal	Low
Agave weberii	5 gal	Low	Banksia ericifolia 'Fireworks'	5 gal	Low	Iris douglasiana 'Canyon Snow'	1 gal	Low
Agave 'Whale's Tongue'	5 gal	Low	Beschorneria albiflora	5 gal	Low	Juncus patens 'Elk Blue'	1 gal	Low
Akebia quinata	5 gal	Medium	Beschorneria sp. 'Queretaro'	1 gal	Low	Lomandra I. 'Breeze'	1 gal	Low
Anchusa 'Dropmore'	1 gal	Medium	Bouteloua gracilis 'Blonde Ambition'	1 gal	Low	SITE TREES		
Arctostaphylos d. 'Howard McMinn'	5 gal	Low	Buddlja lindleyana	1 gal	Low	Acacia stenophylla	1 5 gal	Low
Atriplex lentiformis ssp. Breweri	5 gal	Very Low	Callistemon 'Green John'	5 gal	Low	Acer Circinatum	15 gal	Mediur
Beschorneria albiflora	5 gal	Low	Callistemon 'Little John'	5 gal	Low	Acer griseum	24" Box	
Bulbine 'African Yellow'	1 gal	Low	Callistemon viridiflorus	5 gal	Low	Acer macrophyllum	15 gal	Mediur
Callistemon 'Cane's Hybrid'	5 gal	Low	Choisya ternata	5 gal	Medium	Arbutus 'Marina'	15 gal	Low
Callistemon 'Green John'	5 gal	Low	Cordyline 'Renegade'	1 gal	Low	Cercidiphyllum japonicum	36" Box	
Callistemon viridiflorus	1 gal	Low	Dianella tasmanica	1 gal	Medium	Cupressus cashmeriana	24" Box	
Cannomois grandis	1 gal	Medium	Dicksonia antarctica	1 gal	High	Fagus sylvatica 'Dawyck Green'	24" Box 24" Box	
Choisya ternata Chondropetlaum ch. 'El Campo'	5 gal	Medium Low	Echeveria agavoides Echeveria imbricata	1 gal	Low Low	Ginkgo biloba 'Fastigiata' Lyonothamnus f. ssp. Asplenifolius		Low
Clematis armandii	1 gal	Medium	Grevillea victoriae	1 gal	Low	Luma apiculata	15 gal	Mediur
Correa sp.	5 gal	Low	Heuchera maxima	5 gal	Medium	Parrotia persica	15 gal	Mediur
Dasylirion longissimum	1 gal 5 gal	Low	Inula magnifica	1 gal 1 gal	Medium	Podocarpus gracillior	15 gal 15 gal	Mediur
Dodonaea viscosa (green)	5 gal	Low	Iris confusa	1 gal	Medium	Qurecus agrifolia	24" Box	
Echeveria sp.	1 gal	Low	Mahonia x media 'Marvel'	5 gal	Medium	Qurecus lobata	24" Box	
Eriogonum umbellatum 'Shasta Sulfur'	1 gal	Low	Mahonia x 'Soft Caress'	2 gal	Low	Pterostyrax hispida	5 gal	Mediur
Garrya elliptica	5 gal	Low	Manfreda maculosa	1 gal	Low	Ulmus parvifolia 'Allee'	24" Box	
Grevillea 'Jade Mound'	1 gal	Low	Melianthus major 'Purple Haze'	1 gal	Low	Ulmus parvifolia 'BSNUPF'	24" Box	
Grevillea victoriae	5 gal	Low	Nandina domestica 'Emerald Sea'	5 gal	Low	Ulmus parvifolia 'UPMTF'	24" Box	
Hesperaloe parvifolia 'Yellow'	5 gal	Low	Nandina domestica 'Flirt'	2 gal	Low	X chitalpa tashkentensis	15 gal	Low
Heuchera maxima	1 gal	Medium	Nandina domestica 'Lemon Lime'	2 gal	Low	Zelkova serrata	24" Box	
Holodiscus discolor 'Oceanspray'	1 gal	Low	Olea europaea 'Little Ollie'	15 gal	Low	STREET TREES		
Humulus lupulus	1 gal	Low	Otatea acuminata ssp. Aztecorum	5 gal	Medium	Acer buergeranum	24" Box	Mediur
Kniphofia thomsonii	1 gal	Low	Pelargonium sidoides	1 gal	Low	Cercis canadensis	24" Box	
Laurus nobilis 'Emerald Wave'	5 gal	Low	Rudbeckia californica	1 gal	Medium	Chinoanthus retusa	24" Box	
lomandra longifolia 'Breeze'	1 gal	Low	Saliva spathacea 'Las Pilitas'	1 gal	Low	Koelreuteria bipinnata	24" Box	
Mahonia x media 'Marvel'	5 gal	Medium	Sedum palmeri	1 gal	Low	Lagerstroemia indica cv.	24" Box	
Mahonia x 'Soft Caress'	2 gal	Low	Sedum spathulifolium	1 gal	Low	Laurus nobilis 'Saratoga'	24" Box	
Manfreda maculosa	1 gal	Low	Sedum spurium	1 gal	Low	Parrotia persica	24" Box	Mediur
Melianthus major 'Purple Haze'	1 gal	Low	Westringia 'Morning Light'	2 gal	Low	Pistacia chinensis	24" Box	Low
Nandina domestica 'Emerald Sea'	5 gal	Low	Woodwardia fimbriata	1 gal	Medium			
Nandina domestica 'Lemon Lime'	2 gal	Low	Yucca gloriosa	1 gal	Low			
Olea europaea 'Little Ollie'	15 gal	Low	PLANTERS					
Panicum virgatum 'Dallas Blues'	1 gal	Medium	Aeonium sp.	4"	Low	1		
Parthonocissus tricuspidata 'Veitchii'	5 gal	Low	Beschorneria sp. 'Queretaro'	4"	Low			
Phormium 'Dark Delight'	1 gal	Low	Bulbine frutescens	4"	Low			
Phormium 'Sea Jade'	1 gal	Low	Calandrinia spectabilis	4"	Low			
Phormium tenax green	5 gal	Low	Cotyledon orbiculata var. oblonga 'Flavida'	4"	Low			
Polystichum munitum	1 gal	Medium	Dichondra 'Silver Falls'	4"	Medium			
Puya mirabilis	1 gal	Low	Dyckia 'Burgundy Ice'	4"	Low			
Rhamnus alaternus	5 gal	Low	Echeveria agavoides	4"	Low			
Ribes viburnifolium	1 gal	Low	Echeveria imbricata	4"	Low			
Rosa chinensis 'Mutabilis'	5 gal	Medium	Graptoveria 'Fred Ives'	4"	Low			
Rosa rugosa	5 gal	Low	Grevillea 'Jade Mound'	4"	Low			
Rosa 'Cecile Brunner'	5 gal	Low	Grevillea juniperina 'Gold Cluster'	4"	Low			
Rosmarinus officinalis 'Roman Beauty'	5 gal	Low	Lomandra I. 'Breeze'	4"	Low			
Salvia clevelandii	1 gal	Low	Puya mirabilis	4"	Low			
Salvia officinalis	1 gal	Low	Sedum palmeri	4"	Low			
Salvia reptans 'Giant'	1 gal	Low	Sedum spathulifolium	4"	Low			
Salvia 'Phyllis Fancy'	1 gal	Medium	Sedum spectabile	4"	Low			
Salvia 'Waverly'	1 gal	Medium	Sedum spurium	4"	Low			
Sarcococca sp.	5 gal	Low						
Sideritis cypria	1 gal	Low						
Stipa gigantea	1 gal	Low						
Vitis californica	5 gal	Low						
Westringia fruticosa	5 gal	Low						
Woodwardia fimbriata	1 gal	Medium						
Yucca filamentosa 'Hairy'	1 gal	Low						

PLANTING IMAGERY

SIZE WUCOLS

1 gal Medium

15 gal Medium

24" Box Medium 15 gal Medium

36" Box Medium

24" Box Medium

24" Box Medium

15 gal Medium 15 gal Medium 15 gal Medium

24" Box Medium

24" Box Medium

24" Box Medium

24" Box Medium

5 gal Medium



Achillea millefolium

Calandrinia spectabilis

Dodonaea viscosa

Heseperaloe parvifolia 'Yellow'



Akebia quinata

Callistemon 'Cane's Hybrid'

Echeveria agavoides

Humulus lupulus

Aspidistra elatior

Cannomis grandis

Eriogonum u. 'Shasta Sulfur'









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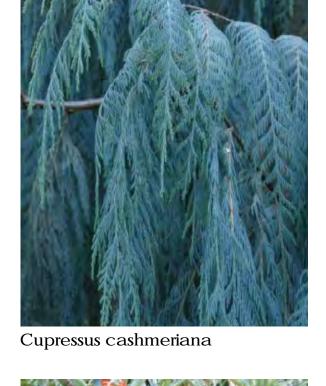






Ginkgo biloba 'Fastigiata'

Luma apiculata



Grevillea victoriae

Lyonothamnus fl. ssp. Asplendifolius









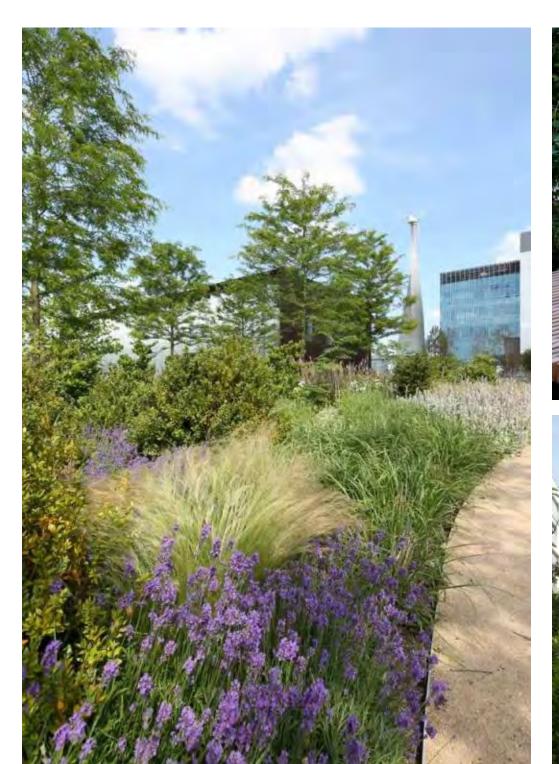






PLANTING CHARACTER IMAGES

Yucca gloriosa Yucca rigida













Puya mirabilis

Sarcococca sp.



Rosa chinensis 'Mutabilis'

Sidertis cypria



Inula magnifica







Ulmus parvifolia 'Allee'







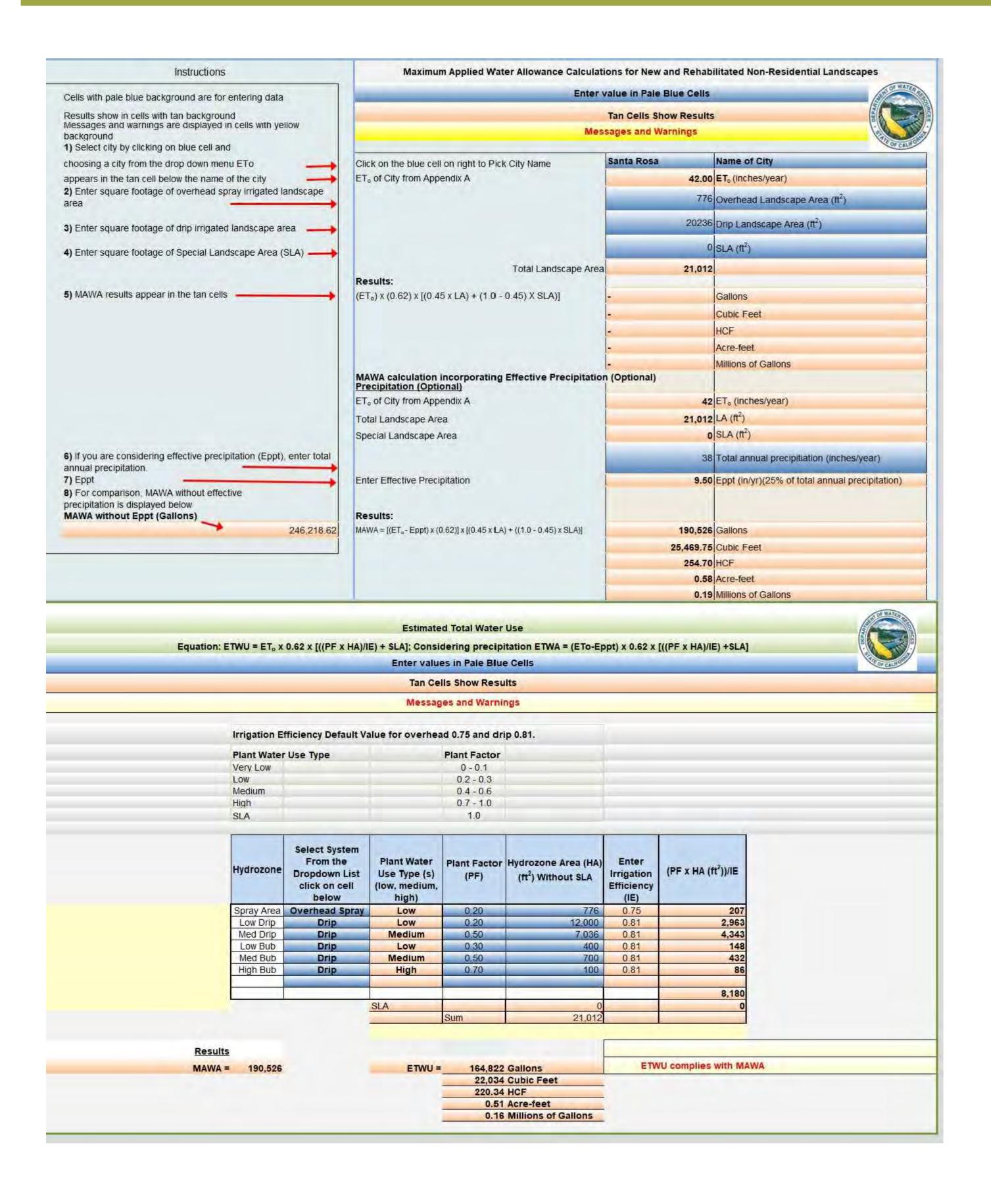
Phormium 'Sea Jade'



JOB NUMBER:	1601
DRAWN BY:	JAB
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DATE:	05/27/20
SCALE:	PER PLANS
TITLE:	
PLANTING CA	ANDIDATE LIST
SHEET:	•

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ESTIMATED MAXIMUM APPLIED WATER ALLOWANCE



IRRIGATION STATEMENT

All irrigation will be designed to meet 2015 Sonoma County Water Efficient Landscape Ordinance and will contain the following components:

- The irrigation system will be designed and installed to meet irrigation efficiency described in the maximum applied water allowance.
- Weather based, self-adjusting irrigation controller with a rain sensor.
- Emitters to include-subsurface drip irrigation and tree bubblers.Spray irrigation will be designed with water-efficient spray heads and to minimize run-off.
- Trees to be placed on separate valves.
- Container planting to be placed on separate valves.
- Isolation valves to be installed at point of connection and before each valve or manifold.
- Pressure regulation to be installed.
- Separate valves to be installed to irrigate zones of low, medium, and high water use plantings.
- Check valves will be installed to prevent low point drainage.

SITE LIGHTING



TYPICAL PARKING LOT POLES - 12FT

D-SERIES SIZE 1 LED AREA LUMINAIRE

LITHONIA LIGHTING



TYPICAL POLES AT COURTYARD AND MEWS - 10FT
RADEAN POST TOP LED AREA LUMINAIRE
LITHONIA LIGHTING



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CARITAS CENTER, SANTA ROSA, CA

STAMP:

JOB NUMBER: 1601
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SCALE: PER PLANS

MAWA CALCULATION & IRRIGATION STATEMENT

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KEY PLAN

CARITAS CENTER

JOB NUMBER: 1815
DRAWN BY: TK
CHECKED BY: TB
DATE: 05/27/20

SCALE: 1" = 80'-0"

TITLE:

3D VIEWS

SHEET:
A0.01

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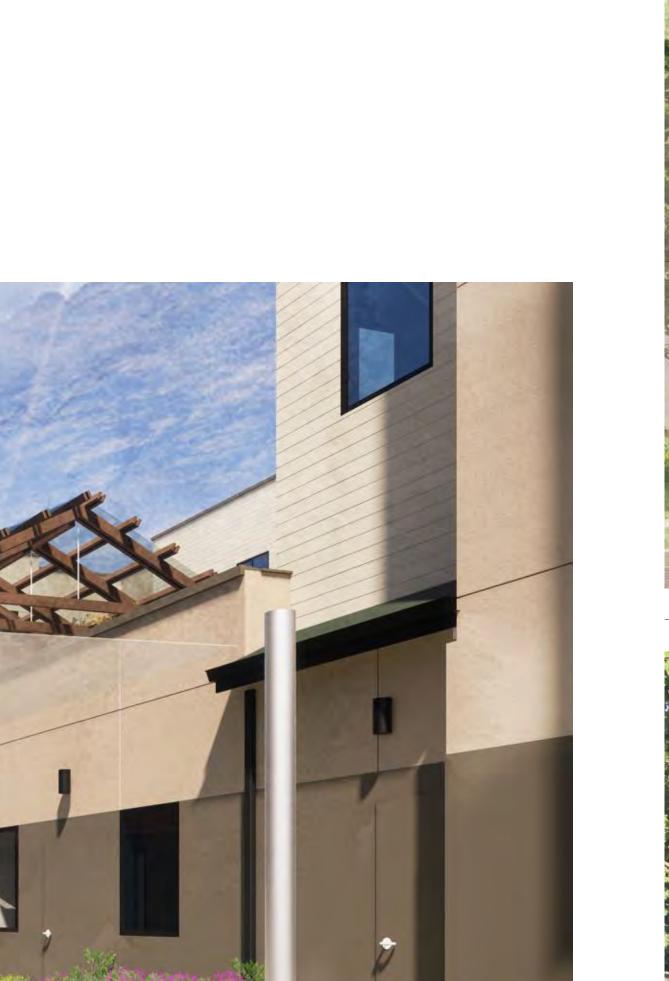


CENTER ENTRANCE (6TH ST) 2





6TH AND MORGAN ST 1



MEWS INTERIOR 9



7TH AND A ST 8

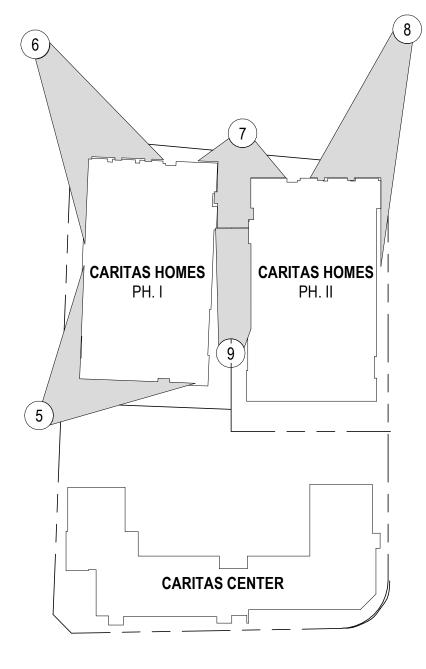




KEY PLAN

7TH AND MORGAN ST 6

MORGAN ST 5



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SARITAS VILLAGE, SANTA R

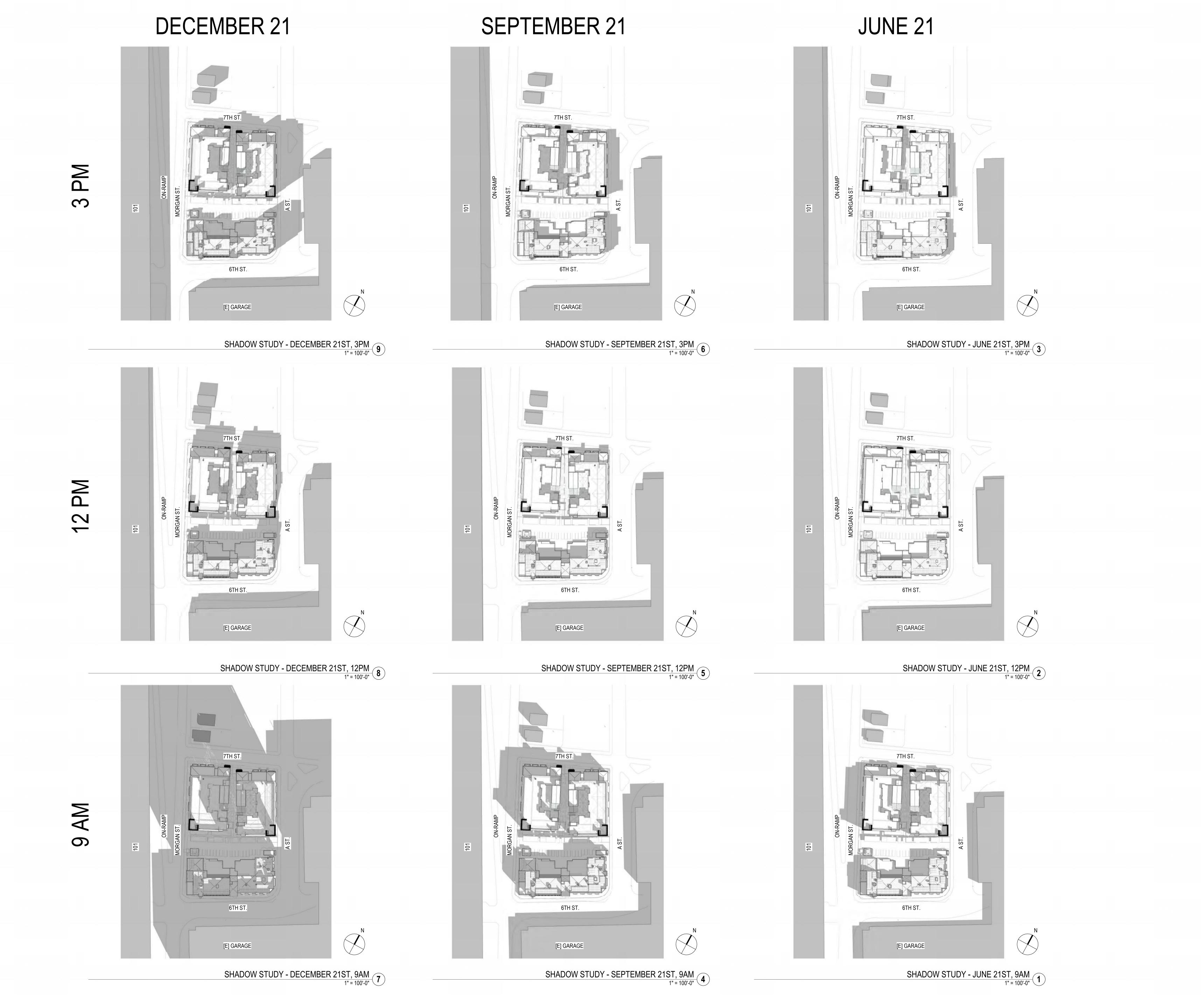
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JOB NUMBER: 1815
DRAWN BY: TK
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DATE: 05/27/20
SCALE: 1" = 80'-0"
TITLE:
3D VIEWS

SHEET: **A0.02**

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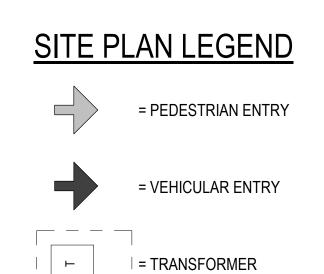
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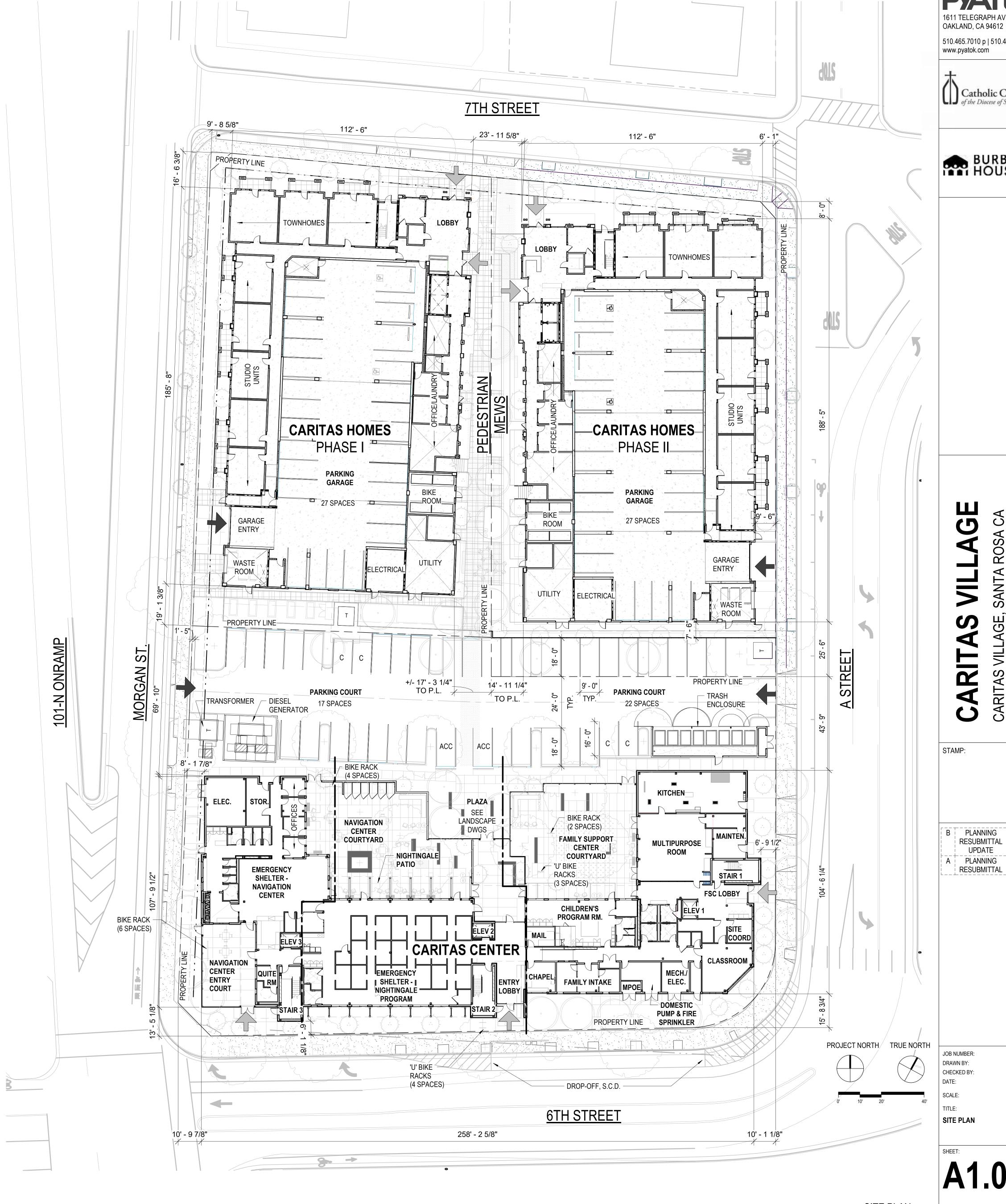
B PLANNING RESUBMITTAL UPDATE A PLANNING 10/31/18 RESUBMITTAL

JOB NUMBER: DRAWN BY: CHECKED BY: SCALE:

SHADOW STUDIES

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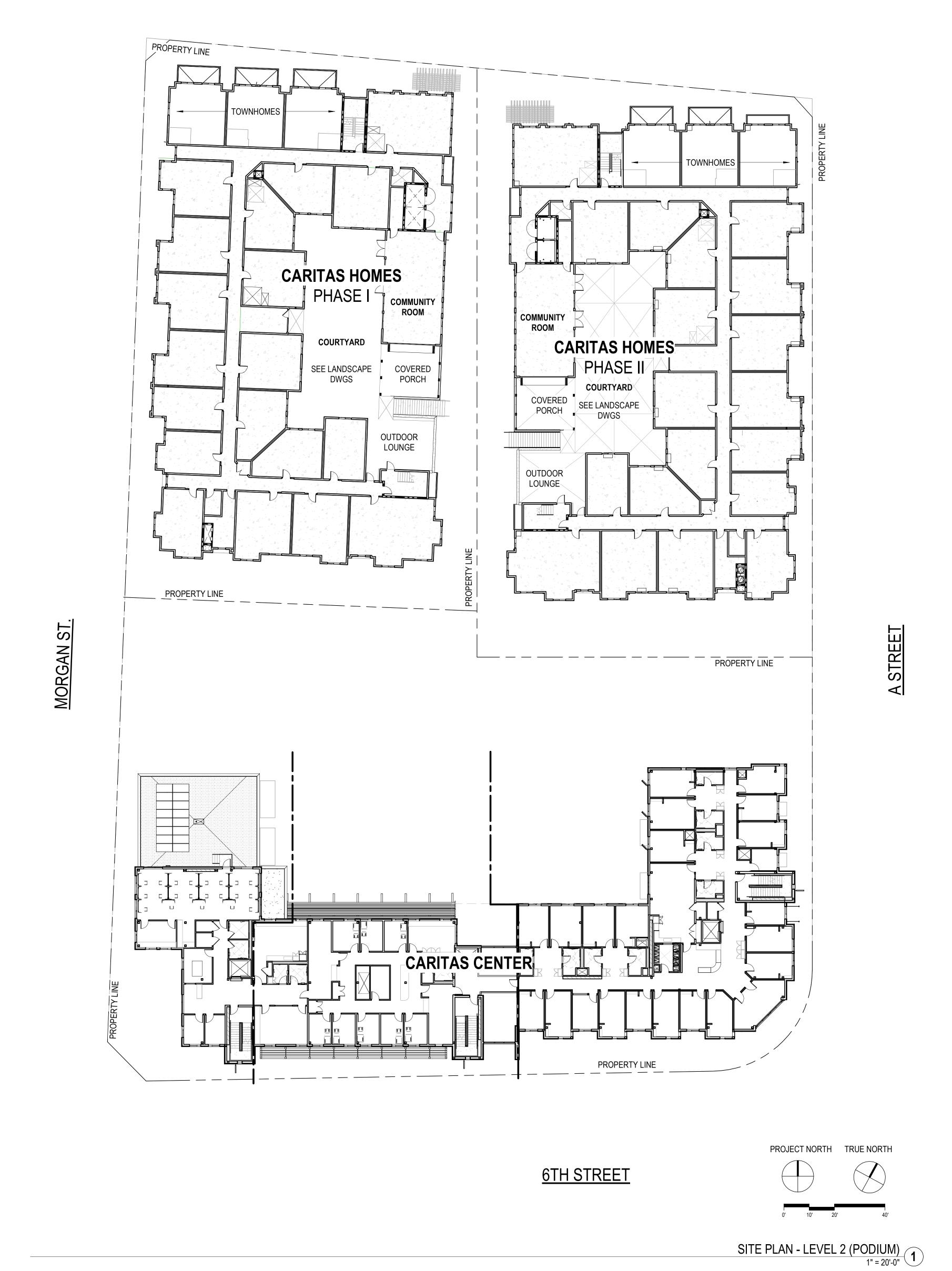
S B S CARITA

B PLANNING RESUBMITTAL UPDATE A PLANNING 10/31/18

JOB NUMBER: TK, KS CHECKED BY: 1" = 20'-0"

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7TH STREET



PODIUM COURT EMERGENCY VEHICLE EASEMENT = STAIR WITH STANDPIPE <u>6TH STREET</u>

FIRE ACCESS DIAGRAM
1" = 40'-0"
2

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BURBANK HOUSING

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JOB NUMBER: TK, KS DRAWN BY: CHECKED BY: SCALE: As indicated SITE PLAN - PODIUM AND FIRE ACCESS DIAGRAM

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1. SEE SHEET **G0.00** FOR SYMBOLS &

ABBREVIATIONS 2. THESE PLANS SHOW UNIQUE INFORMATION

ONLY. SEE ENLARGED PLANS FOR INFORMATION NOT SHOWN. 3. REFERENCE ACCESSIBILITY CODE SHEETS

GO.XX FOR ALL ACCESSIBILITY STANDARDS, REQUIREMENTS AND DIAGRAMS

4. SEE CIVIL PLANS FOR THE BUILDING LOCATION ON SITE AND PRECISE GRADING PLANS. 5. FOR PARKING TABULATION REFER TO SHEET

6. ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE, STUD, OR CENTERLINE OF COLUMN OR DEMISING WALL (C.L.). U.O.N. ALL "CLEAR" DIMENSIONS ARE TO FACE OF FINISH.

7. ALL CONSTRUCTION TO BE FIRE-RATED PER THE PROJECT DATA ON THE **G0.XX** SHEETS AND ASSEMBLIES, SHEETS A9.X. UNIT DEMISING WALLS ARE 1-HR RATED, TYPICAL. FOR DETAILED LOCATION OF WALL ASSEMBLY TYPES, SEE ENLARGED PLANS.

8. ALL STAIR, ELEVATOR, TRASH CHUTE, AND **VENTILATION SHAFTS TO BE 2-HR FIRE RATED** BARRIERS IF CONNECTING MORE THAN 3 STORIES. IF LESS THAN 3 STORIES, THESE MUST BE 1-HR FIRE-RATED CONSTRUCTION.

9. FOR DETAIL LOCATION OF WALL ASSEMBLY TYPES, SEE BUILDING AND UNIT FLOOR PLANS, SHEETS A2.X, A4.X, & A8X. FOR WALL, FLOOR, FLOOR/CEILING, AND ROOF/CEILING ASSEMBLY TYPES, SEE SHEETS A9.X.

10. STUD SIZES TYPICALLY USED THROUGHOUT PROJECT ARE SHOWN – REFER TO STUD SIZE ON WALL ASSEMBLIES, SHEET A9.X, FOR REQUIRED SIZES, GAUGES AND SPACING REQUIRED. COORDINATE BLOCKING AND BRACING REQURIEMENTS FOR ALL WALL-HUNT ITEMS AND VERIFY LOCATIONS PRIOR TO INSTALLATION OF FINISHES.

11. THIS BUILDING TO BE FIRE SPRINKLERED PER APPLICABLE SECTIONS OF CBC CHAPTER 9 AND 12. CLASS 1 STANDPIPES TO BE INTERCONNECTED.

13. PROVIDE ALL NECESSARY WALL ACCESS PANELS AS REQUIRED FOR MECHANICAL, PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS. IN FIRE RATED ASSEMBLIES PROVIDE RATED ACCESS PANELS WITH SELF CLOSING DEVICES.

ENLARGED BUILDING PLANS FOR DETAILED INFORMATION ON DIMENSIONS, CONSTRUCTION, DOORS, WINDOWS, AND OTHER ELEMENTS, TYPICAL.

803.1 FLAME SPREAD PROVISION, SEE INTERIOR 16. FOR DOOR & WINDOW SCHEDULES SEE SHEET

A9.X & A9.X. 17. RAMP SLOPES ARE MEASURED FROM

18. ALL <u>EXIT</u> STAIRS TO COMPLY WITH **CBC** CHAPTERS 10, 11A AND/OR 11B. EXIT STAIRS WIDTH, STAIR RISERS TO BE MAXIMUM 7 INCHES HIGH, AND TREADS TO BE 11 INCHES MINIMUM

19. SEE ROOF PLAN GENERAL NOTES FOR DRAINAGE, VENTILATION, AND ROOF ACCESS

20. ALL RESIDENTIAL UNITS THAT FACE ROADS ARE EQUIPPED WITH EITHER MECHANICAL VENTILATION OR PASSIVE FRESH-AIR INLETS, SEE MECHANICAL DRAWINGS FOR MORE

21. SEE SIGNAGE PLANS AND DETAILS ON A10.X FOR ADDITIONAL INFORMATION REGARDING SIGNS AT UNIT ENTRIES, ELEVATORS, STAIRS EGRESS COMPONENTS, COMMON AREA DOORS

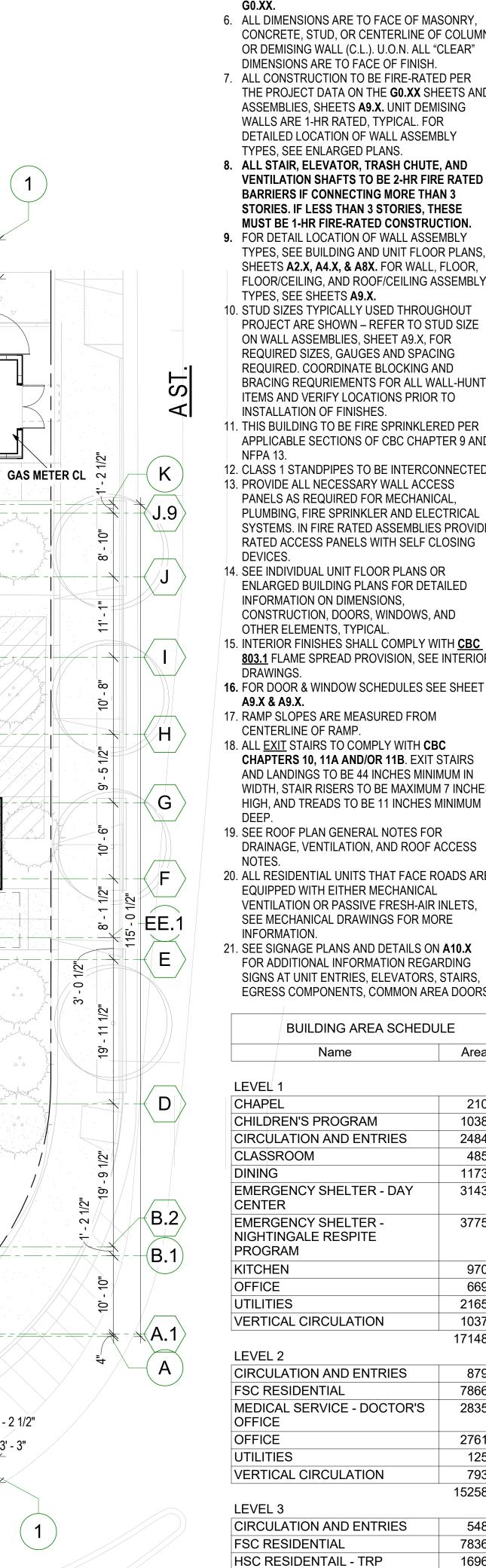
> BUILDING AREA SCHEDULE Area Name

LEVEL 1	
CHAPEL	210 SI
CHILDREN'S PROGRAM	1038 SI
CIRCULATION AND ENTRIES	2484 SI
CLASSROOM	485 SI
DINING	1173 SI
EMERGENCY SHELTER - DAY CENTER	3143 SI
EMERGENCY SHELTER - NIGHTINGALE RESPITE PROGRAM	3775 SI
KITCHEN	970 SI
OFFICE	669 SI
UTILITIES	2165 SI
VERTICAL CIRCULATION	1037 SI
	17148 SI
LEVEL 2	
CIRCULATION AND ENTRIES	879 SI
FSC RESIDENTIAL	7866 SI
MEDICAL SERVICE - DOCTOR'S OFFICE	2835 SI
OFFICE	2761 01

CIRCULATION AND ENTRIES	879 SF
FSC RESIDENTIAL	7866 SF
MEDICAL SERVICE - DOCTOR'S OFFICE	2835 SF
OFFICE	2761 SF
UTILITIES	125 SF
VERTICAL CIRCULATION	793 SF
	15258 SF
LEVEL 3	
CIRCULATION AND ENTRIES	548 SF
FSC RESIDENTIAL	7836 SF
HSC RESIDENTAIL - TRP	1696 SF
OFFICE	4258 SF
UTILITIES	118 SF

VERTICAL CIRCULATION 789 SF 15246 SF 47652 SF

PROJECT NORTH TRUE NORTH



1611 TELEGRAPH AVE. SUITE 200

OAKLAND, CA 94612 510.465.7010 p | 510.465.8575 f

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Catholic Charities

of the Diocese of Santa Rosa

BURBANK HOUSING

S

ARIT

B PLANNING

RESUBMITTAL

UPDATE

RESUBMITTAL

A PLANNING 10/31/18

STAMP:

CENTER - FLOOR PLAN - LEVEL

ARK, TK, KS

PRELIMINARY - Not for Construction

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17.9

17' - 3"

ELEC. RM

TOILETS

1' - 2 1/2"

ÚJ.ÌH

GG

EE.1

 $\langle CC \rangle$

 $\langle c \rangle$

BB.1

1' - 2 1/2"

¥ **2** †

15.8

9' - 5"

OFFICE

OFFICE

OFFICE

OFFICE

FOOD CARTS

___22' - 4"

18' - 11 1/2"

DAY CENTER

QUIET ROOM

PRIVATE

RESTROOM

6' - 7" 10' - 4" 10' - 0 1/2"

18' - 2 1/2"

DONATIONS

DROP-OFF /

STORAGE

14.94.8

<u>1' - 2 1/2"</u>

[14]

[13]

11

[10]

154' - 7"

260' - 10"

12

NIGHTINGALE

PROGRAM

18' - 11 1/2"

19' - 1 1/2"

10' - 3"

__260' - 10"<u>´</u>

<u>6TH ST.</u>

8

(T)(R)

MAIL ROOM

CHAPEL

·/11' - 3"_

MAIN LOBBY

[· 15' - 3"/

(4.2)[4.1]

1' - 2 1/2"

CHILDREN'S

PROGRAM RM.

INTAKE

FAMILY

INTAKE

OFFICE

21' - 4"

STORAGE

INTAKE

OFFICE

21' - 4"

3.5

17' - 1 1/2"

__11' - 7"____5' - 9 1/2"____14' - 6 1/2"__

KITCHEN

□DINING

PUMP & FIRE

SPRINKLER

EMERGENCY

ELEC. ROOM

____18' - 1 1/2"______3' - 2 1/2"______18' - 5"\

TRASH

ENCLOSURE

FURNITURE STORAGE

MAINTENANCE

OFFICE

STAIR 1

SITE

COORDINATOR

<u>___1' - 2 1/2"</u>

11' - 2"

1.7 [1.3](1.2)

CLASSROOM

EXIT PASSAGEWAY 1.5

BUILDING AREA SCHEDULE



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- 1. SEE SHEET **G0.00** FOR SYMBOLS &
- ABBREVIATIONS 2. THESE PLANS SHOW UNIQUE INFORMATION
- ONLY. SEE ENLARGED PLANS FOR INFORMATION NOT SHOWN. 3. REFERENCE ACCESSIBILITY CODE SHEETS **G0.XX** FOR ALL ACCESSIBILITY STANDARDS,
- REQUIREMENTS AND DIAGRAMS
- 4. SEE CIVIL PLANS FOR THE BUILDING LOCATION ON SITE AND PRECISE GRADING PLANS.
- 5. FOR PARKING TABULATION REFER TO SHEET 6. ALL DIMENSIONS ARE TO FACE OF MASONRY,
- CONCRETE, STUD, OR CENTERLINE OF COLUMN OR DEMISING WALL (C.L.). U.O.N. ALL "CLEAR" DIMENSIONS ARE TO FACE OF FINISH. 7. ALL CONSTRUCTION TO BE FIRE-RATED PER
- WALLS ARE 1-HR RATED, TYPICAL. FOR DETAILED LOCATION OF WALL ASSEMBLY TYPES, SEE ENLARGED PLANS. 8. ALL STAIR, ELEVATOR, TRASH CHUTE, AND VENTILATION SHAFTS TO BE 2-HR FIRE RATED BARRIERS IF CONNECTING MORE THAN 3

STORIES. IF LESS THAN 3 STORIES, THESE

ASSEMBLIES, SHEETS A9.X. UNIT DEMISING

THE PROJECT DATA ON THE **G0.XX** SHEETS AND

- MUST BE 1-HR FIRE-RATED CONSTRUCTION. 9. FOR DETAIL LOCATION OF WALL ASSEMBLY TYPES, SEE BUILDING AND UNIT FLOOR PLANS, SHEETS A2.X, A4.X, & A8X. FOR WALL, FLOOR, FLOOR/CEILING, AND ROOF/CEILING ASSEMBLY
- TYPES, SEE SHEETS A9.X. 10. STUD SIZES TYPICALLY USED THROUGHOUT PROJECT ARE SHOWN – REFER TO STUD SIZE ON WALL ASSEMBLIES, SHEET A9.X, FOR REQUIRED SIZES, GAUGES AND SPACING REQUIRED. COORDINATE BLOCKING AND BRACING REQURIEMENTS FOR ALL WALL-HUNT ITEMS AND VERIFY LOCATIONS PRIOR TO INSTALLATION OF FINISHES.
- 11. THIS BUILDING TO BE FIRE SPRINKLERED PER APPLICABLE SECTIONS OF CBC CHAPTER 9 AND NFPA 13.
- 12. CLASS 1 STANDPIPES TO BE INTERCONNECTED. 13. PROVIDE ALL NECESSARY WALL ACCESS PANELS AS REQUIRED FOR MECHANICAL, PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS. IN FIRE RATED ASSEMBLIES PROVIDE RATED ACCESS PANELS WITH SELF CLOSING DEVICES.
- 14. SEE INDIVIDUAL UNIT FLOOR PLANS OR ENLARGED BUILDING PLANS FOR DETAILED INFORMATION ON DIMENSIONS, CONSTRUCTION, DOORS, WINDOWS, AND OTHER ELEMENTS, TYPICAL.
- 15. INTERIOR FINISHES SHALL COMPLY WITH **CBC 803.1** FLAME SPREAD PROVISION, SEE INTERIOR
- 16. FOR DOOR & WINDOW SCHEDULES SEE SHEET A9.X & A9.X.
- 17. RAMP SLOPES ARE MEASURED FROM CENTERLINE OF RAMP. 18. ALL <u>EXIT</u> STAIRS TO COMPLY WITH **CBC**
- CHAPTERS 10, 11A AND/OR 11B. EXIT STAIRS AND LANDINGS TO BE 44 INCHES MINIMUM IN WIDTH, STAIR RISERS TO BE MAXIMUM 7 INCHES HIGH, AND TREADS TO BE 11 INCHES MINIMUM
- 19. SEE ROOF PLAN GENERAL NOTES FOR DRAINAGE, VENTILATION, AND ROOF ACCESS
- 20. ALL RESIDENTIAL UNITS THAT FACE ROADS ARE **EQUIPPED WITH EITHER MECHANICAL** VENTILATION OR PASSIVE FRESH-AIR INLETS, SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
- 21. SEE SIGNAGE PLANS AND DETAILS ON A10.X FOR ADDITIONAL INFORMATION REGARDING SIGNS AT UNIT ENTRIES, ELEVATORS, STAIRS, EGRESS COMPONENTS, COMMON AREA DOORS.

Name	Area
LEVEL 1	
CHAPEL	210 SF
CHILDREN'S PROGRAM	1038 SF
CIRCULATION AND ENTRIES	2484 SF
CLASSROOM	485 SF
DINING	1173 SF
EMERGENCY SHELTER - DAY CENTER	3143 SF
EMERGENCY SHELTER - NIGHTINGALE RESPITE PROGRAM	3775 SF
KITCHEN	970 SF
OFFICE	669 SF
UTILITIES	2165 SF
VERTICAL CIRCULATION	1037 SF
LEVEL 2	17148 SF
CIRCULATION AND ENTRIES	879 SF
FSC RESIDENTIAL	7866 SF
MEDICAL SERVICE - DOCTOR'S OFFICE	2835 SF
OFFICE	2761 SF

VERTICAL CIRCULATION	793 5
	15258 \$
LEVEL 3	
CIRCULATION AND ENTRIES	548 5
FSC RESIDENTIAL	7836 \$
HSC RESIDENTAIL - TRP	1696 9
OFFICE	4258 9
UTILITIES	118 9
VERTICAL CIRCULATION	789 5
	15246 \$

UTILITIES

PROJECT NORTH TRUE NORTH

ARK, TK, KS CENTER - FLOOR PLAN - LEVEL

125 SF

S

STAMP:

RESUBMITTAL

RESUBMITTAL

A PLANNING 10/31/18

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<u>6TH ST.</u>

TREATMENT;

TRELLIS BELOW

18' - 11 1/2"

MH RM

NURSE STORAGE

18' - 11 1/2"

19' - 1 1/2"

EXAM 3

_LOUNGE

STAFF WC

22' - 4"

260' - 10"

8

ACC. BATH

AWNING BELOW

21' - 4"

11' - 3"

15' - 3"

10' - 3"

260' - 10"

ACC. BATH

21' - 4"

18' - 1 1/2" 3' - 2 1/2"

18' - 5"

EE.1

11

(19)

ÉE.1

 $\langle C \rangle$

BB 1

1' - 2 1/2"—

18' - 6"

OPEN OFFICE

OFFICES

1' - 2 1/2"<

ELEV. 3

FLOOR PLAN - LEVEL 2
1" = 10'-0"

1' - 2 1/2"

11' - 2"

(1.32)

1' - 2 1/2" 17' - 1 1/2"

11' - 7" 5' - 9 1/2" 14' - 6 1/2" 4' - 2 1/2" - 3"

- AWNING BELOW

6TH ST.

FLOOR PLAN GENERAL NOTES

- 1. SEE SHEET **G0.00** FOR SYMBOLS &
- ABBREVIATIONS

 2. THESE PLANS SHOW UNIQUE INFORMATION
- ONLY. SEE ENLARGED PLANS FOR INFORMATION NOT SHOWN.

 3. REFERENCE ACCESSIBILITY CODE SHEETS
- GO.XX FOR ALL ACCESSIBILITY STANDARDS,
 REQUIREMENTS AND DIAGRAMS
- 4. SEE CIVIL PLANS FOR THE BUILDING LOCATION ON SITE AND PRECISE GRADING PLANS.
 5. FOR PARKING TABULATION REFER TO SHEET
- 6. ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE, STUD, OR CENTERLINE OF COLUMN OR DEMISING WALL (C.L.). U.O.N. ALL "CLEAR" DIMENSIONS ARE TO FACE OF FINISH.
- 7. ALL CONSTRUCTION TO BE FIRE-RATED PER
 THE PROJECT DATA ON THE GO.XX SHEETS AND
 ASSEMBLIES, SHEETS A9.X. UNIT DEMISING
 WALLS ARE 1-HR RATED, TYPICAL. FOR
 DETAILED LOCATION OF WALL ASSEMBLY
 TYPES, SEE ENLARGED PLANS.
- 8. ALL STAIR, ELEVATOR, TRASH CHUTE, AND VENTILATION SHAFTS TO BE 2-HR FIRE RATED BARRIERS IF CONNECTING MORE THAN 3 STORIES. IF LESS THAN 3 STORIES, THESE MUST BE 1-HR FIRE-RATED CONSTRUCTION.
- FOR DETAIL LOCATION OF WALL ASSEMBLY
 TYPES, SEE BUILDING AND UNIT FLOOR PLANS,
 SHEETS A2.X, A4.X, & A8X. FOR WALL, FLOOR,
 FLOOR/CEILING, AND ROOF/CEILING ASSEMBLY
 TYPES, SEE SHEETS A9.X.
 STUD SIZES TYPICALLY USED THROUGHOUT
- 10. STUD SIZES TYPICALLY USED THROUGHOUT PROJECT ARE SHOWN REFER TO STUD SIZE ON WALL ASSEMBLIES, SHEET A9.X, FOR REQUIRED SIZES, GAUGES AND SPACING REQUIRED. COORDINATE BLOCKING AND BRACING REQURIEMENTS FOR ALL WALL-HUNT ITEMS AND VERIFY LOCATIONS PRIOR TO INSTALLATION OF FINISHES.
- 11. THIS BUILDING TO BE FIRE SPRINKLERED PER APPLICABLE SECTIONS OF CBC CHAPTER 9 AND NFPA 13.
- 12. CLASS 1 STANDPIPES TO BE INTERCONNECTED.
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 RATED ACCESS PANELS WITH SELF CLOSING
 DEVICES.
- 14. SEE INDIVIDUAL UNIT FLOOR PLANS OR ENLARGED BUILDING PLANS FOR DETAILED INFORMATION ON DIMENSIONS, CONSTRUCTION, DOORS, WINDOWS, AND OTHER ELEMENTS, TYPICAL.
- 15. INTERIOR FINISHES SHALL COMPLY WITH <u>CBC</u>

 803.1 FLAME SPREAD PROVISION, SEE INTERIOR DRAWINGS.
- 16. FOR DOOR & WINDOW SCHEDULES SEE SHEET
- A9.X & A9.X.

 17. RAMP SLOPES ARE MEASURED FROM CENTERLINE OF RAMP.
- 18. ALL <u>EXIT</u> STAIRS TO COMPLY WITH **CBC CHAPTERS 10, 11A AND/OR 11B**. EXIT STAIRS
 AND LANDINGS TO BE 44 INCHES MINIMUM IN
 WIDTH, STAIR RISERS TO BE MAXIMUM 7 INCHES
 HIGH, AND TREADS TO BE 11 INCHES MINIMUM
- 19. SEE ROOF PLAN GENERAL NOTES FOR DRAINAGE, VENTILATION, AND ROOF ACCESS NOTES
- NOTES.

 20. ALL RESIDENTIAL UNITS THAT FACE ROADS ARE EQUIPPED WITH EITHER MECHANICAL VENTILATION OR PASSIVE FRESH-AIR INLETS, SEE MECHANICAL DRAWINGS FOR MORE INFORMATION
- INFORMATION.

 21. SEE SIGNAGE PLANS AND DETAILS ON A10.X
 FOR ADDITIONAL INFORMATION REGARDING
 SIGNS AT UNIT ENTRIES, ELEVATORS, STAIRS,
 EGRESS COMPONENTS, COMMON AREA DOORS

BUILDING AREA SCHEDU	JLE
Name	Area
LEVEL 1	
CHAPEL	210 S
CHILDREN'S PROGRAM	1038 S
CIRCULATION AND ENTRIES	2484 S
CLASSROOM	485 S
DINING	1173 S
EMERGENCY SHELTER - DAY CENTER	3143 S
EMERGENCY SHELTER - NIGHTINGALE RESPITE PROGRAM	3775 S
KITCHEN	970 S
OFFICE	669 S
UTILITIES	2165 S
VERTICAL CIRCULATION	1037 S
LEVEL 2	17148 S
CIRCULATION AND ENTRIES	879 S
FSC RESIDENTIAL	7866 S
MEDICAL SERVICE - DOCTOR'S OFFICE	2835 S
OFFICE	2761 S
UTILITIES	125 S
VERTICAL CIRCULATION	793 S
	15258 S
LEVEL 3	
CIRCULATION AND ENTRIES	548 S
FSC RESIDENTIAL	7836 S
HSC RESIDENTAIL - TRP	1696 S
OFFICE	4258 S

PROJECT NORTH TRUE NORTH

0' 5' 10' 2

UTILITIES

VERTICAL CIRCULATION

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OAKLAND, CA 94612



ARITAS VILLAGE SANTA ROSA CA

STAMP:

B PLANNING 07/22/19 RESUBMITTAL UPDATE

A PLANNING 10/31/18

RESUBMITTAL

JOB NUMBER: 1815
DRAWN BY: ARK, TK, KS
CHECKED BY: TB, MB
DATE: 05/27/20

SCALE: As indicated
TITLE:
CARITAS
CENTER - FLOOR PLAN - LEVEL

15246 SF 47652 SF

SHEET: **Δ2 Ω3**

PRELIMINARY - Not for Construction

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- 1. SEE SHEET **G0.00** FOR SYMBOLS &
- ABBREVIATIONS
- ONLY. SEE ENLARGED PLANS FOR INFORMATION NOT SHOWN. 3. REFERENCE ACCESSIBILITY CODE SHEETS
- ON SITE AND PRECISE GRADING PLANS.
- 6. ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE, STUD, OR CENTERLINE OF COLUMN OR DEMISING WALL (C.L.). U.O.N. ALL "CLEAR" DIMENSIONS ARE TO FACE OF FINISH.
- 7. ALL CONSTRUCTION TO BE FIRE-RATED PER THE PROJECT DATA ON THE **G0.XX** SHEETS AND ASSEMBLIES, SHEETS A9.X. UNIT DEMISING WALLS ARE 1-HR RATED, TYPICAL. FOR DETAILED LOCATION OF WALL ASSEMBLY TYPES, SEE ENLARGED PLANS.
- 8. ALL STAIR, ELEVATOR, TRASH CHUTE, AND **VENTILATION SHAFTS TO BE 2-HR FIRE RATED** BARRIERS IF CONNECTING MORE THAN 3 STORIES. IF LESS THAN 3 STORIES, THESE MUST BE 1-HR FIRE-RATED CONSTRUCTION.
- FLOOR/CEILING, AND ROOF/CEILING ASSEMBLY TYPES, SEE SHEETS A9.X. PROJECT ARE SHOWN – REFER TO STUD SIZE ON WALL ASSEMBLIES, SHEET A9.X, FOR REQUIRED SIZES, GAUGES AND SPACING REQUIRED. COORDINATE BLOCKING AND BRACING REQURIEMENTS FOR ALL WALL-HUNT
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- ENLARGED BUILDING PLANS FOR DETAILED INFORMATION ON DIMENSIONS, CONSTRUCTION, DOORS, WINDOWS, AND OTHER ELEMENTS, TYPICAL. 15. INTERIOR FINISHES SHALL COMPLY WITH CBC
- DRAWINGS. 16. FOR DOOR & WINDOW SCHEDULES SEE SHEET A9.X & A9.X.
- CENTERLINE OF RAMP. 18. ALL EXIT STAIRS TO COMPLY WITH CBC CHAPTERS 10, 11A AND/OR 11B. EXIT STAIRS
- AND LANDINGS TO BE 44 INCHES MINIMUM IN WIDTH, STAIR RISERS TO BE MAXIMUM 7 INCHES HIGH, AND TREADS TO BE 11 INCHES MINIMUM
- DRAINAGE, VENTILATION, AND ROOF ACCESS
- 20. ALL RESIDENTIAL UNITS THAT FACE ROADS ARE EQUIPPED WITH EITHER MECHANICAL VENTILATION OR PASSIVE FRESH-AIR INLETS, SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.

BUILDING AREA SCHEDULE		
Name	Area	
EVEL 1		
CHAPEL	210 S	
CHILDREN'S PROGRAM	1038 S	
CIRCULATION AND ENTRIES	2484 S	
CLASSROOM	485 S	
DINING	1173 S	
MERGENCY SHELTER - DAY CENTER	3143 S	
MERGENCY SHELTER - IIGHTINGALE RESPITE PROGRAM	3775 S	
(ITCHEN	970 S	
FFICE	669 S	
JTILITIES	2165 S	

	17148 \$
LEVEL 2	
CIRCULATION AND ENTRIES	879 9
FSC RESIDENTIAL	7866 \$
MEDICAL SERVICE - DOCTOR'S OFFICE	2835 \$
OFFICE	2761 5
UTILITIES	125 \$
VERTICAL CIRCULATION	793 9
	15258 \$
LEVEL 3	
CIRCUILATION AND ENTRIES	5/18 9

LEVEL 3	
CIRCULATION AND ENTRIES	
FSC RESIDENTIAL	7
HSC RESIDENTAIL - TRP	1
OFFICE	4
UTILITIES	
VERTICAL CIRCULATION	
	15

PROJECT NORTH TRUE NORTH

FLOOR PLAN - ROOF
1" = 10'-0"

1611 TELEGRAPH AVE. SUITE 200 OAKLAND, CA 94612

Catholic Charities

of the Diocese of Santa Rosa

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ARIT

RESUBMITTAL UPDATE

RESUBMITTAL

510.465.7010 p | 510.465.8575 f 2. THESE PLANS SHOW UNIQUE INFORMATION www.pyatok.com

G0.XX FOR ALL ACCESSIBILITY STANDARDS,

REQUIREMENTS AND DIAGRAMS 4. SEE CIVIL PLANS FOR THE BUILDING LOCATION 5. FOR PARKING TABULATION REFER TO SHEET

> BURBANK HOUSING

9. FOR DETAIL LOCATION OF WALL ASSEMBLY TYPES, SEE BUILDING AND UNIT FLOOR PLANS,

SHEETS A2.X, A4.X, & A8X. FOR WALL, FLOOR,

10. STUD SIZES TYPICALLY USED THROUGHOUT ITEMS AND VERIFY LOCATIONS PRIOR TO

INSTALLATION OF FINISHES.

14. SEE INDIVIDUAL UNIT FLOOR PLANS OR

803.1 FLAME SPREAD PROVISION, SEE INTERIOR

17. RAMP SLOPES ARE MEASURED FROM

19. SEE ROOF PLAN GENERAL NOTES FOR

21. SEE SIGNAGE PLANS AND DETAILS ON A10.X FOR ADDITIONAL INFORMATION REGARDING SIGNS AT UNIT ENTRIES, ELEVATORS, STAIRS, EGRESS COMPONENTS, COMMON AREA DOORS.

STAMP:

A PLANNING 10/31/18 1037 SF VERTICAL CIRCULATION

CINCULATION AND ENTINES	019
FSC RESIDENTIAL	7866 5
MEDICAL SERVICE - DOCTOR'S OFFICE	2835 S
OFFICE	2761 5
UTILITIES	125 S
VERTICAL CIRCULATION	793 5
	15258 5
LEVEL 3	
CIRCULATION AND ENTRIES	548 5
FSC RESIDENTIAL	7836 5
HSC RESIDENTAIL - TRP	1696 5
OFFICE	4258 5

JOB NUMBER: ARK, TK, KS 4258 SF 118 SF 789 SF CHECKED BY: TB, MB TITLE: 47652 SF CARITAS

CENTER - FLOOR PLAN - ROOF

PRELIMINARY - Not for Construction -

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- 1 SEE SHEET G0.00 FOR SYMBOLS & ABBREVIATIONS 2 THESE PLANS SHOW UNIQUE INFORMATION ONLY. SEE
- ENLARGED PLANS FOR INFORMATION NOT SHOWN.
- 3 REFERENCE ACCESSIBILITY CODE SHEETS G0.XX FOR ALL ACCESSIBILITY STANDARDS, REQUIREMENTS AND DIAGRAMS 4 | SEE CIVIL PLANS FOR THE BUILDING LOCATION ON SITE AND
- PRECISE GRADING PLANS.
- 5 FOR PARKING TABULATION REFER TO SHEET G0.01.
- 6 ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE. STUD, OR CENTERLINE OF COLUMN OR DEMISING WALL (C.L.). U.O.N. ALL "CLEAR" DIMENSIONS ARE TO FACE OF FINISH. 7 ALL CONSTRUCTION TO BE FIRE-RATED PER THE PROJECT
- DATA ON THE GO.XX SHEETS AND ASSEMBLIES, SHEETS A9.X. UNIT DEMISING WALLS ARE 1-HR RATED, TYPICAL. 8 ALL STAIR, ELEVATOR, TRASH CHUTE, AND VENTILATION

SHAFTS TO BE 2-HR FIRE RATED BARRIERS IF CONNECTING

MORE THAN 3 STORIES. IF LESS THAN 3 STORIES, THESE

- MUST BE 1-HR FIRE-RATED CONSTRUCTION. 9 FOR DETAIL LOCATION OF WALL ASSEMBLY TYPES, SEE BUILDING AND UNIT FLOOR PLANS, SHEETS A2.X, A4.X, & A8X. FOR WALL, FLOOR, FLOOR/CEILING, AND ROOF/CEILING ASSEMBLY TYPES, SEE SHEETS A9.X.
- 10 WHERE PROVIDED. CMU PARTITION WALLS TO RECEIVE REINFORCING PER STRUCTURAL DRAWINGS AND TERMINATE AT STRUCTURE ABOVE, U.O.N.
- 11 ALL INTERIOR EXPOSED CONCRETE WITHIN PUBLIC SPACES IS ARCHITECTURAL FINISH, U.O.N.
- 12 STUD SIZES TYPICALLY USED THROUGHOUT PROJECT ARE SHOWN - REFER TO STUD SIZE ON WALL ASSEMBLIES, SHEET A9.X, FOR REQUIRED SIZES, GAUGES AND SPACING REQUIRED. REFER TO STRUCTURAL DRAWINGS FOR STUD SIZE REQUIREMENTS. COORDINATE BLOCKING AND BRACING REQURIEMENTS FOR ALL WALL-HUNG ITEMS AND VERIFY LOCATIONS PRIOR TO INSTALLATION OF FINISHES.
- 13 THIS BUILDING TO BE FIRE SPRINKLERED PER APPLICABLE SECTIONS OF CBC CHAPTER 9 AND NFPA 13.
- 14 CLASS 1 STANDPIPES TO BE INTERCONNECTED. 15 PROVIDE ALL NECESSARY WALL ACCESS PANELS AS REQUIRED FOR MECHANICAL, PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS. IN FIRE RATED ASSEMBLIES PROVIDE RATED ACCESS PANELS WITH SELF CLOSING DEVICES.
- 16 | SEE INDIVIDUAL UNIT FLOOR PLANS OR ENLARGED BUILDING PLANS FOR DETAILED INFORMATION ON DIMENSIONS, CONSTRUCTION, DOORS, WINDOWS, AND OTHER ELEMENTS,
- 17 INTERIOR FINISHES SHALL COMPLY WITH CBC 803.1 FLAME SPREAD PROVISION, SEE INTERIOR DRAWINGS.
- 18 FOR DOOR & WINDOW SCHEDULES SEE SHEET A9.10 & A9.20. 19 RAMP SLOPES ARE MEASURED FROM CENTERLINE OF RAMP. 20 | ALL EXIT STAIRS TO COMPLY WITH CBC CHAPTERS 10, 11A
- AND/OR 11B. EXIT STAIRS AND LANDINGS TO BE 44 INCHES MINIMUM IN WIDTH, STAIR RISERS TO BE MAXIMUM 7 INCHES HIGH, AND TREADS TO BE 11 INCHES MINIMUM DEEP. 21 | SEE ROOF PLAN GENERAL NOTES FOR DRAINAGE,
- VENTILATION, AND ROOF ACCESS NOTES. 22 ALL RESIDENTIAL UNITS THAT FACE ROADS ARE EQUIPPE WITH EITHER MECHANICAL VENTILATION OR PASSIVE FRESH-AIR INLETS, SEE MECHANICAL DRAWINGS FOR MORE
- 23 | SEE SIGNAGE PLANS AND DETAILS ON A10.X FOR ADDITIONAL INFORMATION REGARDING SIGNS AT UNIT ENTRIES, ELEVATORS, STAIRS, EGRESS COMPONENTS, COMMON AREA

KEYNOTE LEGEND

FLOOR PLAN KEY

SEE GRAPHIC SYMBOLS LEGEND ON COVER SHEET FOR SYMBOLS NOT SHOWN BELOW.

MATERIAL, 1 FIRE EXTINGUISHER CABINET SEE KEY FLOORING TRANSITION -SEE FINISH SCHEDULE AND MATERIALS KEY

FLOOR SINK -SEE PLUMBING DRAWINGS FLOOR DRAIN - SEE PLUMBING DRAWINGS -

KEYNOTE TEXT

MAX SLOPE TO DRAIN 1/8" PER FOOT, U.O.N. 2 HOUR RATED WALLS

VERTICAL RATED SHAFT VERTICAL CHASE

SLOPE OR RAMP DIRECTION

SLOPE AT FLOOR

BUILDING AREA (PHASE II SIM.)

WT	USE	AREA
LEVEL 1		
R-2	RESIDENTIAL APARTMENT HOUSE	10,175 SF
S-2	ENCLOSED PARKING GARAGE	10,150 SF
		20,325 SF
LEVEL 2		
R-2	RESIDENTIAL APARTMENT HOUSE	15,184 SF
A-3	RES COMMUNITY ROOM	1,027 SF
		16,211 SF
LEVEL 3		
R-2	RESIDENTIAL APARTMENT HOUSE	13,511 SF
		13,511 SF
LEVEL 4		
R-2	RESIDENTIAL APARTMENT HOUSE	12,252 SF
		12,252 SF

PRELIMINARY - Not for Construction

LEVEL 1

1/8" = 1'-0"

OAKLAND, CA 94612

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Catholic Charities

of the Diocese of Santa Rosa

BURBANK HOUSING

S

STAMP:

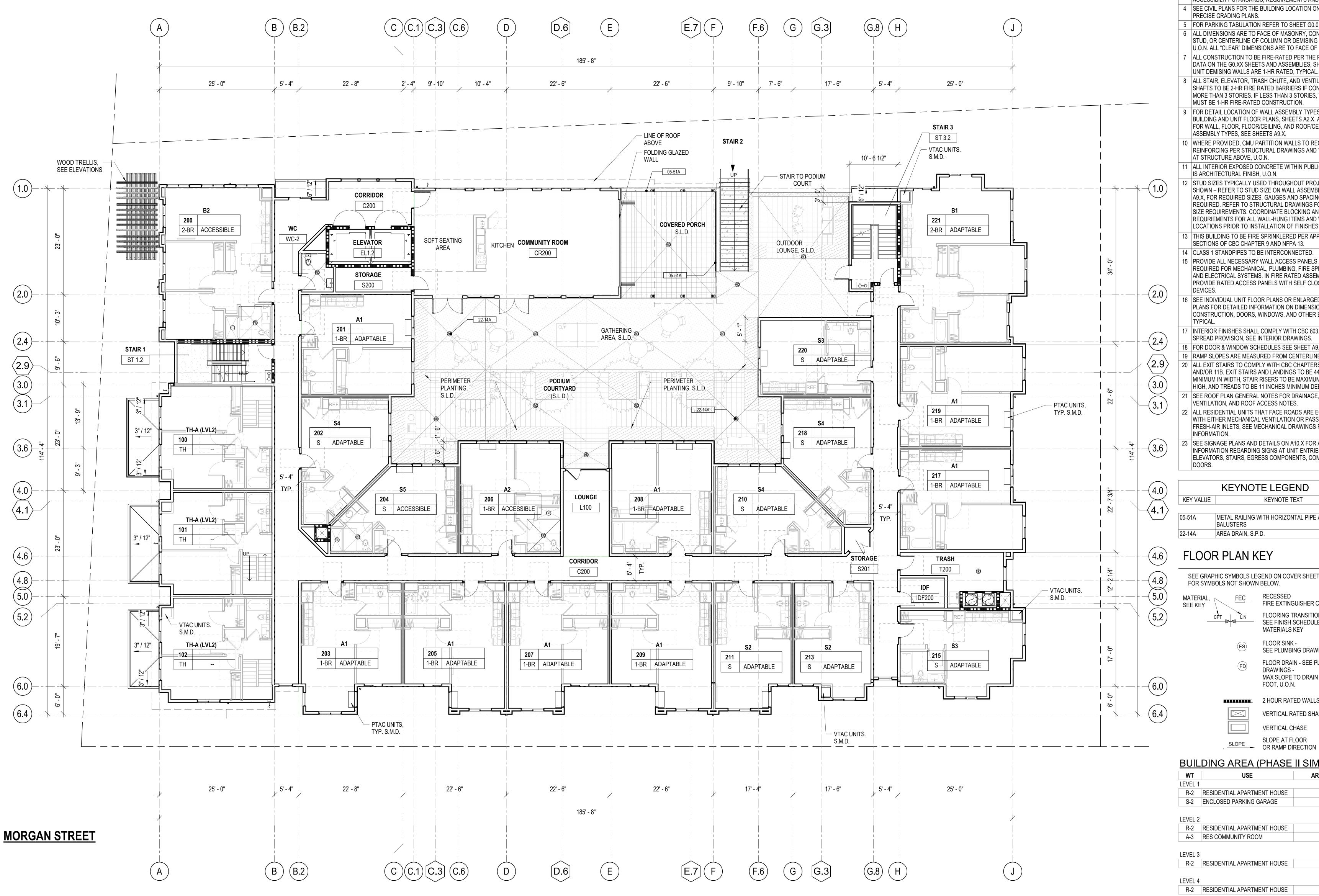
B PLANNING RESUBMITTAL UPDATE

A PLANNING 10/31/18

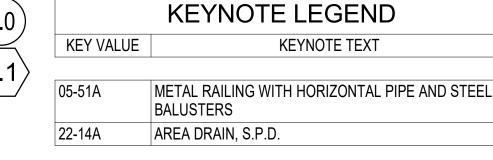
RESUBMITTAL

CARITAS HOMES PHASE 1

LEVEL 1 PLAN

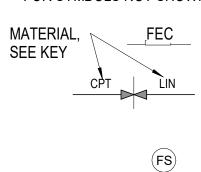


- 1 | SEE SHEET G0.00 FOR SYMBOLS & ABBREVIATIONS
- 2 THESE PLANS SHOW UNIQUE INFORMATION ONLY. SEE ENLARGED PLANS FOR INFORMATION NOT SHOWN.
- REFERENCE ACCESSIBILITY CODE SHEETS GO.XX FOR ALL ACCESSIBILITY STANDARDS, REQUIREMENTS AND DIAGRAMS
- 4 | SEE CIVIL PLANS FOR THE BUILDING LOCATION ON SITE AND PRECISE GRADING PLANS.
- 5 FOR PARKING TABULATION REFER TO SHEET G0.01.
- 6 ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE STUD, OR CENTERLINE OF COLUMN OR DEMISING WALL (C.L.). U.O.N. ALL "CLEAR" DIMENSIONS ARE TO FACE OF FINISH.
- 7 | ALL CONSTRUCTION TO BE FIRE-RATED PER THE PROJECT DATA ON THE GO.XX SHEETS AND ASSEMBLIES, SHEETS A9.X.
- 8 | ALL STAIR, ELEVATOR, TRASH CHUTE, AND VENTILATION SHAFTS TO BE 2-HR FIRE RATED BARRIERS IF CONNECTING MORE THAN 3 STORIES. IF LESS THAN 3 STORIES, THESE MUST BE 1-HR FIRE-RATED CONSTRUCTION.
- 9 FOR DETAIL LOCATION OF WALL ASSEMBLY TYPES, SEE BUILDING AND UNIT FLOOR PLANS, SHEETS A2.X, A4.X, & A8X. FOR WALL, FLOOR, FLOOR/CEILING, AND ROOF/CEILING ASSEMBLY TYPES, SEE SHEETS A9.X.
- 10 WHERE PROVIDED, CMU PARTITION WALLS TO RECEIVE REINFORCING PER STRUCTURAL DRAWINGS AND TERMINATE AT STRUCTURE ABOVE, U.O.N.
- 11 ALL INTERIOR EXPOSED CONCRETE WITHIN PUBLIC SPACES IS ARCHITECTURAL FINISH, U.O.N.
- 12 STUD SIZES TYPICALLY USED THROUGHOUT PROJECT ARE SHOWN - REFER TO STUD SIZE ON WALL ASSEMBLIES, SHEET A9.X, FOR REQUIRED SIZES, GAUGES AND SPACING REQUIRED. REFER TO STRUCTURAL DRAWINGS FOR STUD SIZE REQUIREMENTS. COORDINATE BLOCKING AND BRACING REQURIEMENTS FOR ALL WALL-HUNG ITEMS AND VERIFY LOCATIONS PRIOR TO INSTALLATION OF FINISHES.
- 13 THIS BUILDING TO BE FIRE SPRINKLERED PER APPLICABLE SECTIONS OF CBC CHAPTER 9 AND NFPA 13.
- 14 CLASS 1 STANDPIPES TO BE INTERCONNECTED. 15 PROVIDE ALL NECESSARY WALL ACCESS PANELS AS
- REQUIRED FOR MECHANICAL, PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS. IN FIRE RATED ASSEMBLIES PROVIDE RATED ACCESS PANELS WITH SELF CLOSING
- 16 | SEE INDIVIDUAL UNIT FLOOR PLANS OR ENLARGED BUILDING PLANS FOR DETAILED INFORMATION ON DIMENSIONS, CONSTRUCTION, DOORS, WINDOWS, AND OTHER ELEMENTS,
- 17 INTERIOR FINISHES SHALL COMPLY WITH CBC 803.1 FLAME SPREAD PROVISION, SEE INTERIOR DRAWINGS.
- 18 FOR DOOR & WINDOW SCHEDULES SEE SHEET A9.10 & A9.20. 19 RAMP SLOPES ARE MEASURED FROM CENTERLINE OF RAMP.
- 20 | ALL EXIT STAIRS TO COMPLY WITH CBC CHAPTERS 10, 11A AND/OR 11B. EXIT STAIRS AND LANDINGS TO BE 44 INCHES MINIMUM IN WIDTH, STAIR RISERS TO BE MAXIMUM 7 INCHES HIGH, AND TREADS TO BE 11 INCHES MINIMUM DEEP. 21 | SEE ROOF PLAN GENERAL NOTES FOR DRAINAGE,
- VENTILATION, AND ROOF ACCESS NOTES. 22 | ALL RESIDENTIAL UNITS THAT FACE ROADS ARE EQUIPPED WITH EITHER MECHANICAL VENTILATION OR PASSIVE
- FRESH-AIR INLETS, SEE MECHANICAL DRAWINGS FOR MORE
- 23 | SEE SIGNAGE PLANS AND DETAILS ON A10.X FOR ADDITIONAL INFORMATION REGARDING SIGNS AT UNIT ENTRIES, ELEVATORS, STAIRS, EGRESS COMPONENTS, COMMON AREA



FLOOR PLAN KEY

SEE GRAPHIC SYMBOLS LEGEND ON COVER SHEET



RECESSED FIRE EXTINGUISHER CABINET FLOORING TRANSITION -SEE FINISH SCHEDULE AND

MATERIALS KEY

FLOOR SINK -SEE PLUMBING DRAWINGS

FLOOR DRAIN - SEE PLUMBING DRAWINGS -MAX SLOPE TO DRAIN 1/8" PER FOOT, U.O.N.

2 HOUR RATED WALLS VERTICAL RATED SHAFT VERTICAL CHASE SLOPE AT FLOOR SLOPE OR RAMP DIRECTION

<u>UIL</u>	<u>.DING AREA (PHASE</u>	<u>II SIM.)</u>
WT	USE	AREA
VEL 1		
R-2	RESIDENTIAL APARTMENT HOUSE	10,175
S-2	ENCLOSED PARKING GARAGE	10,150
		20,325
VEL 2		
R-2	RESIDENTIAL APARTMENT HOUSE	15,184
A-3	RES COMMUNITY ROOM	1,027
		16,211
VFI 3		

R-2 RESIDENTIAL APARTMENT HOUSE R-2 RESIDENTIAL APARTMENT HOUSE

Grand total

LEVEL 2 1/8" = 1'-0" **vg**

12,252 SF

12,252 SF 62,299 SF

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A PLANNING 10/31/18

CARITAS HOMES PHASE 1 -

LEVEL 2 PLAN

ARK, TK, KS

JOB NUMBER:

DRAWN BY:

13,511 SF

13,511 SF

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- 1 SEE SHEET G0.00 FOR SYMBOLS & ABBREVIATIONS 2 THESE PLANS SHOW UNIQUE INFORMATION ONLY. SEE
- ENLARGED PLANS FOR INFORMATION NOT SHOWN.
- 3 REFERENCE ACCESSIBILITY CODE SHEETS G0.XX FOR ALL ACCESSIBILITY STANDARDS, REQUIREMENTS AND DIAGRAMS

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- 4 | SEE CIVIL PLANS FOR THE BUILDING LOCATION ON SITE AND PRECISE GRADING PLANS.
- 5 FOR PARKING TABULATION REFER TO SHEET G0.01. 6 ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE STUD, OR CENTERLINE OF COLUMN OR DEMISING WALL (C.L.)
- U.O.N. ALL "CLEAR" DIMENSIONS ARE TO FACE OF FINISH. 7 ALL CONSTRUCTION TO BE FIRE-RATED PER THE PROJECT DATA ON THE GO.XX SHEETS AND ASSEMBLIES, SHEETS A9.X. UNIT DEMISING WALLS ARE 1-HR RATED, TYPICAL.
- SHAFTS TO BE 2-HR FIRE RATED BARRIERS IF CONNECTING MORE THAN 3 STORIES. IF LESS THAN 3 STORIES, THESE MUST BE 1-HR FIRE-RATED CONSTRUCTION. 9 FOR DETAIL LOCATION OF WALL ASSEMBLY TYPES, SEE
- BUILDING AND UNIT FLOOR PLANS, SHEETS A2.X, A4.X, & A8X. FOR WALL, FLOOR, FLOOR/CEILING, AND ROOF/CEILING ASSEMBLY TYPES, SEE SHEETS A9.X.
- 10 WHERE PROVIDED, CMU PARTITION WALLS TO RECEIVE REINFORCING PER STRUCTURAL DRAWINGS AND TERMINATE AT STRUCTURE ABOVE, U.O.N.
- 11 ALL INTERIOR EXPOSED CONCRETE WITHIN PUBLIC SPACES IS ARCHITECTURAL FINISH, U.O.N.
- 12 STUD SIZES TYPICALLY USED THROUGHOUT PROJECT ARE SHOWN - REFER TO STUD SIZE ON WALL ASSEMBLIES, SHEET A9.X, FOR REQUIRED SIZES, GAUGES AND SPACING REQUIRED. REFER TO STRUCTURAL DRAWINGS FOR STUD SIZE REQUIREMENTS. COORDINATE BLOCKING AND BRACING REQURIEMENTS FOR ALL WALL-HUNG ITEMS AND VERIFY LOCATIONS PRIOR TO INSTALLATION OF FINISHES.
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- 16 | SEE INDIVIDUAL UNIT FLOOR PLANS OR ENLARGED BUILDING PLANS FOR DETAILED INFORMATION ON DIMENSIONS, CONSTRUCTION, DOORS, WINDOWS, AND OTHER ELEMENTS,
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- 21 SEE ROOF PLAN GENERAL NOTES FOR DRAINAGE, VENTILATION, AND ROOF ACCESS NOTES.
- 22 ALL RESIDENTIAL UNITS THAT FACE ROADS ARE EQUIPPE WITH EITHER MECHANICAL VENTILATION OR PASSIVE FRESH-AIR INLETS, SEE MECHANICAL DRAWINGS FOR MORE
- 23 SEE SIGNAGE PLANS AND DETAILS ON A10.X FOR ADDITIONAL INFORMATION REGARDING SIGNS AT UNIT ENTRIES, ELEVATORS, STAIRS, EGRESS COMPONENTS, COMMON AREA

	KEYNOTE LEGEND
KEY VALUE	KEYNOTE TEXT
06-40C	ARCHITECTURAL WOODWORK, WOOD POSTS AND TRELLIS
07-31A	ASPHALT COMPOSITION SHINGLE ROOFING
07-54A	POLYCARBONATE PATIO TRELLIS COVERING (W/CLASS 'B' FIRE RATING)
07-71A	GSM GUTTER, PAINTED

FLOOR PLAN KEY

SEE GRAPHIC SYMBOLS LEGEND ON COVER SHEET FOR SYMBOLS NOT SHOWN BELOW.

RECESSED FIRE EXTINGUISHER CABINET SEE KEY FLOORING TRANSITION -SEE FINISH SCHEDULE AND MATERIALS KEY

FLOOR SINK -SEE PLUMBING DRAWINGS

FLOOR DRAIN - SEE PLUMBING

DRAWINGS -MAX SLOPE TO DRAIN 1/8" PER FOOT, U.O.N. 2 HOUR RATED WALLS VERTICAL RATED SHAFT

VERTICAL CHASE SLOPE AT FLOOR SLOPE OR RAMP DIRECTION

WT	USE	AREA
LEVEL 1		
R-2	RESIDENTIAL APARTMENT HOUSE	10,175
S-2	ENCLOSED PARKING GARAGE	10,150
		20,325
LEVEL 2	2	
R-2	RESIDENTIAL APARTMENT HOUSE	15,184
A-3	RES COMMUNITY ROOM	1,027
		16,211
LEVEL 3	3	
R-2	RESIDENTIAL APARTMENT HOUSE	13,511
		13,511
LEVEL 4		

R-2 RESIDENTIAL APARTMENT HOUSE

Grand total

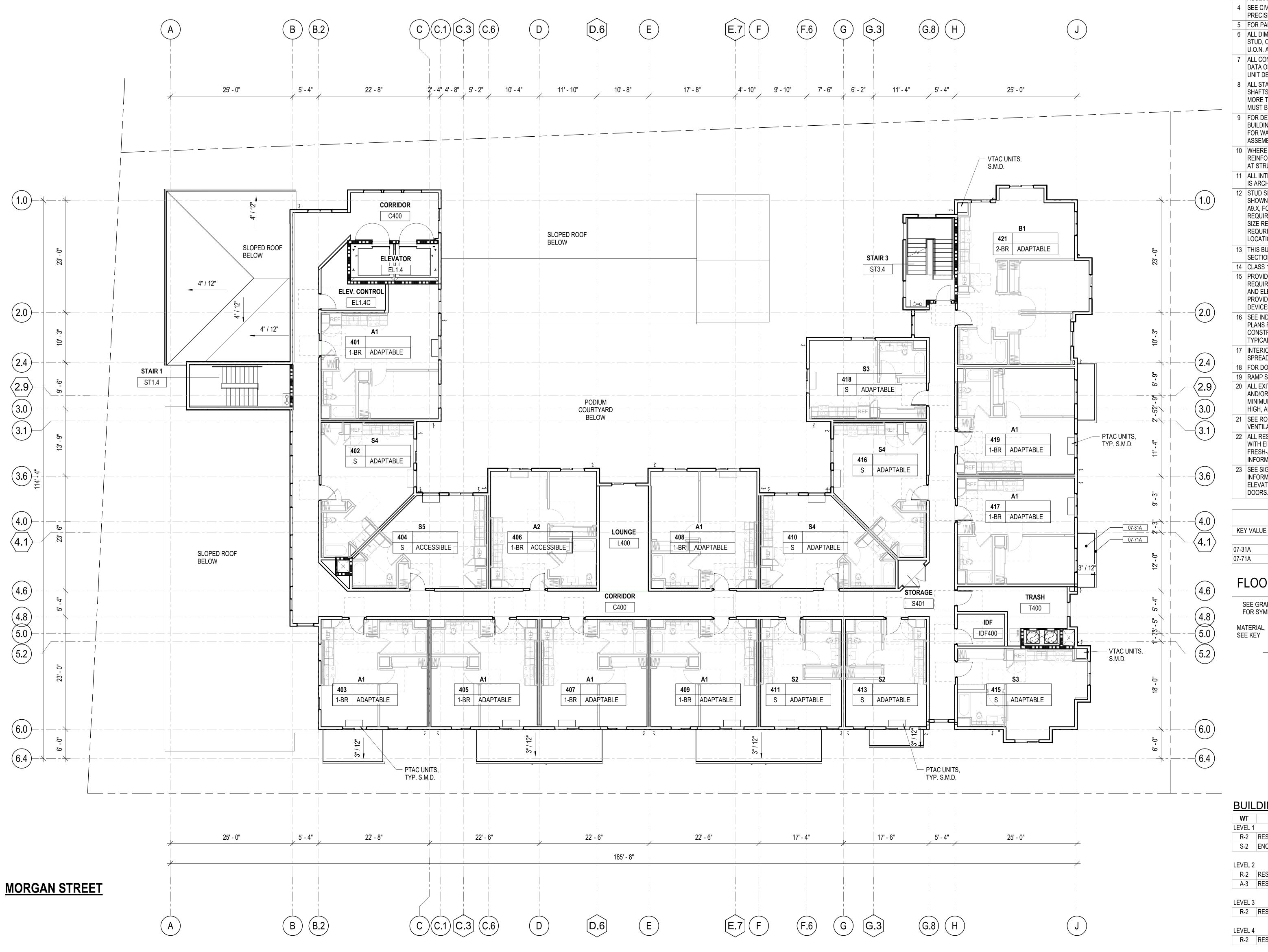
12,252 SF

12,252 SF 62,299 SF

ARK, TK, KS **CARITAS HOMES PHASE 1**

LEVEL 3 PLAN

PRELIMINARY - Not for Construction



- 1 SEE SHEET G0.00 FOR SYMBOLS & ABBREVIATIONS
- 2 THESE PLANS SHOW UNIQUE INFORMATION ONLY. SEE ENLARGED PLANS FOR INFORMATION NOT SHOWN.
- 3 REFERENCE ACCESSIBILITY CODE SHEETS G0.XX FOR ALL

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CARITAS HOMES PHASE 1 -

A PLANNING 10/31/18

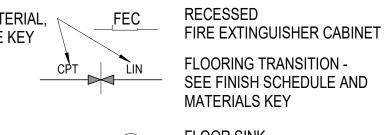
- ACCESSIBILITY STANDARDS, REQUIREMENTS AND DIAGRAMS 4 SEE CIVIL PLANS FOR THE BUILDING LOCATION ON SITE AND
- PRECISE GRADING PLANS. 5 FOR PARKING TABULATION REFER TO SHEET G0.01.
- 6 ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE STUD, OR CENTERLINE OF COLUMN OR DEMISING WALL (C.L.). U.O.N. ALL "CLEAR" DIMENSIONS ARE TO FACE OF FINISH.
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- MUST BE 1-HR FIRE-RATED CONSTRUCTION. 9 FOR DETAIL LOCATION OF WALL ASSEMBLY TYPES, SEE BUILDING AND UNIT FLOOR PLANS, SHEETS A2.X, A4.X, & A8X. FOR WALL, FLOOR, FLOOR/CEILING, AND ROOF/CEILING
- 10 WHERE PROVIDED, CMU PARTITION WALLS TO RECEIVE
- AT STRUCTURE ABOVE, U.O.N.
- 11 ALL INTERIOR EXPOSED CONCRETE WITHIN PUBLIC SPACES IS ARCHITECTURAL FINISH, U.O.N. 12 STUD SIZES TYPICALLY USED THROUGHOUT PROJECT ARE
- REQURIEMENTS FOR ALL WALL-HUNG ITEMS AND VERIFY LOCATIONS PRIOR TO INSTALLATION OF FINISHES.
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- 16 | SEE INDIVIDUAL UNIT FLOOR PLANS OR ENLARGED BUILDING PLANS FOR DETAILED INFORMATION ON DIMENSIONS, CONSTRUCTION, DOORS, WINDOWS, AND OTHER ELEMENTS,
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- 18 FOR DOOR & WINDOW SCHEDULES SEE SHEET A9.10 & A9.20. 19 RAMP SLOPES ARE MEASURED FROM CENTERLINE OF RAMP.
- AND/OR 11B. EXIT STAIRS AND LANDINGS TO BE 44 INCHES MINIMUM IN WIDTH, STAIR RISERS TO BE MAXIMUM 7 INCHES HIGH, AND TREADS TO BE 11 INCHES MINIMUM DEEP.
- VENTILATION, AND ROOF ACCESS NOTES. 22 | ALL RESIDENTIAL UNITS THAT FACE ROADS ARE EQUIPPED
- WITH EITHER MECHANICAL VENTILATION OR PASSIVE FRESH-AIR INLETS, SEE MECHANICAL DRAWINGS FOR MORE
- INFORMATION REGARDING SIGNS AT UNIT ENTRIES, ELEVATORS, STAIRS, EGRESS COMPONENTS, COMMON AREA

KEYNOTE LEGEND

KEYNOTE TEXT

ASPHALT COMPOSITION SHINGLE ROOFING GSM GUTTER, PAINTED

SEE GRAPHIC SYMBOLS LEGEND ON COVER SHEET



DRAWINGS -

2 HOUR RATED WALLS VERTICAL RATED SHAFT

BUILDING AREA (PHASE II SIM.)

WT	USE	AREA
LEVEL 1		
R-2	RESIDENTIAL APARTMENT HOUSE	10,175 \$
S-2	ENCLOSED PARKING GARAGE	10,150 \$
		20,325 8
LEVEL 2		
R-2	RESIDENTIAL APARTMENT HOUSE	15,184 9
A-3	RES COMMUNITY ROOM	1,027 8
		16,211 9
LEVEL 3		
R-2	RESIDENTIAL APARTMENT HOUSE	13,511 \$
		13,511 5
LEVEL 4		
R-2	RESIDENTIAL APARTMENT HOUSE	12,252 \$
		12,252 \$
Grand to	tal	62,299 \$

PRELIMINARY - Not for Construction

SHAFTS TO BE 2-HR FIRE RATED BARRIERS IF CONNECTING MORE THAN 3 STORIES. IF LESS THAN 3 STORIES, THESE

ASSEMBLY TYPES, SEE SHEETS A9.X.

REINFORCING PER STRUCTURAL DRAWINGS AND TERMINATE

SHOWN – REFER TO STUD SIZE ON WALL ASSEMBLIES, SHEET A9.X, FOR REQUIRED SIZES, GAUGES AND SPACING REQUIRED. REFER TO STRUCTURAL DRAWINGS FOR STUD SIZE REQUIREMENTS. COORDINATE BLOCKING AND BRACING

20 ALL EXIT STAIRS TO COMPLY WITH CBC CHAPTERS 10, 11A

21 SEE ROOF PLAN GENERAL NOTES FOR DRAINAGE,

23 | SEE SIGNAGE PLANS AND DETAILS ON A10.X FOR ADDITIONAL

FLOOR PLAN KEY

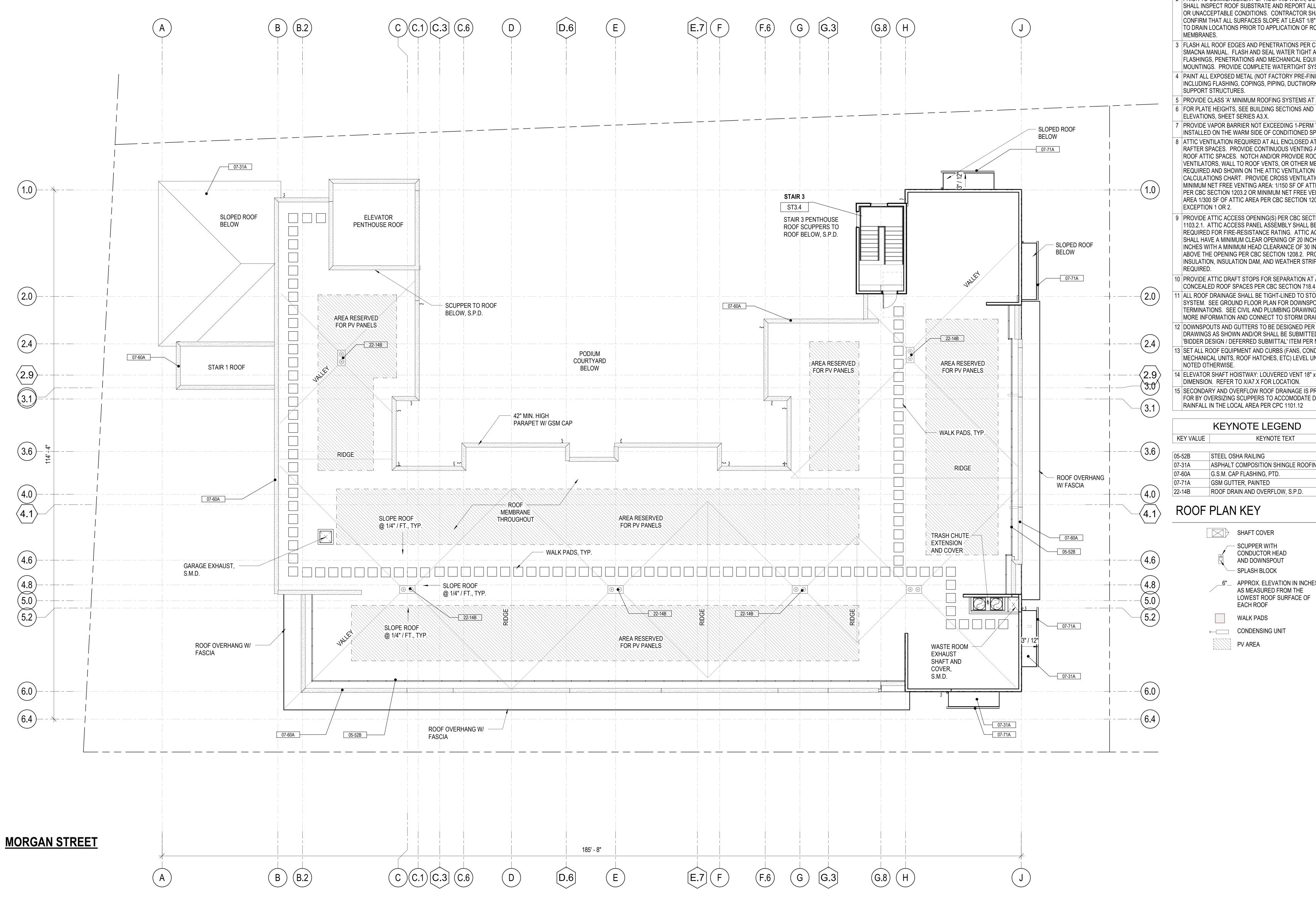
FOR SYMBOLS NOT SHOWN BELOW.

FLOOR SINK -

SEE PLUMBING DRAWINGS FLOOR DRAIN - SEE PLUMBING MAX SLOPE TO DRAIN 1/8" PER FOOT, U.O.N.

VERTICAL CHASE

SLOPE AT FLOOR SLOPE OR RAMP DIRECTION



ROOF PLAN GENERAL NOTES

1 ROOF DRAWINGS ARE DIAGRAMMATIC AND MAY NOT SHOW ALL PENETRATIONS OF EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

2 PRIOR TO COMMENCEMENT OF ROOFING WORK, CONTRACTOR SHALL INSPECT ROOF SUBSTRATE AND REPORT ALL DEFECTS OR UNACCEPTABLE CONDITIONS. CONTRACTOR SHALL CONFIRM THAT ALL SURFACES SLOPE AT LEAST 1/8" PER FOOT TO DRAIN LOCATIONS PRIOR TO APPLICATION OF ROOFING

3 FLASH ALL ROOF EDGES AND PENETRATIONS PER CURRENT SMACNA MANUAL. FLASH AND SEAL WATER TIGHT ALL FLASHINGS, PENETRATIONS AND MECHANICAL EQUIPMENT MOUNTINGS. PROVIDE COMPLETE WATERTIGHT SYSTEM.

4 PAINT ALL EXPOSED METAL (NOT FACTORY PRE-FINISHED) INCLUDING FLASHING, COPINGS, PIPING, DUCTWORK AND SUPPORT STRUCTURES.

5 PROVIDE CLASS 'A' MINIMUM ROOFING SYSTEMS AT ALL ROOFS

ELEVATIONS, SHEET SERIES A3.X. 7 PROVIDE VAPOR BARRIER NOT EXCEEDING 1-PERM TO BE

INSTALLED ON THE WARM SIDE OF CONDITIONED SPACES. 8 ATTIC VENTILATION REQUIRED AT ALL ENCLOSED ATTIC OR RAFTER SPACES. PROVIDE CONTINUOUS VENTING ALL ALL ROOF ATTIC SPACES. NOTCH AND/OR PROVIDE ROOF VENTILATORS, WALL TO ROOF VENTS, OR OTHER MEANS AS REQUIRED AND SHOWN ON THE ATTIC VENTILATION CALCULATIONS CHART. PROVIDE CROSS VENTILATION AND MINIMUM NET FREE VENTING AREA: 1/150 SF OF ATTIC AREA PER CBC SECTION 1203.2 OR MINIMUM NET FREE VENTING AREA 1/300 SF OF ATTIC AREA PER CBC SECTION 1202.2.1 EXCEPTION 1 OR 2.

9 PROVIDE ATTIC ACCESS OPENING(S) PER CBC SECTION 1103.2.1. ATTIC ACCESS PANEL ASSEMBLY SHALL BE LISTED AS REQUIRED FOR FIRE-RESISTANCE RATING. ATTIC ACCESS SHALL HAVE A MINIMUM CLEAR OPENING OF 20 INCHES BY 30 INCHES WITH A MINIMUM HEAD CLEARANCE OF 30 INCHES ABOVE THE OPENING PER CBC SECTION 1208.2. PROVIDE INSULATION, INSULATION DAM, AND WEATHER STRIPPING AS

10 PROVIDE ATTIC DRAFT STOPS FOR SEPARATION AT ATTIC AND CONCEALED ROOF SPACES PER CBC SECTION 718.4

11 ALL ROOF DRAINAGE SHALL BE TIGHT-LINED TO STORM DRAIN SYSTEM. SEE GROUND FLOOR PLAN FOR DOWNSPOUT TERMINATIONS. SEE CIVIL AND PLUMBING DRAWINGS FOR MORE INFORMATION AND CONNECT TO STORM DRAIN SYSTEM

12 DOWNSPOUTS AND GUTTERS TO BE DESIGNED PER THE DRAWINGS AS SHOWN AND/OR SHALL BE SUBMITTED AS A 'BIDDER DESIGN / DEFERRED SUBMITTAL' ITEM PER NOTES. 13 SET ALL ROOF EQUIPMENT AND CURBS (FANS, CONDENSORS, MECHANICAL UNITS, ROOF HATCHES, ETC) LEVEL UNLESS NOTED OTHERWISE.

14 ELEVATOR SHAFT HOISTWAY: LOUVERED VENT 18" x 24" DIMENSION. REFER TO X/A7.X FOR LOCATION. 15 SECONDARY AND OVERFLOW ROOF DRAINAGE IS PROVIDED FOR BY OVERSIZING SCUPPERS TO ACCOMODATE DOUBLE THE

RAINFALL IN THE LOCAL AREA PER CPC 1101.12 KEYNOTE LEGEND

KEYNOTE TEXT STEEL OSHA RAILING

ASPHALT COMPOSITION SHINGLE ROOFING G.S.M. CAP FLASHING, PTD. GSM GUTTER, PAINTED ROOF DRAIN AND OVERFLOW, S.P.D.

SHAFT COVER - SCUPPER WITH CONDUCTOR HEAD AND DOWNSPOUT — SPLASH BLOCK

> __6"__ APPROX. ELEVATION IN INCHES AS MEASURED FROM THE LOWEST ROOF SURFACE OF EACH ROOF

WALK PADS CONDENSING UNIT PV AREA

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UPDATE A PLANNING 10/31/18 RESUBMITTAL

JOB NUMBER: DRAWN BY: ARK, TK, KS CHECKED BY:

CARITAS HOMES PHASE 1 -ROOF PLAN

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PRELIMINARY - Not for Construction -

ELEVATION NOTES

- 1. SEE SHEET **G0.00** FOR SYMBOLS & ABBREVIATIONS. 2. THESE ELEVATIONS SHOW OVERALL INFORMATION RELATIONSHIPS ONLY, SEE ENLARGED ELEVATIONS FOR
- INFORMATION NOT SHOWN. 3. ALL CONTROL JOINTS AND FINISH MATERIALS SHALL WRAP AROUND CORNERS AND CONTINUE ONTO ADJACENT WALLS WHETHER SHOWN OR NOT, UNLESS NOTED OTHERWISE. PER <u>ASTM C 1063</u> INSTALL CONTROL JOINTS WHERE AN EXPANSION JOINT OCCURS IN THE BASE EXTERIOR WALL. INSTALL CONTROL JOINTS WHERE CEILING FRAMING OR FURRING CHANGES DIRECTION.

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- 4. PER <u>ASTM C 1063</u>, EXTERIOR PLASTER CONTROL JOINTS TO BE INSTALLED IN VERTICAL SURFACES EXCEEDING 144 SQUARE FEET IN AREA AND HORIZONTAL SURFACES EXCEEDING 100 SQUARE FEET IN AREA. DISTANCE BETWEEN CONTROL JOINTS SHALL NOT EXCEED 18 FEET IN EITHER DIRECTION OR A LENGTH-TO-WIDTH RATIO OF 2.5
- 5. ALL WEEP SCREED LINES SHALL BE LEVEL AND STEP WITH ADJACENT GRADE. STEPPING OF WEEP SCREED TO OCCUR AT INSIDE CORNERS. BOTTOM EDGE OF WEEP SCREED SHALL BE INSTALLED NOT LESS THAN 1 INCH BELOW THE JOINT FORMED BY THE FOUNDATION AND FRAMING. NOSE OF SCREED SHALL BE PLACED 6 INCHES MINIMUM ABOVE GRADE OR 2 INCHES MINIMUM ABOVE PAVED SURFACE.
- 6. ALL EXTERIOR WALL PENETRATIONS SHALL BE SEALED. 7. ALL GUTTERS SHALL BE LEVEL U.O.N. AND RAINWATER LEADERS SHALL VERTICALLY ALIGN WITH WALLS
- 8. REFER TO WINDOW SCHEDULE FOR WINDOW STC RATINGS. 9. REFER TO MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 10. FRAMING SUB-CONTRACTOR SHALL REVIEW AND COORDINATE EXTERIOR LIGHTING AND SIGNAGE

INCLUDING PRIVATE DECKS AND STAIRS OPENINGS

- LOCATIONS AND SHALL PROVIDE SOLID BLOCKING WHERE 11. FAÇADE ACCESS PLAN SHALL BE PROVIDED BY OWNER TO COMPLY WITH OSHA REGULATIONS FOR BUILDING
- MAINTENANCE. 12. CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY CONFLICTS AND/OR DISCREPANCIES TO THE ATTENTION OF
- THE ARCHITECT. 13. ALL LEVELS ARE TO TOP OF STRUCTURAL CONCRETE,
- 14. FOR DOOR AND WINDOW TYPES AND SIZES, SEE SCHEDULES AND LEGENDS ON A9.XX AND A9.XX.
- 15. SEE COLOR LEGEND ON SHEET **GO.XX** FOR PAINT SCHEDULE.

NORTH ELEVATION
1" = 10'-0"



SOUTH ELEVATION (6TH ST.)
1" = 10'-0"

KEYNOTE LEGEND Key Value Keynote Text 04 2223-01 RAMMED EARTH EXTERIOR WALL 05 5000-51 METAL SUNSHADE, STEEL FRAME 05 5100-02 WALL MOUNTED STEEL LADDER 05 7000-11 METAL PLATE AWNING - OVER DOOR AND WINDOW, PAINTED 06 1000-33 HEAVY TIMBER AWNING STRUCTURE WITH TRANSLUCENT CORRUGATED FIBERGLASS ROOFING 06 2000-01 WOOD FENCES 07 4300-01 METAL SPANDREL PANEL 07 6000-01 G.S.M. CAP FLASHING, PTD. 07 6200-02 GUTTER 08 1110-01 HOLLOW METAL DOORS AND FRAMES, PAINTED 08 4100-01 ALUMINUM-FRAMED STOREFRONT - EXTERIOR, CLEAR ANODIZED FINISH 08 4100-06 ALUMINUM-FRAMED ENTRANCES & STOREFRONT, CLEAR ANODIZED FINISH 08 4110-01 CUSTOM ART GLASS WITH COLORED AND FRITTED GLASS 08 5100-02 ALUMINUM WINDOWS, CLEAR ANODIZED FINISH | 09 2400-01 | 7/8" THREE COAT PORTLAND CEMENT PLASTER, PAINTED 09 2400-02 | 7/8" THREE COAT PORTLAND CEMENT PLASTER, PAINTED ACCENT COLOR 09 2400-03 7/8" THREE COAT PORTLAND CEMENT PLASTER, PAINTED WAINSCOTING 09 2400-15 7/8" THREE COAT PORTLAND CEMENT PLASTER, RAKED TEXTURED, PAINTED

| 09 2400-16 | 7/8" THREE COAT PORTLAND

09 2400-17 | 7/8" THREE COAT PORTLAND

10 7316-01 STEEL CANOPY WITH WOOD

COLOR

10 1400-01 BUILDING SIGNAGE

SOFFIT

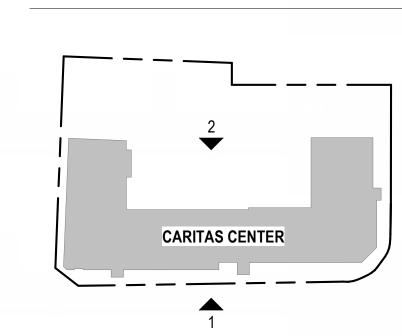
CEMENT PLASTER, RAKED TEXTURED, PAINTED ACCENT

CEMENT PLASTER, WITH

STAIR ACCENT COLOR

REGLETS, PAINTED 2 SHADES OF

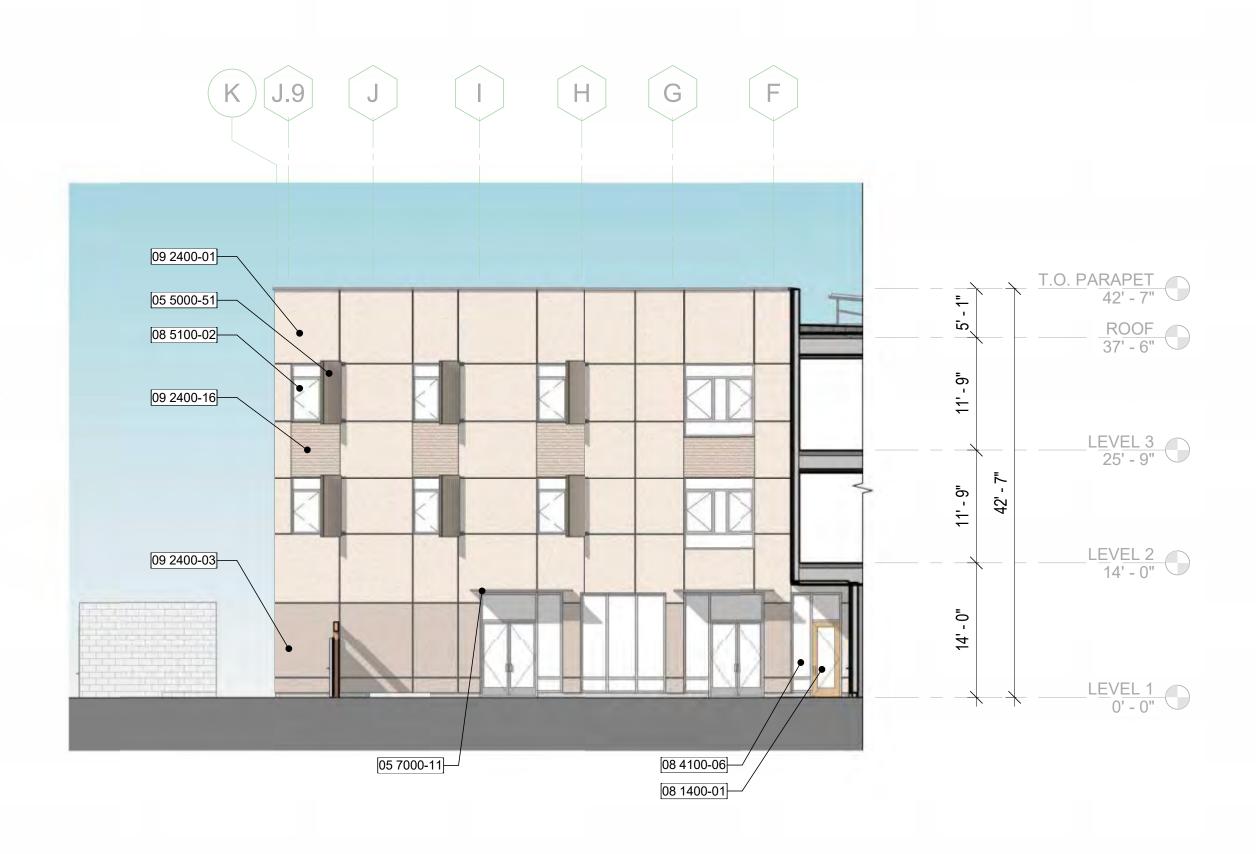
KEY PLAN



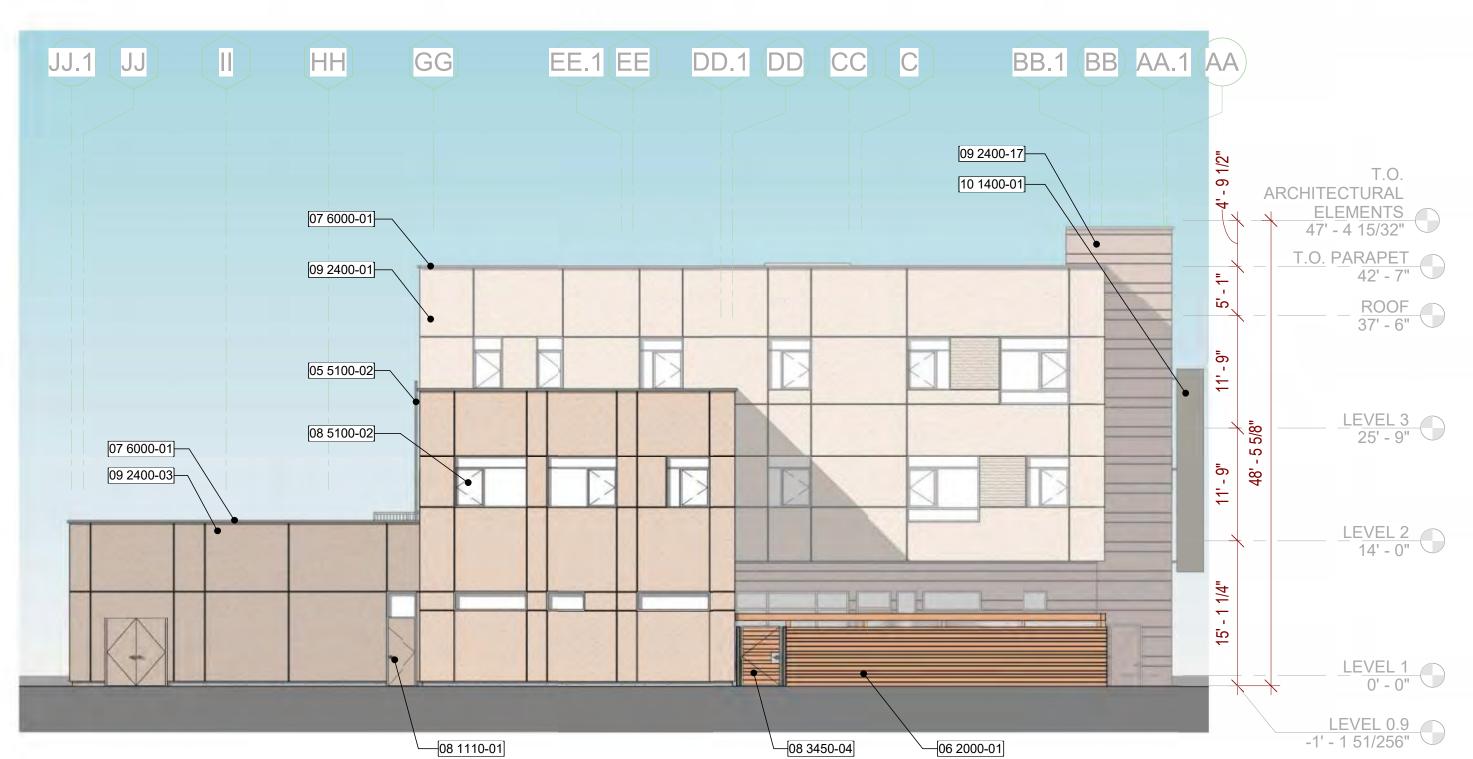
JOB NUMBER: ARK, TK, KS DRAWN BY: CHECKED BY: SCALE: As indicated CARITAS CENTER -ELEVATIONS - N/S

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WEST ELEVATION - INTERIOR
1" = 10'-0"



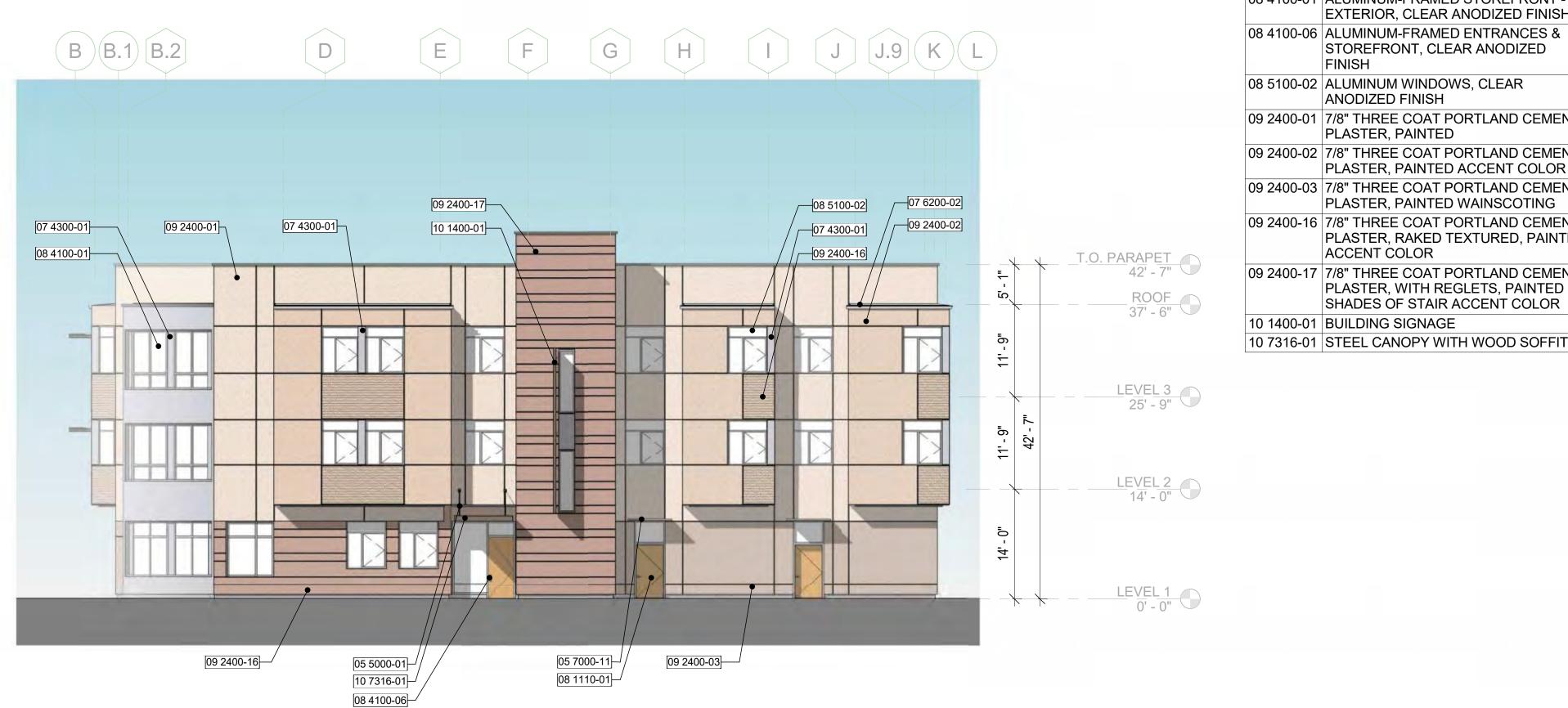
WEST ELEVATION - MORGAN ST.

1" = 10'-0" 2



EAST ELEVATION - INTERIOR

1" = 10'-0"



EAST ELEVATION - A ST.

1" = 10'-0"

1

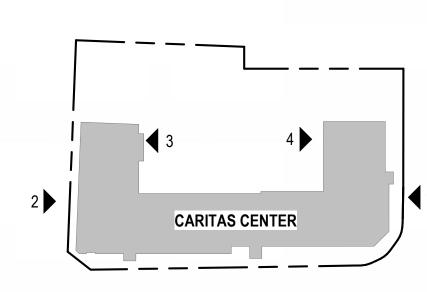
ELEVATION NOTES

- 1. SEE SHEET **G0.00** FOR SYMBOLS & ABBREVIATIONS. 2. THESE ELEVATIONS SHOW OVERALL INFORMATION RELATIONSHIPS ONLY, SEE ENLARGED ELEVATIONS FOR INFORMATION NOT SHOWN.
- 3. ALL CONTROL JOINTS AND FINISH MATERIALS SHALL WRAP AROUND CORNERS AND CONTINUE ONTO ADJACENT WALLS WHETHER SHOWN OR NOT, UNLESS NOTED OTHERWISE. PER <u>ASTM C 1063</u> INSTALL CONTROL JOINTS WHERE AN EXPANSION JOINT OCCURS IN THE BASE EXTERIOR WALL. INSTALL CONTROL JOINTS WHERE
- 4. PER <u>ASTM C 1063</u>, EXTERIOR PLASTER CONTROL JOINTS TO BE INSTALLED IN VERTICAL SURFACES EXCEEDING 144 SQUARE FEET IN AREA AND HORIZONTAL SURFACES EXCEEDING 100 SQUARE FEET IN AREA. DISTANCE BETWEEN CONTROL JOINTS SHALL NOT EXCEED 18 FEET IN EITHER DIRECTION OR A LENGTH-TO-WIDTH RATIO OF 2.5
- 5. ALL WEEP SCREED LINES SHALL BE LEVEL AND STEP WITH ADJACENT GRADE. STEPPING OF WEEP SCREED TO OCCUR AT INSIDE CORNERS. BOTTOM EDGE OF WEEP SCREED SHALL BE INSTALLED NOT LESS THAN 1 INCH BELOW THE JOINT FORMED BY THE FOUNDATION AND FRAMING. NOSE OF SCREED SHALL BE PLACED 6 INCHES MINIMUM ABOVE GRADE OR 2 INCHES MINIMUM ABOVE PAVED SURFACE.
- 6. ALL EXTERIOR WALL PENETRATIONS SHALL BE SEALED.
- INCLUDING PRIVATE DECKS AND STAIRS OPENINGS 8. REFER TO WINDOW SCHEDULE FOR WINDOW STC RATINGS. 9. REFER TO MECHANICAL, PLUMBING, ELECTRICAL, AND
- STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 10. FRAMING SUB-CONTRACTOR SHALL REVIEW AND
- LOCATIONS AND SHALL PROVIDE SOLID BLOCKING WHERE 11. FAÇADE ACCESS PLAN SHALL BE PROVIDED BY OWNER TO
- MAINTENANCE. 12. CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY CONFLICTS AND/OR DISCREPANCIES TO THE ATTENTION OF
- 13. ALL LEVELS ARE TO TOP OF STRUCTURAL CONCRETE, U.O.N.
- 14. FOR DOOR AND WINDOW TYPES AND SIZES, SEE SCHEDULES AND LEGENDS ON A9.XX AND A9.XX. 15. SEE COLOR LEGEND ON SHEET **GO.XX** FOR PAINT

	KEYNOTE LEGEND
Key Value	Keynote Text
05 5000-01	METAL HANGER ROD
05 5000-51	METAL SUNSHADE, STEEL FRAME
05 5100-02	WALL MOUNTED STEEL LADDER
05 7000-11	METAL PLATE AWNING - OVER DOOR AND WINDOW, PAINTED
06 1000-33	HEAVY TIMBER AWNING STRUCTURE WITH TRANSLUCENT CORRUGATED FIBERGLASS ROOFING
06 2000-01	WOOD FENCES
07 4300-01	METAL SPANDREL PANEL
07 6000-01	G.S.M. CAP FLASHING, PTD.

- 07 6200-02 GUTTER
- 08 1110-01 HOLLOW METAL DOORS AND FRAMES, PAINTED
- 08 3450-04 WOOD SWING GATE WITH METAL 08 4100-01 ALUMINUM-FRAMED STOREFRONT
- 08 4100-06 ALUMINUM-FRAMED ENTRANCES & STOREFRONT, CLEAR ANODIZED
- ANODIZED FINISH 09 2400-01 7/8" THREE COAT PORTLAND CEMENT
- PLASTER, PAINTED 09 2400-02 7/8" THREE COAT PORTLAND CEMENT
- 09 2400-03 7/8" THREE COAT PORTLAND CEMENT PLASTER, PAINTED WAINSCOTING 09 2400-16 7/8" THREE COAT PORTLAND CEMENT PLASTER, RAKED TEXTURED, PAINTED
- ACCENT COLOR 09 2400-17 7/8" THREE COAT PORTLAND CEMENT PLASTER, WITH REGLETS, PAINTED 2
- SHADES OF STAIR ACCENT COLOR 10 1400-01 BUILDING SIGNAGE

KEY PLAN



JOB NUMBER: DRAWN BY: ARK, TK, KS CHECKED BY: TB, MB SCALE: As indicated CARITAS CENTER -**ELEVATIONS - E/W**

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CEILING FRAMING OR FURRING CHANGES DIRECTION.

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7. ALL GUTTERS SHALL BE LEVEL U.O.N. AND RAINWATER LEADERS SHALL VERTICALLY ALIGN WITH WALLS

COORDINATE EXTERIOR LIGHTING AND SIGNAGE

COMPLY WITH OSHA REGULATIONS FOR BUILDING

THE ARCHITECT.

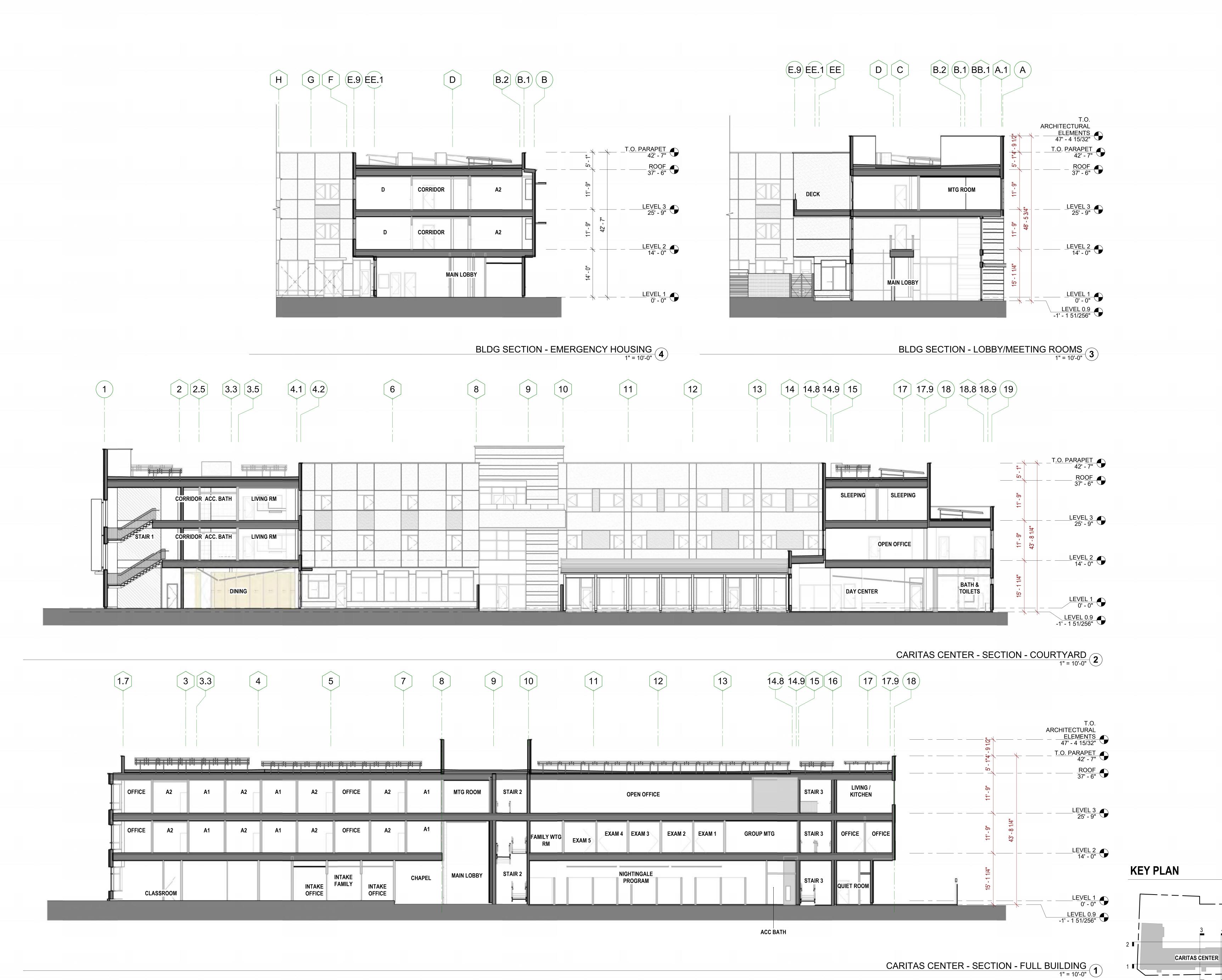
SCHEDULE.

日 り し 4 08 1400-01 | WOOD DOORS S ARITA EXTERIOR, CLEAR ANODIZED FINISH 08 5100-02 ALUMINUM WINDOWS, CLEAR PLASTER, PAINTED ACCENT COLOR

STAMP:

B PLANNING 07/22/19 RESUBMITTAL UPDATE A PLANNING 10/31/18

RESUBMITTAL



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UPDATE
A PLANNING 10/31/18

RESUBMITTAL

JOB NUMBER: 1815
DRAWN BY: ARK, TK, KS
CHECKED BY: TB, MB
DATE: 05/27/20

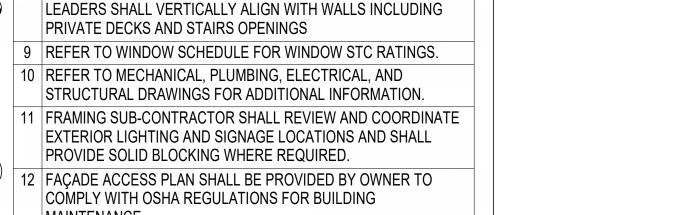
SCALE: As indicated
TITLE:
CARITAS CENTER SECTIONS

SHEET: **A3.20**

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13 CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY CONFLICTS AND/OR DISCREPANCIES TO THE ATTENTION OF THE 14 ALL LEVELS ARE TO TOP OF PLYWOOD SUBFLOOR OR TOP OF

STRUCTURAL CONCRETE, U.O.N. 15 FOR DOOR AND WINDOW TYPES AND SIZES, SEE SCHEDULES

AND LEGENDS ON A9.20 AND A9.30. 16 SEE COLOR LEGEND ON SHEET GO.XX FOR PAINT SCHEDULE.

	KEY VALUE	KEYNOTE TEXT
	03-48A	CONCRETE STAIRS
	04-21A	SURFACE BONDED THINSET TILE
	05-51A	METAL RAILING WITH HORIZONTAL PIPE AND STEEL BALUSTERS
	05-52B	STEEL OSHA RAILING
	06 20A	STAINED CEDAR FENCES & GATES
	06 20B	STAINED CEDAR PORCH RAILING
	06-40D	ARCHITECTURAL WOODWORK, BEAMS AT ROOF OVERHANG
	07-31A	ASPHALT COMPOSITION SHINGLE ROOFING
	07-46A	MINERAL FIBER CEMENT - SIDING, PTD
	07-54A	POLYCARBONATE PATIO TRELLIS COVERING (W/CLASS 'B' FIRE RATING)
	07-60A	G.S.M. CAP FLASHING, PTD.
	07-60B	G.S.M. SILL FLASHING, PTD.
	07-71A	GSM GUTTER, PAINTED
	07-71B	GSM DOWNSPOUT, PAINTED
	08-11A	HOLLOW METAL DOORS AND FRAMES, PAINTED
	08-15A	VINYL NAIL FIN WINDOW W/ DARK BRONZE FINISH, CLEAR GLAZING
	08-41A	ALUMINUM-FRAMED ENTRANCES & STOREFRONT SYSTEM - EXTERIOR, DARK BRONZE FINISH
	08-41B	FOLDING GLAZED WALL - EXTERIOR, DARK BRONZE FINISH
	09-24A	7/8" THREE COAT PORTLAND CEMENT PLASTER, PAINTED
	09-24B	RAKED CEMENT PLASTER ACCENT, PAINTED
	23-36A	PACKAGED TERMINAL AIR CONDITIONING UNIT, S.M.D.
(<u>)</u>	23-36B	VERTICAL PACKAGED TERMINAL AIR CONDITIONING UNIT, S.M.D.
2	23-37A	AIR OUTLETS, S.M.D.
	23-37B	AIR INLETS, S.M.D.

WALL-MOUNTED EXTERIOR LIGHTING, S.E.D.

RESUBMITTAL A PLANNING 10/31/18 RESUBMITTAL

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CARITAS HOMES PHASE 1 -

ELEVATIONS

PRELIMINARY - Not for Construction -

 07-71A
 07-60A
 07-71B
 09-24A
 07-46A

SHADE SAIL, S.L.D.

07-31A

09-24A

 08-11A
 07-71A
 07-31A
 07-71B
 09-24A
 08-15A
 03-48A
 04-21A

PENTHOUSE

 07-60A
 08-15A
 09-24A
 07-60A
 09-24B

09-24A

T.O. PARAPET 204' - 0"

EAST ELEVATION
1/8" = 1'-0"

- ELEVATOR

PENTHOUSE

26-56A

07-71B

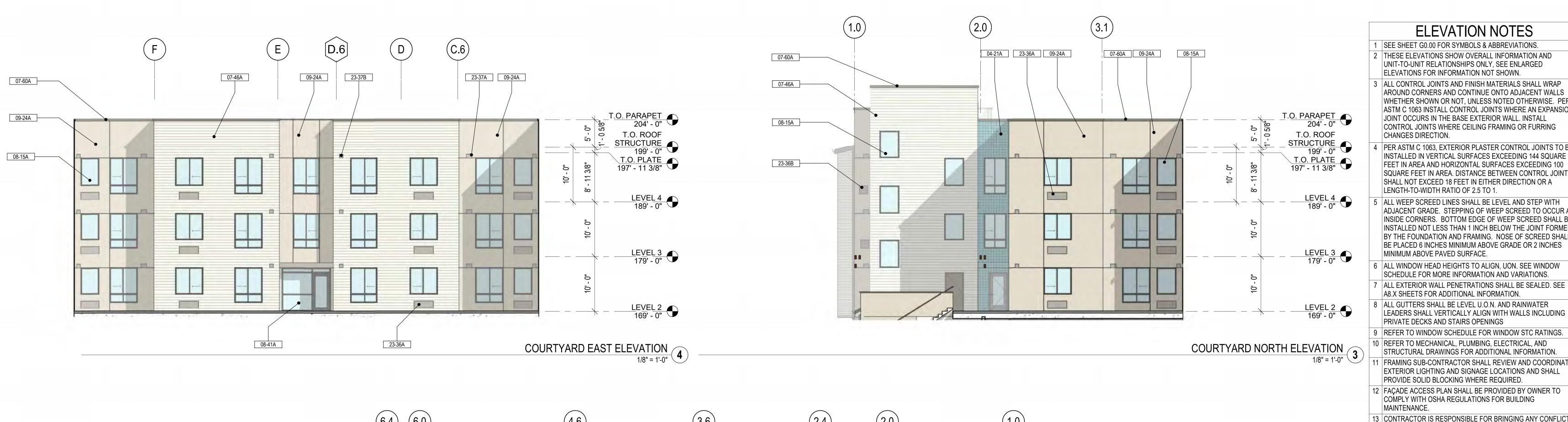
 08-41A
 07-71A
 07-31A
 07-71B
 08-41A

T.O. ROOF STRUCTURE 199' - 0" _____ T.O. PLATE 197' - 11 3/8" 07-71A 08-15A 07-31A LEVEL 4 189' - 0" 08-15A 07-46A Ш LEVEL 3 179' - 0" LEVEL 2 169' - 0"

08-41A

04-21A 26-56A

05-51A 26-56A 07-71B





07-71B

08-11A

26-56A

S.L.D.

07-71B



05-50A 09-24A

07-71B

26-56A

- 1 SEE SHEET G0.00 FOR SYMBOLS & ABBREVIATIONS. 2 THESE ELEVATIONS SHOW OVERALL INFORMATION AND
- UNIT-TO-UNIT RELATIONSHIPS ONLY, SEE ENLARGED
- ELEVATIONS FOR INFORMATION NOT SHOWN. 3 ALL CONTROL JOINTS AND FINISH MATERIALS SHALL WRAP
- AROUND CORNERS AND CONTINUE ONTO ADJACENT WALLS WHETHER SHOWN OR NOT, UNLESS NOTED OTHERWISE. PER ASTM C 1063 INSTALL CONTROL JOINTS WHERE AN EXPANSION JOINT OCCURS IN THE BASE EXTERIOR WALL. INSTALL CONTROL JOINTS WHERE CEILING FRAMING OR FURRING CHANGES DIRECTION.

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- PER ASTM C 1063, EXTERIOR PLASTER CONTROL JOINTS TO BE INSTALLED IN VERTICAL SURFACES EXCEEDING 144 SQUARE FEET IN AREA AND HORIZONTAL SURFACES EXCEEDING 100 SQUARE FEET IN AREA. DISTANCE BETWEEN CONTROL JOINTS SHALL NOT EXCEED 18 FEET IN EITHER DIRECTION OR A LENGTH-TO-WIDTH RATIO OF 2.5 TO 1.
- ALL WEEP SCREED LINES SHALL BE LEVEL AND STEP WITH ADJACENT GRADE. STEPPING OF WEEP SCREED TO OCCUR AT INSIDE CORNERS. BOTTOM EDGE OF WEEP SCREED SHALL BE INSTALLED NOT LESS THAN 1 INCH BELOW THE JOINT FORMED BY THE FOUNDATION AND FRAMING. NOSE OF SCREED SHALL BE PLACED 6 INCHES MINIMUM ABOVE GRADE OR 2 INCHES MINIMUM ABOVE PAVED SURFACE.
- ALL WINDOW HEAD HEIGHTS TO ALIGN, UON. SEE WINDOW SCHEDULE FOR MORE INFORMATION AND VARIATIONS.
- A8.X SHEETS FOR ADDITIONAL INFORMATION. | ALL GUTTERS SHALL BE LEVEL U.O.N. AND RAINWATER LEADERS SHALL VERTICALLY ALIGN WITH WALLS INCLUDING
- PRIVATE DECKS AND STAIRS OPENINGS 9 REFER TO WINDOW SCHEDULE FOR WINDOW STC RATINGS.
- 10 REFER TO MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 11 FRAMING SUB-CONTRACTOR SHALL REVIEW AND COORDINATE
- EXTERIOR LIGHTING AND SIGNAGE LOCATIONS AND SHALL PROVIDE SOLID BLOCKING WHERE REQUIRED. 12 FAÇADE ACCESS PLAN SHALL BE PROVIDED BY OWNER TO
- COMPLY WITH OSHA REGULATIONS FOR BUILDING MAINTENANCE. 13 CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY CONFLICTS
- AND/OR DISCREPANCIES TO THE ATTENTION OF THE
- 14 ALL LEVELS ARE TO TOP OF PLYWOOD SUBFLOOR OR TOP OF STRUCTURAL CONCRETE, U.O.N.
- 15 FOR DOOR AND WINDOW TYPES AND SIZES, SEE SCHEDULES AND LEGENDS ON A9.20 AND A9.30.
- 16 | SEE COLOR LEGEND ON SHEET GO.XX FOR PAINT SCHEDULE.

KEYNOTE LEGEND **KEYNOTE TEXT** KEY VALUE

04-21A	SURFACE BONDED THINSET TILE
05-50A	PERFORATED METAL SCREEN, FACTORY F
05-50C	STEEL CORNICE AWNING, FACTORY FINISH
05-52B	STEEL OSHA RAILING
06 20A	STAINED CEDAR FENCES & GATES
06 20B	STAINED CEDAR PORCH RAILING

ARCHITECTURAL WOODWORK, BEAMS AT ROOF ASPHALT COMPOSITION SHINGLE ROOFING MINERAL FIBER CEMENT - SIDING, PTD G.S.M. CAP FLASHING, PTD. GSM GUTTER, PAINTED GSM DOWNSPOUT, PAINTED

HOLLOW METAL DOORS AND FRAMES, PAINTED VINYL NAIL FIN WINDOW W/ DARK BRONZE FINISH, CLEAR GLAZING STEEL SECTIONAL GARAGE DOOR AND VENT PANELS, VEHICULAR ENTRY GATE STEEL OVERHEAD COILING ROLL-UP DOOR

ALUMINUM-FRAMED ENTRANCES & STOREFRONT SYSTEM - EXTERIOR, DARK BRONZE FINISH 7/8" THREE COAT PORTLAND CEMENT PLASTER PAINTED

RAKED CEMENT PLASTER ACCENT, PAINTED PACKAGED TERMINAL AIR CONDITIONING UNIT, VERTICAL PACKAGED TERMINAL AIR

CONDITIONING UNIT, S.M.D. AIR OUTLETS, S.M.D. AIR INLETS, S.M.D. WALL-MOUNTED EXTERIOR LIGHTING, S.E.D.

> B PLANNING RESUBMITTAL UPDATE

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A PLANNING 10/31/18 RESUBMITTAL

CARITAS HOMES PHASE 1 -**ELEVATIONS**

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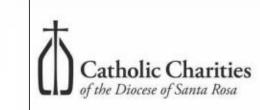
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KEYNOTE LEGEND KEYNOTE TEXT KEY VALUE

STEEL CORNICE AWNING, FACTORY FINISH STEEL OSHA RAILING

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AGE

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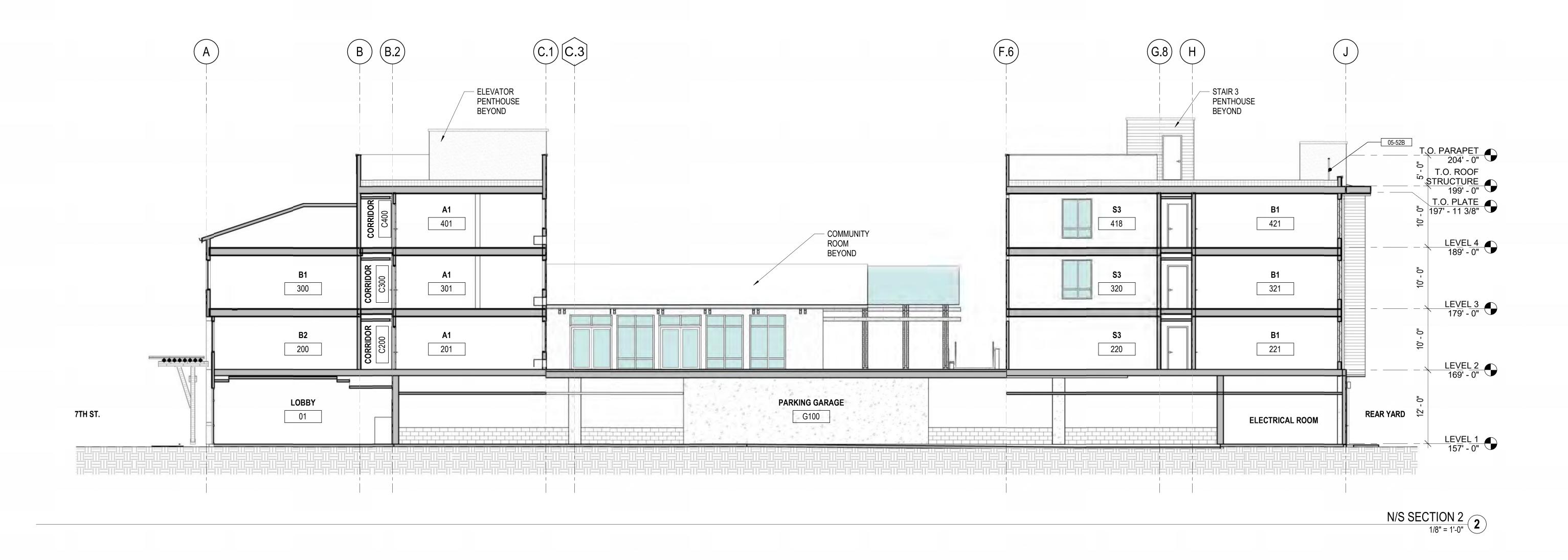
CARITAS

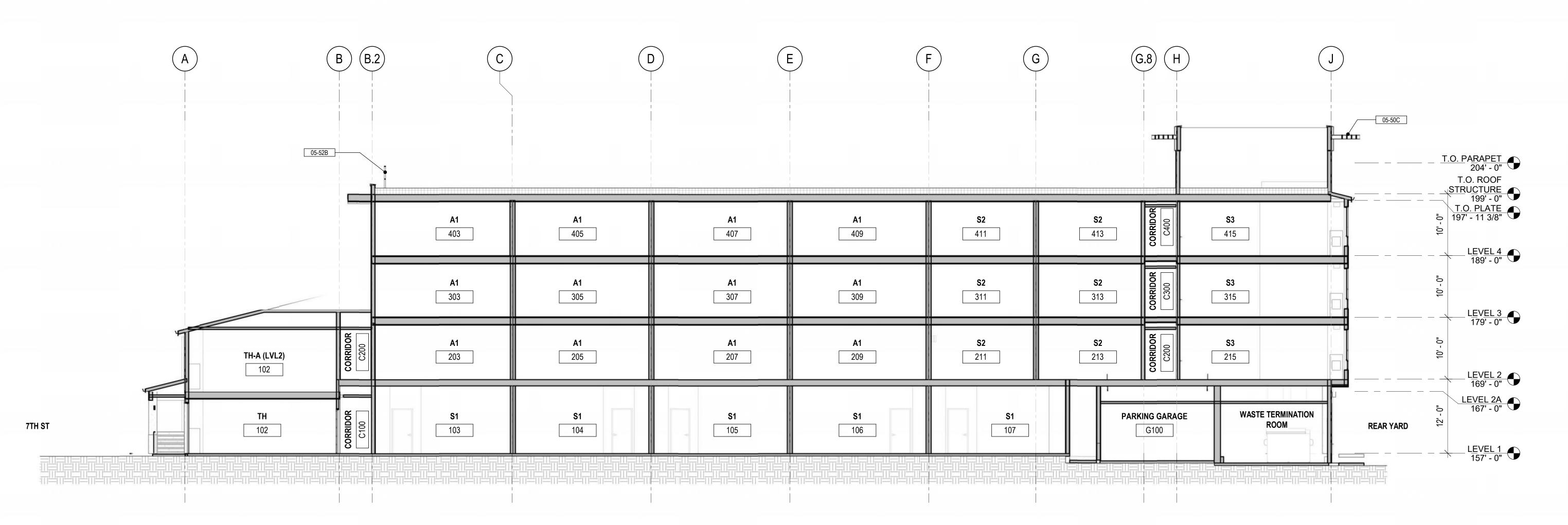
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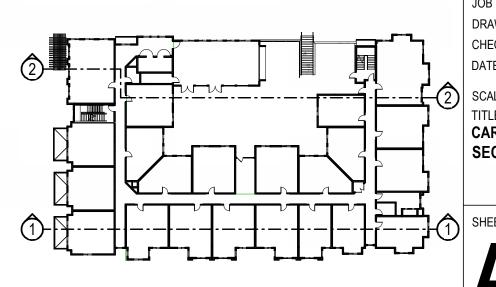
AGE,

CARITAS VILL

B PLANNING 07/22/19
RESUBMITTAL
UPDATE
A PLANNING 10/31/18
RESUBMITTAL







JOB NUMBER: ARK, TK, KS CARITAS HOMES PHASE 1 -SECTIONS - NORTH / SOUTH

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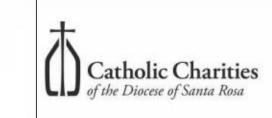
N/S SECTION 1
1/8" = 1'-0"

KEYNOTE LEGEND KEY VALUE

KEYNOTE TEXT

05-52B STEEL OSHA RAILING 1611 TELEGRAPH AVE. SUITE 200 OAKLAND, CA 94612

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AGE

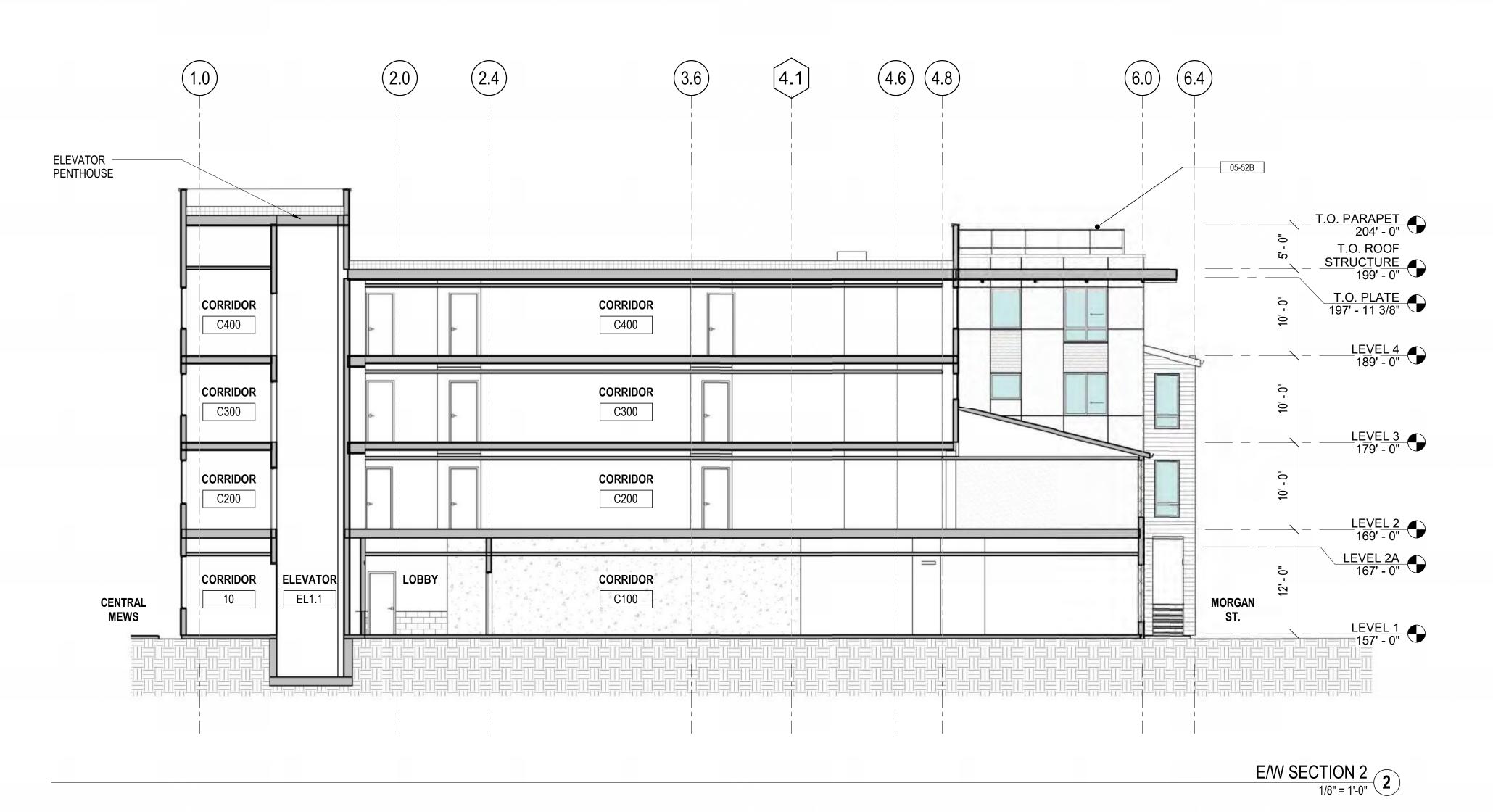
CARITAS

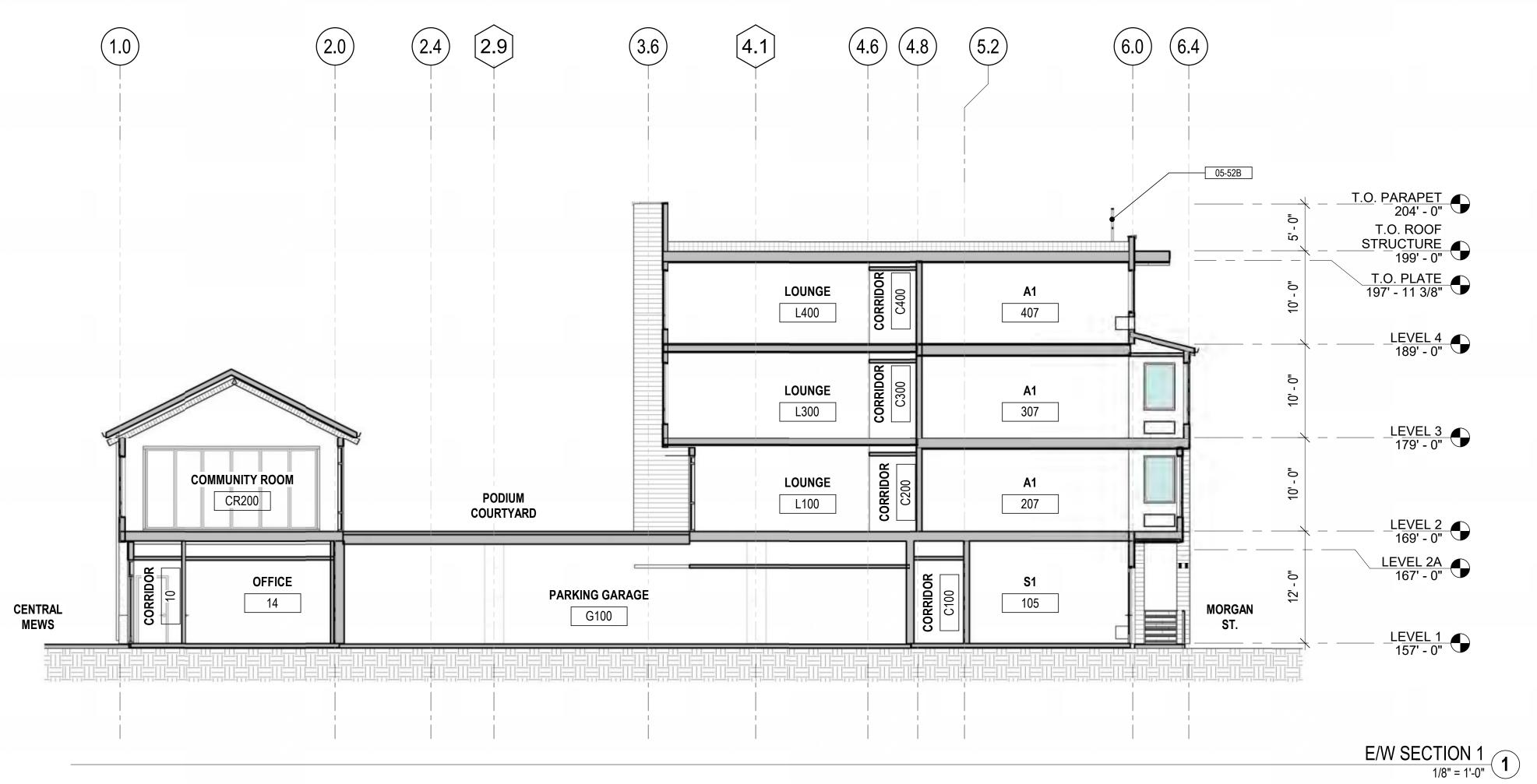
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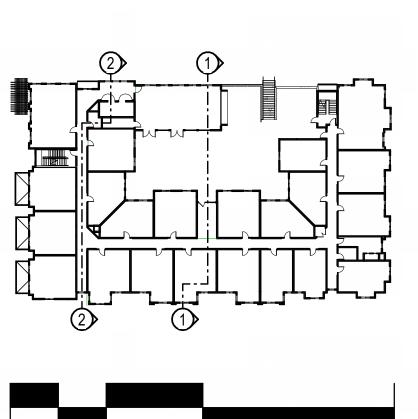
AGE,

CARITAS VILL

B PLANNING 07/22/19
RESUBMITTAL
UPDATE
A PLANNING 10/31/18
RESUBMITTAL







JOB NUMBER: DRAWN BY: ARK, TK, KS CHECKED BY: TB, MB As indicated CARITAS HOMES PHASE 1 -SECTIONS - EAST / WEST

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AGE

CARITAS

STAMP:

RESUBMITTAL UPDATE

RESUBMITTAL

A PLANNING 10/31/18

CARITAS VILLAGE



CARITAS VILLAGE - SITE ELEVATIONS - SOUTH - CARITAS CENTER PARKING LOT

1" = 20'-0"

4



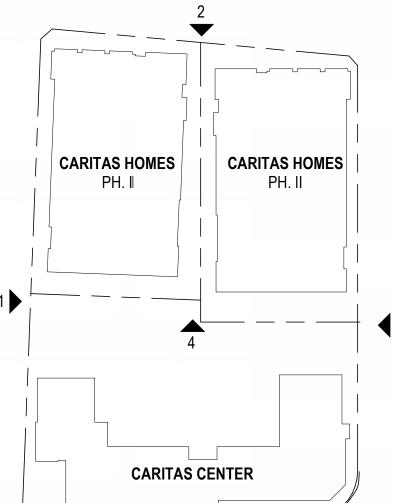
CARITAS VILLAGE - SITE ELEVATION - EAST - A STREET
1" = 20'-0"



CARITAS VILLAGE - SITE ELEVATION - NORTH - 7TH STREET
1" = 20'-0"



KEY PLAN



1
1

CARITAS HOMES PHASE I CARITAS CENTER EXISTIN PARKING COURT 6TH STREET

> CARITAS VILLAGE - SITE ELEVATION - WEST - MORGAN STREET 1" = 20'-0"

JOB NUMBER:

DRAWN BY: CHECKED BY:

SCALE:

TITLE:

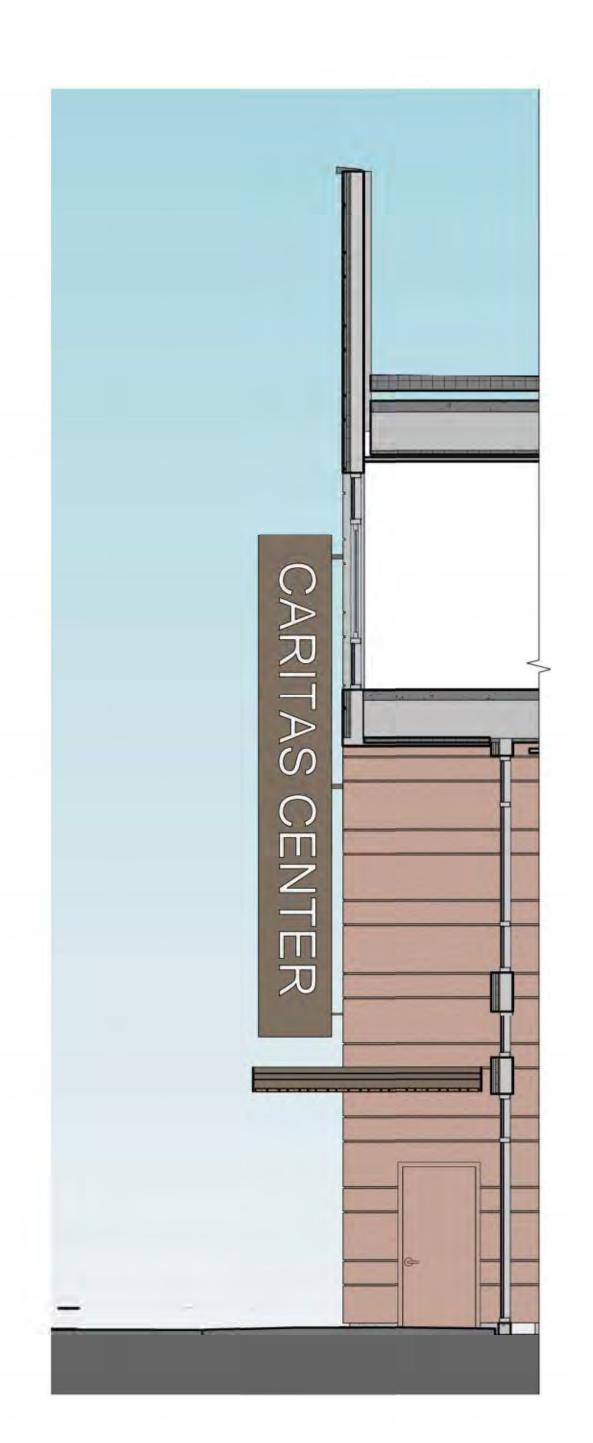
SITE ELEVATIONS

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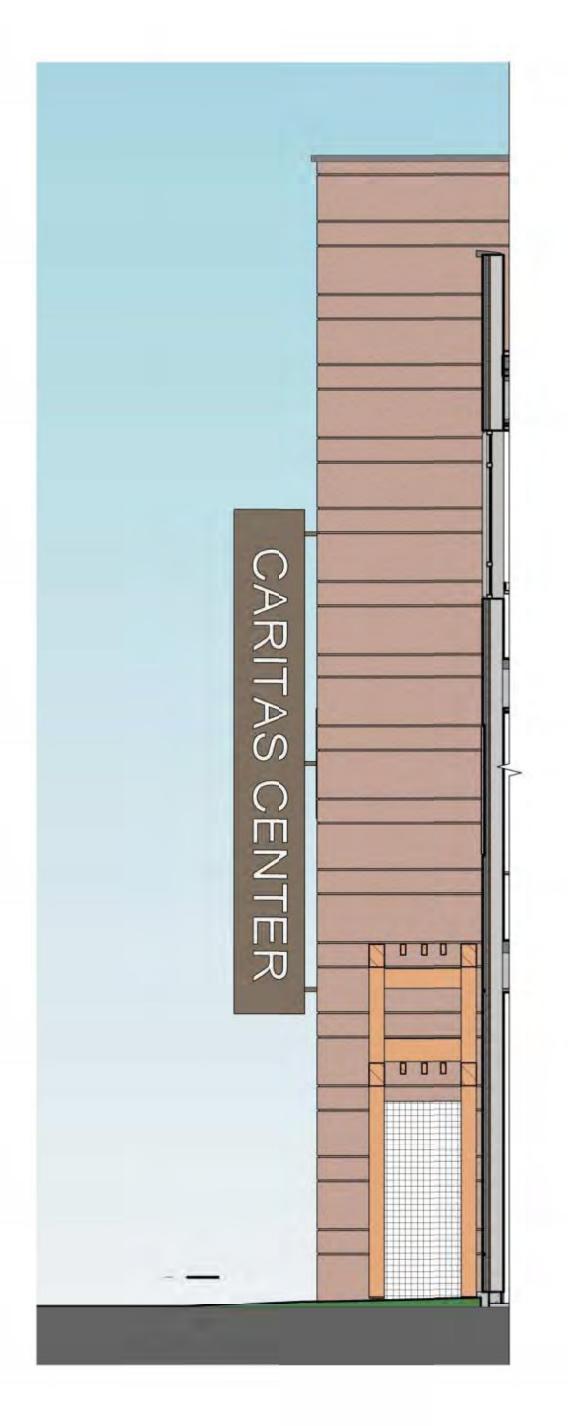
ARK, GP, KS



SIGNAGE - CARITAS HOMES PHASE I ENTERANCE
1/4" = 1'-0"
5



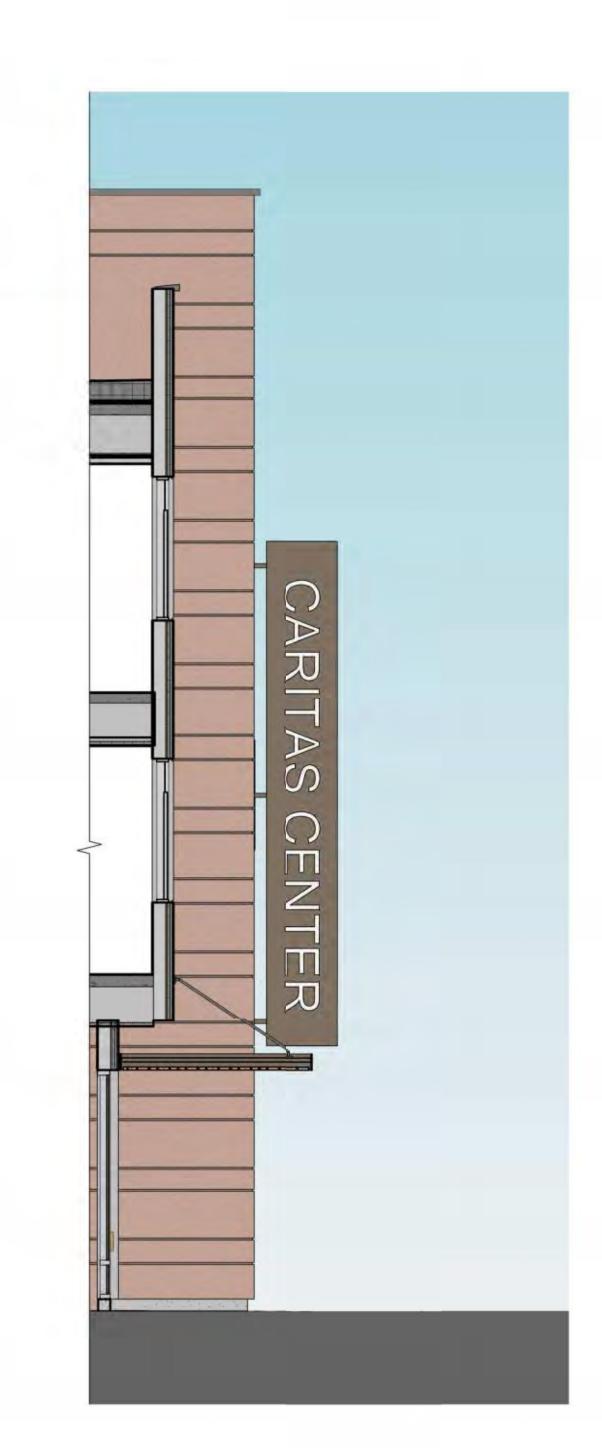




SIGNAGE - CARITAS CENTER DAY CENTER ENTRANCE

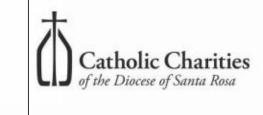
1/4" = 1'-0"

2



SIGNAGE - CARITAS CENTER FSC ENTRANCE
1/4" = 1'-0"
1









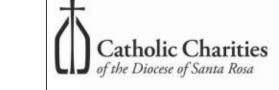
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1815 JOB NUMBER: ARK, GP, KS DRAWN BY: CHECKED BY: SCALE:

TITLE: SIGNAGE

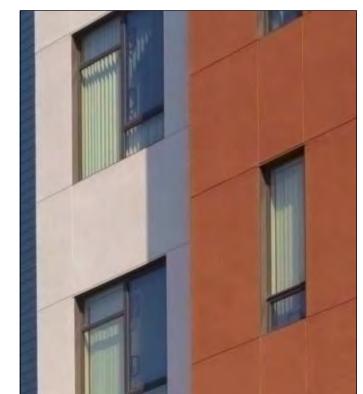








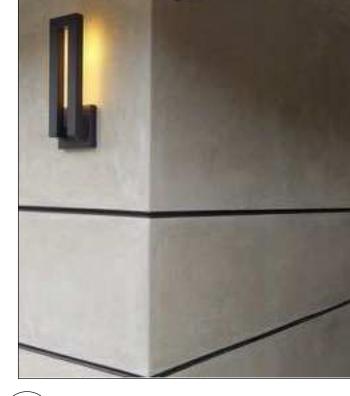
MATERIALS



1 STUCCO - LIGHT SAND FINISH, PAINTED



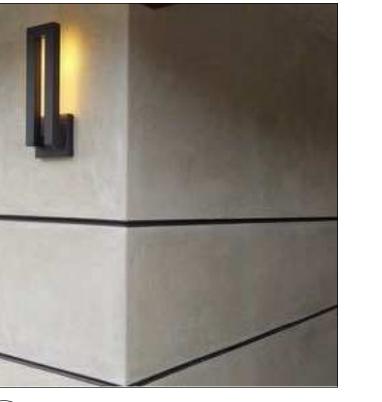
9 SUNSHADES



2 STUCCO WITH METAL REGLETS



10 WOOD AND GLASS ENTRY DOORS







3 RAKED STUCCO



11 METAL ENTRY CANOPIES, WITH WOOD SOFFIT



CARITAS CENTER - 6TH STREET

CLEAR ANODIZED ALUMINUM SPANDREL PANELS



12 WOOD TIMBER TRELLIS



5 SELF RECESSED ALUMINUM WINDOW SYSTEM - CLEAR ANODIZED WITH CLEAR AND OPAQUE GLAZING



13 SURFACE-BONDED THINSET TILE



6 VINYL WINDOW SYSTEM - DARK BRONZE WITH CLEAR GLAZING



14 ASPHALT COMPOSITION SHINGLE ROOF



ALUMINUM WINDOW STOREFRONT SYSTEM DARK BRONZE WITH CLEAR AND OPAQUE
GLAZING & METAL FASCIA TO MATCH



15 DECORATIVE METAL CORNICE

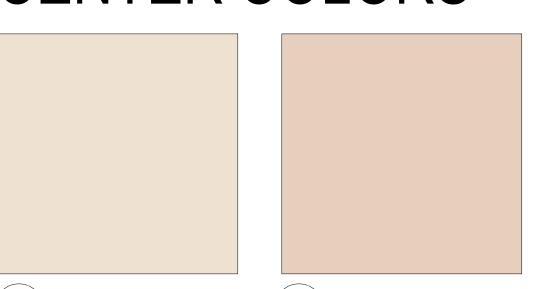


8 SOLID-CORE PATIO DOOR

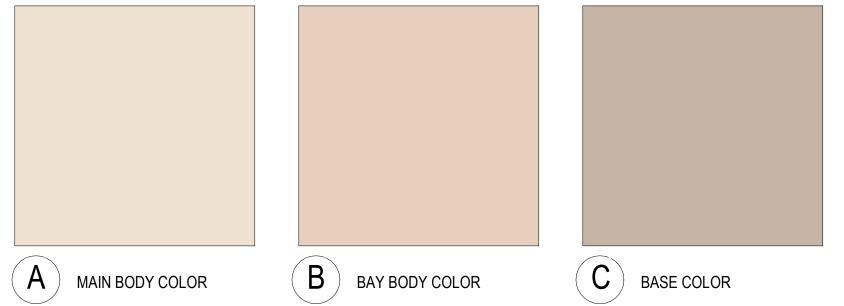


(16) WOOD FENCING AND PORCH RAILS

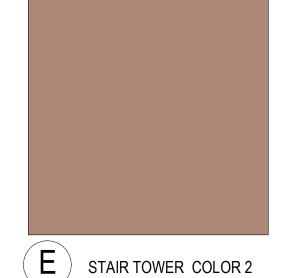
CENTER COLORS

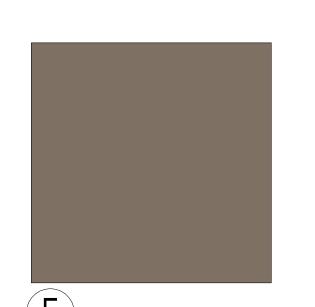




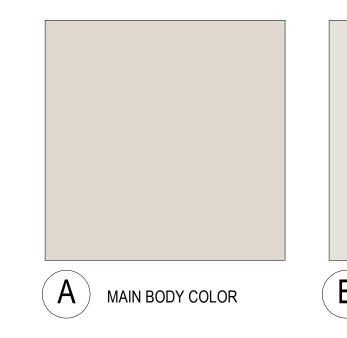


D STAIR TOWER COLOR 1 E STAIR TOWER COLOR 2 F METAL ACCENT COLOR



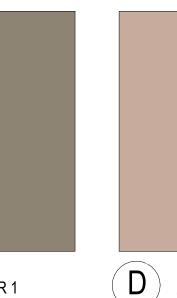


HOMES COLORS











F TILE COLOR 1



ARK, GP, KS DRAWN BY: CHECKED BY: SCALE: COLOR & MATERIALS BOARD

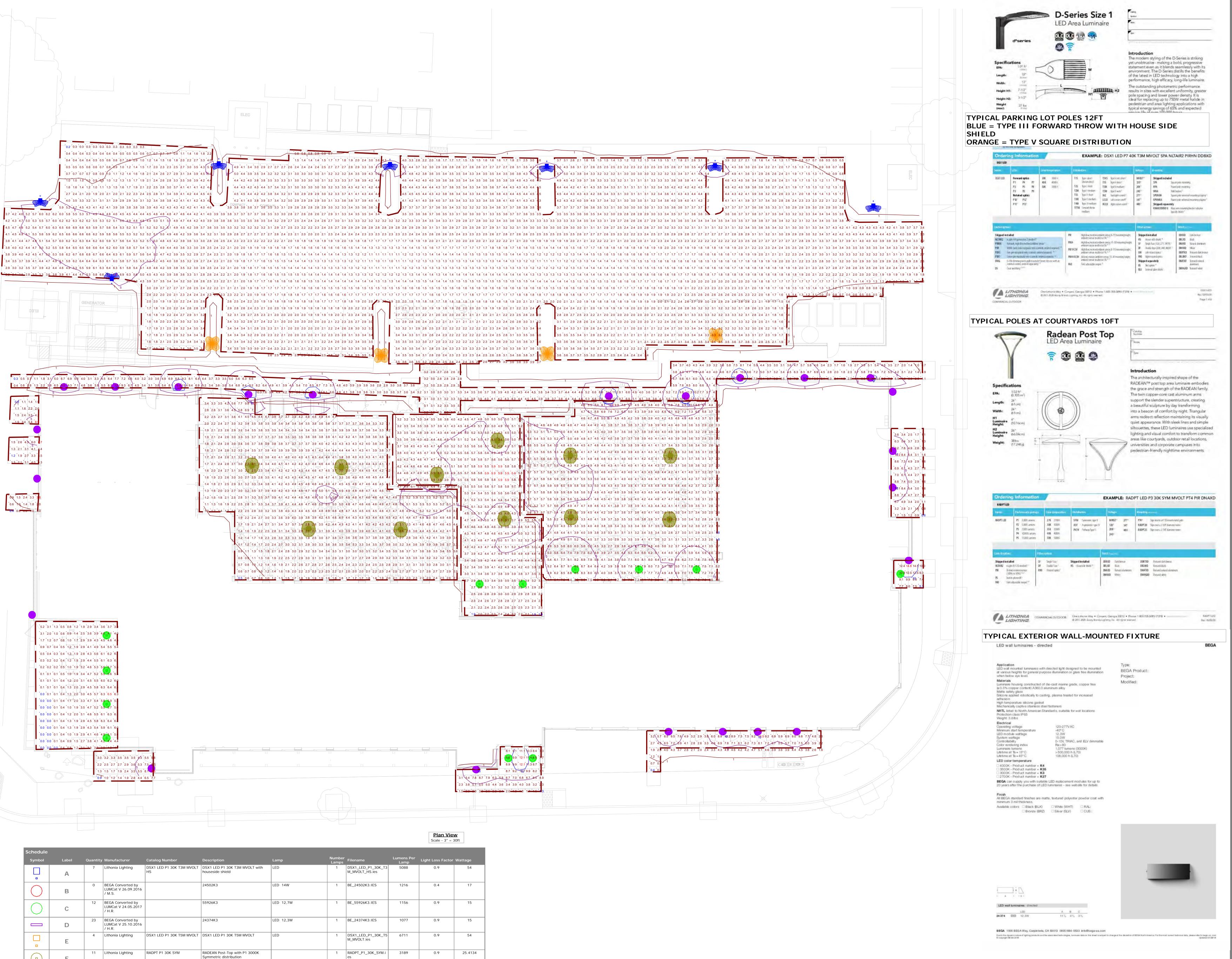
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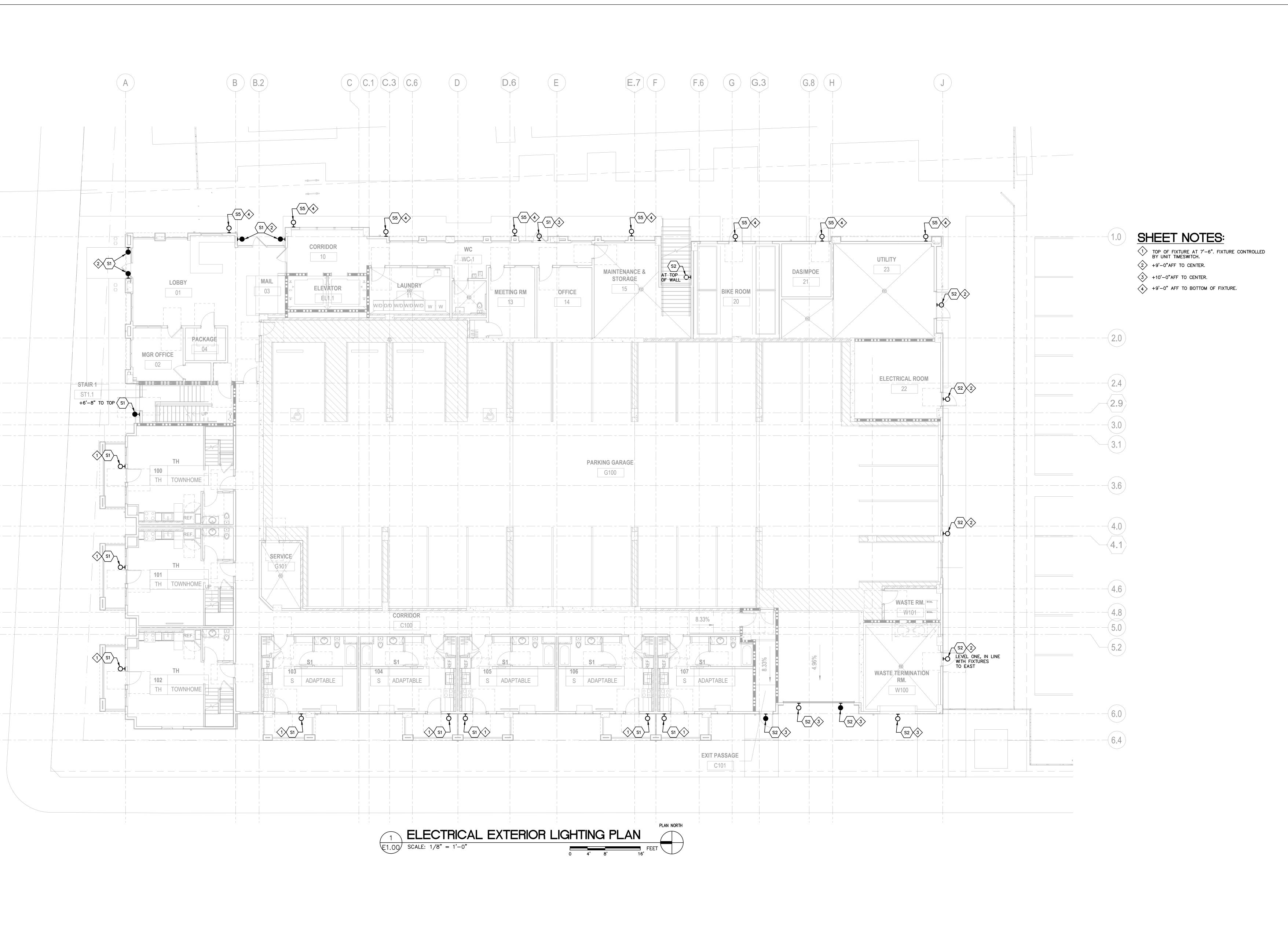


Designer - TS

Date
5/15/2020
Scale
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Summary

1 of 1



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SUITE 200

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OAKLAND, CA 94612
T. 510.465.7010 | F. 510.465.8575
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BURBANK HOUSING

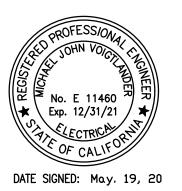
CLIENT ADDRESS

CONSULTING ENGINEERS
ELECTRICAL ENGINEERS
220 SO. SPRUCE AVENUE, SUITE 203
SO. SAN FRANCISCO, CALIFORNIA 94080
(650) 871-0220

JOB NUMBER

TAS VILLAGE, SANTA ROSA, CA

STAMP:



REVISION SCHEDULE
NO. ISSUE DATE
DD SUBMITTAL 05/ /20

MBER: :
BY:
ED BY:
MATE: MAY ,

CHECKED BY: M.V. ISSUE DATE: MAY , 2020 SCALE: AS NOTED

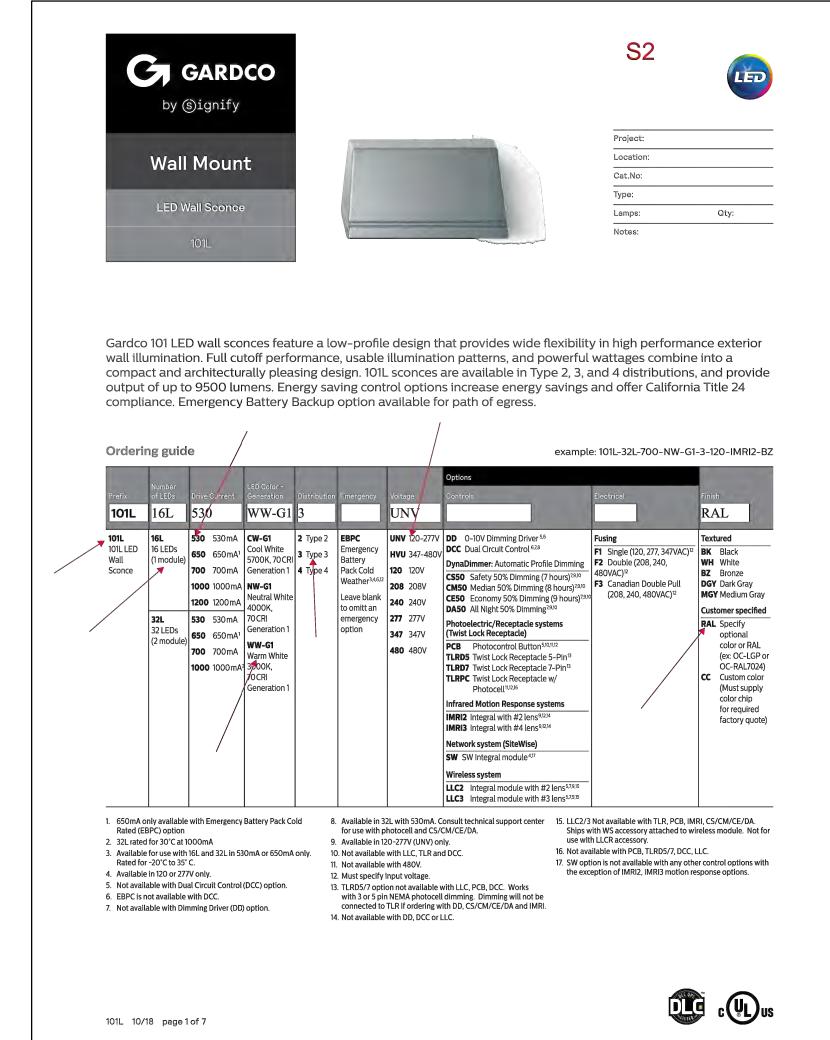
ELECTRICAL
EXTERIOR LIGHTING PLAN

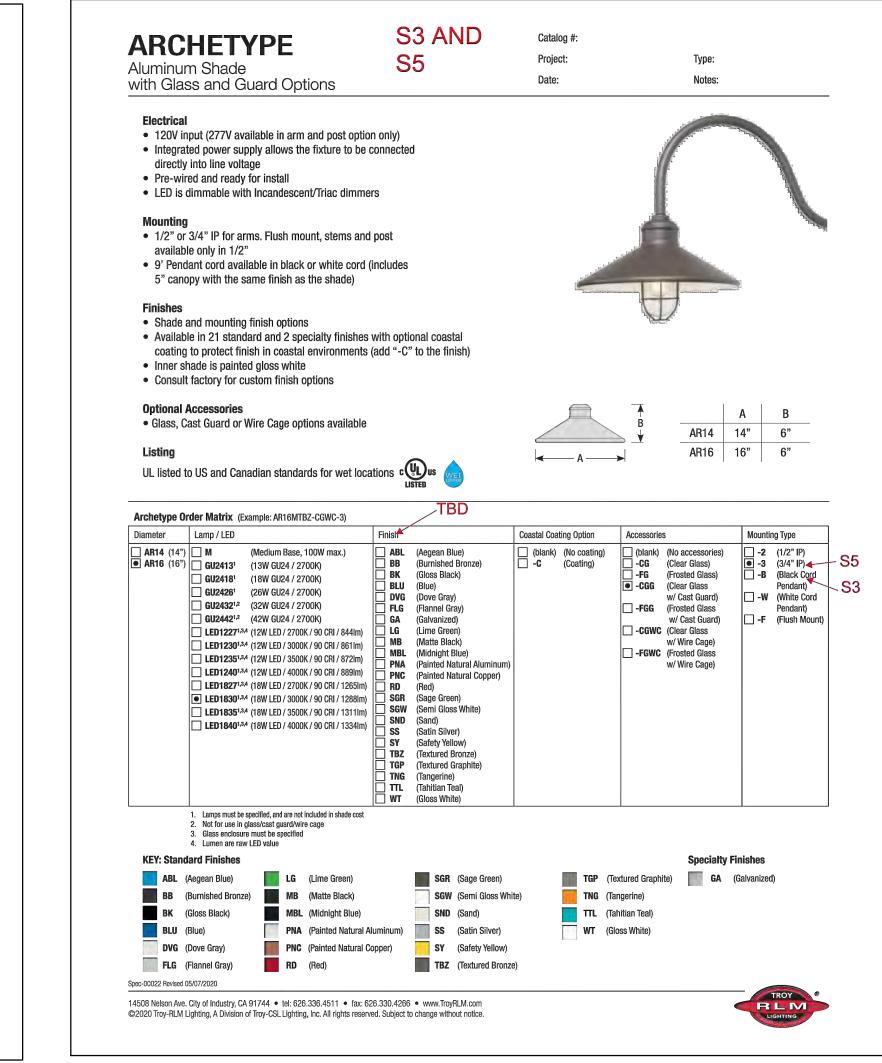
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E1.00

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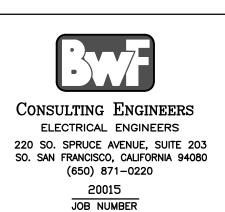




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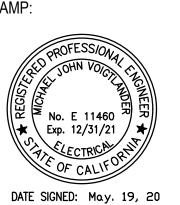
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CARITAS HOMES
CARITAS VILLAGE, SANTA ROSA, CA

STAM



REVISION SCHEDULE
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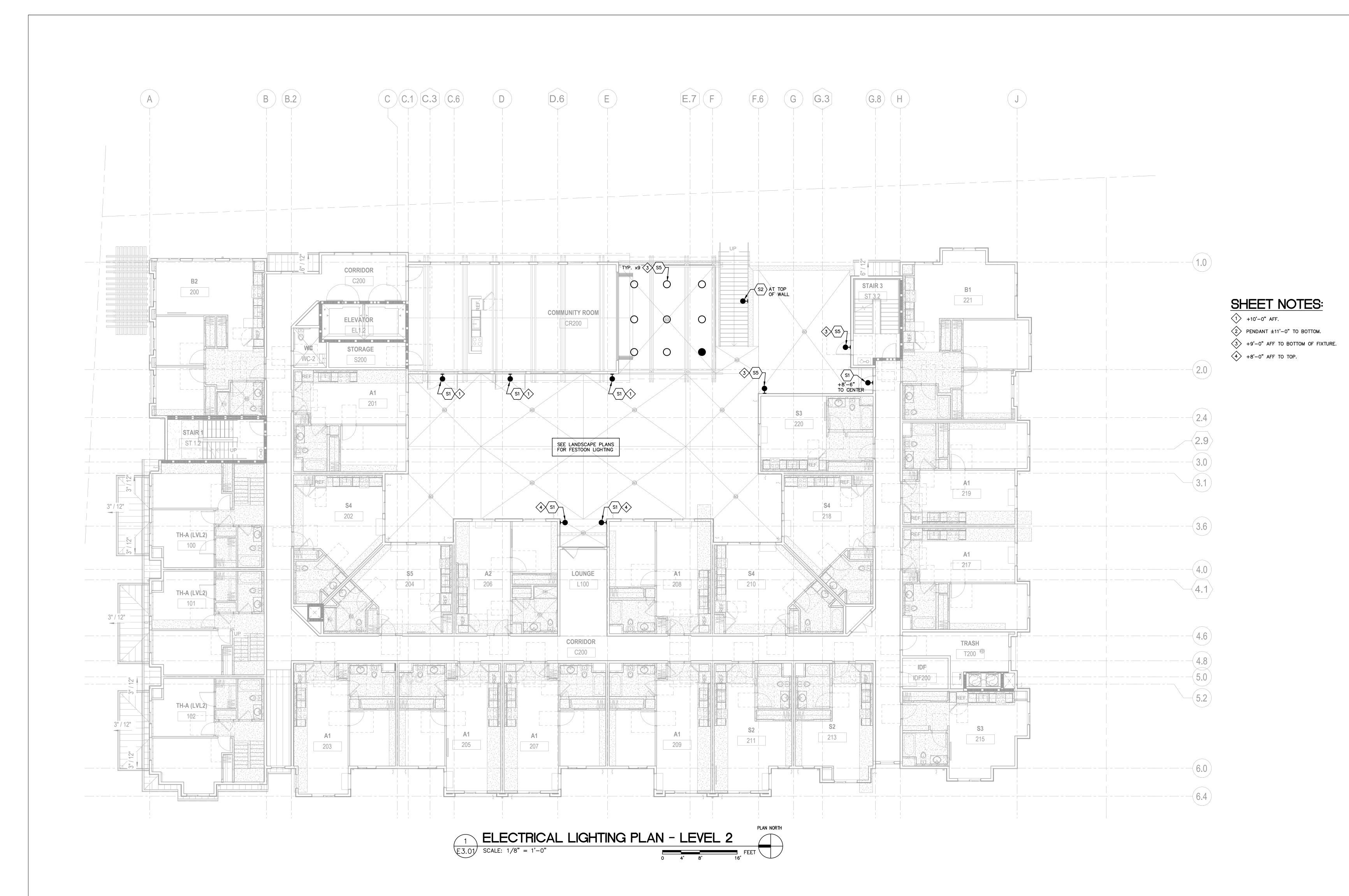
JOB NUMBER: 20015
DRAWN BY: S.M.
CHECKED BY: M.V.
ISSUE DATE: MAY, 2020
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ELECTRICAL EXTERIOR FIXTURES

OUEET.

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ELECTRICAL LIGHTING PLAN - LEVEL 2

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