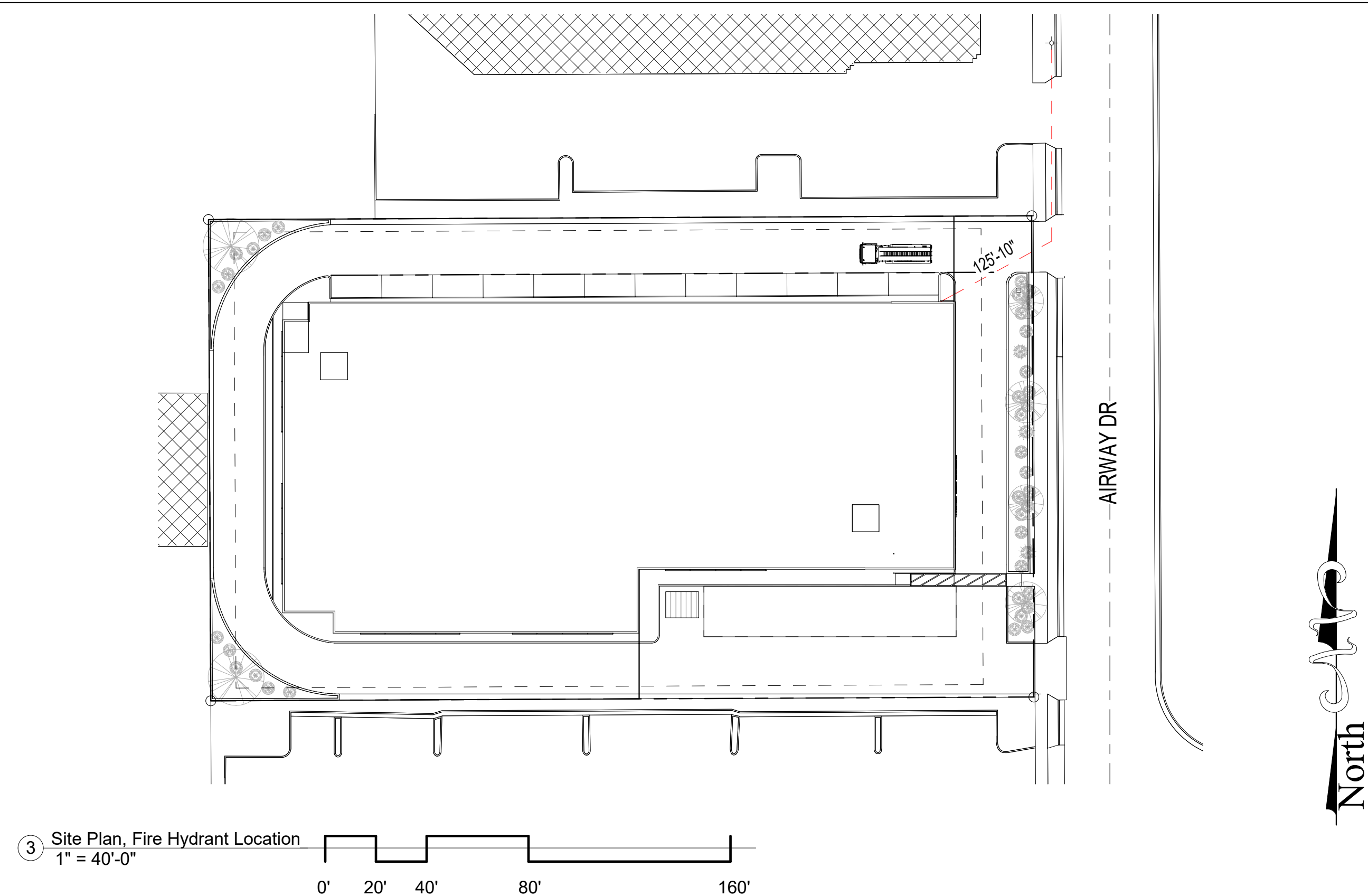
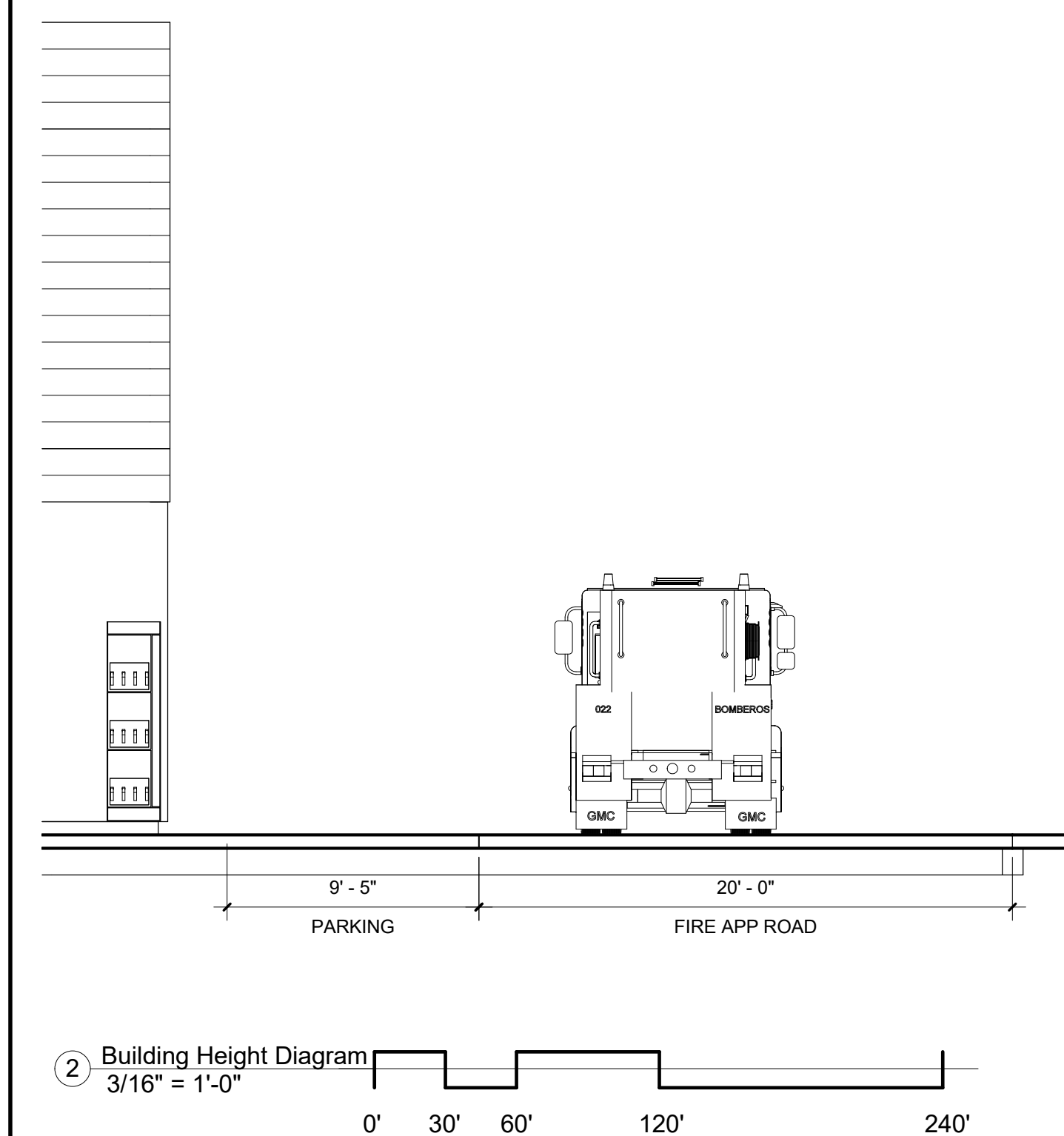
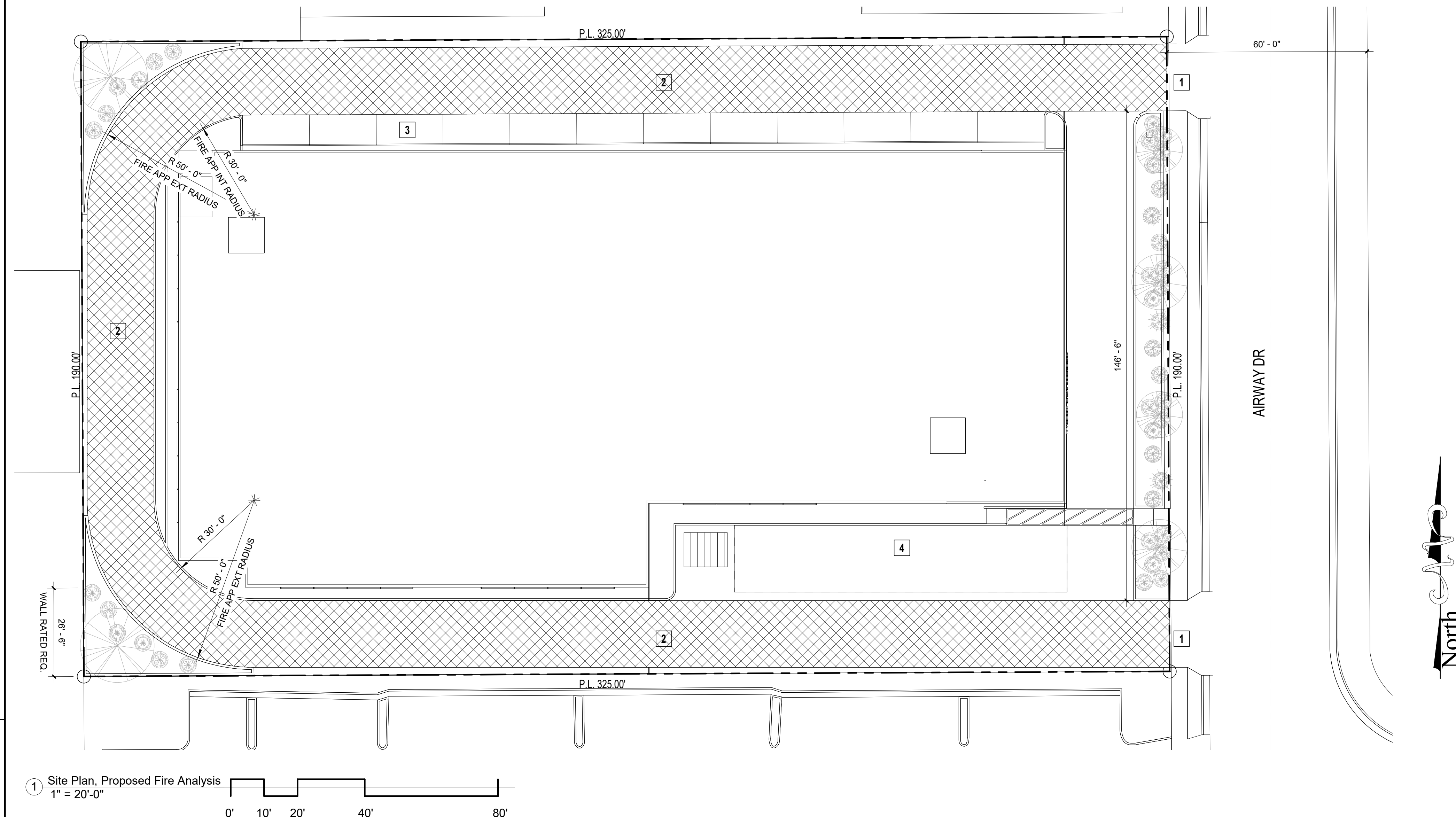


Map of the project location in the San Miguel area. The map shows several streets: Starview Dr, Hopper Ave, Airway Dr, Industrial Dr, Center Dr, Piner Rd, San Miguel Rd, Walnut Creek Dr, Coffey Ln, Banyan Pl, Skyview Dr, Cleveland Ave, and Mendocino Ave. A red arrow points to the intersection of Industrial Dr and Center Dr, labeled "PROJECT LOCATION". A north arrow is in the bottom right corner.

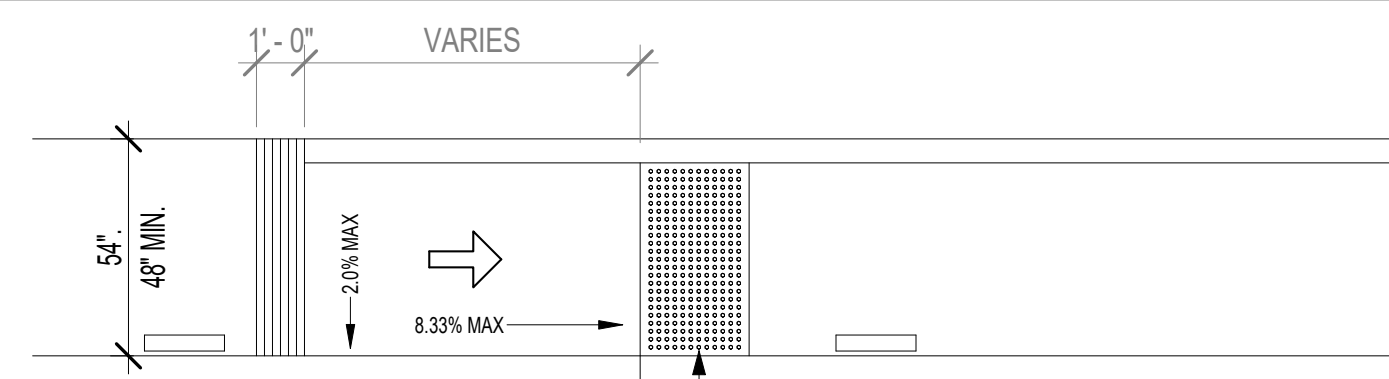
Site Plan Keynotes:

1 (P) CURB CUT ENTRY	6 (P) UTILITY POLE	11 EDGE OF CURB	STREET CENTERLINE
2 SIDEWALK: 5'-0"	7 (P) ACCESSIBLE WALKWAY	12 EDGE OF STREET PAVING	PROPERTY LINE
3 13'-0" P.U.E / ACCESS	8 (P) S-2 SELF STORAGE BUILDING	13 (P) TRASH ENCLOSURE	SETBACK
4 (P) AUTOMATIC GATE	9 (P) SIGN	14 (P) PARKING COVER	
5 (P) MAN DOOR	10 (P) EMERGENCY VEHICLE ACCESS		

Site Plan, Proposed
1" = 20'-0"



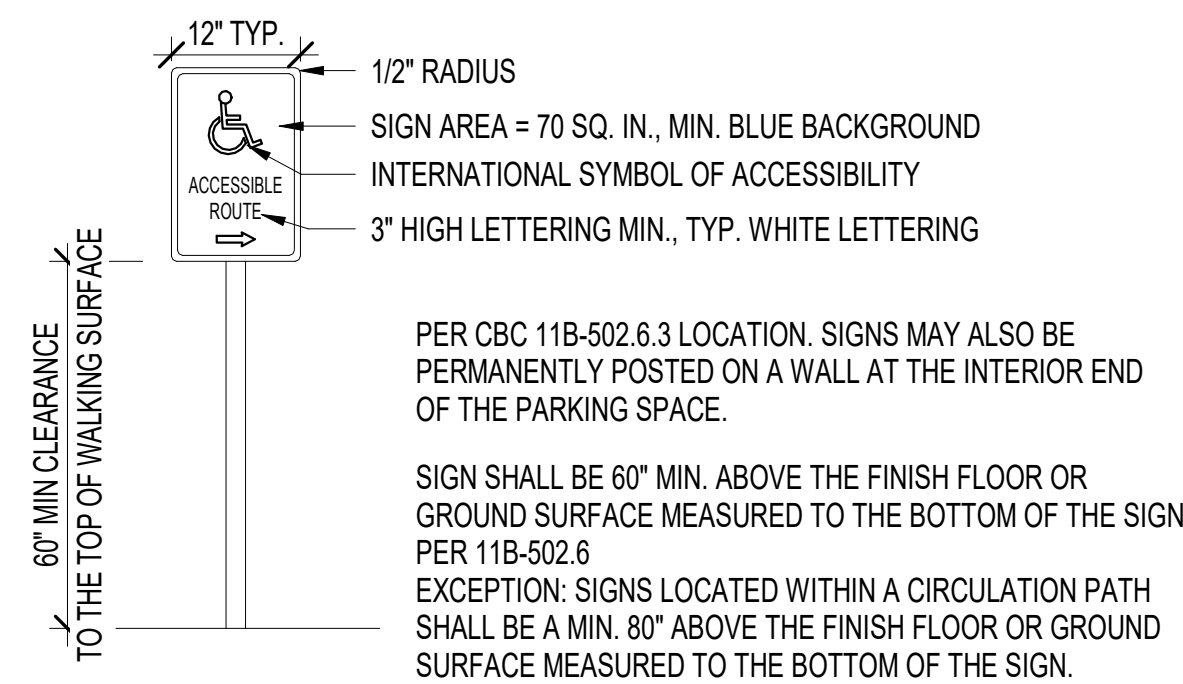
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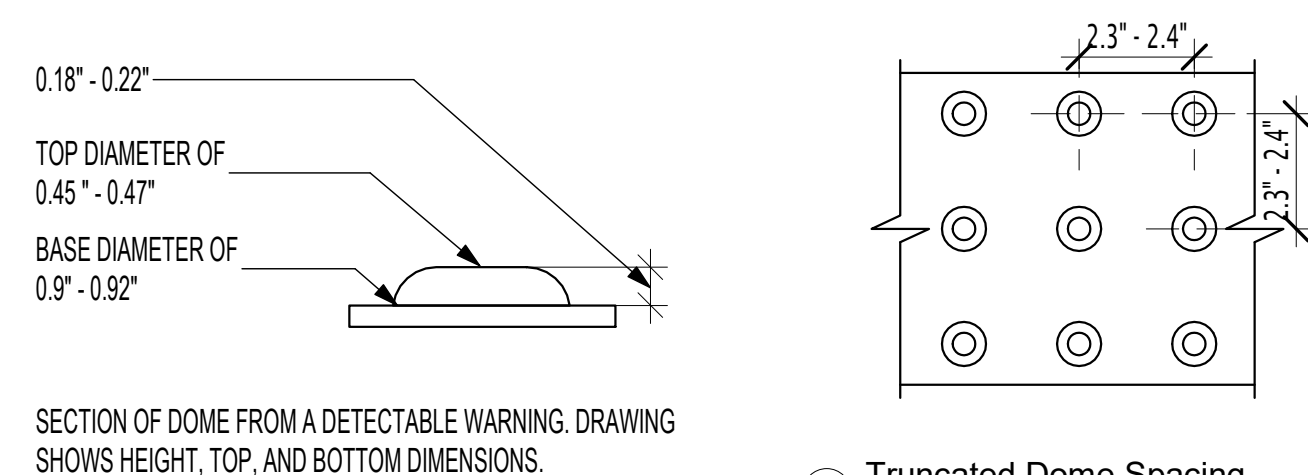
5 Curb Ramp, Detail
1/4" = 1'-0"

CURB RAMPS

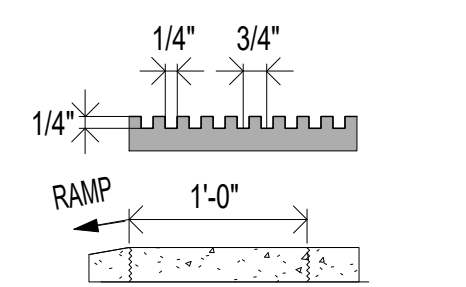
- CURB RAMPS SHALL BE CONSTRUCTED AT EACH CORNER OF STREET INTERSECTIONS, WHERE A PEDESTRIAN WAY CROSSES A CURB AND WHEN ACCESSIBLE PARKING STALL OCCURS.
- CURB RAMPS SHALL BE A MINIMUM OF 48 INCHES IN WIDTH AND SHALL LIE GENERALLY, IN A SINGLE SLOPED PLANE, WITH A MINIMUM OF SURFACE WARPING AND CROSS SLOPE.
- THE SLOPE OF CURB RAMPS SHALL NOT EXCEED 1 VERTICAL TO 12 HORIZONTAL. THE SLOPE OF THE FANNED OR FLARED SIDES OF CURB RAMPS SHALL NOT EXCEED ONE VERTICAL TO 10 HORIZONTAL. CURB RAMP MAXIMUM RISE AND RUN SHALL BE 1:12.
- A LEVEL LANDING 48 INCHES DEEP SHALL BE PROVIDED AT THE UPPER END OF EACH CURB RAMP OVER ITS FULL WIDTH TO PERMIT SAFE EGRESS FROM THE RAMP SURFACE, OR THE SLOPE OF THE FANNED OR FLARED SIDES OF THE CURB RAMP SHALL NOT EXCEED ONE VERTICAL TO 12 HORIZONTAL. SLOPE OF TOP LANDING AREA, IF PROVIDED, DOES NOT EXCEED 1:50 GRADIENT (2.0%).
- ROAD, GUTTER OR ACCESSIBLE ROUTES ADJOINING THE CURB RAMP DO NOT EXCEED A 1:20 GRADIENT (5.0%) WITHIN 48 INCHES OF THE TOP AND BOTTOM OF THE CURB RAMP.
- RAMPS SHALL NOT PROJECT INTO VEHICULAR LANES AND SHALL BE PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES. TRANSITIONS FROM RAMP(S) TO WALKS, GUTTERS OR STREETS ARE FLUSH AND FREE OF ABRUPT CHANGES.
- THE SURFACE OF EACH CURB RAMP AND ITS FLARED SIDES SHALL BE NON-SLIP MEETING A STATIC COEFFICIENT OF FRICTION OF .08 AND SHALL BE OF CONTRASTING FINISH FROM THAT OF THE ADJACENT SIDEWALK.
- THE WALKING SURFACE OF CURB RAMP(S) WITH SLOPES LESS THAN 1:15 SHALL HAVE DETECTABLE WARNING PAVERS INSTALLED ACROSS THE FULL WIDTH AND DEPTH OF THE SLOPED WALKING SURFACE. THE SURFACE OF THESE PAVERS SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE AND CONSIST OF RAISED TRUNCATED DOMES 0.9 INCHES (23 MM) IN DIAMETER, TAPERING TO .45 INCHES AT TOP; 0.2 INCHES (5 MM) HIGH AND 2.35 INCHES (60MM) O.C. SEE TYPICAL ACCESSIBILITY SHEET.
- ALL CURB RAMPS SHALL HAVE A DETECTABLE WARNING BORDER 12 INCHES WIDE AT THE LEVEL SURFACE OF THE SIDEWALK ALONG THE TOP AND EACH SIDE OF THE RAMP. THIS BORDER SHALL CONSIST OF 1/4 INCH GROOVES APPROXIMATELY 3/4 INCHES O.C. AND RUNNING PERPENDICULAR TO THE FLOW OF PEDESTRIAN TRAFFIC. SEE TYPICAL ACCESSIBILITY DETAILS SHEET.



③ Accessible Route Signage
6" = 1'-0"



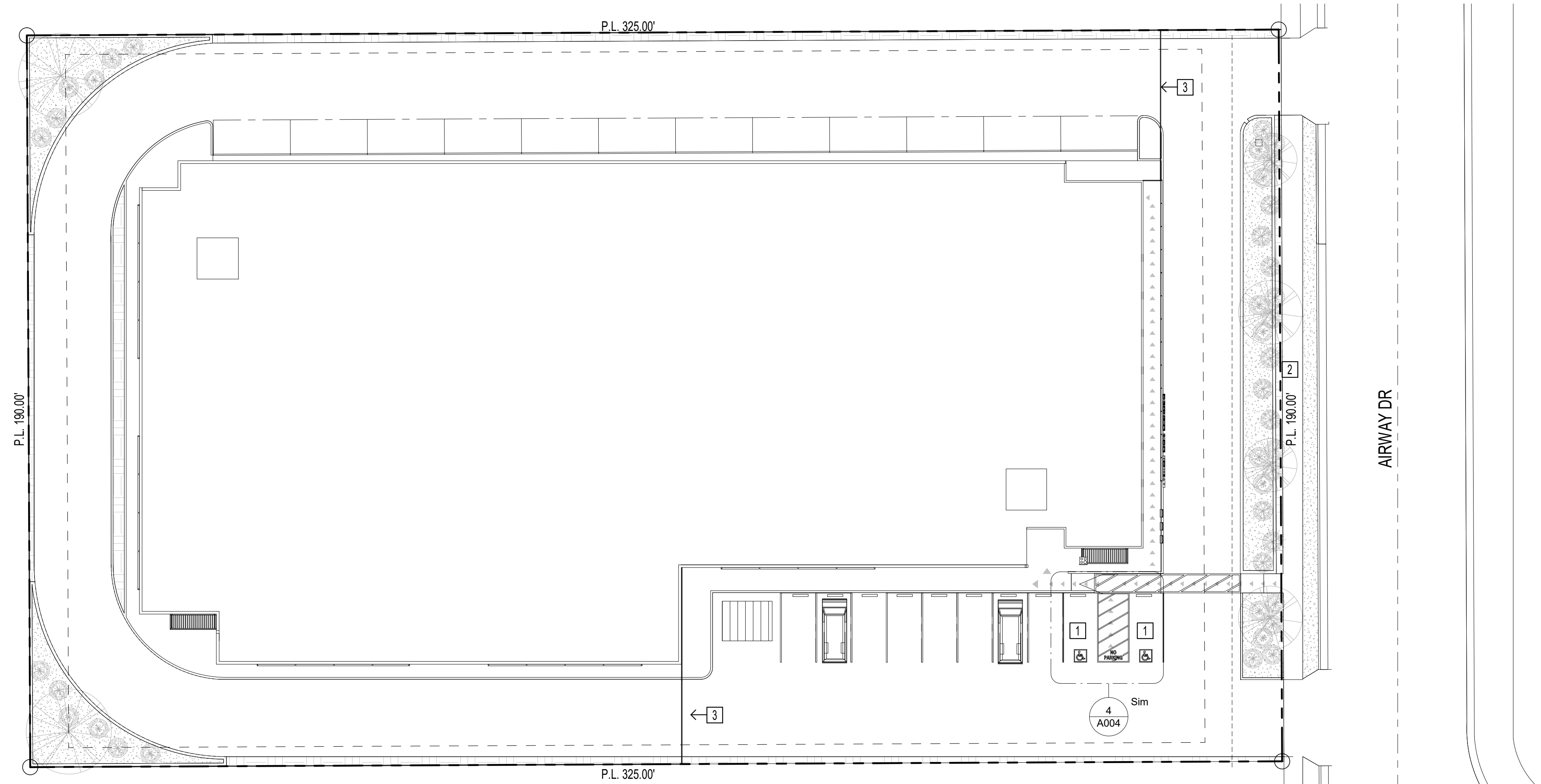
⑥ Truncated Dome Spacing
3" = 1'-0"



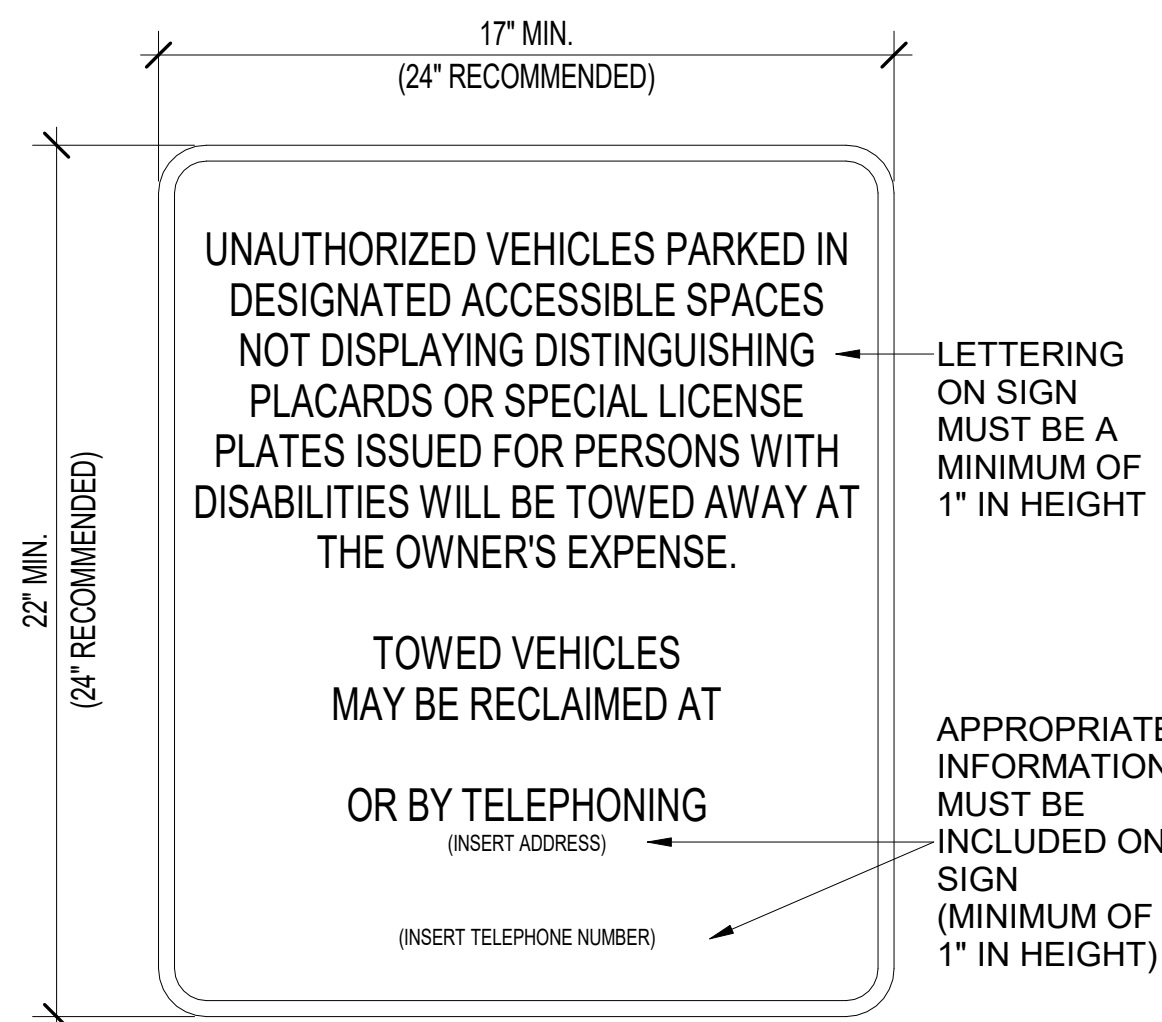
NOTE: GROOVED BORDER MUST BE ON THE
LEVEL SURFACE AT THE TOP OF THE RAMP

GROOVED BORDER DETAIL

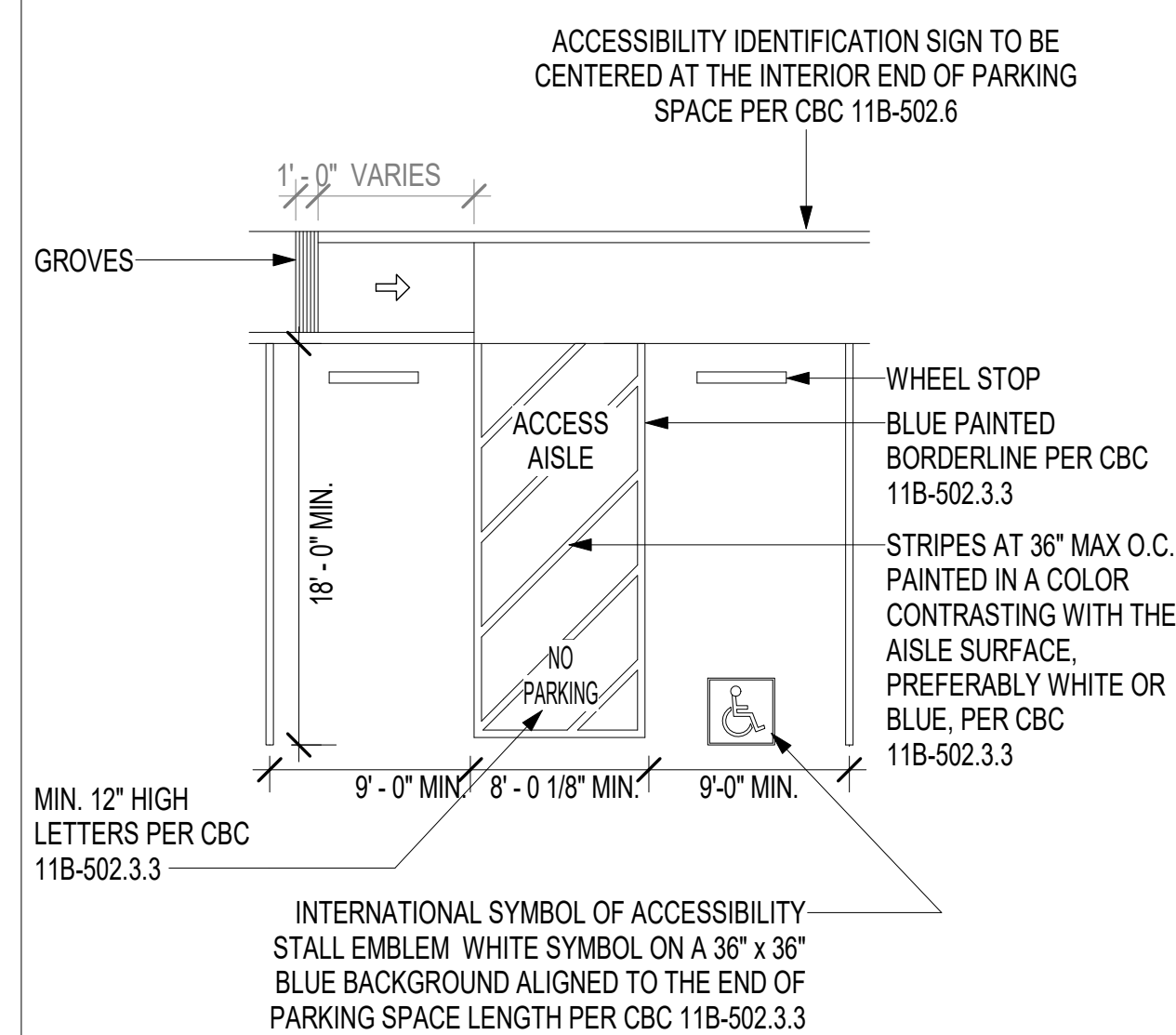
8 Grooved Border Detail
1/8" = 1'-0"



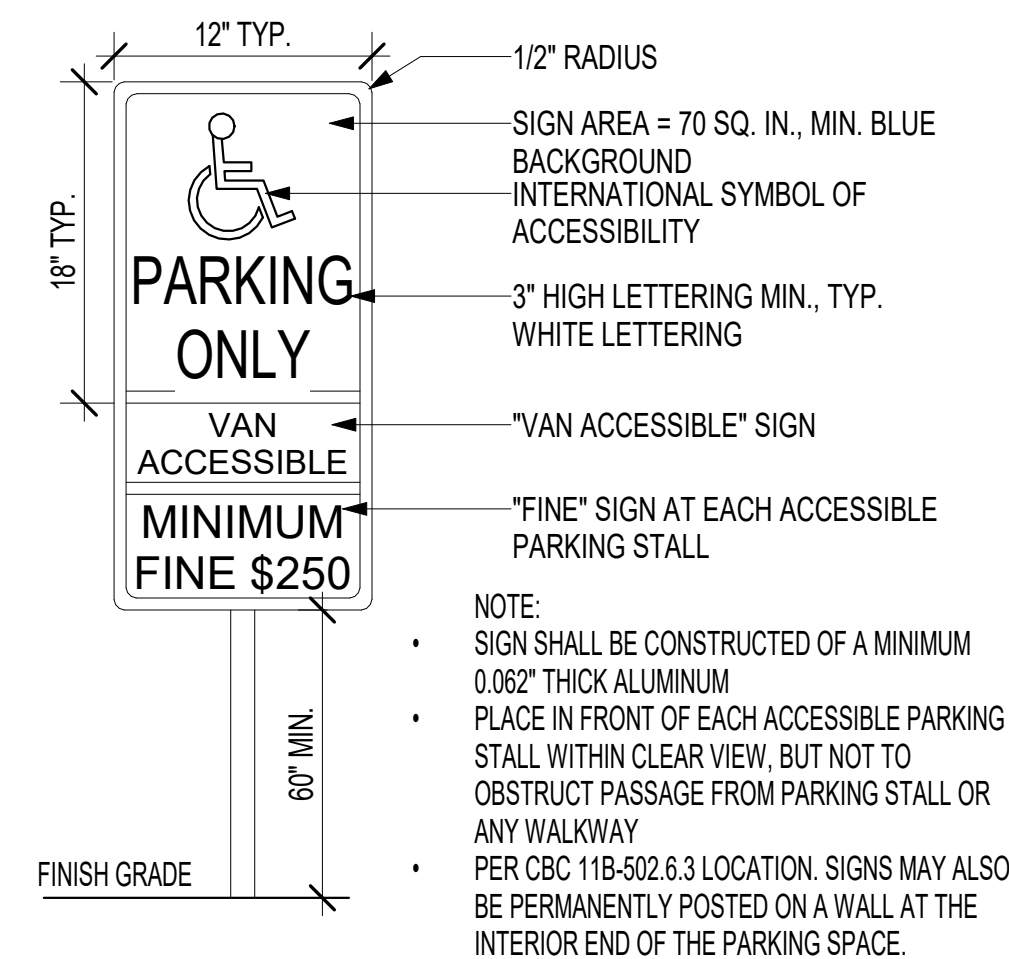
9 Site Plan, Accessibility
1" = 20'-0"



② Accessible Parking Tow Away Sign
1/2" = 1'-0"



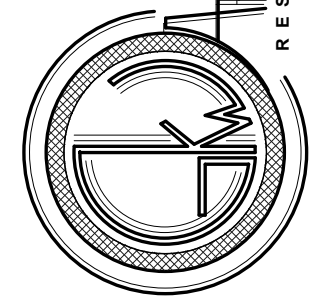
4 ADA Parking Space Detail
1/8" = 1'-0"



- SIGN SHALL BE 60" MIN. ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN PER 11B-502.6
- EXCEPTION: SIGNS LOCATED WITHIN A CIRCULATION PATH SHALL BE A MIN. 80" ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN.

① Accessible Parking Sign
12" = 1'-0"

Accessibility, Exterior



AIRWAY SELF STORAGE

3383 AIRWAY DRIVE
SANTA ROSA, CA 95403



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ARCHITECTS
RESIDENTIAL / COMMERCIAL[illegible]

Accessibility, Exterior

A004

SCALE As indicated

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Pre-application Staff Review
Santa Rosa Self Storage
(April 27, 2021)

Applicant: Gordon Wong, on behalf of GKW Architects
Project: 3383 Airway Drive, APN 015-670-041
Parcel size (per GIS): 1.42 acres
General Plan land use designation: Light Industry
Zoning: IL (Light Industrial)
Proposal: Demolition of existing self-storage structure and construction of a new self-storage structure.
The Storage – Personal storage facility (mini-storage) land use is permitted by-right unless the use abuts a residential use. The subject site is surrounded on all sides by light industrial/commercial uses. The following entitlements and fees, effective January 1, 2021, may apply and are subject to change:

- Concept Design Review - \$1,426 (This is optional but HIGHLY recommended)
- Neighborhood meeting, \$1,103 (This is optional; I don't have a recommendation)
- Design Review (\$17,155)
- Environmental Review - \$1,082 (The project will likely qualify for an exemption to the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332 as infill development. I recommend involving a CEQA/environment consultant to review that as it may require supporting technical studies. Staff will review your analysis which should be included as part of the application submittal documentation. NOTE: This would not exempt the project from outside agency requirements. If the project is not exempt from CEQA, additional fees will apply)

Additional questions/comments:

- Reconsider the name. There's a Santa Rosa Self Storage located at 3512 Santa Rosa Avenue.
- Will there be a management/caretaker office/unit on site?
- Pursuant to Zoning Code Section 20-42.180, a minimum setback of 20 feet.
- Pursuant to Coning Code Table 3-4, two parking spaces are required for manager or caretaker unit, one of which must be covered, and a minimum of five customer parking spaces located adjacent to or close to the manager's unit.
- No bicycle parking is required.
- If the project has a deficit in parking, a parking study conducted by a qualified professional could justify the parking reduction, which could be included in the scope of the Minor Conditional Use Permit.
- Call out all proposed materials, colors and fixtures for Concept Design Review.
- Provide a conceptual site plan for Concept Design Review.
- Provide a project narrative with Concept Design Review and Design Review application submittals.

MEMORANDUM

Date: April 20, 2021
To: Susie Murray, Planner
From: Caryn Lozada
Subject: Pre Application Notes for 4/27/21 Pre App meeting
3383 Airway Dr – Santa Rosa Self Storage

Susie-
I was able to do a quick review of the plan submitted. Below are preliminary comments to provide the applicant. I will not be attending. Please let me know if you have any questions.

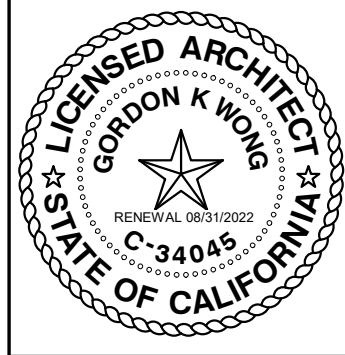
*Water and sewer demand, meter and processing fees will be determined with the Building Permit review. Provide the square footage of the existing facility so that credits can be calculated.

*Any existing water or sewer services or stubs to the parcel that may exist that will not be used for the project, must be abandoned at the main per current City Standards. (There is an existing 5/8" domestic meter serving this parcel and an existing sewer lateral)

*All water and sewer onsite shall be private.

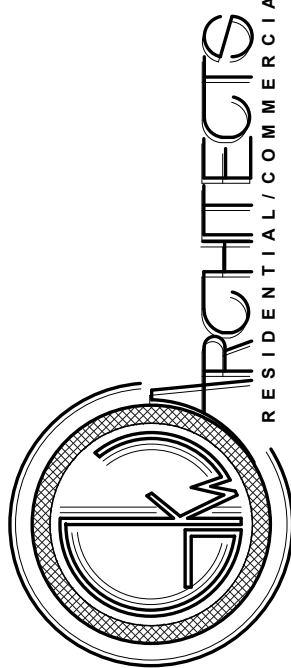
*All domestic and irrigation meters will be required to have reduced pressure backflow per City Standard 876. The residential unit and the storage facility shall have separate domestic meters per City Standards.

*Any hydrants required onsite shall be private. Maps shall be submitted to SR Water for any onsite hydrants so that they can be mapped for the Fire Department.



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Site Photos

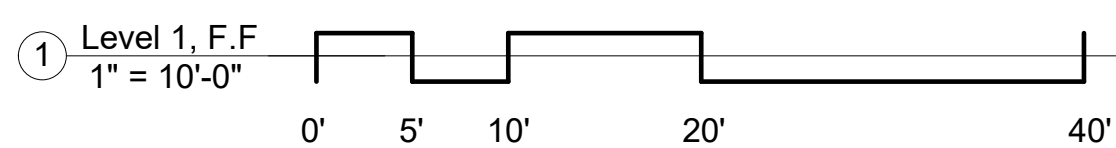
AIRWAY SELF STORAGE
3383 AIRWAY DRIVE
SANTA ROSA, CA 95403

Revision Schedule		
#	Date	Description

Site Photos

A006

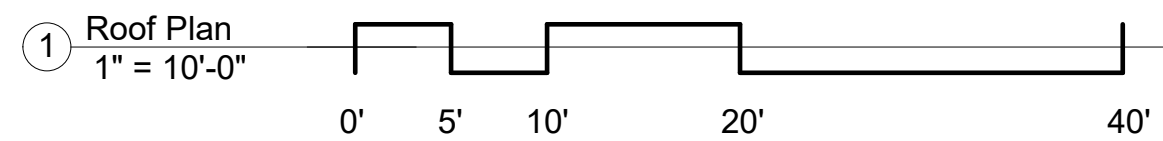
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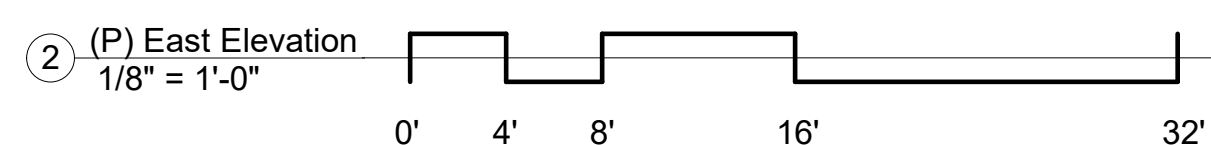
3383 AIRWAY DRIVE
SANTA ROSA, CA 95403

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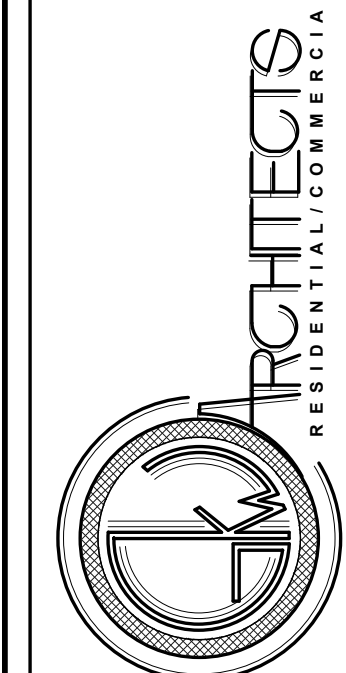
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-

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AIRWAY SELF STORAGE

3383 AIRWAY DRIVE
SANTA ROSA, CA 95403

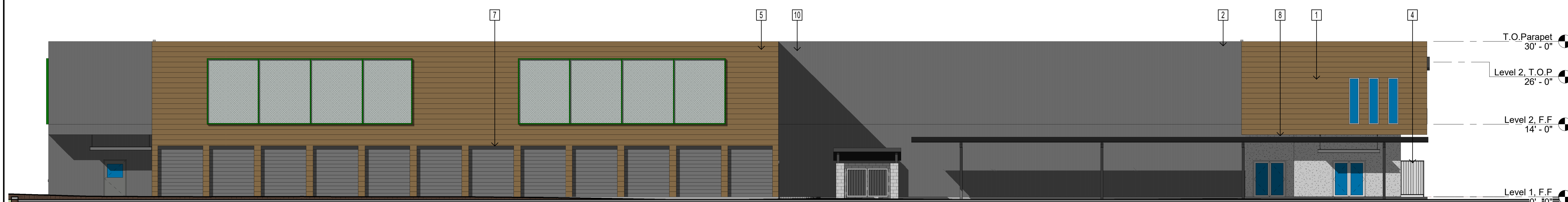
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(P) Elevations

A200

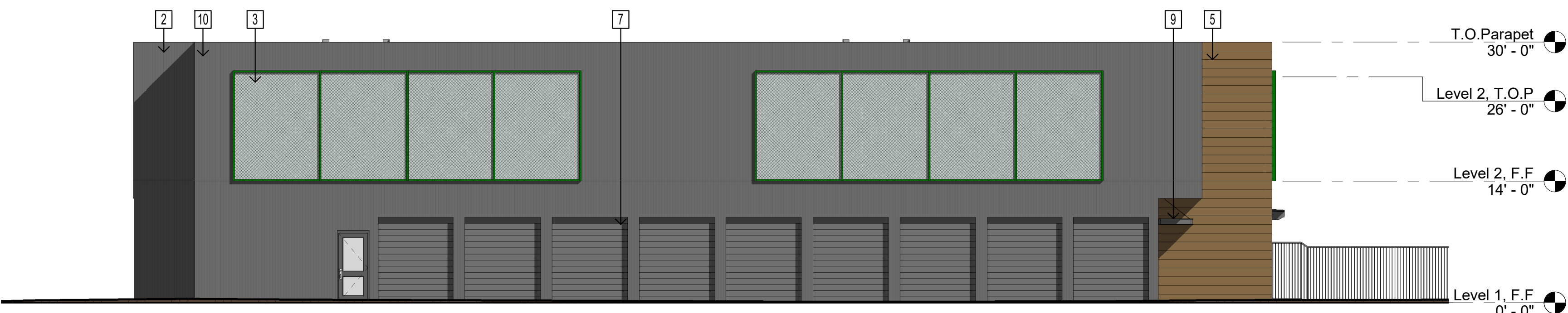
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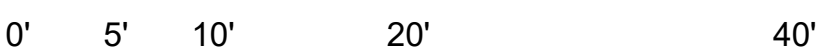


① (P) South Elevation
1" = 10'-0"

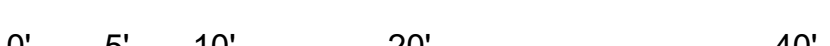
The profile shows a horizontal line representing the ground level. The roofline is represented by a series of horizontal and vertical segments. It starts at 0', goes up to a height of 10' at 5', stays at 10' until 10', goes down to a height of 5' at 20', stays at 5' until 30', and then goes up to a height of 10' at 40'. The vertical axis is labeled with 0', 5', 10', 20', and 40'.



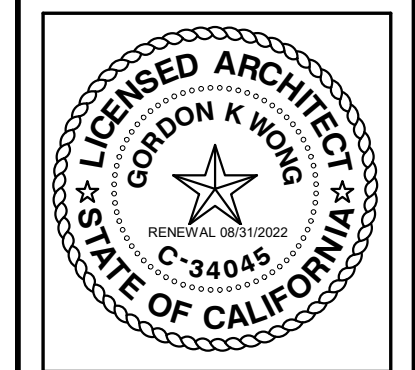
② (P) West Elevation
1" = 10'-0"



① (P) North Elevation
1" = 10'-0"

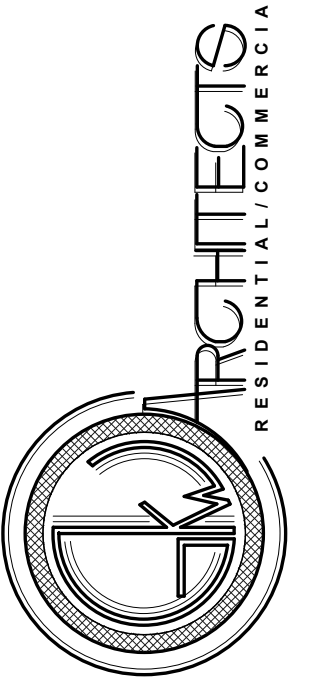


- ELEVATION KEYNOTES
- 1 COSMETIC WINDOWS
 - 2 PARAPET
 - 3 GREEN SCREEN WIRE MESH
 - 4 WROUGHT IRON FENCE
 - 5 METAL PANEL
 - 6 ALUMINUM STOREFRONT
 - 7 EXT. ROLL-UP DOOR
 - 8 STUCCO
 - 9 METAL AWNING
 - 10 ALUMINUM PANELING



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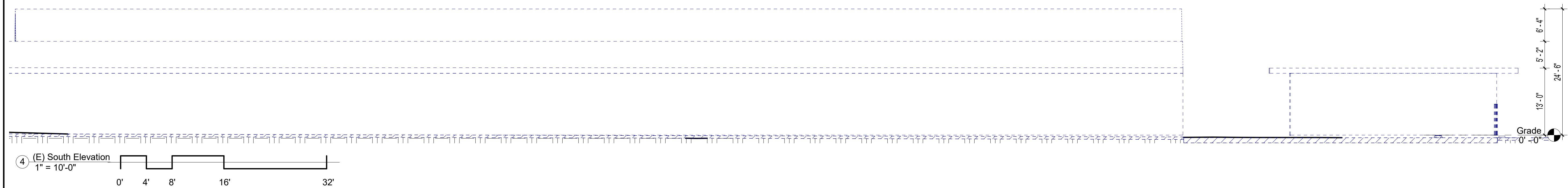


AIRWAY SELF STORAGE
3383 AIRWAY DRIVE
SANTA ROSA, CA 95403

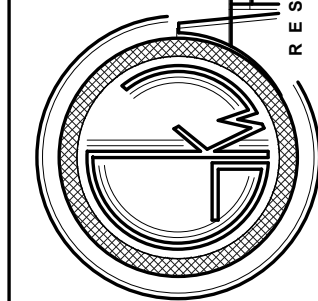
Revision Schedule		
#	Date	Description

(P) Elevations

A201
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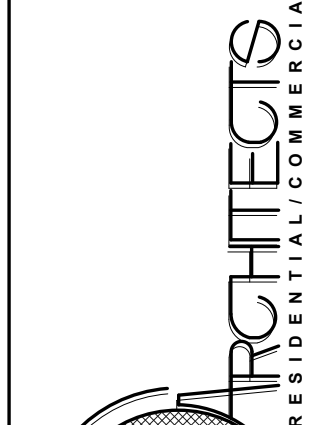


(E) Elevations



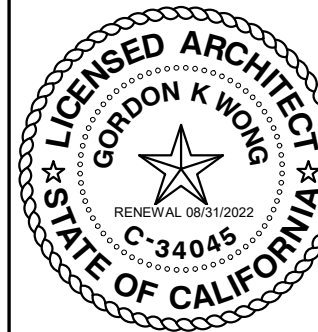
AIRWAY SELF STORAGE

3383 AIRWAY DRIVE
SANTA ROSA, CA 95403



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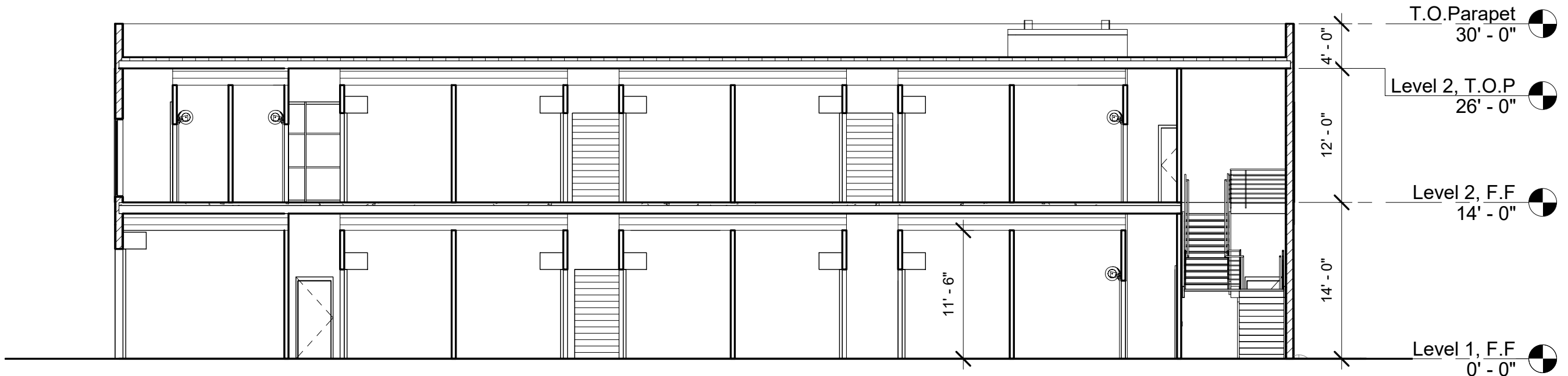
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(E) Elevations

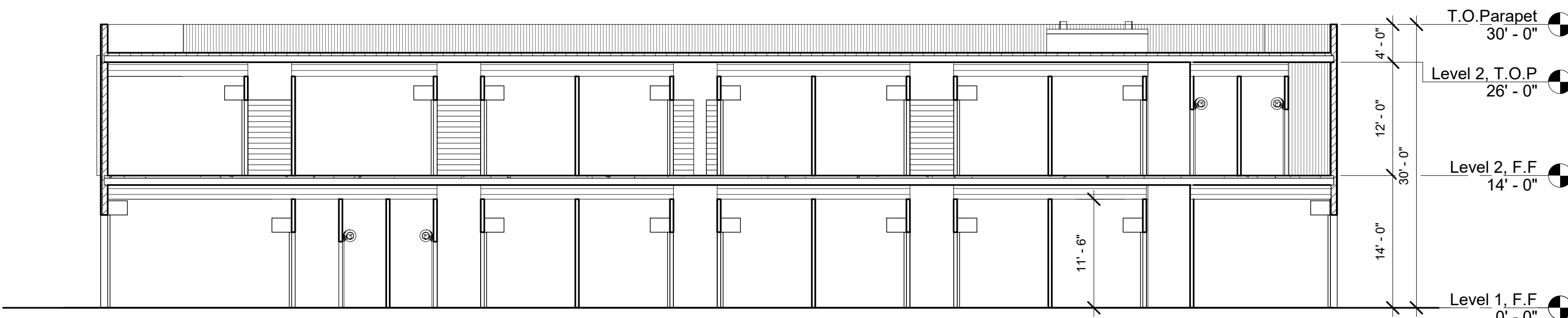
A202

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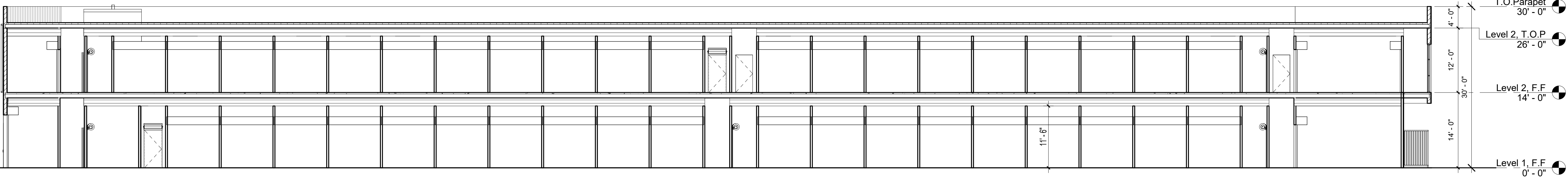
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③ Section 4
1" = 10'-0"



② Section 3
1" = 10'-0"



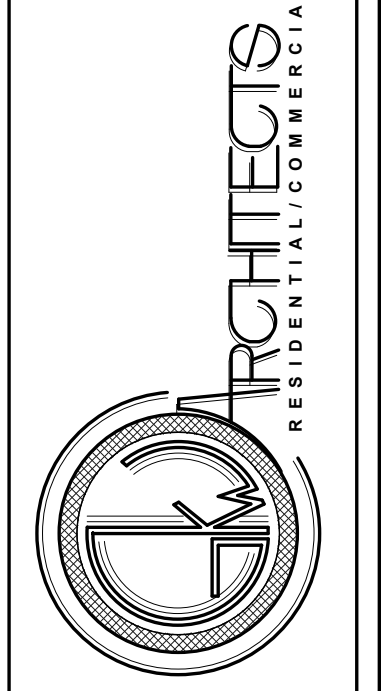
① Section 2
1" = 10'-0"

- SECTION KEYNOTES
- 1 COSMETIC WINDOWS
 - 2 PARAPET
 - 3 GREEN SCREEN WIRE MESH
 - 4 WROUGHT IRON FENCE
 - 5 METAL PANEL
 - 6 ALUMINUM STOREFRONT
 - 7 EXT. ROLL-UP DOOR
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AIRWAY SELF STORAGE
3383 AIRWAY DRIVE
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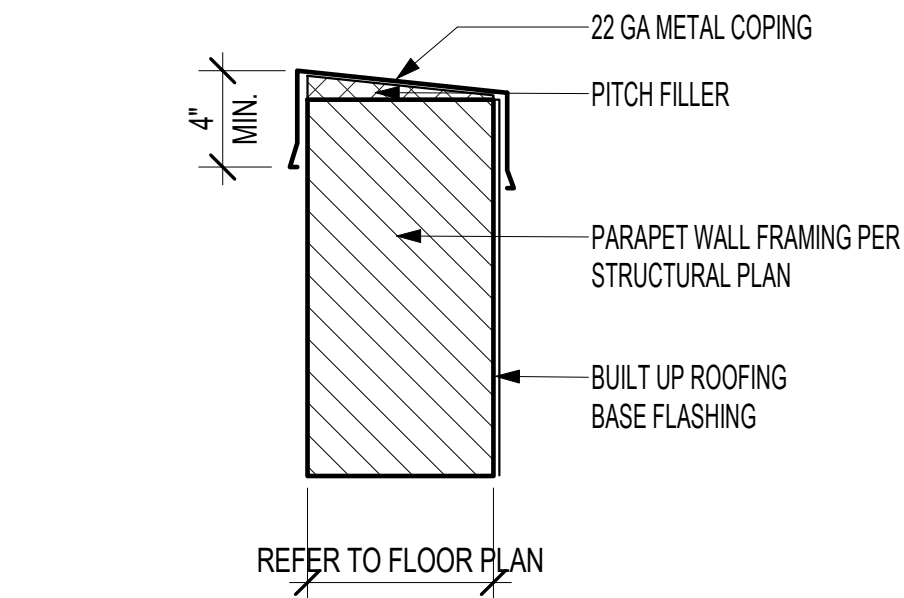
Revision Schedule		
#	Date	Description

Sections

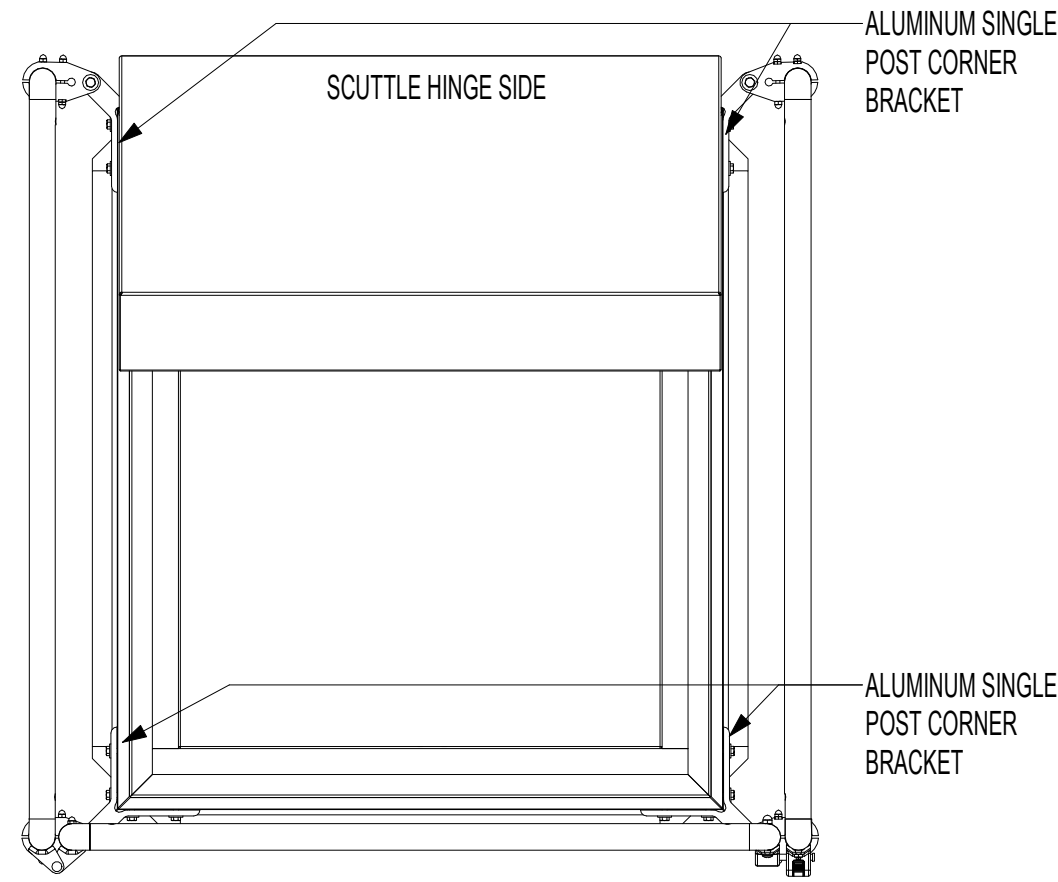
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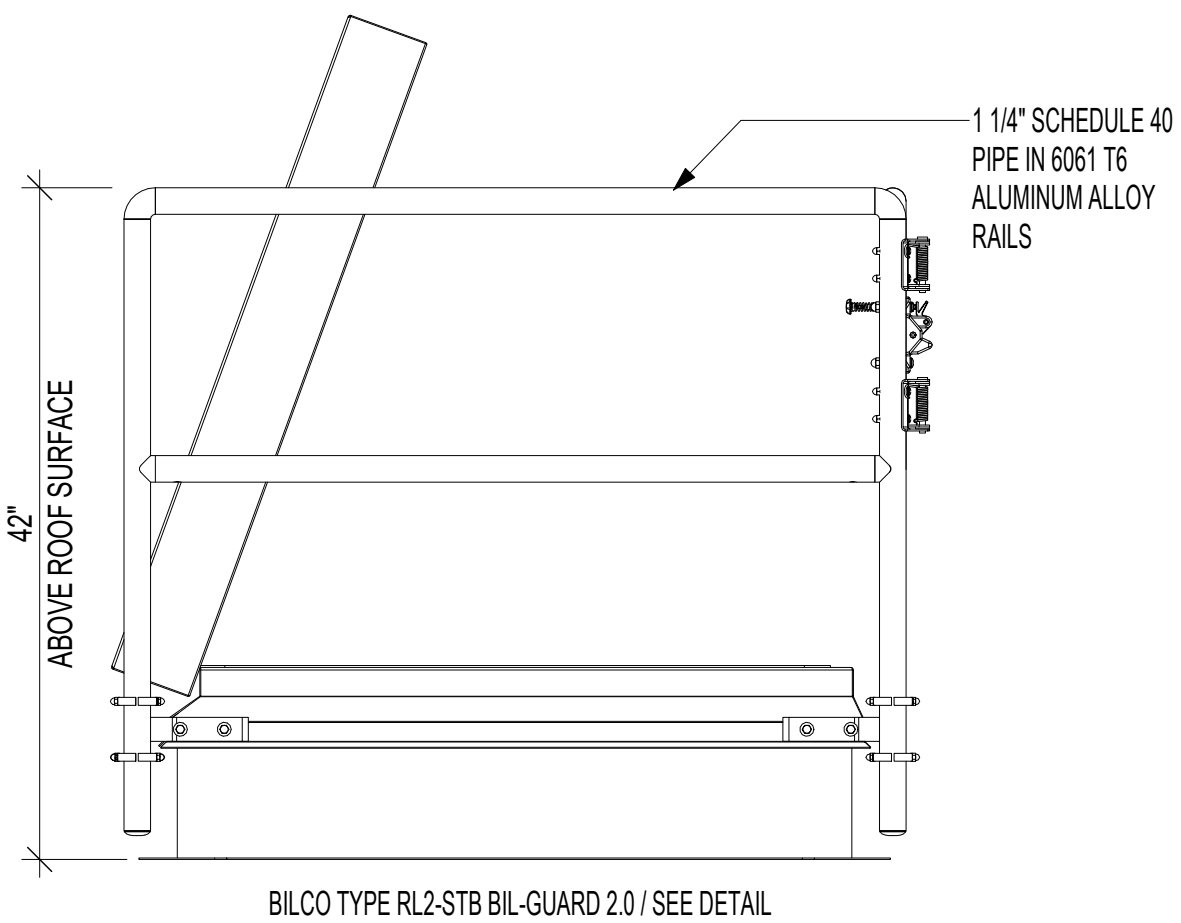
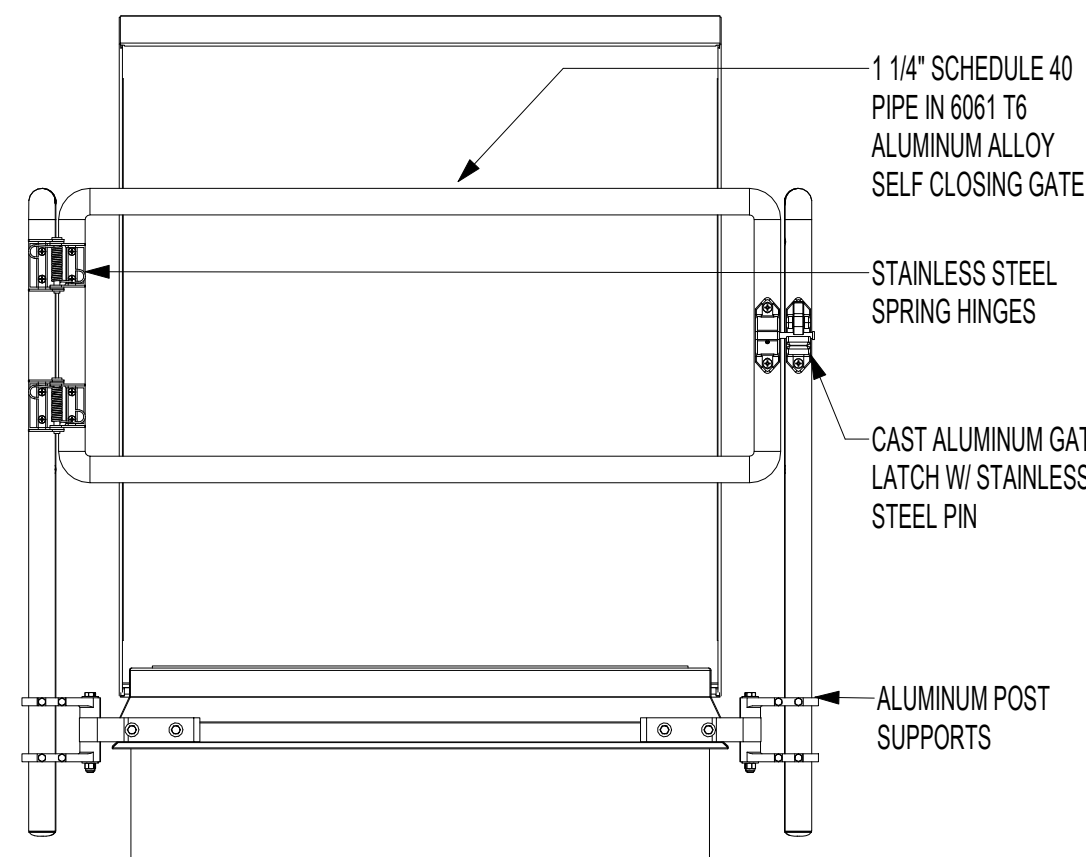
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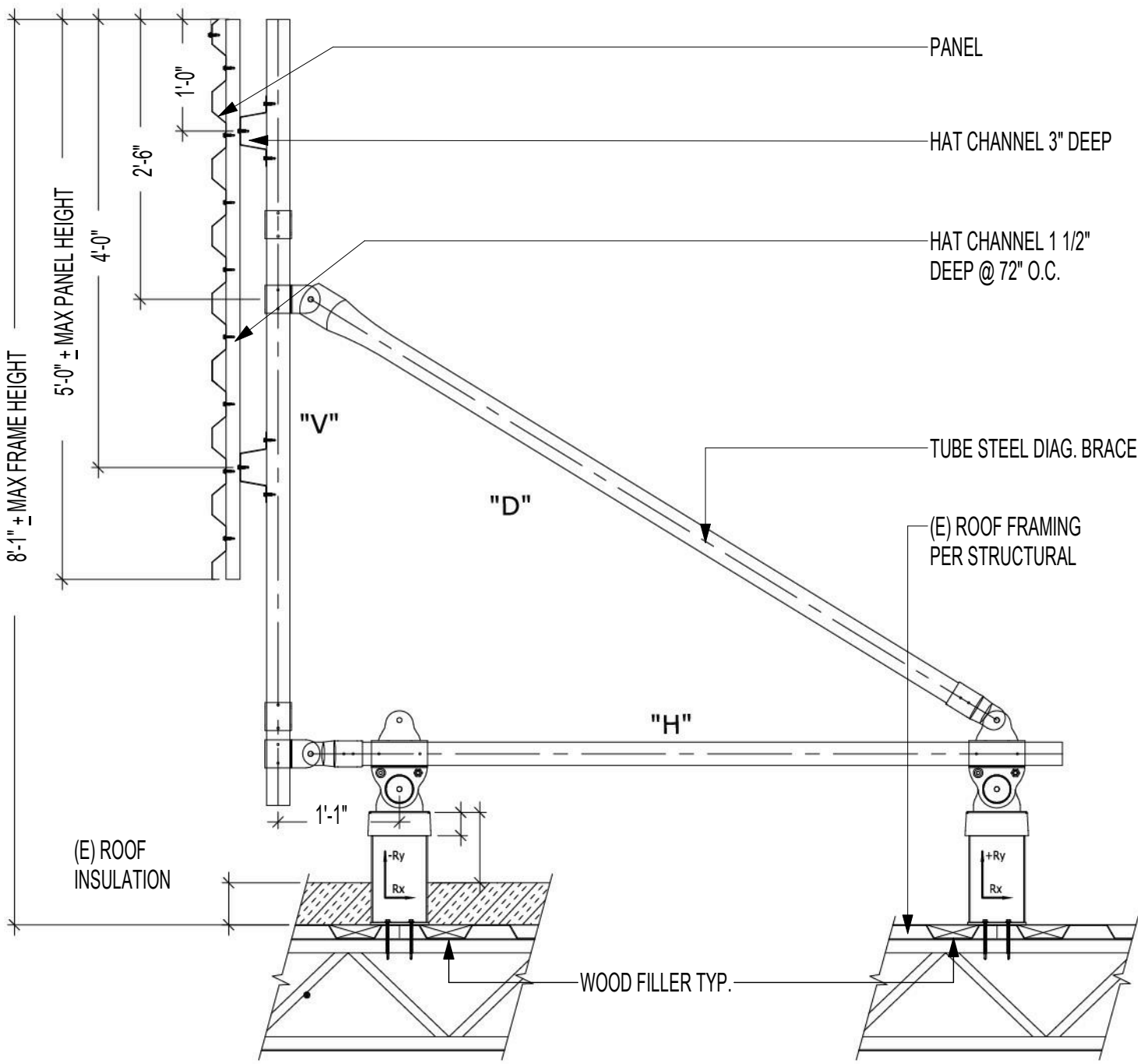
② Coping Detail
1 1/2" = 1'-0"



⑤ Roof Screen Detail
3/4" = 1'-0"



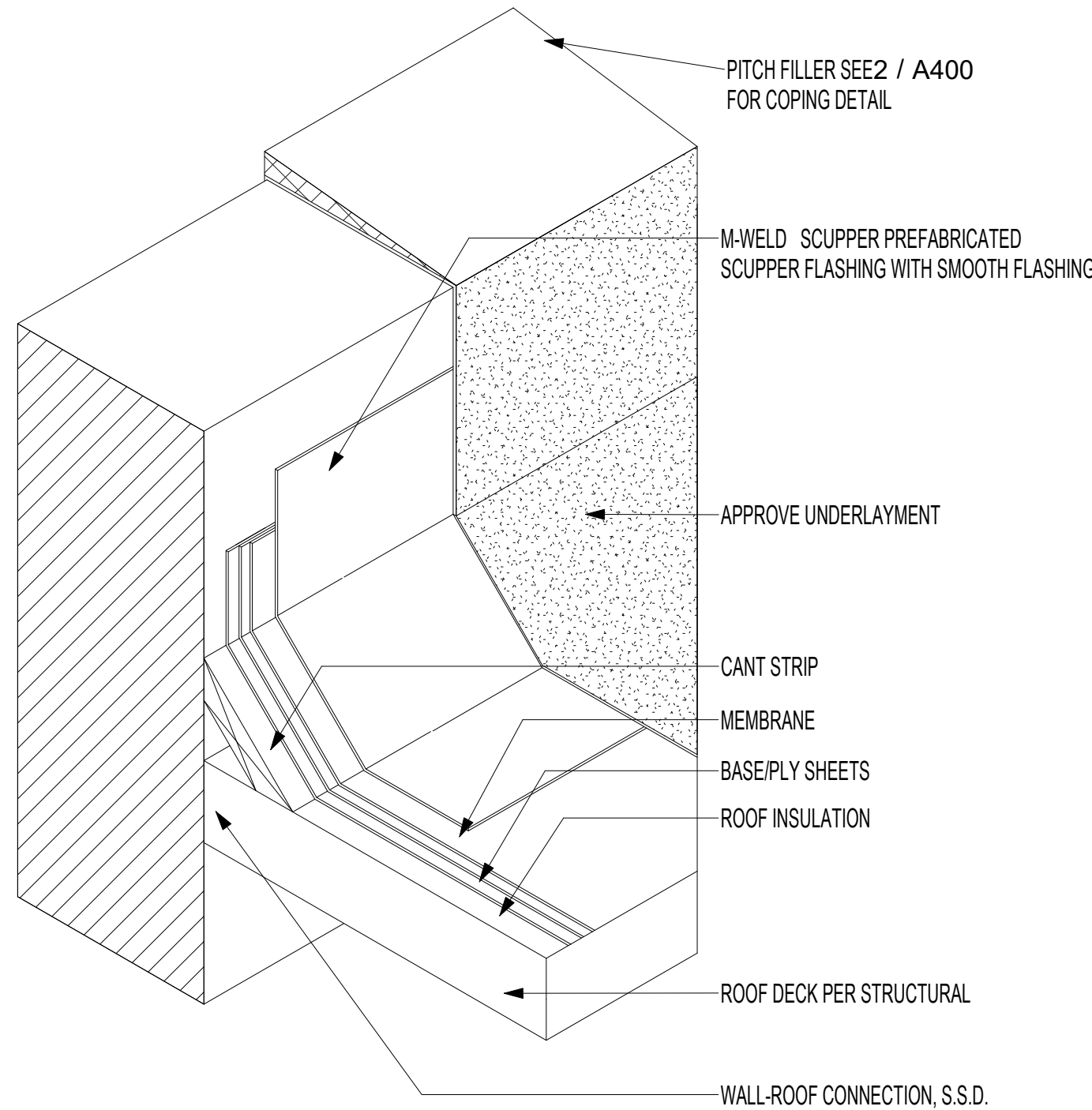
③ Roof Hatch Railing Detail
1" = 1'-0"



ROOFSCREEN NOTES / INFORMATION

- ALL WORK SHALL COMPLY TO THE 2016 INTERNATIONAL BUILDING CODE
- FRAMING SHALL BE PREMANUFACTURED AND DELIVERED TO THE SITE
- APPROVALS / REVIEW AUTHORITY SHALL BE REQUIRED BEFORE MANUFACTURING AND ANY CONSTRUCTION
- PRODUCT MANUFACTURER: ROOFSCREEN MFG. INC.
- ADDRESS / CONTACT: 347 CORAL STREET, SANTA CRUZ, CA 95060 PHONE: 866-766-3727 FAX: 866-253-0738 WEB: WWW.ROOFSCREEN.COM

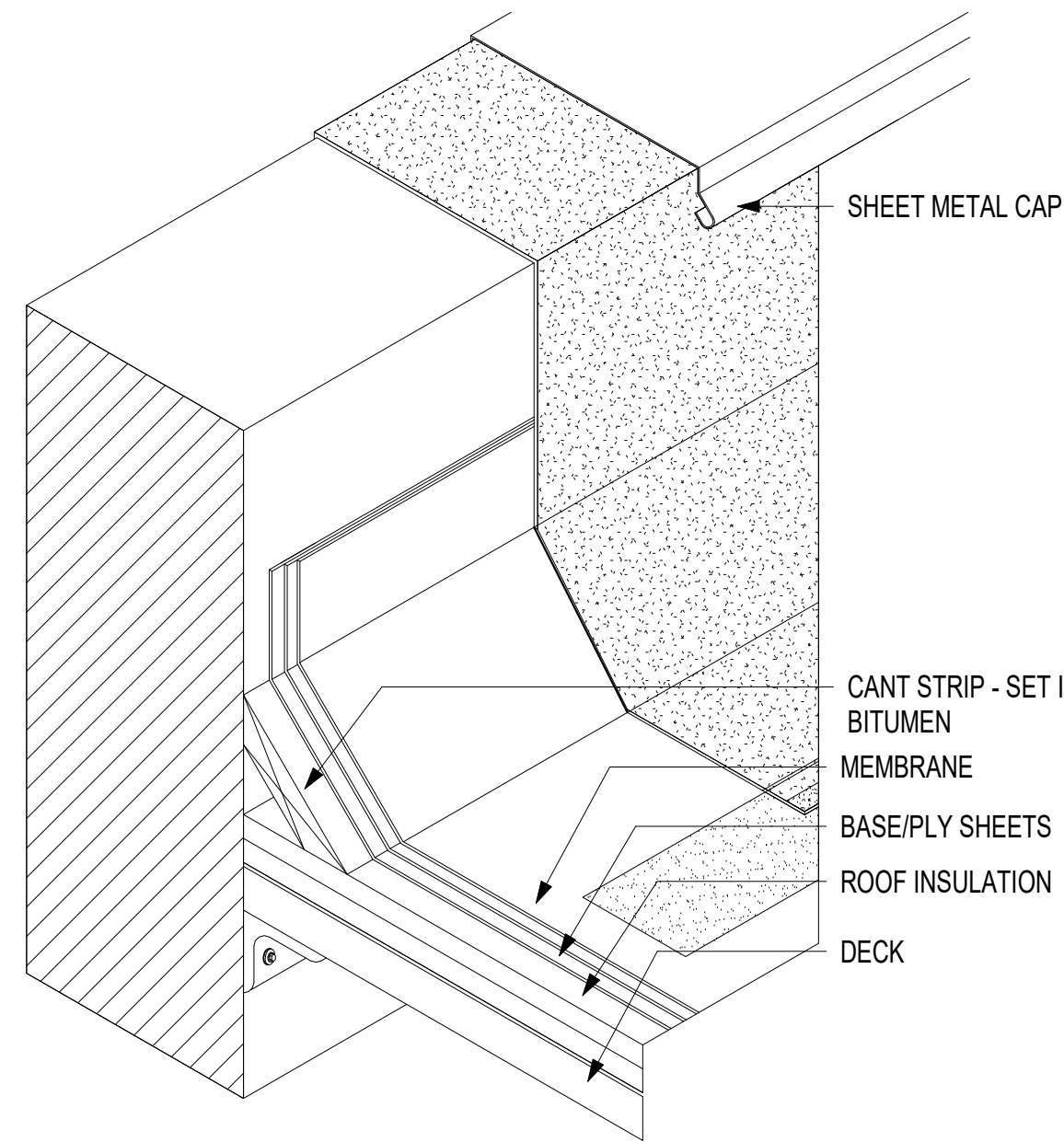
⑤ Roof Screen Detail
3/4" = 1'-0"



NOTES:

- BASE FLASHING FASTENED IN ACCORDANCE WITH WALL DETAIL USED
- BASE FLASHING ON ALL 15- & 20-YEAR GUARANTEED SYSTEMS MUST HAVE A BASE PLY.

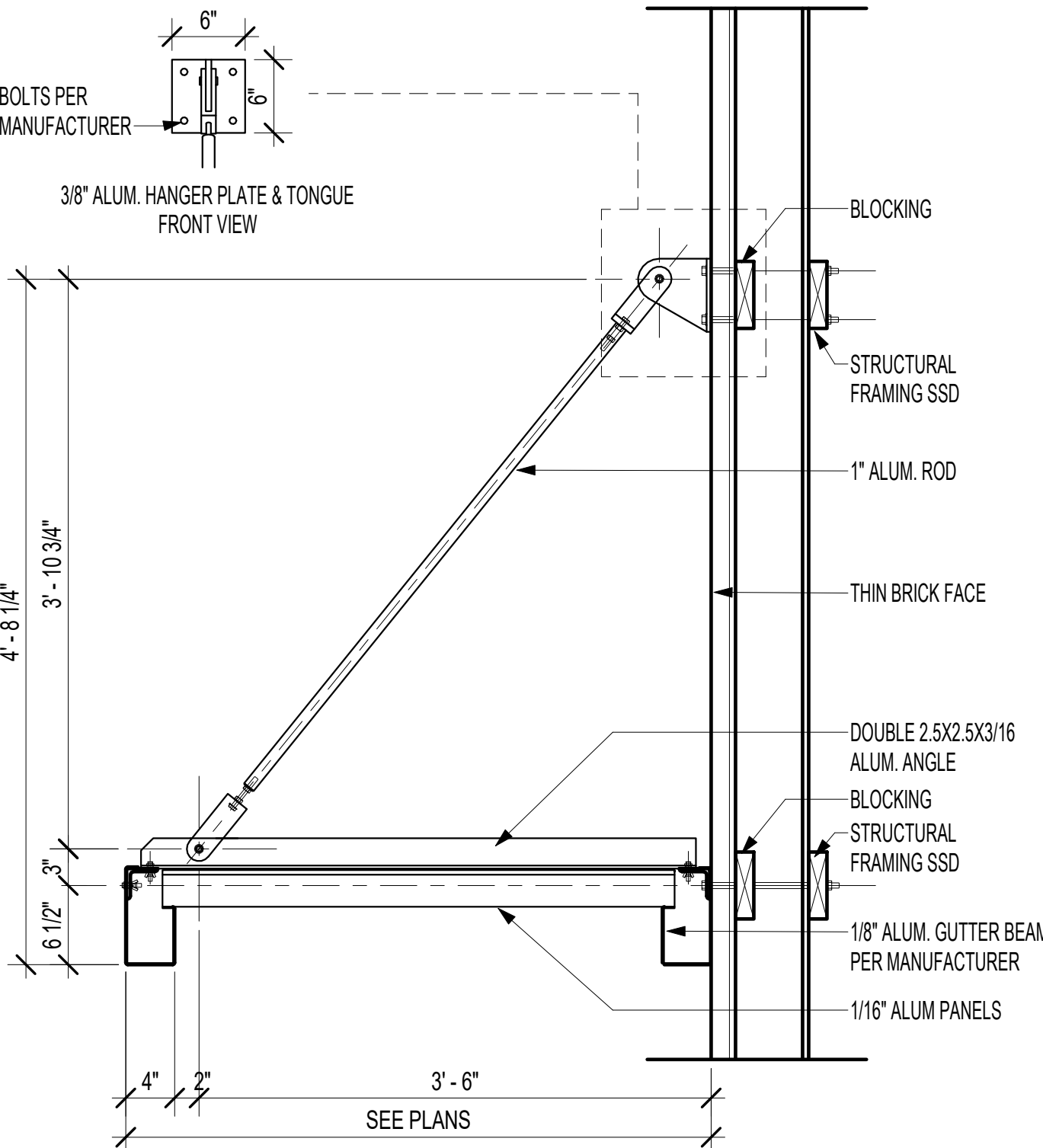
⑦ Parapet/TPO Roof Detail
1 1/2" = 1'-0"



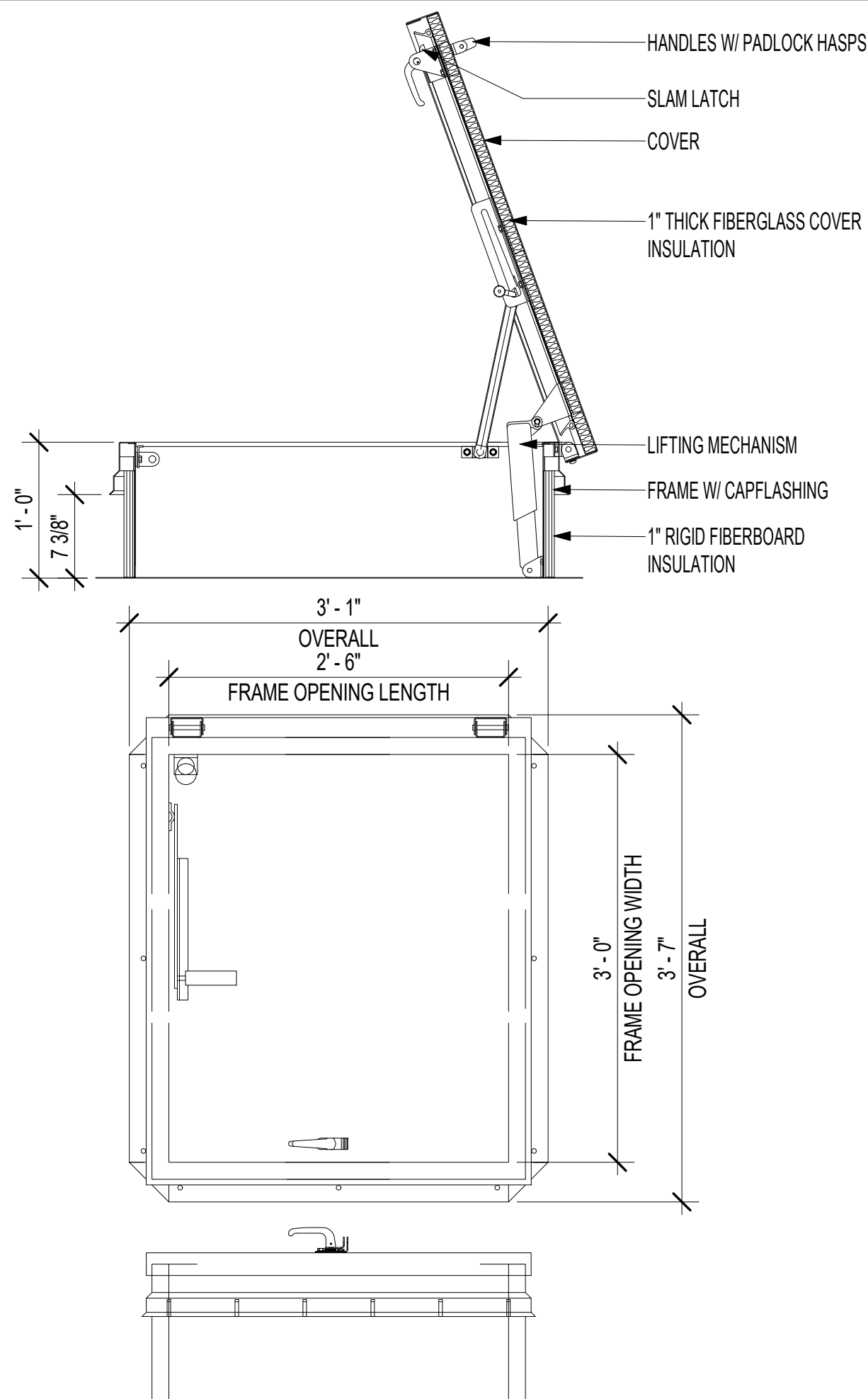
NOTES:

- 1. BASE FLASHING FASTENED IN ACCORDANCE WITH WALL DETAIL USED
- 2. BASE FLASHING ON ALL 15- & 20-YEAR GUARANTEED SYSTEMS MUST HAVE A BASE PLY.

① Parapet Detail
1 1/2" = 1'-0"



⑥ Awning Section Detail
1" = 1'-0"



④ Roof Hatch Detail
1" = 1'-0"

Architectural Details

AIRWAY SELF STORAGE

3383 AIRWAY DRIVE
SANTA ROSA, CA 95403

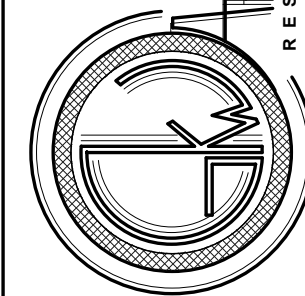
Revision Schedule		
#	Date	Description

Architectural
Details

A400

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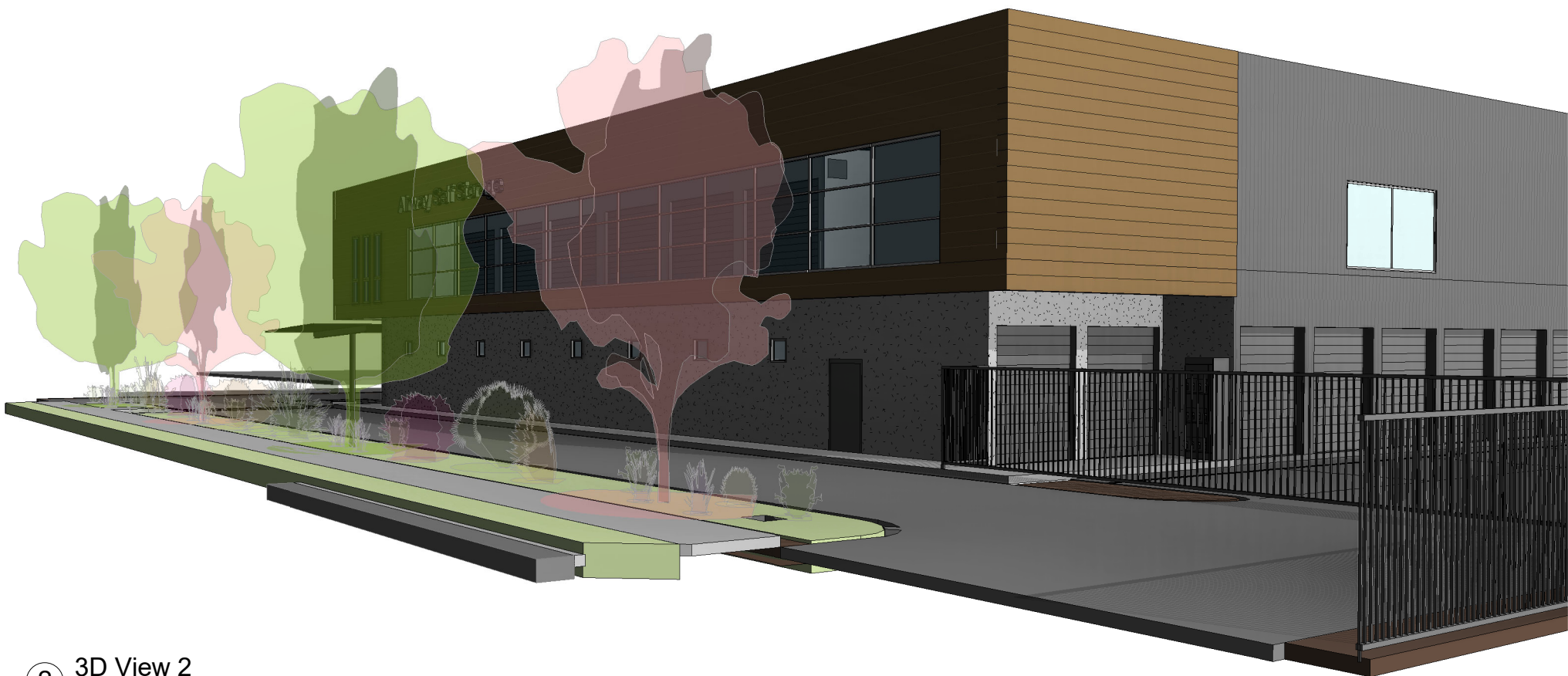
GORDON K WONG
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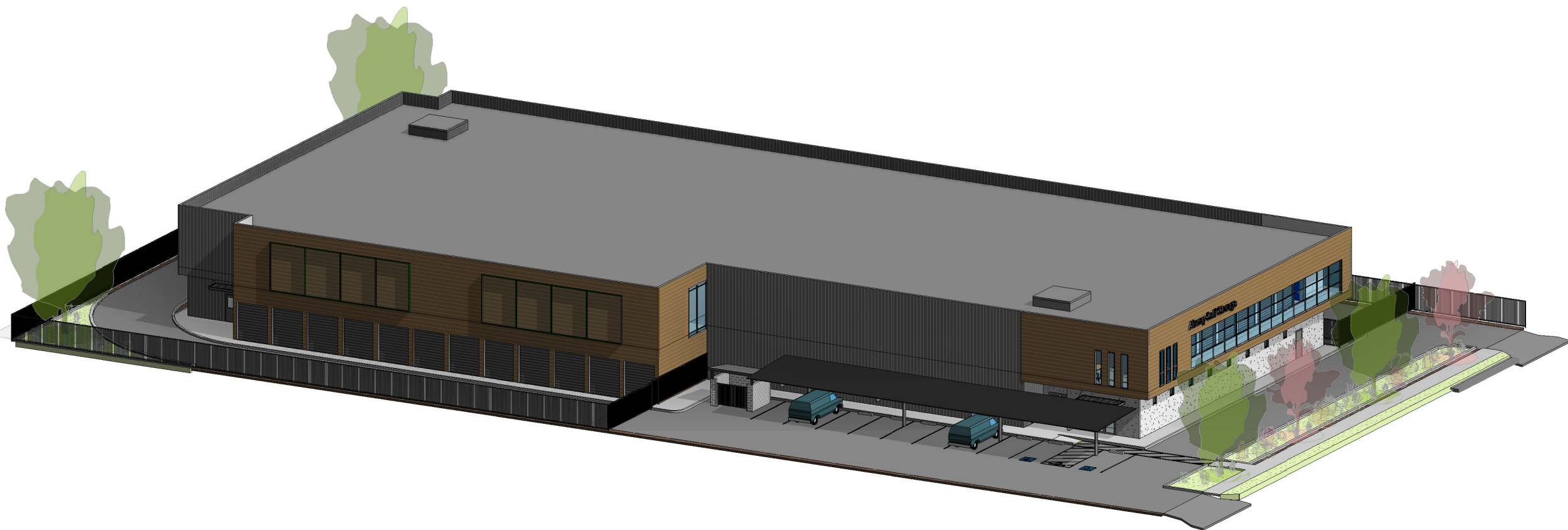
1 3D View 1



2 3D View 2

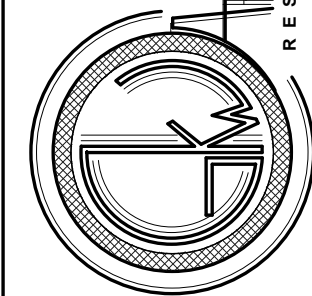


3 3D View 3



4 Aerial View

Exterior Views



AIRWAY SELF STORAGE
3383 AIRWAY DRIVE
SANTA ROSA, CA 95403

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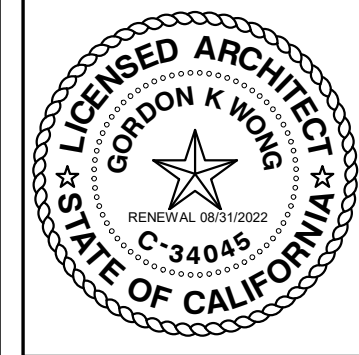
Revision Schedule		
#	Date	Description

Exterior Views

A500

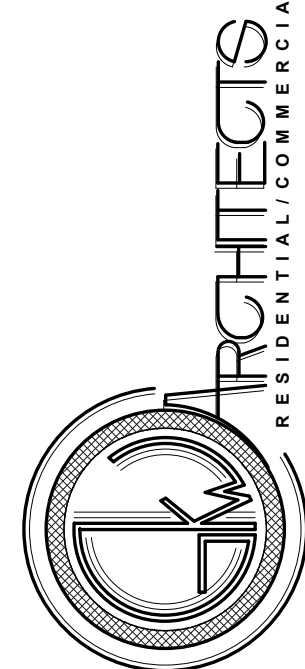
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AIRWAY SELF STORAGE
3383 AIRWAY DRIVE
SANTA ROSA, CA 95403

Revision Schedule		
#	Date	Description

Material Board

A600

SCALE

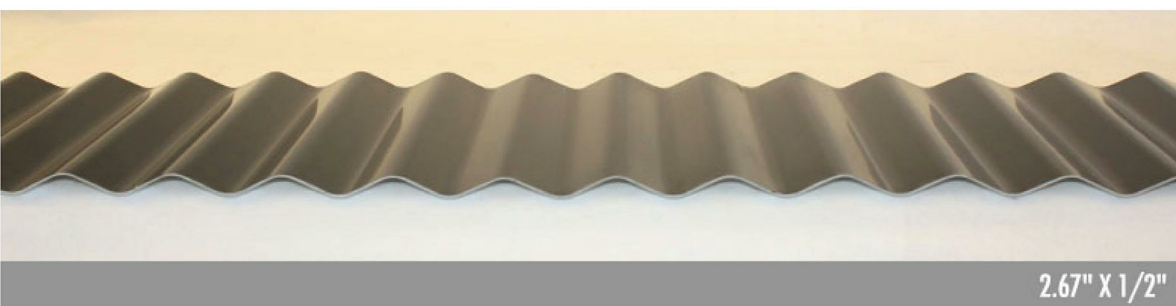
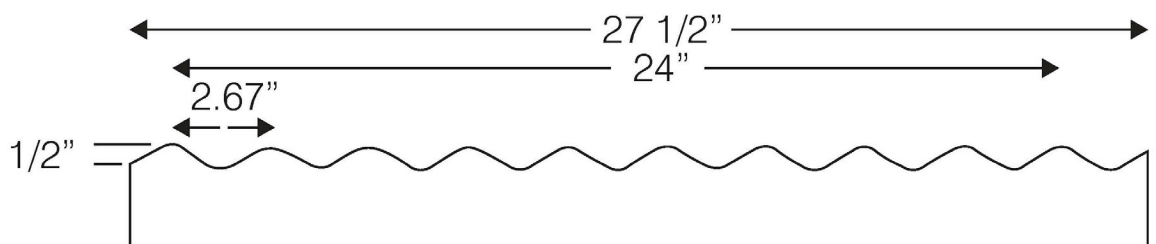
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Material Board

SANTA ROSA SELF STORAGE - MATERIAL BOARD

3383 AIRWAY DRIVE,
SANTA ROSA, CA 95403

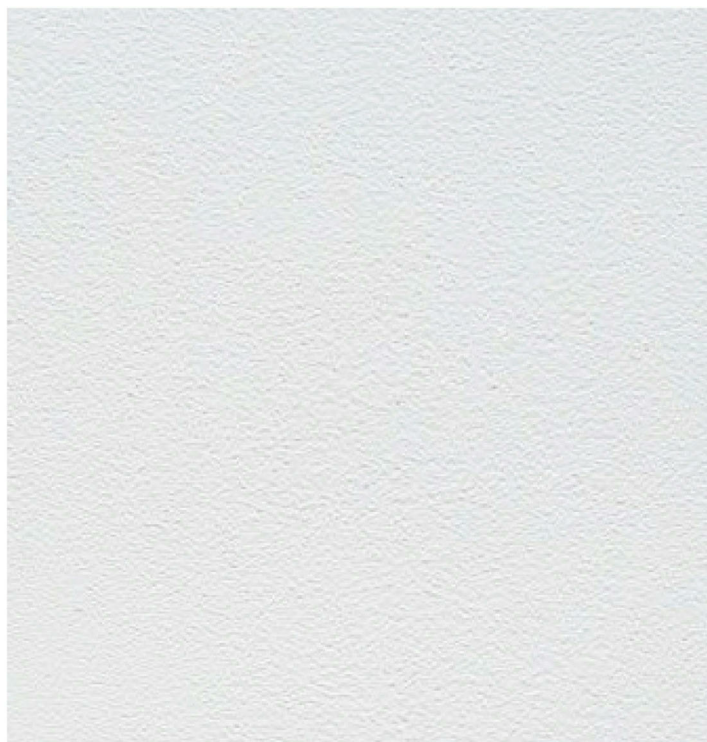
- PAINTED CORRUGATED METAL
 - 2.67" x 1/2" corrugated siding
 - Steel: maximum allowable stress Grade A(F)
 - 26,667 PSI
 - Aluminum: maximum allowable stress (FC)
 - (FC): 15,000 PSI
 - (FT): 20,000 PSI



- ROLLING STORAGE DOOR



- WHITE STUCCO FINISH



- CORRUGATED METAL AVAILABLE PAINT COLORS



- WOOD GRAIN FLUSH SIDING



- WROUGHT IRON FENCING
 - 7' and 8' high



- ANODIZED ALUMINUM STOREFRONT TYPICAL
 - Low-Rise storefront
 - Tubelite: 4500 Series Storefront Framing
 - Profile of 1 3/4" x 4 1/2" for 1/4" to 3/8" glazing



- PERSPECTIVE RENDERING

