

City of Santa Rosa
 May 3/2022
 Planning & Economic
 Development Department

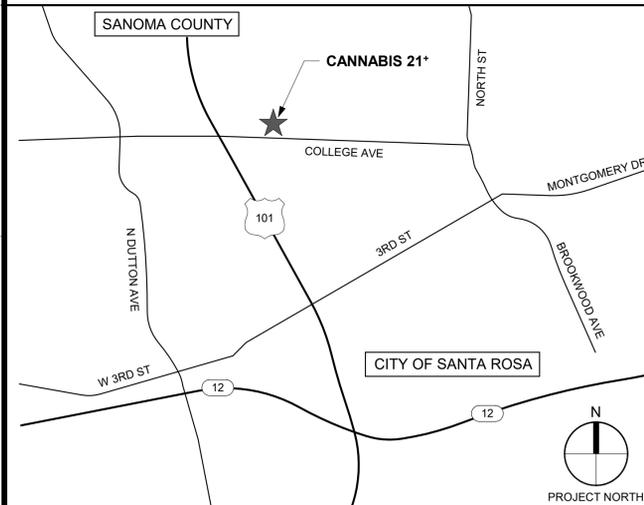
GREEN PEN LLC DISPENSARY

353 COLLEGE AVENUE SANTA ROSA, CA 95401



Members of the American Institute of Architects
 rAd Architects, Inc.
 1286 University Ave. #137
 San Diego, California 92103
 (619) 795-6222

PROJECT LOCATION - VICINITY MAP



PROJECT SUMMARY

RESOLUTION NO. 12065
 RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA ROSA MAKING FINDINGS AND DETERMINATIONS AND APPROVING A CONDITIONAL USE PERMIT FOR GREEN PEN DISPENSARY, A CANNABIS RETAIL (DISPENSARY) WITH DELIVERY IN AN EXISTING 2,943 SQUARE-FOOT BUILDING INCLUDING A RECIPROCAL PARKING AGREEMENT WITH THE ADJACENT PROPERTY AND A 25% PARKING REDUCTION - LOCATED AT 353 COLLEGE AVENUE AND 349 COLLEGE AVENUE - ASSESSOR'S PARCEL NUMBERS 180-750-046 AND 180-750-048 - FILE NUMBER CUP18-080

SCOPE OF RETAIL BUILDING:
 EXTERIOR WORK TO INCLUDE RECONFIGURATION OF EXISTING PARKING LOT INCORPORATING THE ADJACENT SITE TO ADD ADDITIONAL PARKING, DRIVE ISLE, ACCESSIBLE PARKING, GREEN CAR PARKING AND TRASH PICKUP. RECONFIGURE DRIVE ACCESS AT STREET PER CITY OF SANTA ROSA APPROVED DETAILS. INSTALLATION OF NEW COVERED BIKE PARKING.

EXTERIOR ELEVATIONS OF BUILDING INCLUDING ALL DOORS AND STOREFRONT SHALL REMAIN AS IS. THE ONLY EXTERIOR WORK WILL BE PAINTING THE BUILDING WHITE PER EXTERIOR ELEVATION SHEETS.

INTERIOR WORK WILL INCLUDE NEW WALLS FOR OFFICES AND SECURE RECEPTION AND WAITING ROOMS, NEW MECHANICAL SYSTEMS, NEW RESTROOM LAYOUT MEETING ACCESSIBILITY CRITERIA WITH NEW FIXTURES AND PIPING AND ELECTRICAL MODIFICATIONS.

NOTE: SEE SHEET A0.0B FOR ADDITIONAL CODE ANALYSIS INFORMATION.

BUILDING ENERGY CRITERIA

- A. PROVIDE R-19 BATT INSULATION IN NEW EXTERIOR FURRING WALLS.
- B. PROVIDE R-30 FOIL BACKED INSULATION WITH BLACK SCRIM PAPER ON UNDERSIDE OF INSULATION ACROSS ENTIRE ROOF INTERIOR.
- C. (EX) EXTERIOR GLAZING: SOLARGRAY + SOLARBAN 60 (3) CLEAR; U-FACTOR = 0.29; OVERALL SHGC = 0.29; OVERALL VT = 0.40

PROJECT DIRECTORY

LAND OWNER:
 DAVID & LINDA GATES
 2052 DIABLO ROAD
 DANVILLE, CA 94506
 PHONE: 925.683.8760

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 QUANTUM REALESTATE
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APPLICANT / TENANT:
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 4231 BALBOA AVE #162
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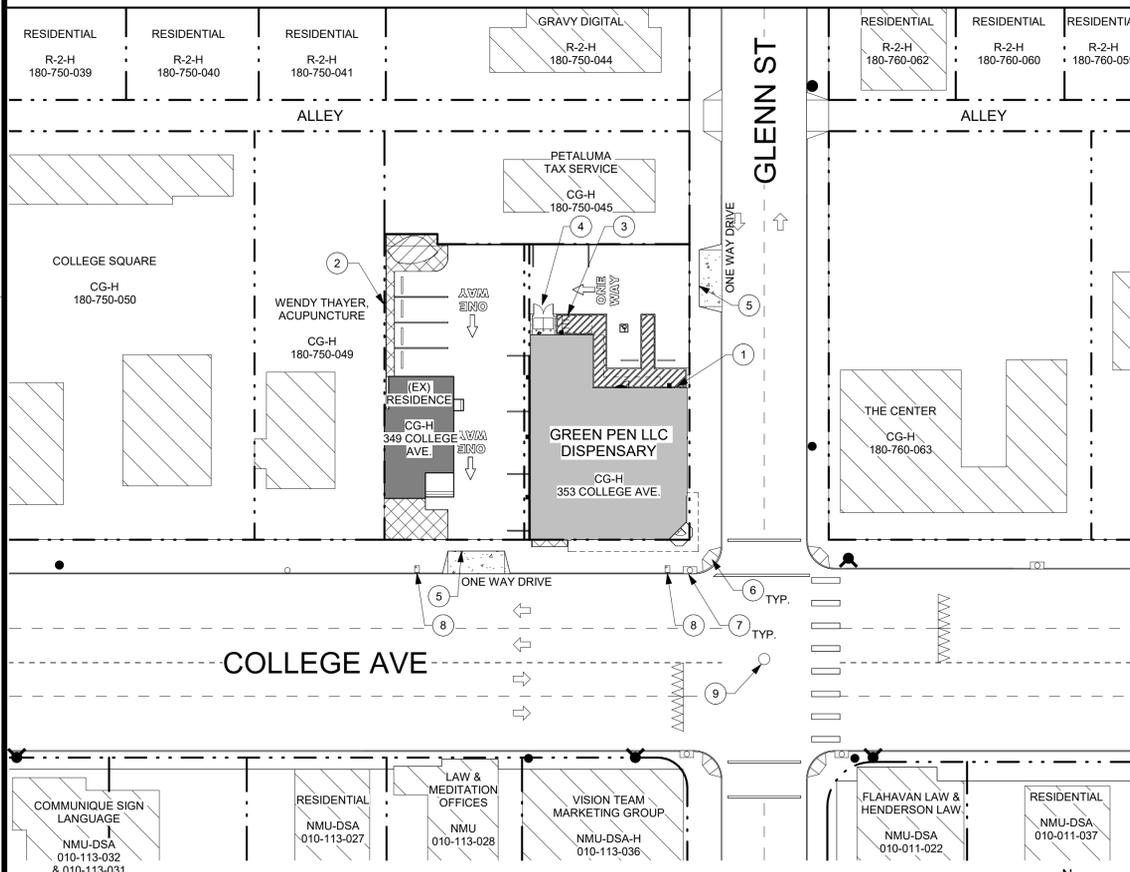
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CITY OF SANTA ROSA:
 PLANNING & ECONOMIC DEVELOPMENT
 100 SANTA ROSA AVENUE, ROOM 3
 SANTA ROSA, CA 95404
 PHONE: (707) 543-3200

INDEX OF DRAWINGS

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SITE LOCATION - PARCEL #180-750-046-000



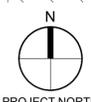
SITE PLAN LEGEND

- CANNABIS 21+ RETAIL STORE
- CANNABIS 21+ PROPERTY PURCHASE OF ADJACENT RESIDENCE.
- (E) ADJACENT BUILDING
- (E) ELECTRICAL POLE AND STREET LIGHT
- (E) FIRE HYDRANT
- PROPERTY LINE

SITE PLAN KEYNOTES

- (EX) = EXISTING, (N) = NEW
- | | |
|---|--|
| 1 | (EX) BUILDING ELECTRICAL SERVICE |
| 2 | (EX) 5' HIGH CHAIN LINK FENCING |
| 3 | (N) BIKE RACK, REFER TO FLOOR PLAN |
| 4 | (N) DUMPSTER WITH ATTACHED LID, SEE SITE DETAILS SHEET |
| 5 | (EX) SITE DRIVE ACCESS |
| 6 | (EX) CURB RAMP @ PUBLIC SIDEWALK |
| 7 | (EX) STORM DRAIN |
| 8 | (EX) WATER METER |
| 9 | (EX) MANHOLE |

NOTE: SEE ENLARGED PLAN SHEET FOR ADDITIONAL SITE SPECIFICATION



1 SITE PLAN
 1" = 30'-0"

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CONTRACTOR SHALL BUILD ONLY FROM SETS STAMPED "CONSTRUCTION SET" HEREIN

CONSTRUCTION SET
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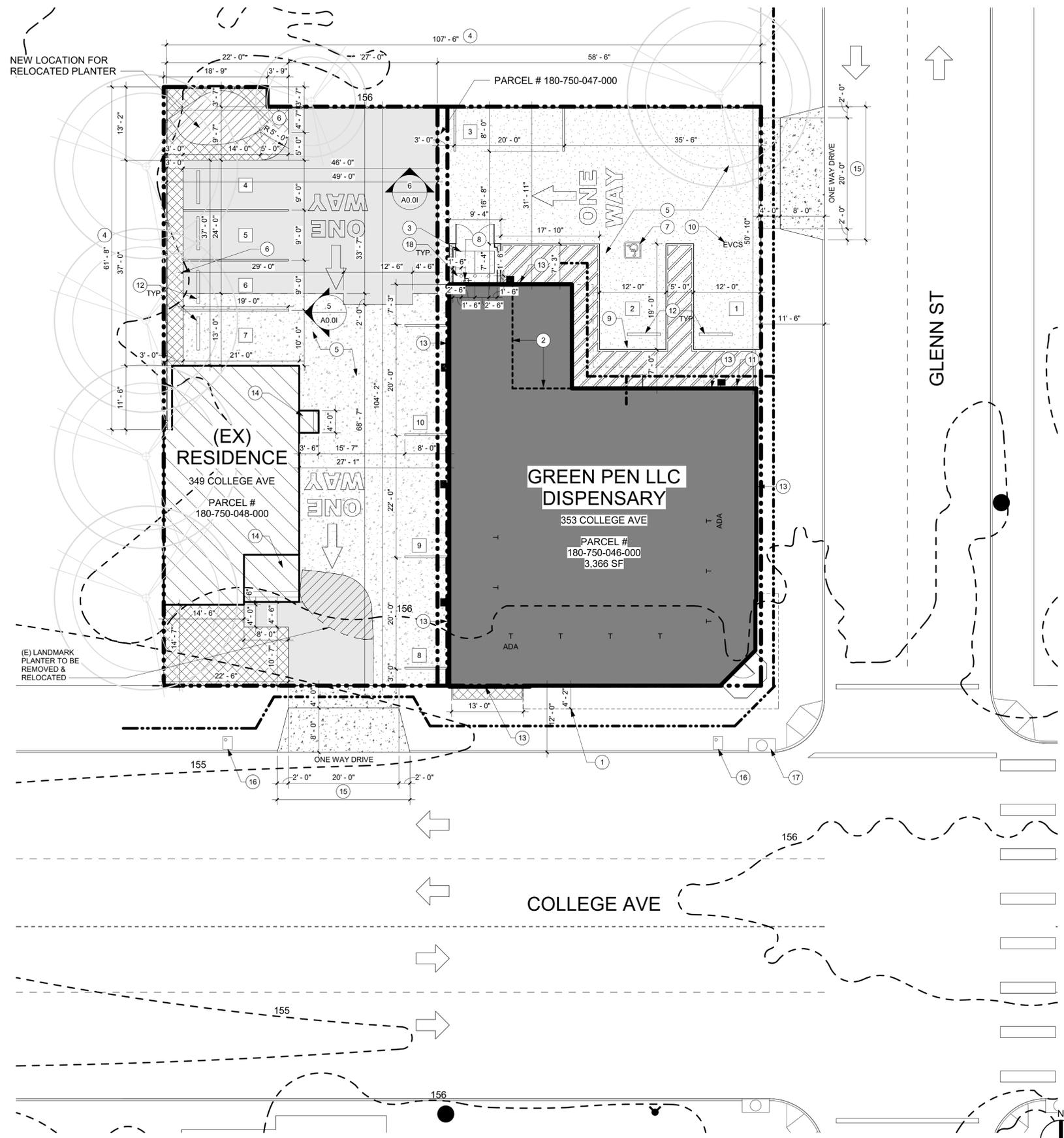
COVER SHEET & INDEX

SHEET NO:

A0.0A

CONDITIONAL USE PERMIT

CITY OF SANTA ROSA
 RESOLUTION NUMBER CUP: 12065
 MINOR LANDMARK ALTERATION
 PERMIT: LMA21 - 021



1 PROPOSED SITE PLAN - ENLARGED
1" = 10'-0"

SITE PLAN LEGEND

(E) = EXISTING (N) = NEW	(E) CONCRETE PARKING	(E) ELECTRICAL POLE AND STREET LIGHT
(E) ADJACENT BUILDING & ACCESS STAIRS TO REMAIN (NOT IN SCOPE)	(N) CONCRETE / DRIVE PER STANDARD 250A	(N) BUILDING SECURITY LIGHTS NOTE: SEE REFLECTED CEILING PLAN FOR ADDITIONAL EXTERIOR LIGHTING NOT SHOWN HERE
(E) ASPHALT AREA PARKING	(N) LANDSCAPING SEE LANDSCAPE SHEET FOR SF.	(E) FIRE HYDRANT
(N) ASPHALT AREA PARKING APPROX. 1,719 SF.	(E) PLANTER TO BE REMOVED & RELOCATED	(N) PARKING STALL STRIPING LAYOUT
(E) SIDEWALK TO REMAIN	PROPERTY LINE	EXISTING TREES TO REMAIN - ALL ON ADJACENT PROPERTIES SEE LANDSCAPE SHEET
	PATH OF TRAVEL	

PARKING COUNT

COMMERCIAL CANNABIS FACILITY PARKING REQUIREMENTS:

RETAIL SALES & DISTRIBUTION 1 SPACES FOR 250 SF - 3,300SF PER CUP RESOLUTION NO. 12065 A PARKING REDUCTION OF (3) SPACES SHALL BE ALLOWED	10 SPACES REQUIRED
TOTAL PARKING REQUIRED	10 SPACES REQUIRED AND PROVIDED
NON-ADA SPACES PROVIDED	8 PARKING SPACES PROVIDED
REQUIRED ADA PARKING	1 VAN ACCESSIBLE PARKING SPACE PROVIDED
REQUIRED ELECTRICAL VEHICLE SPACE	1 SPACE REQUIRED (SEE BELOW)
TOTAL PARKING	10 PARKING SPACES REQUIRED & PROVIDED
REQUIRED ELECTRIC VEHICLE SPACES (1) VAN	1 SPACE REQUIRED
REQUIRED LOADING SPACES GROSS FLOOR AREA 3,350 SF	NO LOADING SPACE REQUIRED (PER SECTION 20-36.100 TABLE 3-8)
REQUIRED BICYCLE PARKING FOR SITE MINIMUM (1) SPACE PER 5,000 SF- CLASS TWO	12 SPACE ARE REQUIRED PER RESOLUTION NO. 12065

PLANNING DIVISION - GENERAL NOTES

- COMPLIANCE WITH ALL APPLICABLE OPERATIONAL PROVISIONS OF ZONING CODE CHAPTER 20-46 IS REQUIRED.
- COMPLIANCE WITH CITY GRAFFITI ABATEMENT PROGRAM STANDARDS FOR GRAFFITI REMOVAL (CITY CODE 10-17.080).
- THE BUILDING MATERIALS, ELEVATIONS, AND APPEARANCE OF THIS PROJECT, AS PRESENTED FOR ISSUANCE OF A BUILDING PERMIT, SHALL BE THE SAME AS THAT APPROVED BY THE PLANNING COMMISSION. ANY FUTURE ADDITIONS, EXPANSIONS, REMODELING, ETC., WILL BE SUBJECT TO REVIEW AND APPROVAL OF THE PLANNING DIVISION.
- NO SIGNS ARE APPROVED AS PART OF THIS CONDITIONAL USE PERMIT. ALL SIGNS REQUIRE A SEPARATE REVIEW PROCESS AND BOTH PLANNING AND BUILDING PERMITS.
- EXTERIOR LIGHTING SHALL BE IN COMPLIANCE WITH ZONING CODE SECTION 20-30.080.
- ALL ROOF APPURTENANCES, ACCESSORY EQUIPMENT, AND METERS SHALL BE TOTALLY SCREENED FROM PUBLIC VIEW BY AN ARCHITECTURAL DESIGN ELEMENT APPROVED BY THE DESIGN REVIEW BOARD OR PLANNING DIVISION.
- A RESERVATION OF ACCESS EASEMENT FOR THE PROPOSED CIRCULATION SHALL BE RECORDED PRIOR TO ISSUANCE OF BUILDING PERMITS.
- A RESERVATION COVENANT FOR OFF-SITE PARKING SHALL BE RECORDED PRIOR TO ISSUANCE OF BUILDING PERMITS.
- AS IDENTIFIED IN THE W-TRANS FOCUSED TRAFFIC STUDY, DATED JULY 21, 2021, THAT 50% OR FIVE (5) PARKING SPACES SHALL INCLUDE SIGNING ON SITE INDICATING 30-MINUTE PARKING LIMITS FOR CUSTOMERS AND ENFORCED BY THE CANNABIS RETAIL OPERATOR.
- THE PROJECT SHALL PROVIDE 12 COVERED BICYCLE PARKING SPACES AS PROPOSED IN THE PROJECT DESCRIPTION.
- TWO (2) PARKING SPACES ON THE PARCEL AT 349 COLLEGE AVE. SHALL BE DESIGNATED AND SIGNED AS RESERVED FOR THE EXISTING OFFICE USE. THESE RESERVATIONS OF PARKING SPACES MAY SPECIFY A TIMEFRAME FOR WHICH PARKING IS RESERVED SO THAT THE SPACES CAN BE USED BY CUSTOMERS VISITING 353 COLLEGE AVE. OUTSIDE OF RESERVED HOURS.
- OBTAIN A MINOR LANDMARK ALTERATION PERMIT FOR REMOVAL OF THE PLANTER STRIP AND NEW PARKING AREA ON THE PROPERTY LOCATED AT 349 COLLEGE AVENUE, TO ACCOMMODATE THE PROPOSED ONSITE CIRCULATION.
- AS REQUESTED BY THE RIDGWAY HISTORIC PRESERVATION DISTRICT NEIGHBORHOOD ASSOCIATION, THE PROJECT SHALL REPAIR THE BUILDING LOCATED AT 353 COLLEGE AVENUE A NEUTRAL COLOR.
- EMPLOYEE PARKING SHALL BE ENCOURAGED AT OFFSITE LOCATIONS THAT ARE NOT ON PUBLIC STREETS ADJACENT TO THE PROJECT SITE.
- ALL CANNABIS PRODUCT DELIVERIES TO THE DISPENSARY SHALL BE LIMITED TO THE HOURS OF 6 A.M. TO 10 P.M. DAILY.

SITE PLAN KEYNOTES

#	(E) = EXISTING (N) = NEW
1	(EX) EXISTING 4'-2" OVERHEAD SIGNAGE CANOPY
2	DASHED LINES INDICATE AREA OF SECURED / COVERED BICYCLE PARKING. (12) BICYCLE PARKING SPACES IN COVERED AREA OF EXISTING BUILDING
3	TRASH BINS: OWNER TO SUPPLY REGULAR AND RECYCLE TRASH BINS WITH BUILT IN LIDS. COORDINATE BIN SIZE AND LOCATION WITH GENERAL CONTRACTOR TO ENSURE PROPER CURB SITE CONFIGURATIONS FOR BINS.
4	DEMO EXISTING FENCING AND ALL ASSOCIATED COMPONENTS AND PROVIDE NEW 6 FOOT TALL CEDAR OR REDWOOD FENCING PER DETAILS ON SHEET
5	(EX) PAVING TO REMAIN, PATCH / REPAIR AS NEEDED AND PROVIDE NEW SLURRY SEAL COATING. RESTRIPE ENTIRE PAVING AREA AS INDICATED.
6	(N) PLANTER AREA - SEE SITE DETAIL SHEET FOR TYPICAL CONCRETE CURB DETAIL
7	(N) HANDICAP PARKING STALL, SEE DETAIL 3 / A0.3B
8	(EX) GAS METER
9	(N) ADA SIGNAGE AT PARKING STALL PER DETAIL 2 / A0.3B
10	(N) VAN ACCESSIBLE ELECTRIC VEHICLE FUTURE CHARGING STATION - PROVIDE 1" CONDUIT & PULLSTRING FOR FUTURE EVCS STATIONS. SEE ELECTRICAL SITE PLAN. GENERAL CONTRACTOR TO PROVIDE UNDERGROUND CONDUIT & PULL STRING FOR INSTALLATION. OPERABLE PARTS AND POINT-OF-SALE DEVICES SHALL BE COMPLIANT WITH ACCESSIBLE FRONT / SIDE APPROACH REQUIREMENTS AS PER CBC 11B-309, FIGURES 11B-308.2.1 AND 11B-308.3.1. ALL REQUIRED PAINTING AND SIGNAGE SHALL BE PER CITY OF SANTA ROSA STANDARDS, REFER TO DETAIL 5 / A0.3B
11	(EX) BUILDING ELECTRICAL EQUIPMENT, SEE ELECTRICAL DRAWINGS
12	(N) CONCRETE WHEEL STOPS PER DETAIL 10 / A0.3B
13	(N) NO LINGERING/ LOITERING SIGNAGE - OBTAIN SIGNAGE FROM THE SHERIFF'S DEPARTMENT
14	(EX) STAIRS TO REMAIN NOT IN SCOPE
15	(N) DRIVE SHALL BE MODIFIED AS REQUIRED TO COMPLY WITH CITY OF SANTA ROSA STANDARD DRAWING 250A
16	(EX) WATER METER
17	(EX) STORM DRAIN
18	(N) BOLLARDS, SEE DETAIL 9 / A0.2



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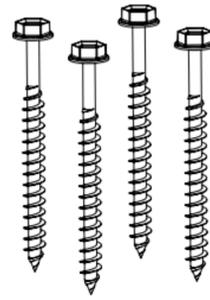


REVISIONS:

SHEET TITLE:
PROPOSED SITE PLAN & PARKING

SHEET NO:
A0.0C

LAG ANCHOR KIT - LAK4
 Cut Sheet & Quick Specifications



LAK4

FEATURES

- Fast, easy installation
- Use in wood studded walls
- HCR - High Corrosion Resistance - Even in pressure treated wood
- Self tapping screw - No pre-drilling required
- 3/8" hex head
- Built-in washer

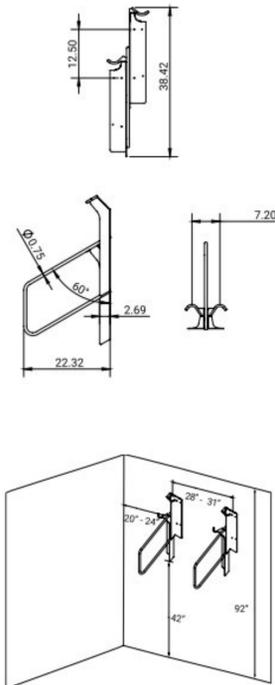
INCLUDED IN THE KIT

- 1/4" X 3" Lag Screw- QTY. 4
- Poly-bag - QTY 1

TECH NOTES

- Hole diameter: No pre-drilling required
- Allowable Tension Load Capacity: 1169#
- Allowable Shear Load Capacity: 766#

OFFSET® VERTICAL BIKE RACK - VR2
 Cut Sheet & Quick Specifications



MATERIALS & FEATURES

- 2 bicycles secured - long term or short term parking solution*
- ASTM A36 Steel for all structural plate (standard)
- 3/4" Solid Steel Rod
- Polyvinyl protective sleeve

FINISH

- DuraPlas® Black

MOUNTING OPTIONS

- Wall Mount
Each Offset® Vertical Bike Rack mounts to concrete masonry walls and wooden ledger boards.
- Free Standing
Free standing systems available. See Side Stage™ and Center Stage™ product pages for additional info.
- Rail Wall Mount
May require Unistrut™ rails for wood studded wall mounting, call for details.

SPACE USE RECOMMENDATIONS

- Distance from ground to bottom of rack minimum: 42"
- Ceiling height: Minimum 92" (no obstructions)
- Side wall to rack center:
Minimum 20", recommended 24"
- Distance between racks center to center:
Minimum 28", recommended 31"

For ADA compliance, Offset Vertical Racks require a cane detection device surrounding the parking area to prevent injury of the vision-impaired; 22" from the wall

*Please contact us for additional information on the VR2 as a long-term parking solution.

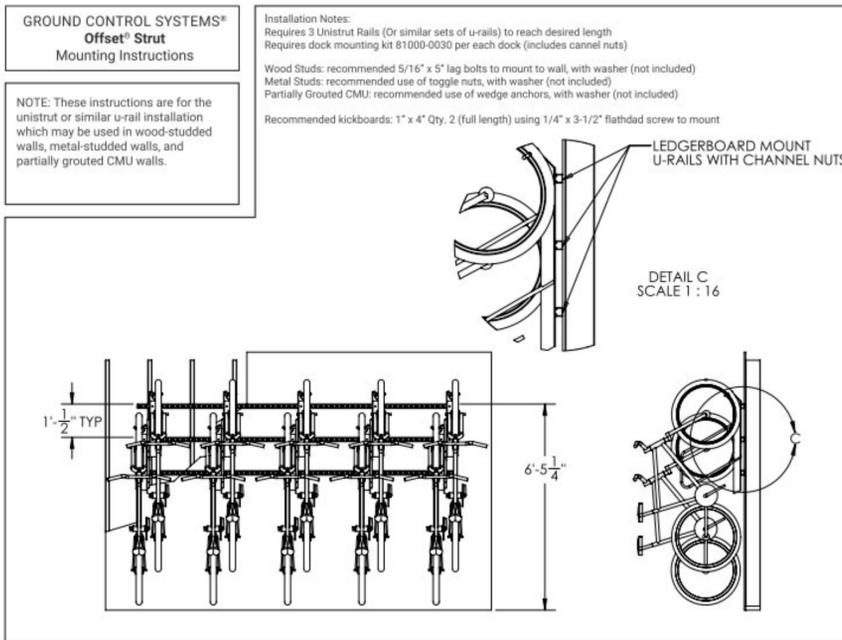
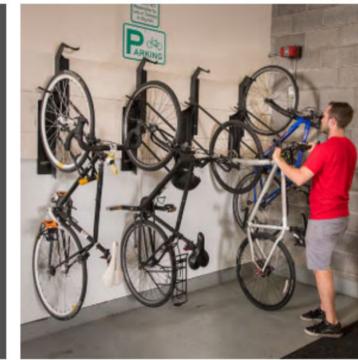
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Offset Vr2 Vertical Bike Rack

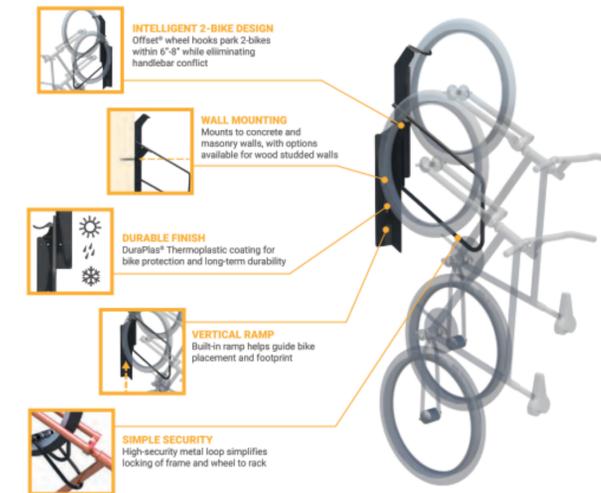
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 Direct Line: 1 (916) 943-1490



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THE ORIGINAL ULTRA-HIGH DENSITY OFFSET® DUAL BIKE RACK
MOST SPACE EFFICIENT BIKE PARKING ON THE MARKET

OFFSET® DESIGN MAXIMIZES THE NUMBER OF BIKES PER SQ FT WITHOUT COMPROMISING SECURITY OR USABILITY



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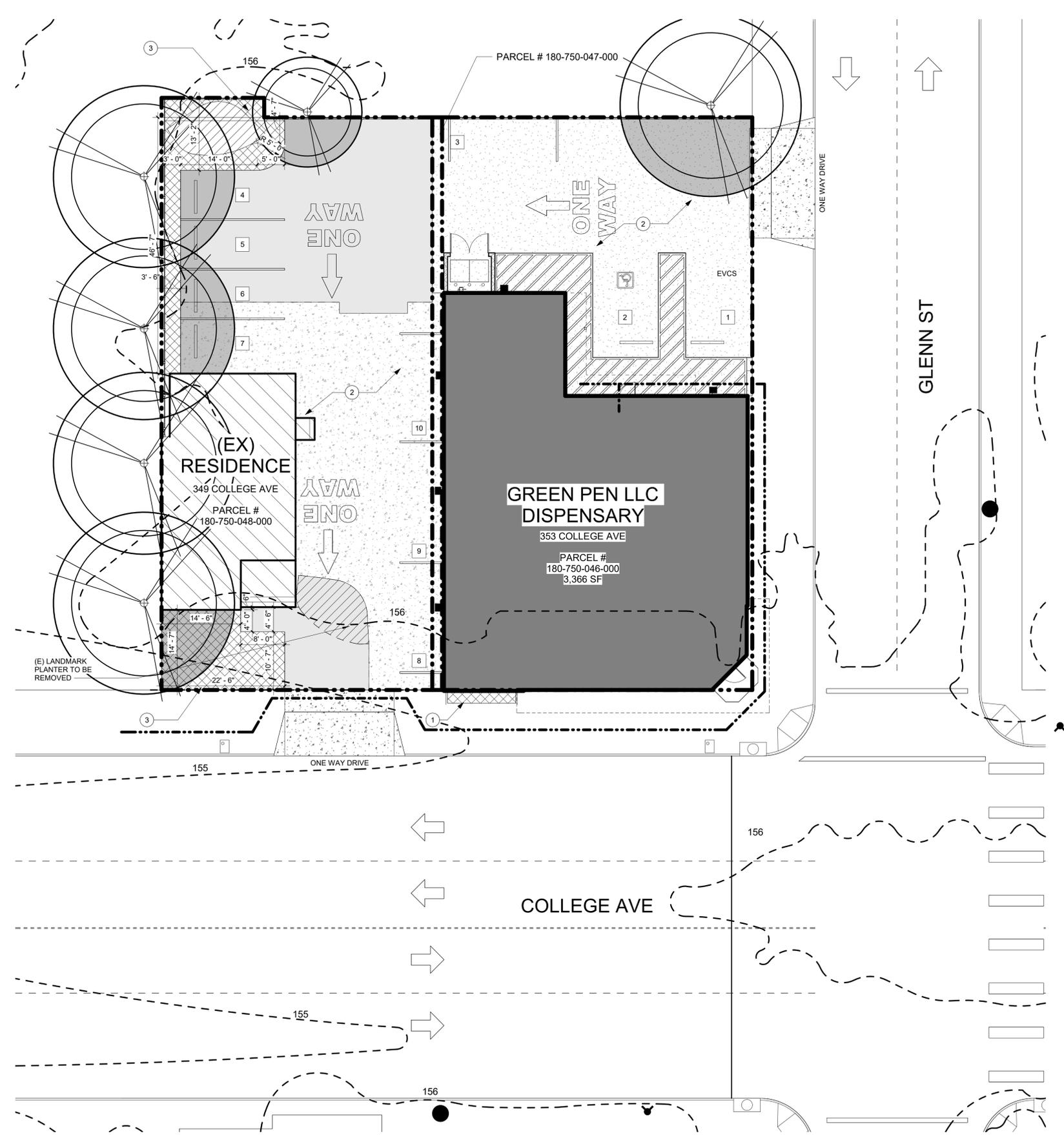
REVISIONS:

SHEET TITLE:

BIKE RACK DETAILS

SHEET NO:

A0.0E



SITE PLAN LEGEND

(E) = EXISTING
(N) = NEW

	CANNABIS 21'		(E) CONCRETE PARKING		(E) ELECTRICAL POLE AND STREET LIGHT
	(E) ADJACENT BUILDING & ACCESS STAIRS TO REMAIN (NOT IN SCOPE)		(N) CONCRETE / DRIVE PER STANDARD 250A		(N) BUILDING SECURITY LIGHTS
	(E) ASPHALT AREA PARKING		(N) LANDSCAPING SEE LANDSCAPE SHEET FOR SF.		NOTE: SEE REFLECTED CEILING PLAN FOR ADDITIONAL EXTERIOR LIGHTING NOT SHOWN HERE
	(N) ASPHALT AREA PARKING APPROX. 1,719 SF.		(E) PLANTER TO BE REMOVED & RELOCATED		(E) FIRE HYDRANT
	(E) SIDEWALK TO REMAIN		PROPERTY LINE		(N) PARKING STALL STRIPING LAYOUT
			PATH OF TRAVEL		

PLANT GUIDELINES LEGEND

	(N) TOTAL PLANTER AREA 614 SF PROVIDED		EXISTING TREES TO REMAIN - ALL ON ADJACENT PROPERTIES
	PARKING AREA SHADED BY EXISTING TREES		

GENERAL LANDSCAPE NOTES

A. LANDSCAPING SHALL COMPLY WITH APPLICABLE ORDINANCES, GUIDELINES AND STANDARDS, INCLUDING, BUT NOT NECESSARILY LIMITED TO THE FOLLOWING:

ORDINANCE 348
RIVERSIDE COUNTY COMPREHENSIVE LANDSCAPE GUIDELINES
RIVERSIDE COUNTYWIDE DESIGN STANDARDS AND GUIDELINES
ALL PLANT MATERIAL SHALL BE PER THE "RIVERSIDE COUNTY GUIDE TO CALIFORNIA FRIENDLY LANDSCAPING"

B. PER ORDINANCE 348, TREES MUST PROVIDE REQUIRED AMOUNT OF SHADING WITHIN 15 YEARS.

C. ALL LANDSCAPE AREAS SHALL HAVE AN IRRIGATION SYSTEM DESIGN.

D. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF RIVERSIDE COUNTY LANDSCAPE REGULATIONS AND ALL OTHER REGIONAL STANDARDS, AS APPLICABLE.

E. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER.

F. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

G. EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:

H. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE. MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION.

J. IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.

K. THE SOIL SURFACE OF ALL PLANTERS SHALL BE COVERED WITH SUITABLE MATERIALS.

CONDITIONS

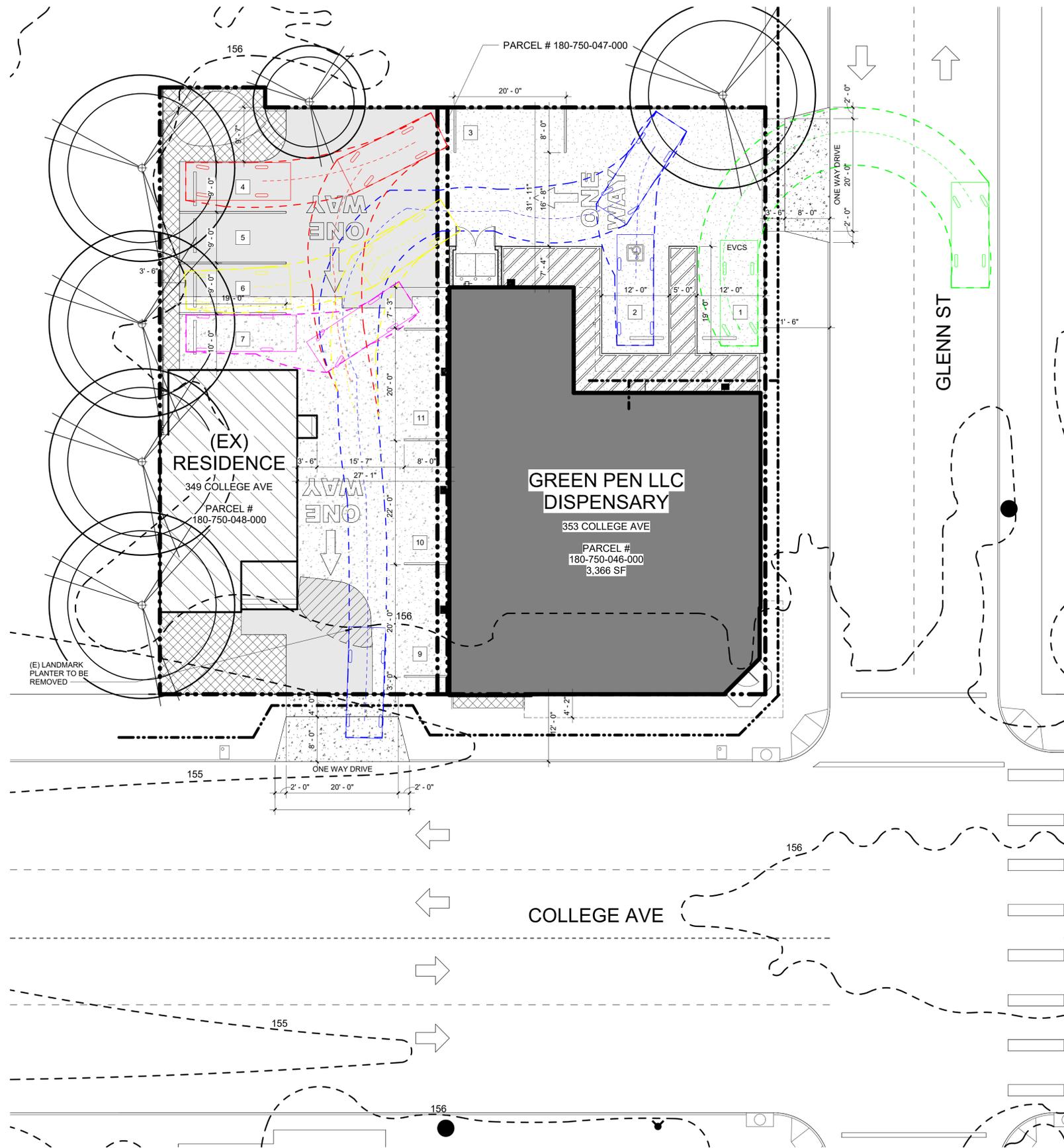
- STREET TREES WILL BE REQUIRED AND PLANTED BY THE DEVELOPER. SELECTION WILL BE MADE FROM THE CITY'S APPROVED MASTER PLAN LIST AND INSPECTED BY THE PARKS DIVISION MAY OCCUR. PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY STANDARDS AND SPECIFICATIONS FOR PLANTING PARKWAY TREES. COPIES OF THE MASTER STREET TREE LIST AND THE STANDARDS ARE AVAILABLE AT THE PARKS DIVISION OFFICE (707) 543-3770. THIS DECLARATION SHALL BE ADDED TO THE GENERAL NOTES OF THE IMPROVEMENT PLANS.
- PARKS ACQUISITION AND/OR PARK DEVELOPMENT FEES SHALL BE PAID AT THE TIME OF BUILDING PERMIT ISSUANCE. THE FEE AMOUNT SHALL BE DETERMINED BY THE RESOLUTION IN EFFECT AT THE TIME.
- ALL LANDSCAPING SHALL BE PRIVATELY MAINTAINED AND IRRIGATED. PROPERTY OWNERS AND/OR HOMEOWNERS' ASSOCIATION SHALL BE RESPONSIBLE FOR THE IRRIGATION AND MAINTENANCE OF THE STREET TREES AND MAINTENANCE OF THE PLANTER STRIPS IN FRONT OF AND ALONGSIDE OF THEIR LOTS.
- ALL BIO-RETENTION AND ALL STREET TREES AND ASSOCIATED LANDSCAPE, INCLUDING IN THE ROW, IS THE PROPERTY OWNER'S RESPONSIBILITY. AT NO TIME WILL THE CITY BE RESPONSIBLE FOR ANY LANDSCAPE MAINTENANCE OF STREET TREES/BIO-RETENTION AREAS AND/OR LANDSCAPE AREAS ALONG THE STREET.

LANDSCAPE KEYNOTES

(E) = EXISTING
(N) = NEW

1	(E) PLANTER TO REMAIN
2	(E) ASPHALT PARKING LOT TO REMAIN
3	(N) PLANTER AREA

1 PROPOSED LANDSCAPE PLAN - ENLARGED
1" = 10'-0"



1 AUTOTURN EXHIBIT PLAN
1" = 10'-0"

AUTOTURN DIAGRAMS ON THIS SHEET ARE COMPILED FROM W-TRANS TRAFFIC REPORT DATED JULY 01, 2021 AND AS REFERENCED IN RESOLUTION NO. 12065

FOR REFERENCE ONLY

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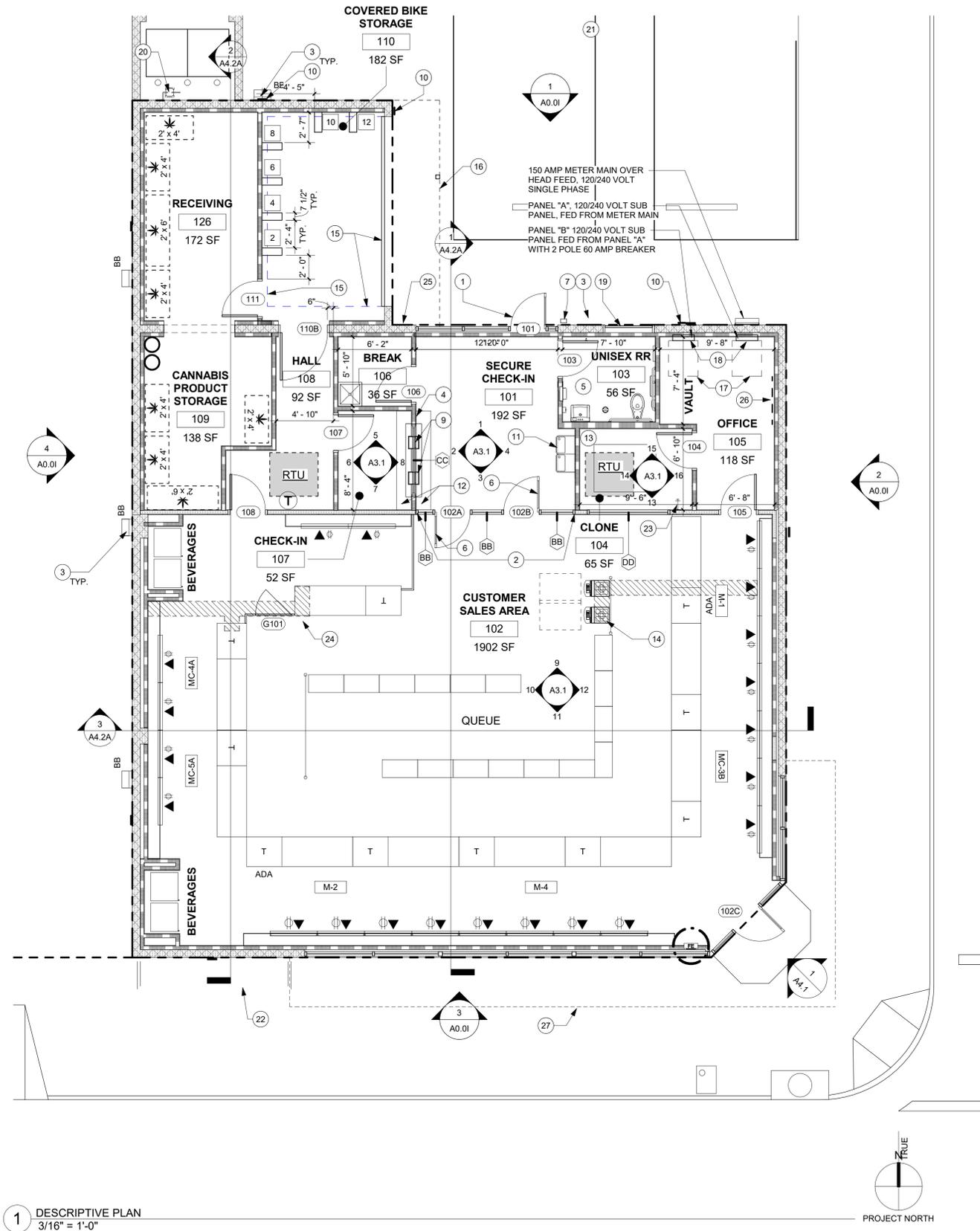
REVISIONS:

SHEET TITLE:

AUTOTURN EXHIBIT
PLAN

SHEET NO:

A0.0G



1 DESCRIPTIVE PLAN
3/16" = 1'-0"

DESCRIPTIVE PLAN GENERAL NOTES

- A. ALL DIMENSIONS ARE TO CENTER LINE OF COLUMN, FACE OF MASONRY OR FACE OF STUD (U.O.N.).
- B. ALL EXIT LIGHTS ARE CEILING MOUNTED (U.O.N.) AND POWERED BY THE PREMISES ELECTRICAL SUPPLY WITH EMERGENCY ELECTRICAL SYSTEM THAT PROVIDES 90 MIN. MINIMUM POWER AT AISLES, CORRIDORS AND UNENCLOSED EGRESS STAIRWAYS THAT REQUIRE TWO (2) MEANS OF EGRESS.
- C. REFER TO SHEET A2.5A FOR DOOR SCHEDULE.
- D. REFER TO ELECTRICAL DRAWINGS FOR FLOOR DATA AND POWER LOCATIONS.
- E. ALL DOOR JAMBS SHALL BE 4" OFF F.O. WALL (U.O.N.)
- F. ALL GYPSUM BOARD SHALL BE 5/8" TYPE "X" (U.O.N.)
- G. ALL EXPOSED GYPSUM BOARD SHALL BE TAPED, SANDED SMOOTH, PRIMED AND PAINTED.
- H. ALL DIMENSIONS TO BE COORDINATED IN THE FIELD AND ARE SUBJECT TO EXISTING CONDITIONS, DIMENSIONS MARKED AS EQUAL (EQ) APPLY ONLY WITHIN A GIVEN STRING OF DIMENSIONS UNLESS OTHERWISE MARKED.
- I. ALL GYPSUM BOARD SHALL BE TYPE "X" FIRE CORE 5/8" THICK UNLESS OTHERWISE NOTED
- J. ALL PLYWOOD OR MDF TO BE FIRE RETARDANT TREATED (FRT)
- K. PROVIDE PORTABLE FIRE EXTINGUISHER(S) WITH A RATING OF NOT LESS THAN 2-A: 10BC WITHIN 75 FT. TRAVEL DISTANCE TO ALL POSITIONS OF STORE.
- L. PROTECTION OF JOINTS PENETRATIONS IN FIRE-RATED ASSEMBLIES SHALL NOT BE CONCEALED FROM VIEW UNTIL INSPECTED AND APPROVED, AS PER CODE.
- M. ALL DIMENSIONS ARE FROM FINISH FACE OF EXISTING WALLS TO FACE OF STUD OF NEW WALLS UNLESS NOTED OTHERWISE.
- N. ALL DIMENSIONS ARE TAKEN FROM LEASE LINE. GENERAL CONTRACTOR TO LAYOUT SPACE FROM THE LEASE LINE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. PRIOR TO INSTALLING ANY PARTITIONS.

DESCRIPTIVE PLAN KEYNOTES # (EX) = EXISTING (N) = NEW

- 1 (EX) SECURE ENTRY DOORS
- 2 (N) INTERIOR STOREFRONT GLAZING SYSTEM
- 3 (EX) EXTERIOR BUILDING LIGHTS
- 4 REQUIRED LICENSING POSTING
- 5 (N) ADA COMPLIANT RESTROOMS
- 6 (N) DOOR ENTRY / EXIT
- 7 KNOX BOX, COORDINATE WITH FIRE DEPARTMENT
- 8 (N) ADA COMPLIANT TERMINAL FIXTURE, TOP OF FIXTURE @ 2'-10" AFF
- 9 3'x4' SECURE CHECK IN WINDOW
- 10 (N) NO LINGERING/ LOITERING SIGNAGE - OBTAIN SIGNAGE FROM THE SHERIFF'S DEPARTMENT. SEE ENLARGED SITE PLAN SHEET FOR ALL LOCATIONS OF SIGNAGE
- 11 (N) ADA COMPLIANT DRINKING FOUNTAINS
- 12 (N) ADA COMPLIANT SERVICE COUNTER
- 13 CLONE ROOM IS EXCLUSIVELY FOR OF VEGETATIVE PLANTS FOR RESALE. NOT FLOWERING STAGE - NO CULTIVATION.
- 14 ATMS
- 15 (EX) ROLL UP GARAGE DOOR TO REMAIN. DASHED LINES INDICATES EXTENT OF DOOR IN OPEN CONDITIONS, MAINTAIN CLEARANCES.
- 16 DASHED LINES INDICATE EXISTING WOOD CANOPIES ABOVE
- 17 (EX) ELECTRICAL PANELS DASHED LINES INDICATE CLEARANCES.
- 18 (EX) ELECTRICAL SERVICE TO REMAIN
- 19 (EX) DOOR, ABANDON IN PLACE AND LOCK PERMANENTLY TO SECURE PREMISES
- 20 (EX) GAS METER TO REMAIN, SEE MECHANICAL AND PLUMBING
- 21 POUR NEW 6" CONCRETE CURB SEE SITE PLAN DETAIL SHEET.
- 22 (N) 6" CURB @ NEW PLANTER AREA
- 23 (N) RECESSED PLUMBING BOX FOR NEW HOSE BIBB BELOW WINDOW, SEE INTERIOR ELEVATIONS AND PLUMBING DRAWINGS
- 24 (N) MECHANICAL UNIT MOUNTED ON GROUND, SEE MECHANICAL DRAWINGS
- 25 (EX) EXTERIOR WATER HOSE BIBB, VERIFY WORKING CONDITION, REPAIR / REPLACE AS NEEDED. SEE PLUMBING DRAWINGS
- 26 (N) 4'x8' PLYWOOD BOARD FOR TELE & DATA - SEE ELECTRICAL DRAWINGS
- 27 (EX) DASHED LINE INDICATES EXISTING CANOPY
- 28 TYPICAL POS / COUNTER HT 2'-10"

FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL CONSTRUCTION (REFER TO WALL TYPES)
- FULL HEIGHT PARTITION (UON) - REFER TO WALL TYPES AND DETAIL CALLOUTS
- ROOM NAME**
- ### ROOM NAME AND NUMBER, REFER TO FINISH PLAN SHEET
- # KEYNOTE, REFER TO DESCRIPTIVE PLAN KEYNOTES
- # DOOR NUMBER, REFER TO DOOR SCHEDULE SHEET
- # WINDOW REFERENCE, REFER TO WINDOW TYPES SHEET
- # WALL TYPE, REFER TO WALL TYPES SHEETS
- T THERMOSTAT LOCATIONS, SEE MECHANICAL. COORDINATE FINAL LOCATION WITH OWNER
- FE FIRE EXTINGUISHER - SEE SHEET A0.4 FOR FIRE EXTINGUISHER INFORMATION
- # INDICATES # OF BIKE RACK STATIONS = TOTAL OF (12)

ADA REQUIRED CHECK-OUT

TABLE 11B - 227.2 CHECK - OUT AISLES	
NUMBER OF CHECK - OUT AISLES OF EACH FUNCTION	MINIMUM NUMBER OF CHECK - OUT AISLES OF EACH FUNCTION REQUIRED TO COMPLY WITH 11B - 904.3
1 TO 4	1
5 TO 8	2
9 TO 15	3
16 AND OVER	3, PLUS 20 PERCENT OF ADDITIONAL AISLES



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CONSTRUCTION SET
ISSUE DATE: 05.03.22

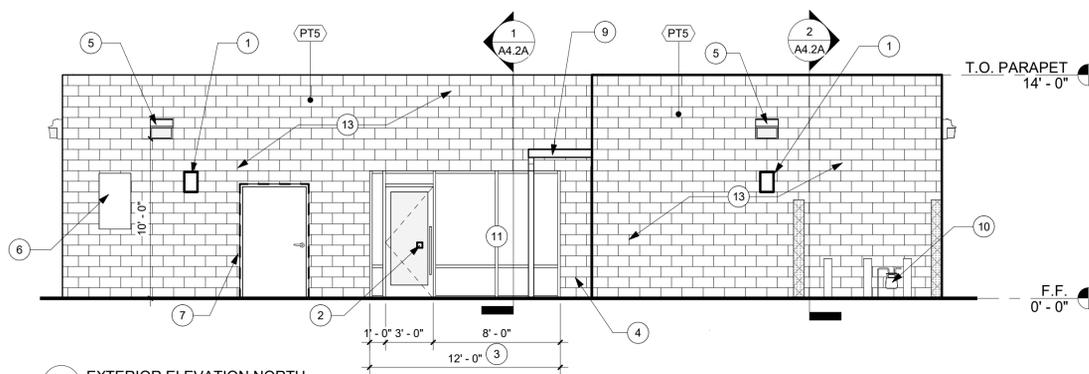


REVISIONS:

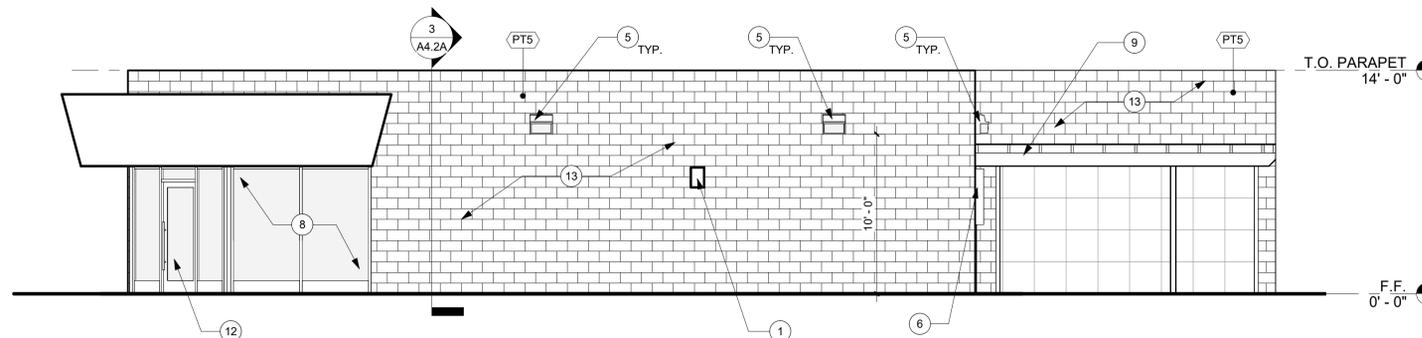
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DESCRIPTIVE PLAN

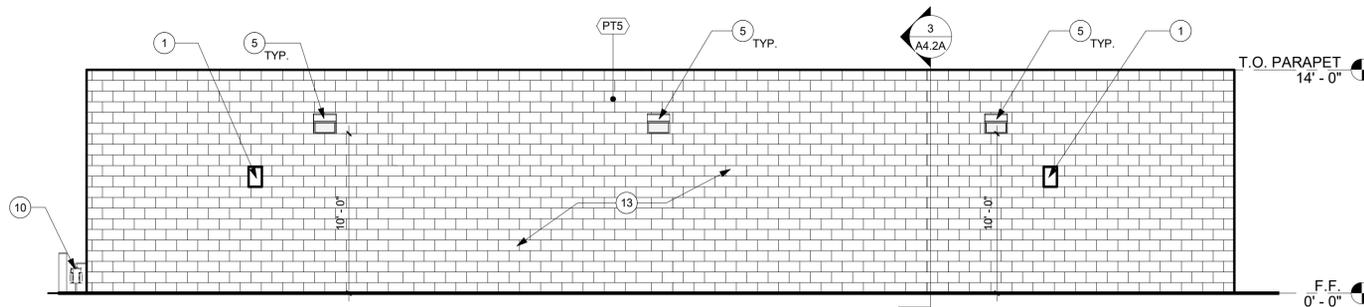
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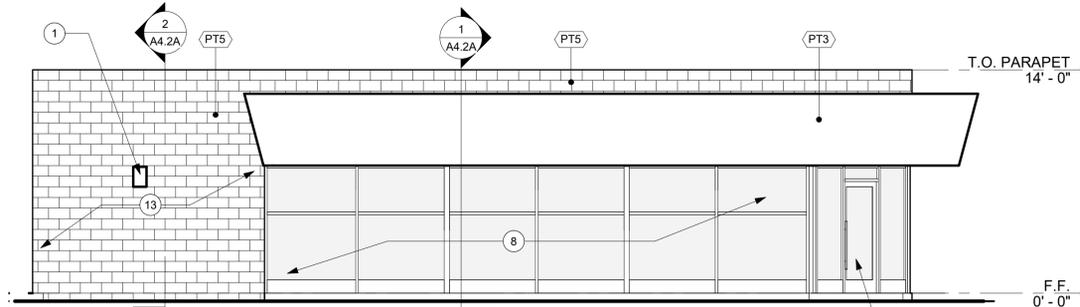
1 EXTERIOR ELEVATION NORTH
3/16" = 1'-0"



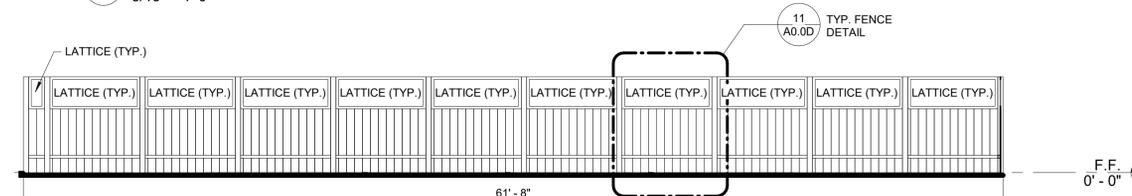
2 EXTERIOR ELEVATION EAST
3/16" = 1'-0"



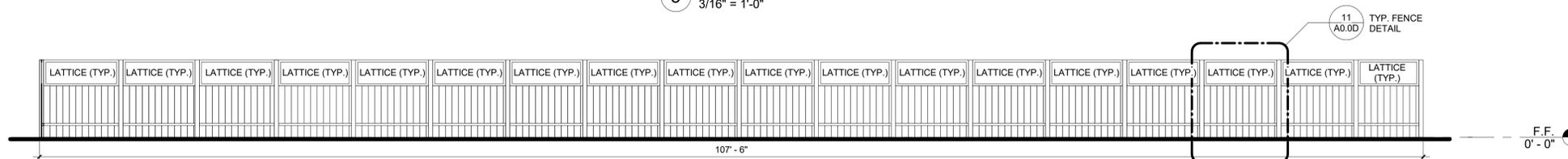
4 EXTERIOR ELEVATION WEST
3/16" = 1'-0"



3 EXTERIOR ELEVATION SOUTH
3/16" = 1'-0"



5 FENCE ELEVATION - WEST
3/16" = 1'-0"



6 FENCE ELEVATION - NORTH
3/16" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

- A. ALL DIMENSIONS ARE TO CENTER LINE OF COLUMN, FACE OF MASONRY, FACE OF EXISTING WALLS OR FACE OF STUD OF NEW WALLS UNLESS NOTED OTHERWISE, OR FACE OF STUD (U.O.N.).
- B. ALL DIMENSIONS TO BE COORDINATED IN THE FIELD AND ARE SUBJECT TO EXISTING CONDITIONS. DIMENSIONS MARKED AS EQUAL (EQ) APPLY ONLY WITHIN A GIVEN STRING OF DIMENSIONS UNLESS OTHERWISE MARKED.
- C. DO NOT SCALE THE DRAWINGS. VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK.
- D. ALL CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO VISIT SITE PRIOR TO SUBMITTING BIDS.

EXTERIOR ELEVATION KEYNOTES #

(EX) = EXISTING (N) = NEW

1	(N) NO LINGERING/ LOITERING SIGNAGE - OBTAIN SIGNAGE FROM THE SHERIFF'S DEPARTMENT
2	INSTALL CODE REQUIRED ACCESSIBLE ACCESS STICKER. SEE DETAIL A - K ON A0.4 & TYPE A ON A8.1A. POST THE INTERNATIONAL SYMBOLS OF ACCESSIBILITY ADJACENT TO THE LATCH SIDE OF THE ACCESSIBLE BUILDING ENTRANCES (DOOR) ON THE WALL AT 48" TO 60" ABOVE THE FINISH LANDING, FLOOR, OR GROUND SURFACE TO THE CENTER OF THE SIGN.
3	(EX) ALUMINUM STOREFRONT ENTRY DOOR & STOREFRONT SYSTEM TO REMAIN.
4	(EX) EXTERIOR DOOR TO REMAIN. PROTECT DURING CONSTRUCTION.
5	(EX) EXTERIOR LIGHTING. SEE ELECTRICAL DRAWINGS.
6	(EX) ELECTRICAL EQUIPMENT TO REMAIN. PROTECT DURING CONSTRUCTION
7	DASH LINES INDICATE EXISTING EXTERIOR DOOR TO BE ABANDONED IN PLACE AND LOCKED PERMANENTLY TO SECURE PREMISES.
8	(EX) STOREFRONT TO REMAIN. PROTECT DURING CONSTRUCTION.
9	(EX) WOOD SHADE CANOPY TO REMAIN. PAINT PT5.
10	(EX) GAS METER TO REMAIN
11	(EX) BLACK ALUMINUM STOREFRONT SYSTEM TO REMAIN

EXTERIOR FINISH LEGEND #

NOTE: SEE FINISH PLAN SHEET FOR PAINT COLORS & FINISH SHEEN

	(E) CMU WALL, PAINT WITH (PT5) MANUFACTURER: DUNN EDWARDS COLOR: DEW 383 COOL DECEMBER (WHITE)
	(E) STUCCO CANOPY, PAINT WITH (PT5) MANUFACTURER: DUNN EDWARDS COLOR: DEW 383 COOL DECEMBER (WHITE)



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