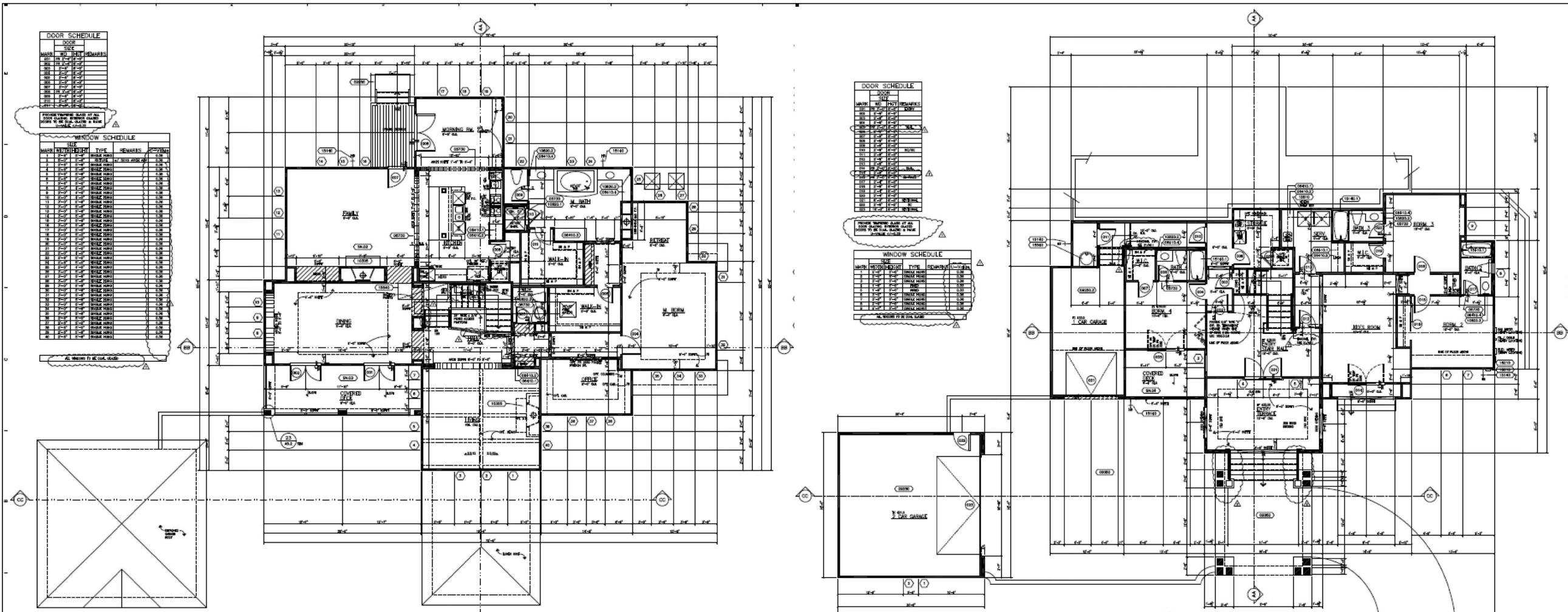
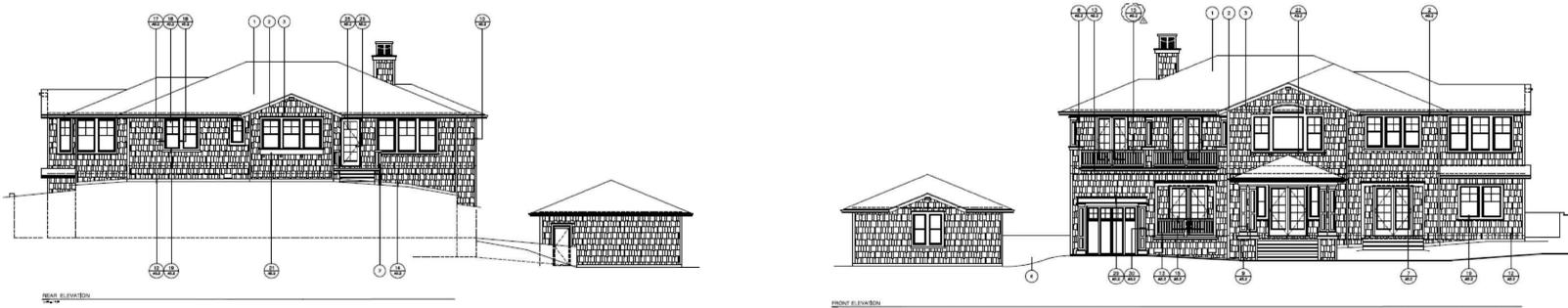


Revision	Date



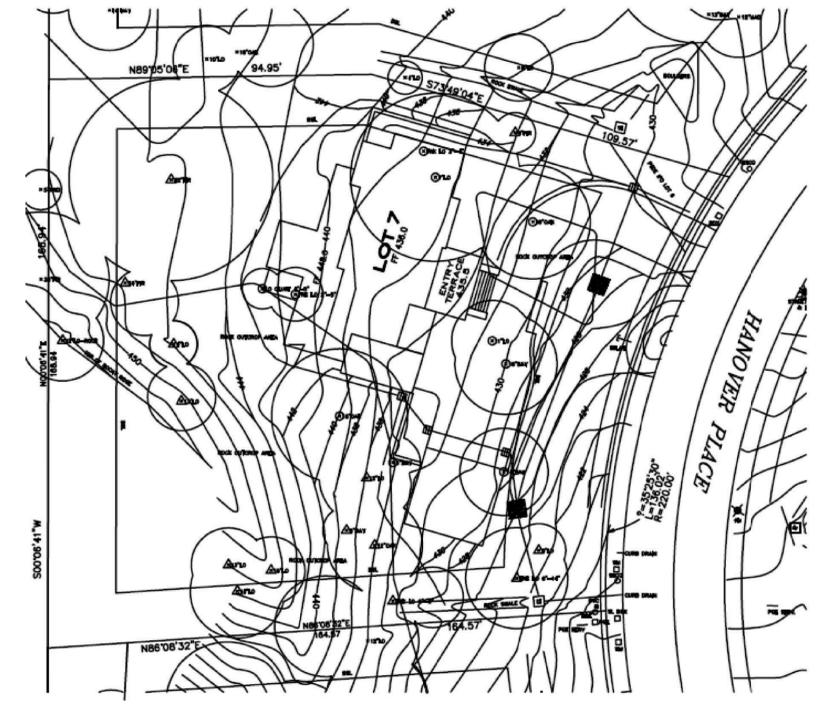
PREVIOUS FLOOR PLANS

N.T.S.



PREVIOUS ELEVATIONS

N.T.S.



PREVIOUS SITE PLAN

N.T.S.

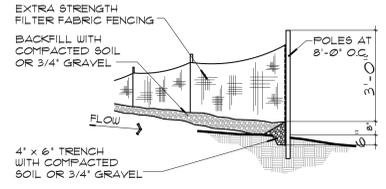
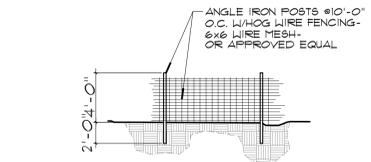
BRANDNER RESIDENCE
 3507 HANOVER PLACE
 SANTA ROSA, CALIFORNIA
 PREVIOUS DWELLING CONFIGURATION SHEETS (BY OTHERS)



Project	1712
Date	3-13-2022
Drawn	RDT
Checked	SLM

Sheet
A0.1

Project	1712
Date	3-13-2022
Drawn	RDT
Checked	SLM



Tree and Vegetation Protective Fencing

not to scale

Temporary Erosion Control Barrier

not to scale

Fencing/Protection Notes:

- TREE AND VEGETATION PROTECTIVE FENCING AT ALL TREES AND LARGE VEGETATION GROUPINGS. SEE DETAIL 1/4"=1'0"
- NON-CONSTRUCTION/NON-DISTURBANCE ZONE, PROVIDE FENCING PER DETAIL 2/4"=1'0" TYPICAL AT ALL AREAS INDICATED

Site Data:

Project Information:

PROJECT OWNER: ZACH AND MARCY BRANDNER
 PROJECT ADDRESS: 3507 HANOVER PLACE
 PROJECT APN: 173-550-046

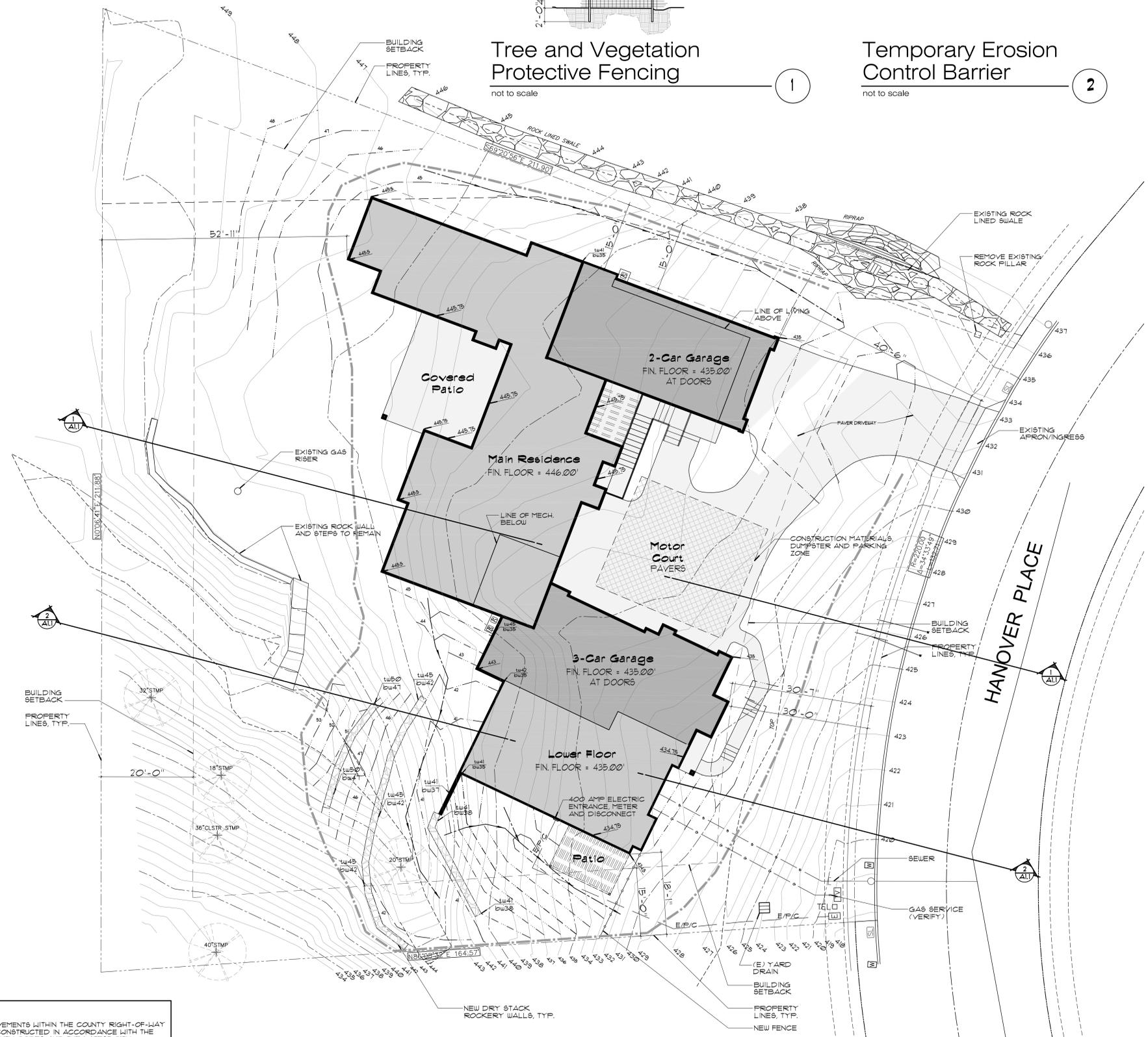
Site Calculations: (See Sheet A1.1)

SITE AREA: 30311 SF.
SITE COVERAGE:
 HOUSE: 4,410 SF.
 GARAGE: 2,148 SF.
 COVERED PORCH/PATIO: 5,900 SF.
 TOTAL: 12,458 SF.
SITE IMPERVIOUS AREA:
 DRIVEWAY: 2,366 SF.
 WALKWAYS/PATIO (NOT COVERED): 113 SF.
 HOUSE (TOTAL COVERAGE): 7,058 SF.
 TOTAL: 9,531 SF.

Site Plan Notes:

- 1) SEE SHEET A2.0 FOR PROJECT SPECIFICATIONS PERTINENT TO THIS PROJECT.
- 2) ALL AREAS TO REMAIN NATURAL MUST BE PROTECTED DURING CONSTRUCTION. CONTRACTOR TO ROPE OFF ACTUAL CONSTRUCTION AND MATERIAL AREA. VERIFY EXTENT W/ ARCHITECT. VEHICLE AND CONSTRUCTION EQUIPMENT PARKINGS TO COMPLY W/ SUBDIVISION REQUIREMENTS.
- 3) ALL AREAS TO BE DISTURBED BY CONSTRUCTION MUST BE LANDSCAPED/ IRRIGATED.
- 4) BACK FILL WITHIN 8' MIN OF SIDING.
- 5) SLOPE DRIVEWAYS AND PATIOS 1/4" PER 1'-0" AWAY FROM RESIDENCE.
- 6) THERE IS NO EXISTING WATERCOURSE, 100 YEAR FLOOD PLAN AND/ OR NATURAL DRAINAGE CHANNELS WITHIN 100' OF THE SUBJECT PROPERTY.
- 7) COORDINATE LANDSCAPE LIGHTING REQUIREMENTS WITH OWNER.
- 8) ALL GRADES ARE TO SLOPE AWAY FROM FOUNDATION (STRUCTURE) A MIN. OF 3% FOR THE FIRST 10'-0".
- 9) SLOPE LAWN AREAS FOR DRAINAGE MIN. 1/4" PER 1'-0".
- 10) ALL WORK MUST CONFORM W/ LOCAL BUILDING CODES, CITY, COUNTY, AND STATE ORDINANCES, SUBDIVISION REGULATIONS AS THEY APPLY.
- 11) PLACEMENT OF THE STRUCTURE WITHIN SETBACKS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- 12) PROVIDE DRAINAGE SWALE 2'-6" FROM PROPERTY LINES OR AS REQUIRED TO PREVENT DRAINAGE ONTO ADJACENT PROPERTY.
- 13) CONTRACTOR AND OWNER TO AGREE ON FINAL BUILDING ORIENTATION PRIOR TO STAKING OUT ADDITION.
- 14) CONTRACTOR TO PLAN FOR FUTURE LANDSCAPING, LIGHTING, AND IRRIGATION AS REQUIRED BY OWNER.
- 15) THE EXISTING SITE INFORMATION AND TOPOGRAPHY HAS BEEN BASED ON A TOPOGRAPHIC MAP PROVIDED BY THE OWNER FOR USE BY THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR THE EXISTING INFORMATION. THIS INCLUDES BUT IS NOT LIMITED TO: ALL UTILITY LOCATIONS, UTILITIES DESIGNATED FOR USE ON THIS PARCEL, TOPOGRAPHIC DATA, TOP OF CURB REFERENCES, EDGE OF ASPHALT, EXISTING FEATURES OR ELEMENTS, SETBACKS, EASEMENTS, ETC.
- 16) THE CONTRACTOR MUST VERIFY ALL UTILITY LOCATIONS SHOWN AS WELL AS THE UTILITY SERVICES THAT ARE DESIGNATED OR ASSIGNED FOR THIS USE WITH THIS LOT. THOSE SHOWN AND THE CONNECTIONS SHOWN ARE TO THE BEST OF THE ARCHITECT'S KNOWLEDGE FOR USE BY THIS LOT, ALTHOUGH THEY MUST STILL BE VERIFIED. EXTEND SERVICE CONNECTIONS TO THE LOCATIONS AS REQUIRED IF DIFFERENT FROM THAT SHOWN ON THIS SITE PLAN.
- 17) ALL IMPROVEMENTS WITHIN THE CITY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST COUNTY CODES AND THE LATEST CITY STANDARD SPECIFICATIONS AND DETAILS.
- 18) A STREET EXCAVATION PERMIT IS REQUIRED FOR ANY WORK TO BE PERFORMED WITHIN THE CITY OF SPARKS RIGHT-OF-WAY.
- 19) THIS PLAN IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP BETWEEN THE STRUCTURE AND PROPERTY LINE, DESIGN GRADING AND DRAINAGE CONTROL, ELEVATIONS AND GENERAL SITE IMPROVEMENTS TO CONFORM TO LOCAL ORDINANCES AND FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. REFER TO THE APPROVED ARCHITECTURAL AND STRUCTURAL ENGINEERING PLANS FOR THE DIMENSIONS AND SPECIFICATIONS OF THE STRUCTURE AND FOUNDATION. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THE FOUNDATION LAYOUT ACCOUNTS FOR ALL AREAS OF FOUNDATION RETAINING HIGH STEPS/WALLS, DESIGNED AND STEPPED FOOTINGS AS REQUIRED TO ACCOMMODATE THE SITE GRADING AND DRAINAGE. ANY CONFLICT BETWEEN THESE PLANS AND THE STRUCTURAL ENGINEERING PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- 20) LOT GRADING, SUB GRADING, SUBGRADE PREPARATION AND SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 'THE ORANGE BOOK' LATEST EDITION, AND THE RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT (IF A GEOTECHNICAL REPORT HAS BEEN PREPARED FOR THIS SITE) AND AS MAY BE DIRECTED IN THE FIELD BY THE GEOTECHNICAL ENGINEERING INSPECTOR.
- 21) THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THIS PLAN AND THE CONDITION EXISTING IN THE FIELD. THE CONTRACTOR SHALL COMPARE ALL DRAWINGS AND FIGURES BEFORE LAYING OUT THE WORK AND WILL BE RESPONSIBLE FOR ANY ERRORS WHICH MIGHT HAVE AVOIDED THEREBY.
- 22) THE CONTRACTOR SHALL CONTROL DUST IN ACCORDANCE WITH THE WASHOE COUNTY HEALTH DEPARTMENT AIR QUALITY MANAGEMENT DIVISION.
- 23) PLACEMENT OF FILL AND PREPARATION OF SUBGRADE IN STRUCTURAL AREAS SHALL BE INSPECTED BY, OR UNDER THE SUPERVISION OF A NEVADA LICENSED GEOTECHNICAL ENGINEER OR GEOTECHNICAL ENGINEERING FIRM. REMOVAL OF UNSUITABLE MATERIAL (OVER-EXCAVATION) IN STRUCTURAL AREAS AND DIRECTED IN THE FIELD BY THE GEOTECHNICAL ENGINEERING INSPECTOR. INSPECTION CERTIFICATIONS AND TESTING REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION (CITY OR COUNTY) REQUIREMENTS OR THE STANDARD SPECIFICATIONS, WHICHEVER IS THE MORE STRINGENT.
- 24) PATIO CONFIGURATIONS AND MATERIALS TO BE COORDINATED WITH THE LANDSCAPE DRAWINGS. ALL MATERIALS TO BE INSTALLED PER THE MANUFACTURERS DETAILS AND INSTALLATION REQUIREMENTS.

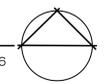
NOTE:
 ALL IMPROVEMENTS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST COUNTY CODES AND THE LATEST CITY STANDARD SPECIFICATIONS AND DETAILS.
 A STREET EXCAVATION PERMIT IS REQUIRED FOR ANY WORK TO BE PERFORMED WITHIN THE CITY OF TRUCKEE RIGHT-OF-WAY.



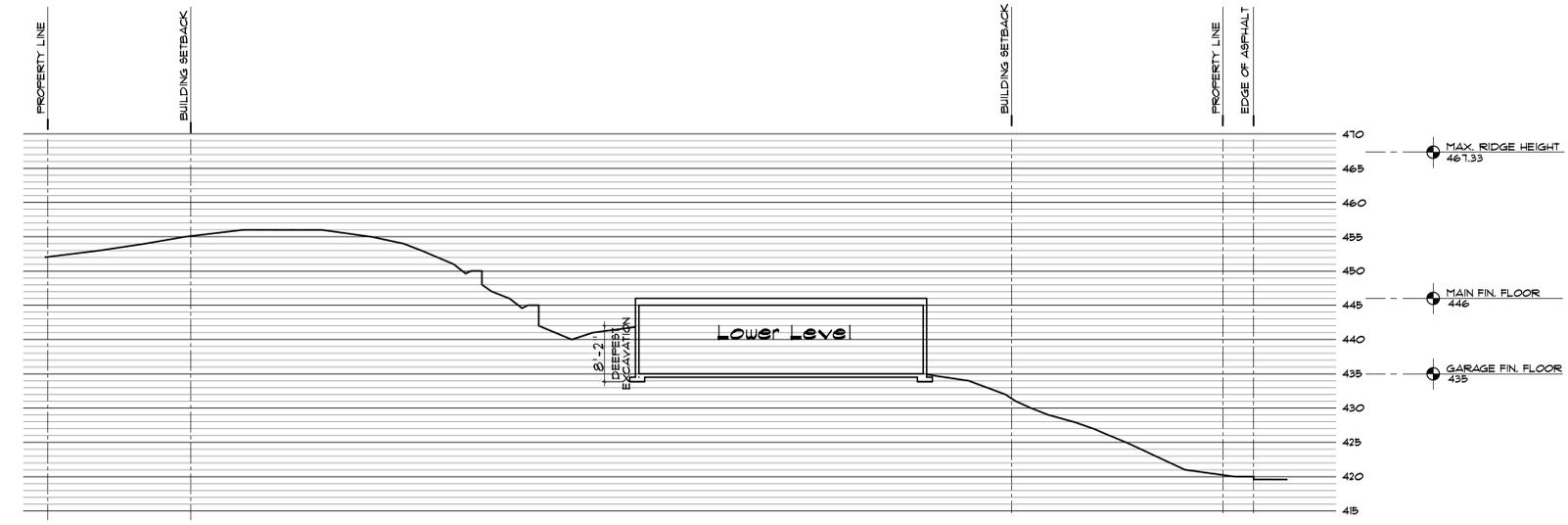
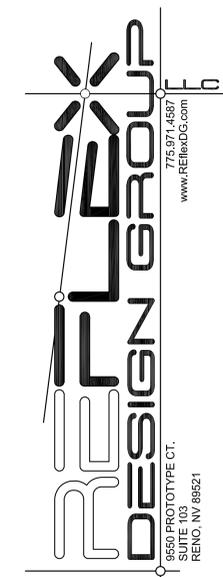
SITE PLAN

1"=10'-0"

APN 173-550-046



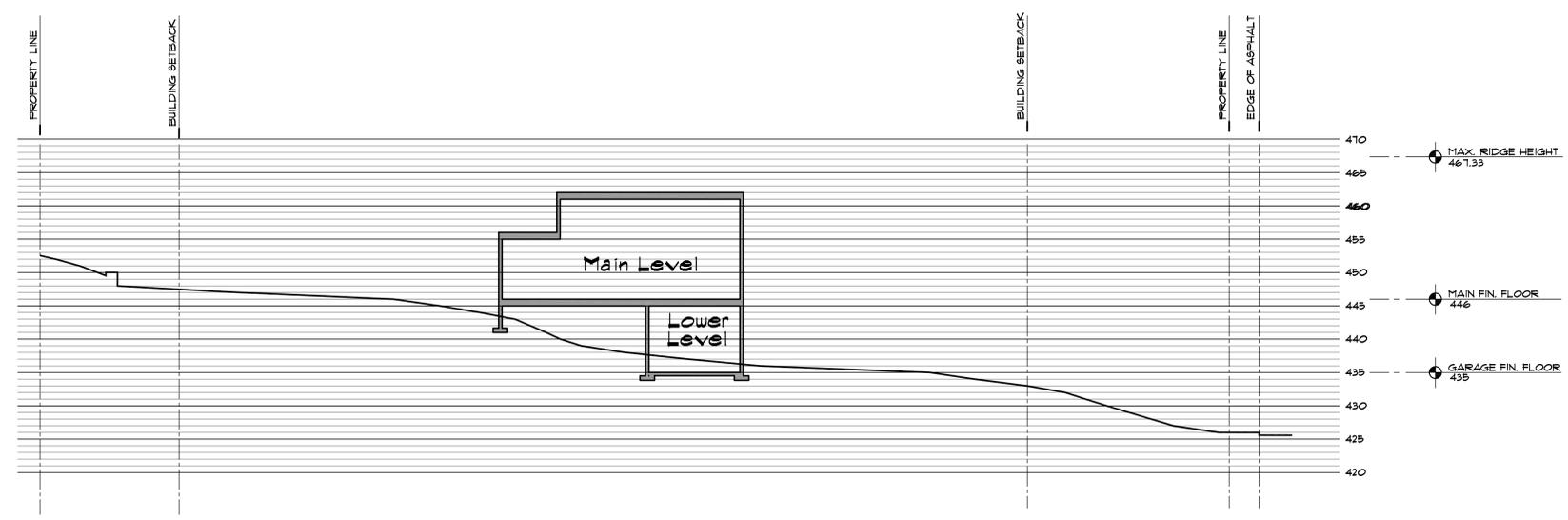
Revision	Date



SITE PROFILE

1"=10'-0"

2



SITE PROFILE

1"=10'-0"

1

Site Coverage

SITE AREA	30,311 SF
PROPOSED LAND COVERAGE	
LIVING	4,410 SF
GARAGE	2,148 SF
AC PADS	18 SF
PATIO	500 SF
WALKS	113 SF
DRIVEWAY	2,366 SF
TOTAL:	9,555 SF
COVERAGE EXEMPTIONS	
PAVER DRIVEWAY	7,366 X 25% = 591 SF
PROPOSED TOTAL COVERAGE WITH EXEMPTIONS:	8,964 SF
	29.6%

NOTE:
REFER TO STORM WATER DRAINAGE REPORT
FOR RUNOFF CALCULATIONS

BRANDNER RESIDENCE
3507 HANOVER PLACE
SANTA ROSA, CALIFORNIA
SITE PLAN DETAILS

Project	1712
Date	3-13-2022
Drawn	RDT
Checked	SLM

Sheet

A1.1

Revision	Date



Legend

	PROPOSED RESIDENCE
	LESS THAN 10% SLOPE
	BETWEEN 10-25% SLOPE
	OVER 25% SLOPE

SITE PLAN SLOPE
 1"=10'-0" APN 173-550-046

BRANDNER RESIDENCE
 3507 HANOVER PLACE
 SANTA ROSA, CALIFORNIA
SITE PLAN SLOPE DIAGRAM

Project	1712
Date	3-13-2022
Drawn	RDT
Checked	SLM

Sheet
A1.2

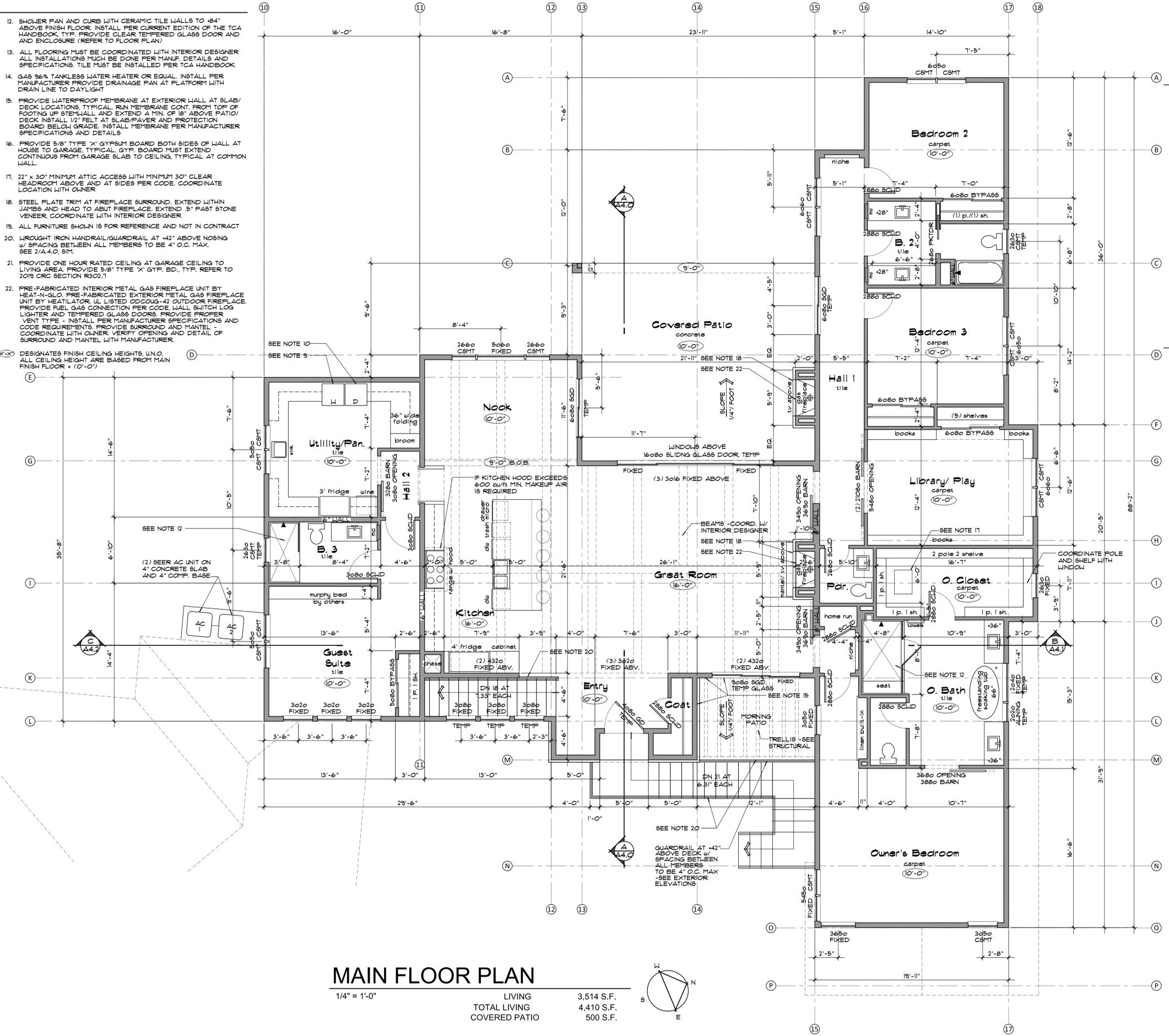
Revision	Date

Floor Plan Notes:

- ALL WINDOWS ARE REFERENCED FROM THE ANDERSEN WINDOW LINE (OR EQUAL). PROVIDE INSULATED GLASS, VINYL CLAD, WOOD FRAME WINDOWS, TYP. REFER TO FLOOR PLAN FOR TYPE AND SIZE, TYPICAL.
- TYPICAL EXTERIOR WALLS SHALL BE 2 x 6 D.F. #2 OR BETTER WOOD STUDS AT 16" O.C. w/ SHEATHING PER SHEAR WALL SCHEDULE. COORDINATE WITH STRUCTURAL.
- TYPICAL INTERIOR WALLS SHALL BE 2 x 4 D.F. #2 OR BETTER WOOD STUDS AT 16" O.C. UNLESS NOTED OTHERWISE.
- PROVIDE SOLID BACKING AT ALL LOCATIONS OF WALL MOUNTED EQUIPMENT AND FURNISHINGS TYP. I.E. TOILET PAPER HOLDERS, TOWEL BARS, UPPER CABINETS, ETC. COORDINATE MOUNTING LOCATIONS w/ OWNER AS REQUIRED AND FIXTURE MANUF. SPEC.
- PROVIDE R-13 BATT INSULATION AT ALL WALLS SURROUNDING ALL INTERIOR SPACES, TYPICAL. PROVIDE R-21 BATT INSULATION AT COMMON WALL AT RESIDENCE GARAGE.
- CEILING HEIGHTS OR CEILING CONFIGURATION SHOWN ON FLOOR PLAN THAT ARE INDICATED TO BE LOWER THAN THE BOTTOM CHORD OF TRUSS/RFTER MUST BE PROVIDED WITH 2x CEILING FRAMING AT 16" O.C. MAX. TYPICAL. REFER TO 2019 CRC TABLE R802.5.1 INSTALLATION OF ALL CEILING JOISTS AND RELATED FRAMING MUST COMPLY WITH THE REQUIREMENTS OF 2019 CRC SECTIONS R802.5.1 AND R802.5.2 AS WELL AS OTHER APPLICABLE SECTIONS OF CHAPTER 8, ROOF-CEILING CONSTRUCTION.
- PROVIDE DROPPED CEILINGS OR SOFFITS AS REQUIRED TO ACCOMMODATE MECHANICAL DUCT RUNS OR OTHER. COORDINATE WITH MECHANICAL CONTRACTOR AND EQUIPMENT REQUIREMENTS. PROVIDE 2x FRAMING AT 16" O.C. MAX. TYPICAL WITH 5/8" GYPSUM BOARD FINISH. REFER TO 2019 CRC TABLE R802.5 AND RT02.3.
- FURNITURE ELEVATIONS AT DOORS TO PATIOS AND DECKS IS 3" TYP. AS REFERENCED TO THE FINISHED SURFACING MATERIAL, U.N.O.
- WASHER SPACE - PROVIDE PLUMBING CONNECTIONS (WASTE AND WATER) RECESSED IN WALL.
- DRYER SPACE - PROVIDE VENT TO OUTSIDE AIR. REFER TO SHEET A.O. ARCHITECTURAL SPECIFICATIONS, MECHANICAL NOTES.
- ALL EXTERIOR DOORS ARE REFERENCED FROM ANDERSEN WINDOWS AND DOORS (OR EQUAL). PROVIDE INSULATED GLASS, DUAL GLAZE LOW E VINYL CLAD, WOOD FRAME DOOR UNITS, TYPICAL. REFER TO FLOOR PLAN FOR TYPE AND SIZE, TYPICAL.

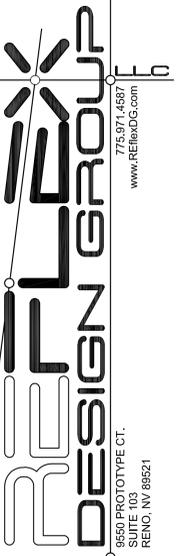
- SHOWER PAN AND CURB WITH CERAMIC TILE WALLS TO +84" ABOVE FINISH FLOOR. INSTALL PER CURRENT EDITION OF THE TCA HANDBOOK, TYP. PROVIDE CLEAR TEMPERED GLASS DOOR AND ENCLOSURE (REFER TO FLOOR PLAN).
- ALL FLOORING MUST BE COORDINATED WITH INTERIOR DESIGNER. ALL INSTALLATIONS MUST BE DONE PER MANUF. DETAILS AND SPECIFICATIONS. TILE MUST BE INSTALLED PER TCA HANDBOOK.
- GAS 96% TANKLESS WATER HEATER OR EQUAL. INSTALL PER MANUFACTURER PROVIDE DRAINAGE PAN AT PLATFORM WITH DRAIN LINE TO DAYLIGHT.
- PROVIDE WATERPROOF MEMBRANE AT EXTERIOR WALL AT SLAB/DECK LOCATIONS, TYPICAL. RUN MEMBRANE CONT. FROM TOP OF FOOTING UP STEIN WALL AND EXTEND A MIN. OF 18" ABOVE PATIO/DECK. INSTALL 1/2" FELT AT SLAB/PAVER AND PROTECTION BOARD BELOW GRADE. INSTALL MEMBRANE PER MANUFACTURER SPECIFICATIONS AND DETAILS.
- PROVIDE 5/8" TYPE 'X' GYPSUM BOARD BOTH SIDES OF WALL AT HOUSE TO GARAGE, TYPICAL. GYP. BOARD MUST EXTEND CONTINUOUS FROM GARAGE SLAB TO CEILING, TYPICAL AT COMMON WALL.
- 22" x 30" MINIMUM ATTIC ACCESS WITH MINIMUM 30" CLEAR HEADROOM ABOVE AND AT SIDES PER CODE. COORDINATE LOCATION WITH OWNER.
- STEEL PLATE TRIM AT FIREPLACE SURROUND. EXTEND WITHIN JAMBS AND HEAD TO ABUT FIREPLACE. EXTEND 5" PAST STONE VENEER, COORDINATE WITH INTERIOR DESIGNER.
- ALL FURNITURE SHOWN IS FOR REFERENCE AND NOT IN CONTRACT.
- WROUGHT IRON HANDRAIL/GUARDRAIL AT 42" ABOVE NOSING w/ SPACING BETWEEN ALL MEMBERS TO BE 4" O.C. MAX. SEE 2/A.4.0, 911.
- PROVIDE ONE HOUR RATED CEILING AT GARAGE CEILING TO LIVING AREA. PROVIDE 5/8" TYPE 'X' GYP. BD., TYP. REFER TO 2019 CRC SECTION R302.1.
- PRE-FABRICATED INTERIOR METAL GAS FIREPLACE UNIT BY HEAT-N-GLO. PRE-FABRICATED EXTERIOR METAL GAS FIREPLACE UNIT BY HEATILATOR UL LISTED OD-COUG-42 OUTDOOR FIREPLACE. PROVIDE FUEL GAS CONNECTION PER CODE, WALL SWITCH LOG LIGHTER AND TEMPERED GLASS DOORS. PROVIDE PROPER VENT TYPE - INSTALL PER MANUFACTURER SPECIFICATIONS AND CODE REQUIREMENTS. PROVIDE SURROUND AND MANTEL. COORDINATE WITH OWNER. VERIFY OPENING AND DETAIL OF SURROUND AND MANTEL WITH MANUFACTURER.

DESIGNATES FINISH CEILING HEIGHTS, U.N.O. ALL CEILING HEIGHT ARE BASED FROM MAIN FINISH FLOOR = (0'-0")



MAIN FLOOR PLAN

1/4" = 1'-0"
 LIVING 3,514 S.F.
 TOTAL LIVING 4,410 S.F.
 COVERED PATIO 500 S.F.



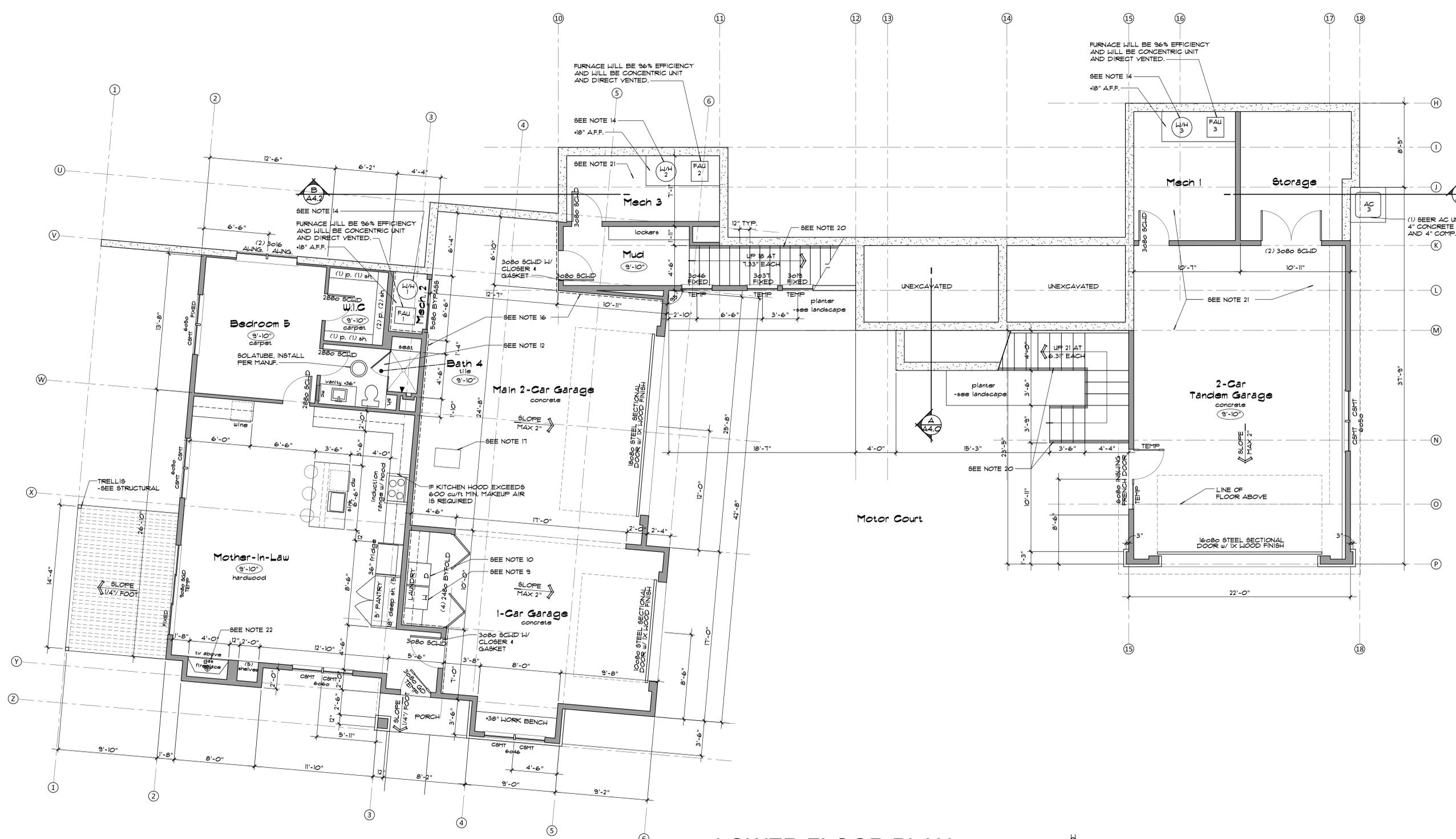
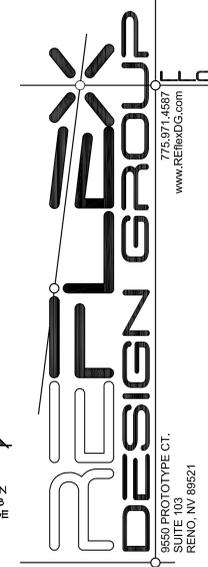
BRANDNER RESIDENCE
 3507 HANOVER PLACE
 SANTA ROSA, CALIFORNIA
 MAIN LEVEL FLOOR PLAN



Project	1712
Date	3-13-2022
Drawn	RDT
Checked	SLM

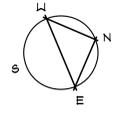
Sheet
A2.0

Revision	Date



LOWER FLOOR PLAN

1/4" = 1'-0"
 MOTHER-IN-LAW UNIT 896 S.F.
 3-CAR GARAGE 1,208 S.F.
 2-CAR GARAGE 940 S.F.



REFER TO SHEET A2.0 FOR TYPICAL FLOOR PLAN NOTES

BRANDNER RESIDENCE
 3507 HANOVER PLACE
 SANTA ROSA, CALIFORNIA
 UPPER FLOOR PLAN



Project	1712
Date	3-13-2022
Drawn	RDT
Checked	SLM

Sheet
A2.1

Revision	Date



EAST ELEVATION

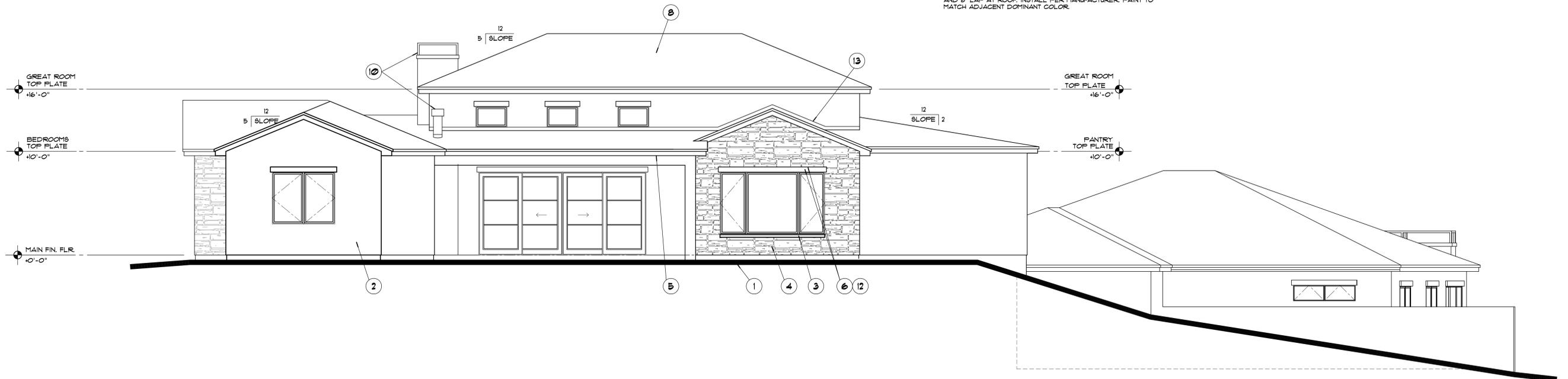
scale: 1/4"=1'-0"

Elevation Legend:

- | | | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>① FINISH GRADE</p> <p>② 2 COAT STUCCO FINISH OVER PAPER BACKED METAL LATH, DRYVIT OR EQUAL. COLOR TO BE DRYVIT AND COORDINATED WITH INTERIOR DESIGNER. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS. PROVIDE CONTROL AND EXPANSION JOINTS (HORIZONTAL AND VERTICAL) PER CODE AND MANUFACTURER'S REQUIREMENTS.</p> <p>③ KETTLE VALLEY GRANITE RANDOM VENEER OR EQUAL. COORDINATE WITH INTERIOR DESIGNER. INSTALL PER MANUFACTURER.</p> <p>④ NATURAL STONE CAP TO MATCH KETTLE VALLEY GRANITE OR EQUAL DOMINANT COLOR. TYPICAL. INSTALL PER MANUFACTURER.</p> | <p>⑤ 8" BOXED FASCIA AND EAVE W/ 2 COAT STUCCO FINISH OVER PAPER BACKED METAL LATH, DRYVIT OR EQUAL. COLOR TO BE DRYVIT AND COORDINATED WITH INTERIOR DESIGNER. INSTALL PER MANUF. DETAILS AND SPECIFICATIONS.</p> <p>⑥ 2" X 6" ROUGH SAWN WINDOW TRIM. COORDINATE STAIN WITH INTERIOR DESIGNER.</p> <p>⑦ DUAL GLAZED WITH ARGON, LOW E, VINYL CLAD WITH WOOD FRAME WINDOW UNITS, TYP. COLOR TO BE BLACK.</p> <p>⑧ CERTAINTED PRESIDENTIAL SHAKE SHINGLES OVER 30# FELT UNDERLAYMENT AND GRACE ICE AND WATER SHIELD AS REQUIRED PER ARCHITECTURAL SPECIFICATIONS, SHEET A00. COORDINATE COLOR WITH INTERIOR DESIGNER.</p> | <p>⑨ 24 GA. SHEET METAL CHIMNEY CAP WITH SPARK ARRESTER IN ACCORDANCE WITH IRC M1804.2.2. PAINT TO MATCH ROOFING. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.</p> <p>⑩ GUARDRAIL AT +42" HIGH 1 1/2" X 2" TUBE STEEL TOP RAIL AND VERTICAL POSTS AT MAX 66" SPACING WITH 5" X 2" STEEL BAR RAILING SYSTEM MAX 38" SPACING, TYP. STEEL TO BE PAINTED TO MATCH ALUMINUM PANELING.</p> <p>⑪ INSULATED STEEL SECTIONAL DOORS W/ APPLIED WOOD SIDING AND PANELING. COORDINATE STAIN WITH INTERIOR DESIGNER.</p> <p>⑫ 24 GA. SHEET METAL DRIP EDGE FLASHING. PROVIDE MIN. 6" LAP BELOW STONE VENEER SLOPED AT HEAD (HORIZONTALLY) AND MIN. 2" DRIP EDGE.</p> <p>⑬ 24 GA. SHEET METAL FLASHING AND COUNTER FLASHING AT ALL TRANSITIONS AND ROOF TO WALL TRANSITIONS, 8" BELOW SIDING AND 8" LAP AT ROOF. INSTALL PER MANUFACTURER. PAINT TO MATCH ADJACENT DOMINANT COLOR.</p> |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

Elevation Notes:

- ALL MATERIALS AND FINISHES INDICATED ON THESE ELEVATIONS ARE TYPICAL TO ALL ELEVATIONS REGARDLESS IF THEY ARE NOTED AS SUCH OR NOT. THERE WILL BE NO EXCEPTIONS OR SUBSTITUTIONS TO THE MATERIALS AND FINISHES INDICATED ON THE ELEVATIONS.
- ALL EXTERIOR FINISH MATERIALS MUST BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, DETAILS, AND INSTALLATION GUIDELINES. TYPICAL. COORDINATE ALL TRANSITIONS AND DETAILING REQUIRED BETWEEN DISMILAR MATERIALS WITH THE RELATED MANUFACTURERS FOR PROPER WEATHER SEALING, TRANSITIONS AND TERMINATIONS, TYPICAL.
- ALL EXTERIOR FINISH MATERIALS MUST BE IN STRICT ACCORDANCE WITH THE 2019 WILDLAND URBAN INTERFACE CODE.



WEST ELEVATION

scale: 1/4"=1'-0"

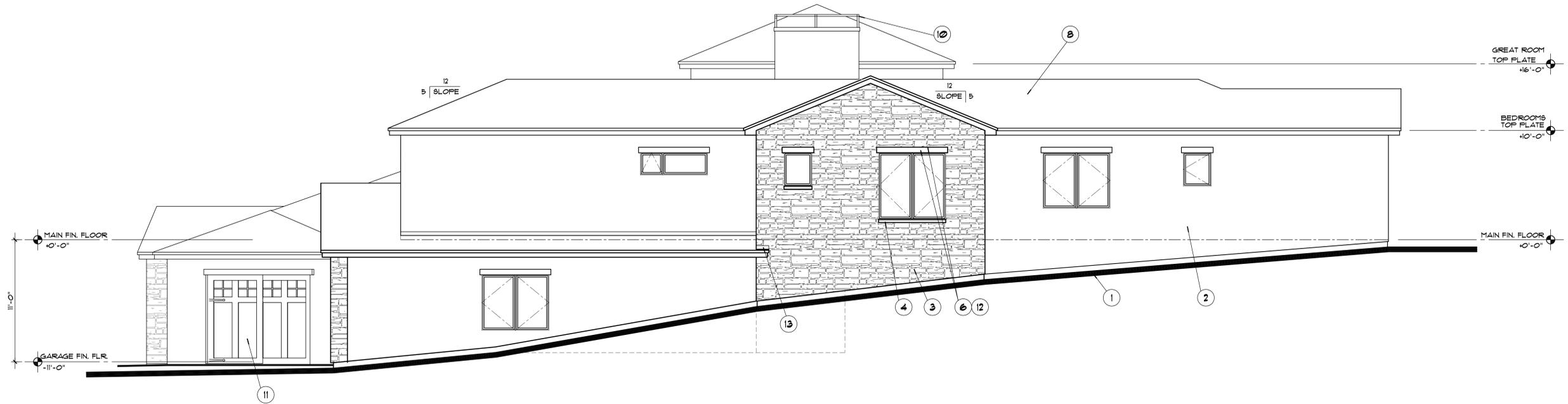


Project	1712
Date	3-13-2022
Drawn	RDT
Checked	SLM

Sheet

A3.0

Revision	Date



NORTH ELEVATION

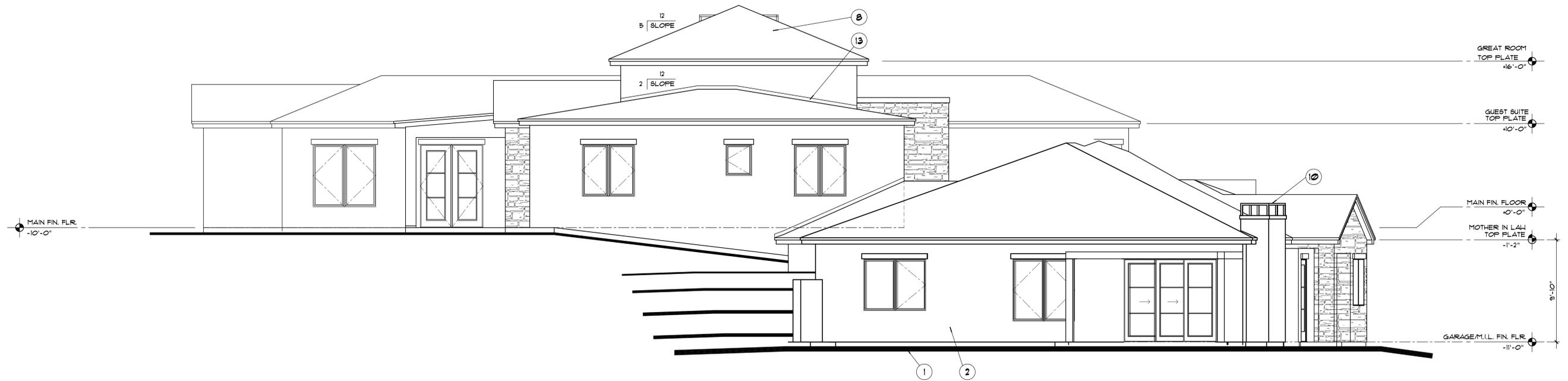
scale: 1/4"=1'-0"

Elevation Legend:

- ① FINISH GRADE
- ② 2 COAT STUCCO FINISH OVER PAPER BACKED METAL LATH. DRYVIT OR EQUAL. COLOR TO BE DRYVIT AND COORDINATED WITH INTERIOR DESIGNER. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS. PROVIDE CONTROL AND EXPANSION JOINTS (HORIZONTAL AND VERTICAL) PER CODE AND MANUFACTURER'S REQUIREMENTS.
- ③ KETTLE VALLEY GRANITE RANDOM VENEER OR EQUAL. COORDINATE WITH INTERIOR DESIGNER. INSTALL PER MANUFACTURER
- ④ NATURAL STONE CAP TO MATCH KETTLE VALLEY GRANITE OR EQUAL DOMINANT COLOR. TYPICAL. INSTALL PER MANUFACTURER
- ⑤ 8" BOXED FASCIA AND EAVE 1/2 COAT STUCCO FINISH OVER PAPER BACKED METAL LATH. DRYVIT OR EQUAL. COLOR TO BE DRYVIT AND COORDINATED WITH INTERIOR DESIGNER. INSTALL PER MANUF. DETAILS AND SPECIFICATIONS.
- ⑥ 2" X 6" ROUGH SAWN WINDOW TRIM. COORDINATE STAIN WITH INTERIOR DESIGNER.
- ⑦ DUAL GLAZED WITH ARGON, LOW E, VINYL CLAD WITH WOOD FRAME WINDOW UNITS, TYP. COLOR TO BE BLACK.
- ⑧ CERTAINTED PRESIDENTIAL SHAKE SHINGLES OVER 30# FELT UNDERLAYMENT AND GRACE ICE AND WATER SHIELD AS REQUIRED PER ARCHITECTURAL SPECIFICATIONS, SHEET 200. COORDINATE COLOR WITH INTERIOR DESIGNER.
- ⑨ 24 GA. SHEET METAL CHIMNEY CAP WITH SPARK ARRESTER IN ACCORDANCE WITH IRC M1804.2.2. PAINT TO MATCH ROOFING. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
- ⑩ GUARDRAIL AT 42" HIGH 1 1/2" X 2" TUBE STEEL TOP RAIL AND VERTICAL POSTS AT MAX 66" SPACING WITH 1 1/2" X 2" STEEL BAR RAILING SYSTEM MAX 3.5" SPACING, TYP. STEEL TO BE PAINTED TO MATCH ALUMINUM PANELING.
- ⑪ INSULATED STEEL SECTIONAL DOORS 1 1/2" APPLIED WOOD SIDING AND PANELING. COORDINATE STAIN WITH INTERIOR DESIGNER.
- ⑫ 24 GA. SHEET METAL DRIP EDGE FLASHING. PROVIDE MIN. 6" LAP BELOW STONE VENEER SLOPED AT HEAD (HORIZONTALLY) AND MIN. 2" DRIP EDGE.
- ⑬ 24 GA. SHEET METAL FLASHING AND COUNTER FLASHING AT ALL TRANSITIONS AND ROOF TO WALL TRANSITIONS. 8" BELOW SIDING AND 8" LAP AT ROOF. INSTALL PER MANUFACTURER. PAINT TO MATCH ADJACENT DOMINANT COLOR.

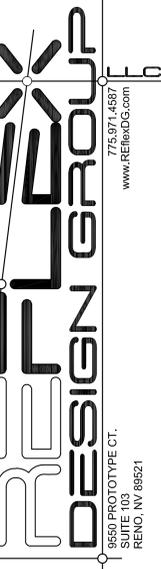
Elevation Notes:

1. ALL MATERIALS AND FINISHES INDICATED ON THESE ELEVATIONS ARE TYPICAL TO ALL ELEVATIONS REGARDLESS IF THEY ARE NOTED AS SUCH OR NOT. THERE WILL BE NO EXCEPTIONS OR SUBSTITUTIONS TO THE MATERIALS AND FINISHES INDICATED ON THE ELEVATIONS.
2. ALL EXTERIOR FINISH MATERIALS MUST BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, DETAILS, AND INSTALLATION GUIDELINES, TYPICAL. COORDINATE ALL TRANSITIONS AND DETAILING REQUIRED BETWEEN DISSIMILAR MATERIALS WITH THE RELATED MANUFACTURERS FOR PROPER WEATHER SEALING, TRANSITIONS AND TERMINATIONS, TYPICAL.
3. ALL EXTERIOR FINISH MATERIALS MUST BE IN STRICT ACCORDANCE WITH THE 2012 WILDLAND URBAN INTERFACE CODE.



SOUTH ELEVATION

scale: 1/4"=1'-0"

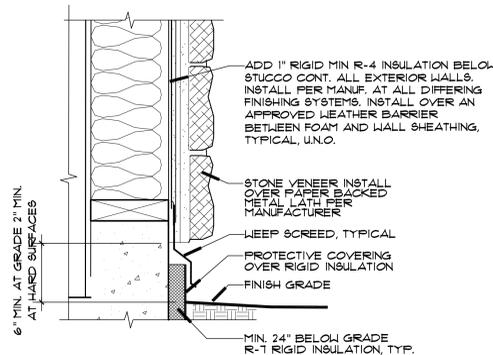
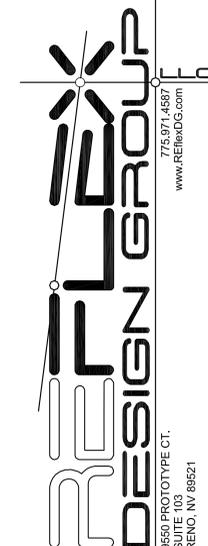


BRANDNER RESIDENCE
 3507 HANOVER PLACE
 SANTA ROSA, CALIFORNIA
 BUILDING ELEVATIONS



Project	1712
Date	3-13-2022
Drawn	RDT
Checked	SLM

Sheet
A3.1



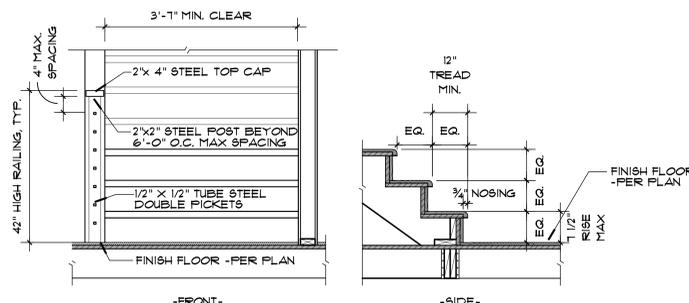
WEEP SCREED DETAIL

N.T.S.

3

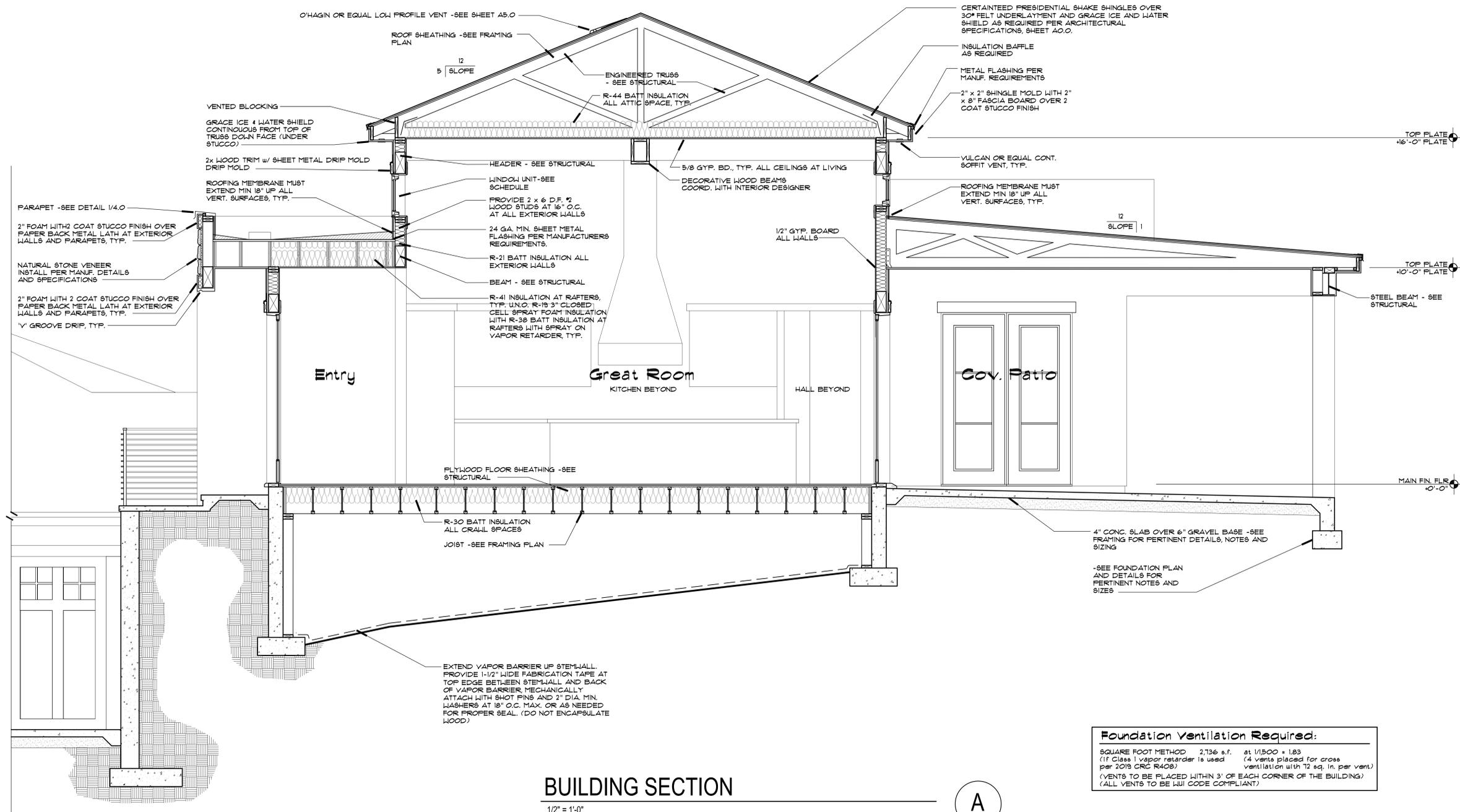
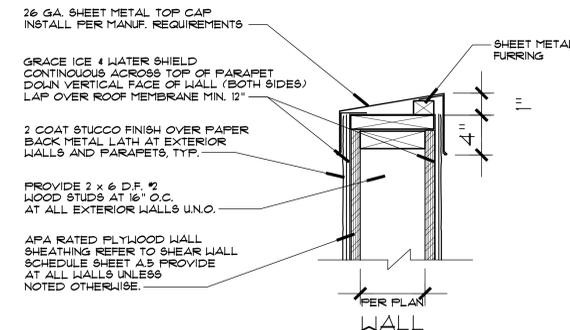
STAIR DETAILS

1/2" = 1'-0"



PARAPET DETAIL

2" = 1'-0"



BUILDING SECTION

1/2" = 1'-0"

A

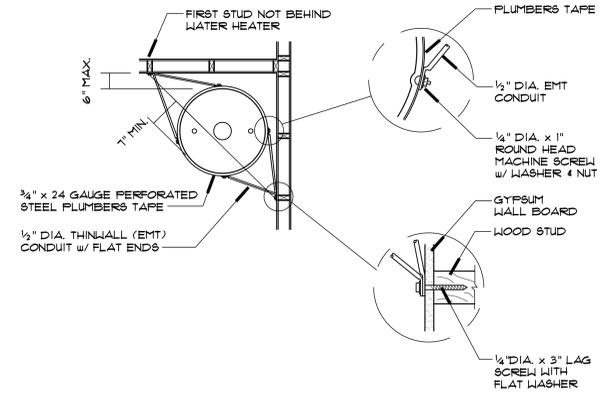
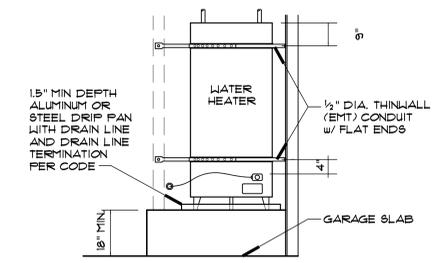
Foundation Ventilation Required:
 SQUARE FOOT METHOD 2,736 s.f. at 1/1500 = 1.83
 (if Class 1 vapor retarder is used (4 vents placed for cross ventilation with 72 sq. in. per vent) per 2019 CRC R408)
 (VENTS TO BE PLACED WITHIN 3' OF EACH CORNER OF THE BUILDING) (ALL VENTS TO BE IUI CODE COMPLIANT)

BRANDNER RESIDENCE
 3507 HANOVER PLACE
 SANTA ROSA, CALIFORNIA
 BUILDING SECTION

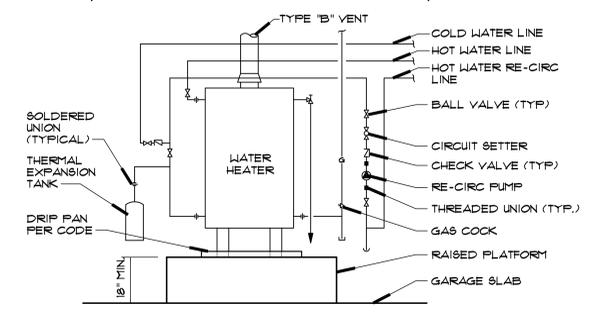


Project	1712
Date	3-13-2022
Drawn	RDT
Checked	SLM

Sheet
A4.0



ALL PIPING SERVING AS PART OF A HOT WATER SYSTEM SHALL BE INSULATED WITH A MINIMUM R-3 INSULATION SHALL BE INSTALLED CONTINUOUSLY FROM WITHIN 2 FT. OF THE WATER HEATER TO WITHIN 2 FT. OF THE FIXTURE OR OUTLET. INSULATION MAY BE OMITTED WHEN PASSING THROUGH A RESTRICTED OPENING IN FRAMING MEMBERS OR IN HEATED SPACES.



WATER HEATER DETAIL

N.T.S.

INSTALL AND COMPLY WITH REQUIREMENTS OF 2019 CRC

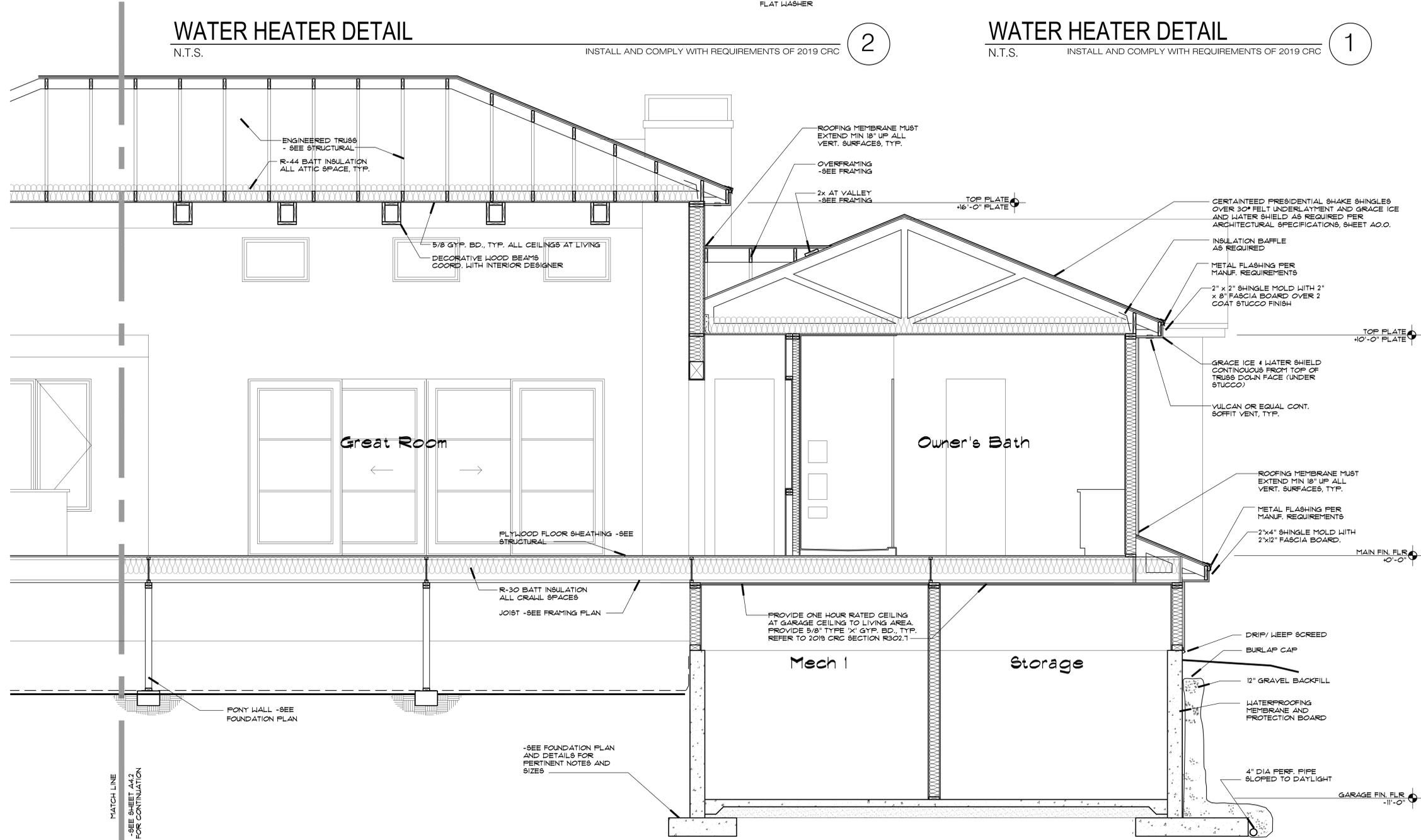
2

WATER HEATER DETAIL

N.T.S.

INSTALL AND COMPLY WITH REQUIREMENTS OF 2019 CRC

1



BUILDING SECTION

1/2" = 1'-0"

B

REXEL DESIGN GROUP
 9550 PROTOTYPE CT
 SUITE 103
 RENO, NV 89521
 775.971.4587
 www.rexelgroup.com

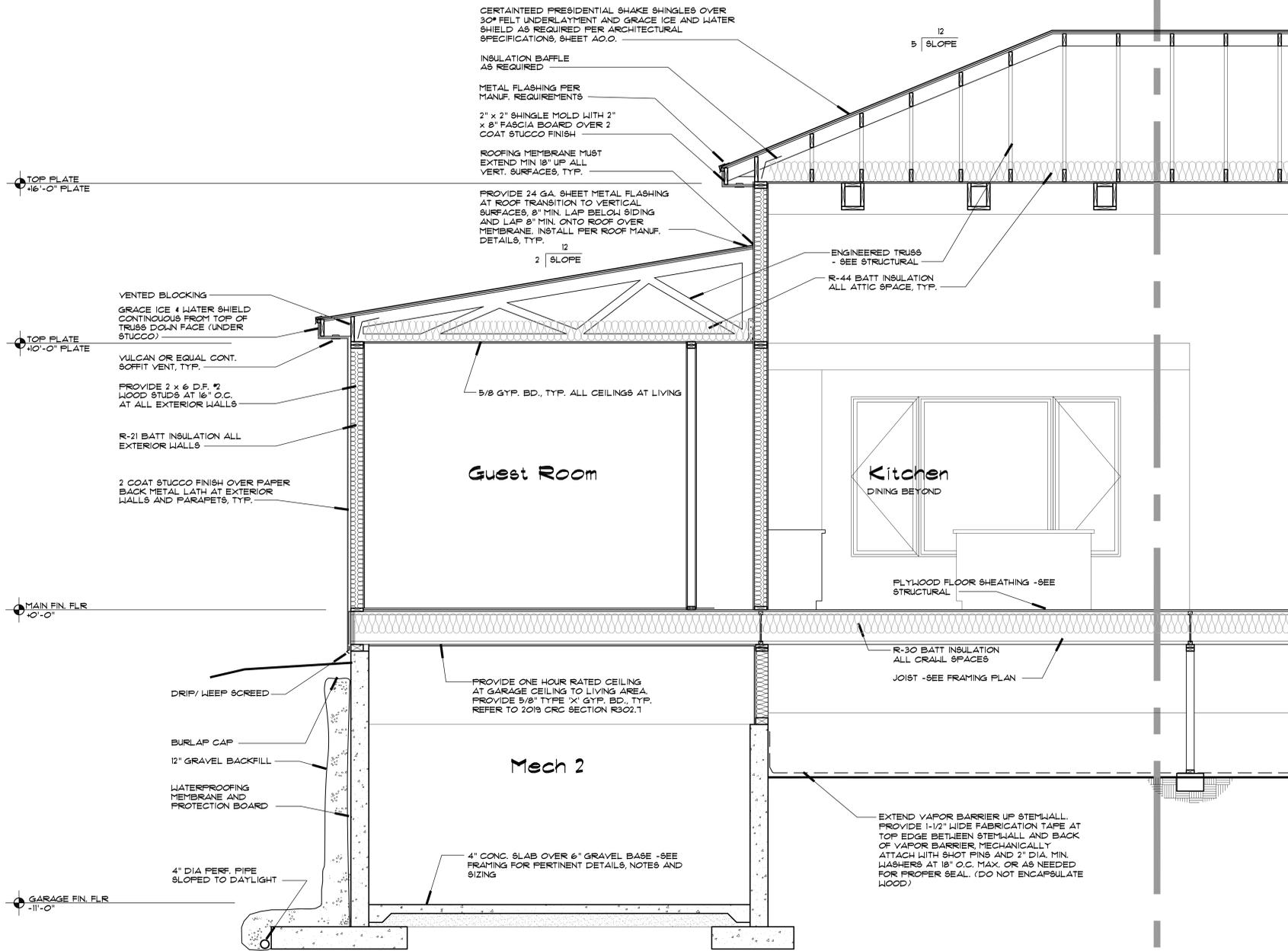
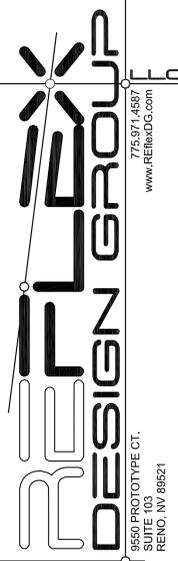
BRANDNER RESIDENCE
 3507 HANOVER PLACE
 SANTA ROSA, CALIFORNIA
 BUILDING SECTION



Project	1712
Date	3-13-2022
Drawn	RDT
Checked	SLM

Sheet
A4.1

Revision	Date



MATCH LINE
-SEE SHEET A4.1 FOR CONTINUATION

BUILDING SECTION

1/2" = 1'-0"

C

BRANDNER RESIDENCE
3507 HANOVER PLACE
SANTA ROSA, CALIFORNIA
BUILDING SECTION

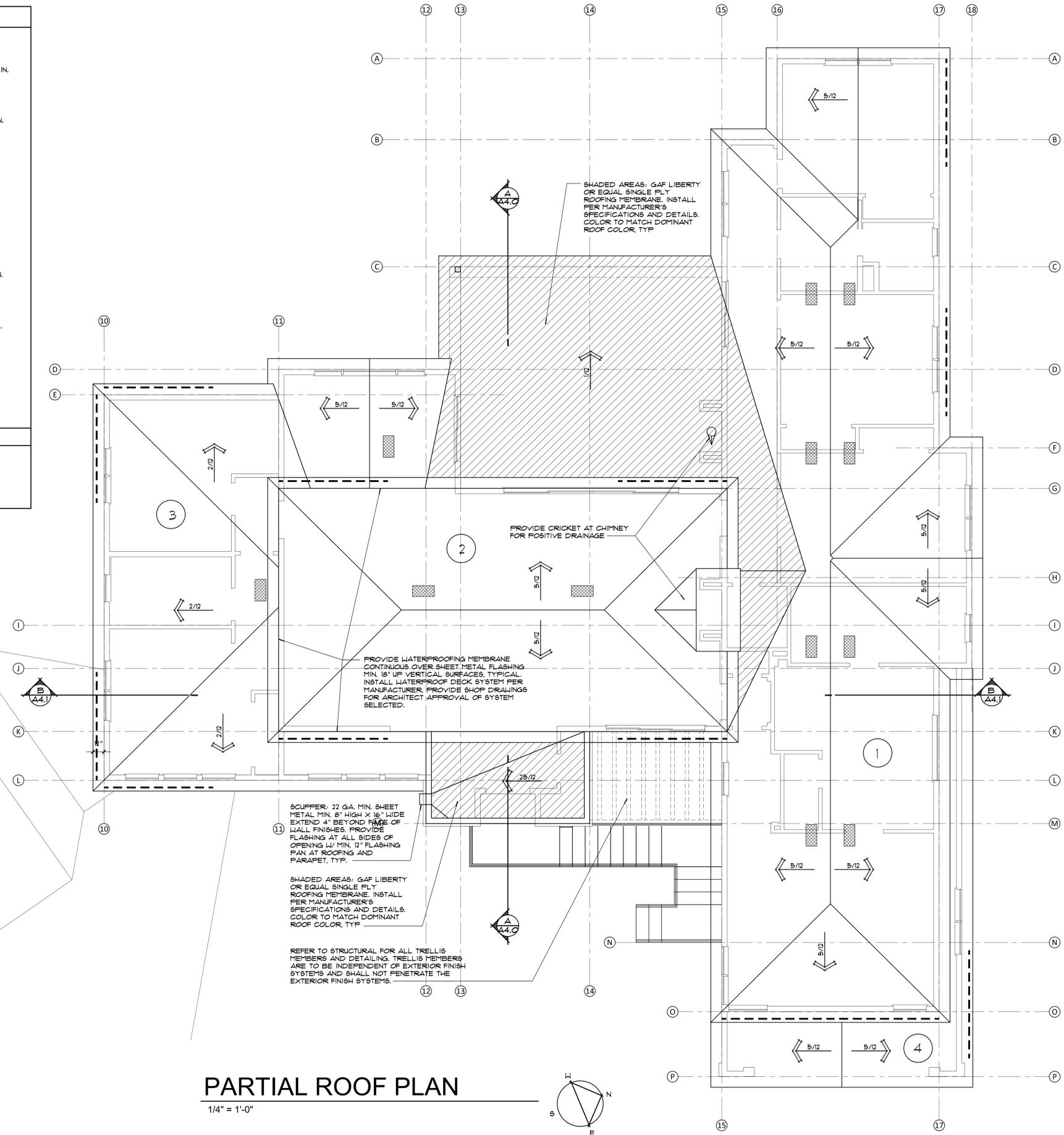


Project	1712
Date	3-13-2022
Drawn	RDT
Checked	SLM

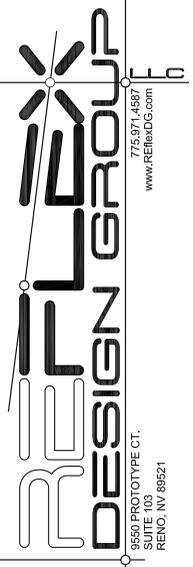
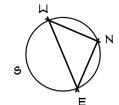
Sheet
A4.2

Revision	Date

Attic Ventilation Required:		
ZONE#:		
1	VENTILATION REQUIRED:	1,761 SF. ATTIC SPACE/300 = 6 SF/ 864 SQ. IN.
	VENTILATION PROVIDED:	4 CONT. SOFFIT VENT (288 SQ. IN.) 8 ATTIC VENTS (576 SQ. IN.)
2	VENTILATION REQUIRED:	903 SF. ATTIC SPACE/300 = 3 SF/ 432 SQ. IN.
	VENTILATION PROVIDED:	4 CONT. SOFFIT VENT (288 SQ. IN.) 2 ATTIC VENTS (144 SQ. IN.)
3	VENTILATION REQUIRED:	815 SF. ATTIC SPACE/300 = 3 SF/ 432 SQ. IN.
	VENTILATION PROVIDED:	4 CONT. SOFFIT VENT (288 SQ. IN.) 2 ATTIC VENTS (144 SQ. IN.)
4	VENTILATION REQUIRED:	198 SF. ATTIC SPACE/300 = 1 SF/ 144 SQ. IN.
	VENTILATION PROVIDED:	2 CONT. SOFFIT VENT (144 SQ. IN.)
5	VENTILATION REQUIRED:	1,148 SF. ATTIC SPACE/300 = 4 SF/ 576 SQ. IN.
	VENTILATION PROVIDED:	4 CONT. SOFFIT VENT (288 SQ. IN.) 4 ATTIC VENTS (288 SQ. IN.)
6	VENTILATION REQUIRED:	959 SF. ATTIC SPACE/300 = 4 SF/ 576 SQ. IN.
	VENTILATION PROVIDED:	6 CONT. SOFFIT VENT (432 SQ. IN.) 2 ATTIC VENTS (144 SQ. IN.)
NOTE: PER 2019 WILDLAND URBAN INTERFACE CODE REQUIREMENTS USE VULCAN VSC2120 2" X 120" CONTINUOUS SOFFIT VENTS AND O'HAGIN TAPERED LOW PROFILE VENTS (12 SQ. IN.).		
Attic Ventilation Legend:		
	LOW PROFILE ATTIC VENT - IUI CODE COMPLIANT	
	CONTINUOUS SOFFIT VENT - IUI CODE COMPLIANT	



PARTIAL ROOF PLAN
1/4" = 1'-0"



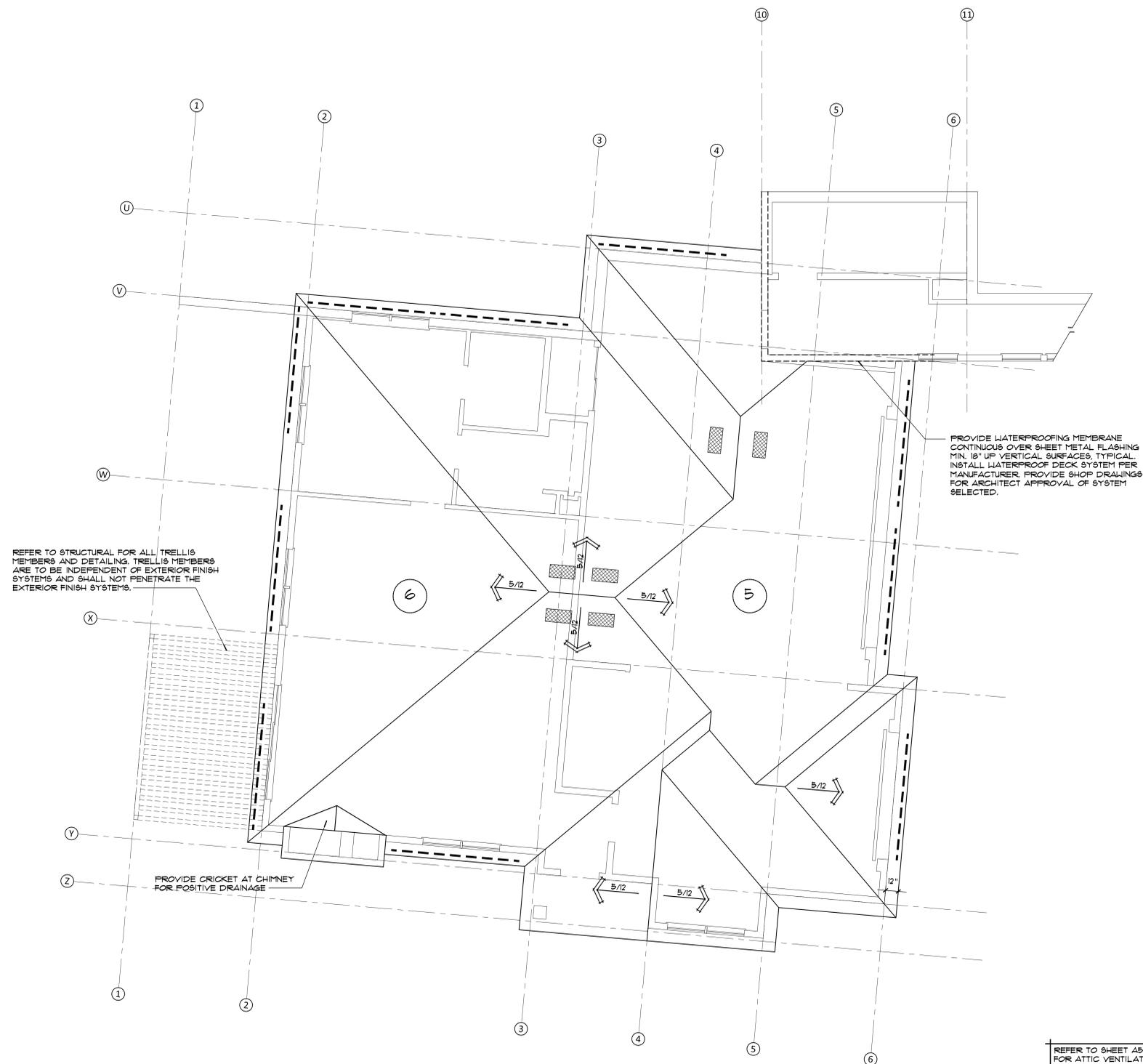
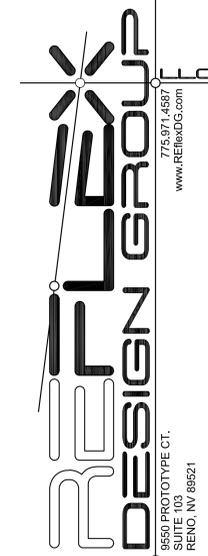
BRANDNER RESIDENCE
3507 HANOVER PLACE
SANTA ROSA, CALIFORNIA



Project	1712
Date	3-13-2022
Drawn	RDT
Checked	SLM

Sheet
A5.0

Revision	Date



BRANDNER RESIDENCE
 3507 HANOVER PLACE
 SANTA ROSA, CALIFORNIA

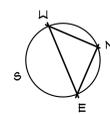


Project	1712
Date	3-13-2022
Drawn	RDT
Checked	SLM

Sheet
A5.1

PARTIAL ROOF PLAN

1/4" = 1'-0"



REFER TO SHEET A5.0 FOR ATTIC VENTILATION REQUIREMENTS