

Telecommunications Facility Modification

Minor Design Review Permit

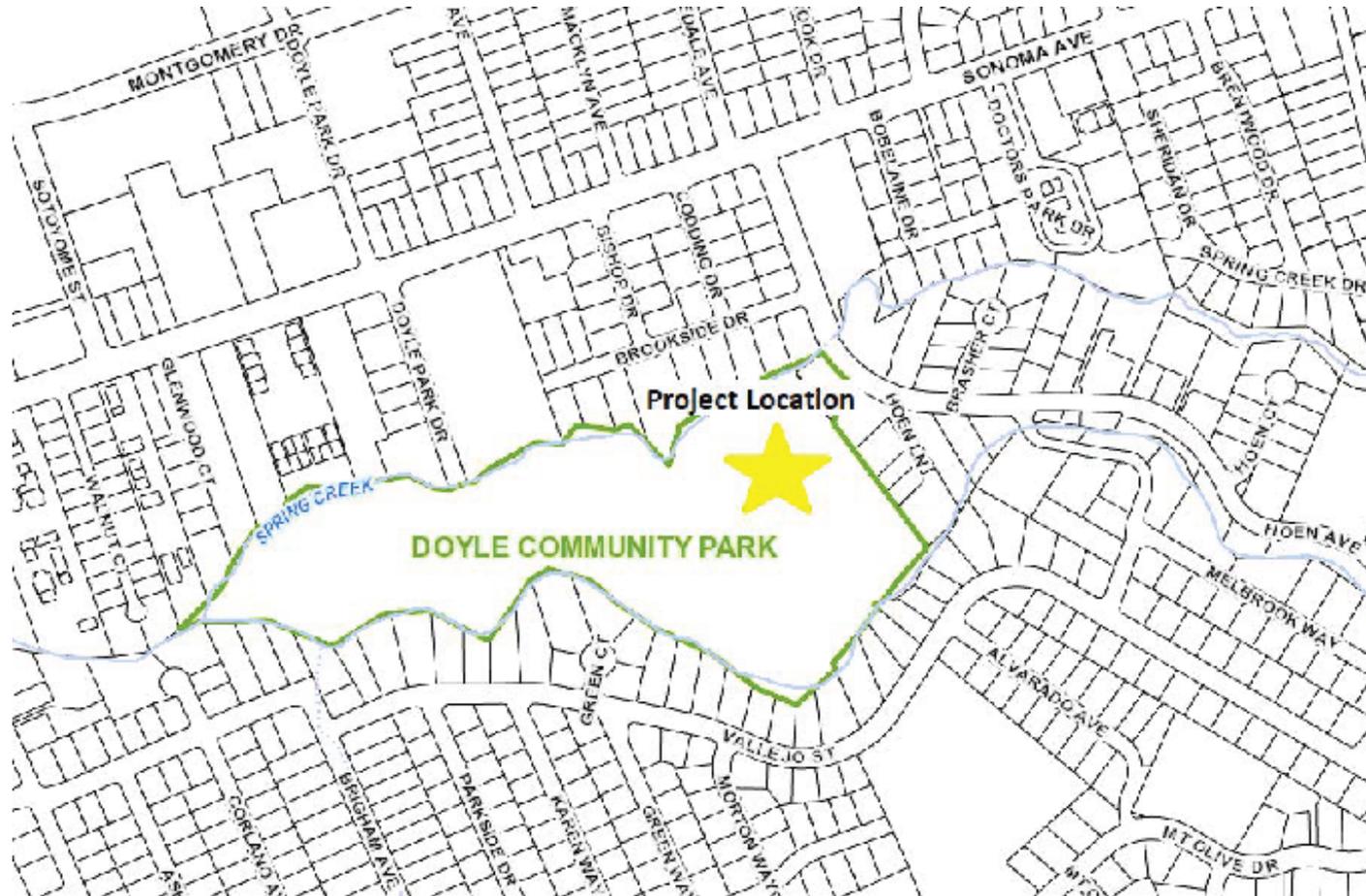
1700 Hoen Avenue

October 20, 2022

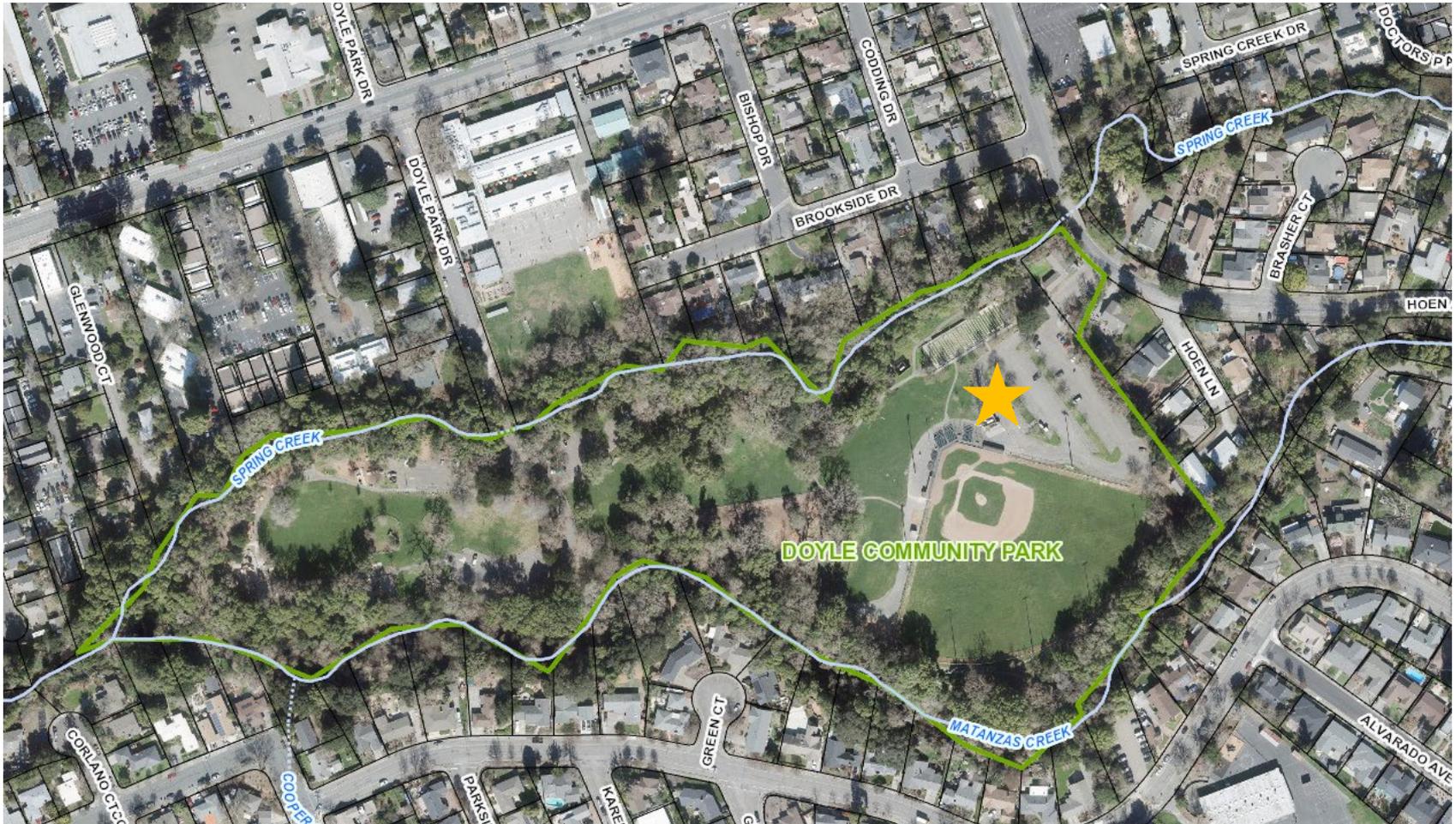
Suzanne Hartman, Project Planner
Planning and Economic Development

- Project application includes Minor Design Review to allow for various modifications at an existing telecommunications facility, including: wireless antenna replacements; installation of new wireless antennas; and installation of new transmission equipment at the ground station, located at 1700 Hoen Avenue (Doyle Community Park).

Project Location 1700 Hoen Avenue

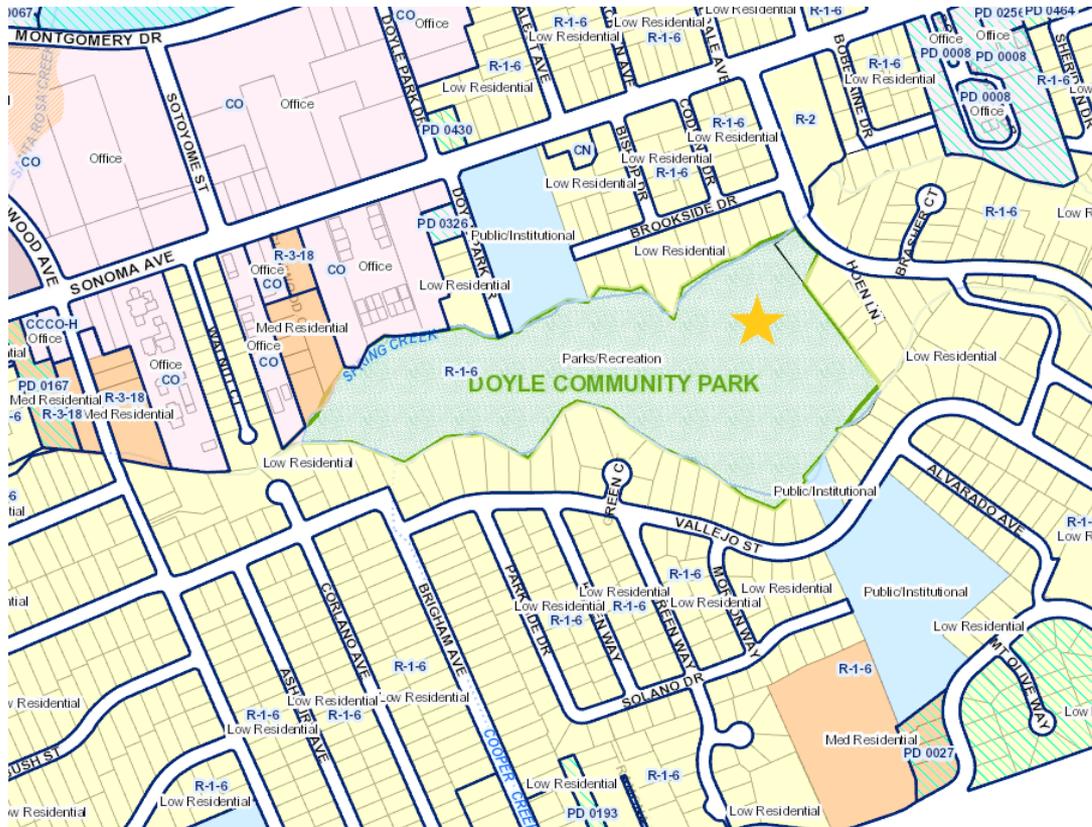


Project Location 1700 Hoen Avenue



Existing Telecommunications Facility 1700 Hoen Avenue



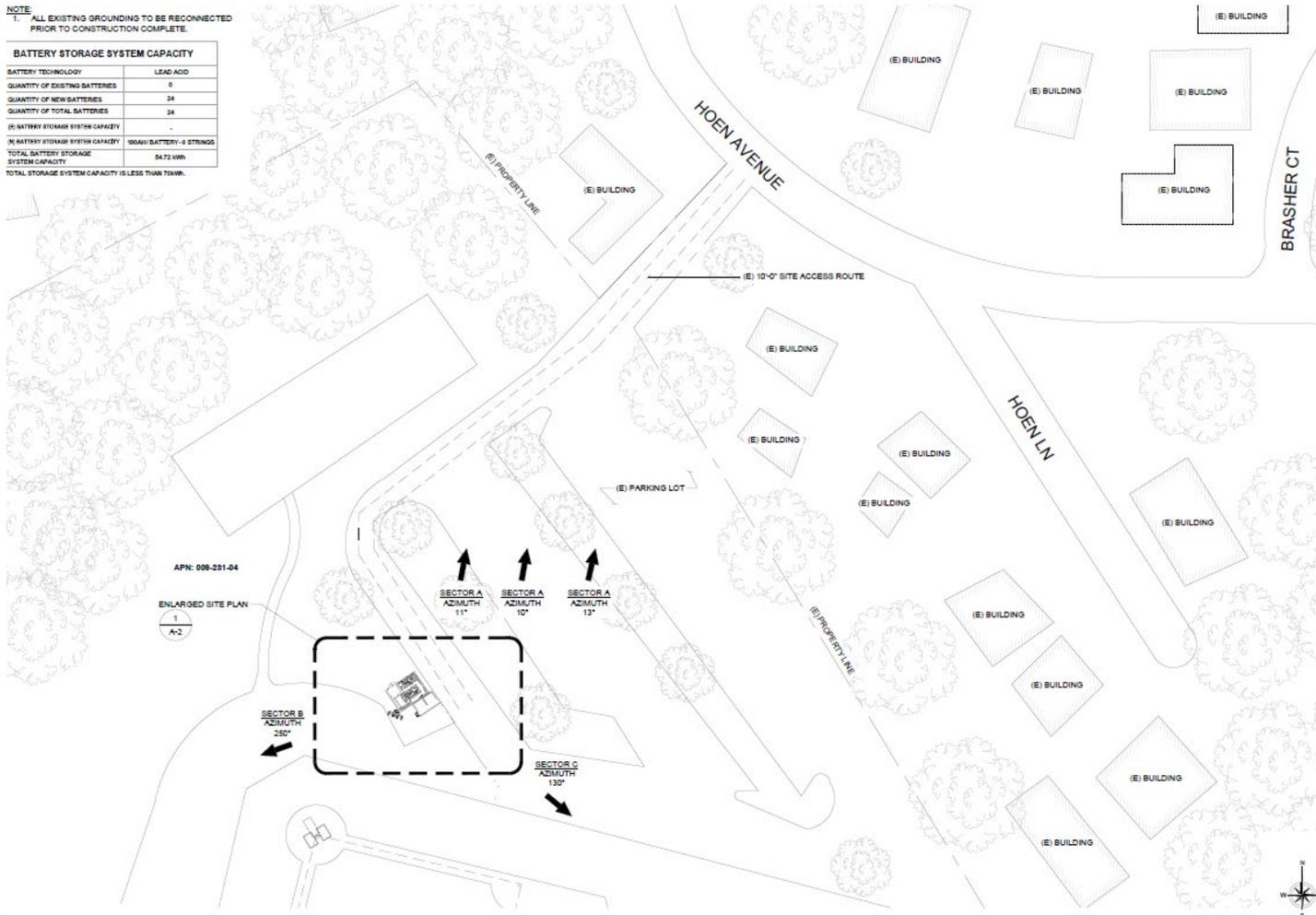


General Plan: Parks & Recreation

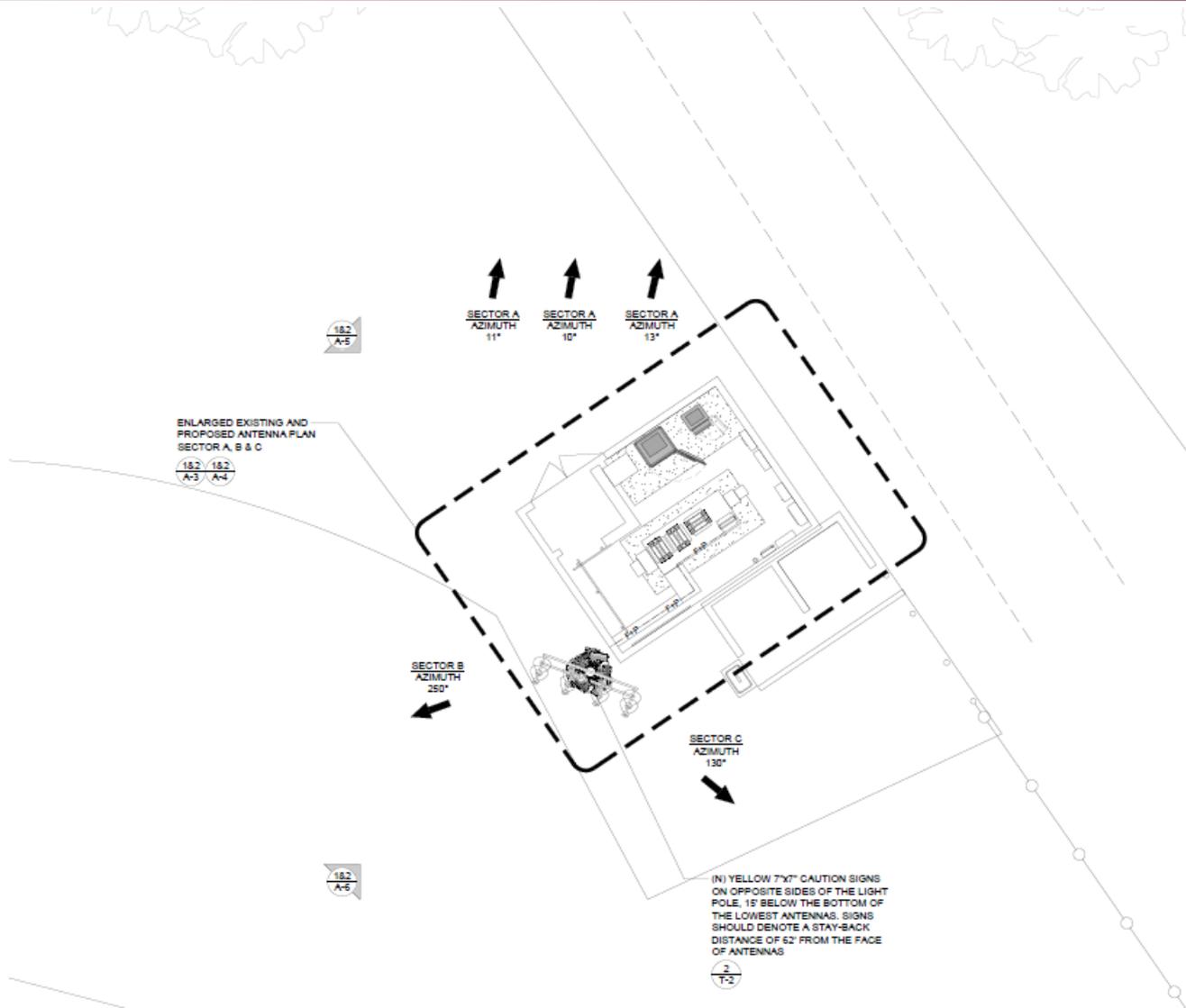
Zoning: Single Family Residential (R-1-6)

NOTE:
1. ALL EXISTING GROUNDING TO BE RECONNECTED PRIOR TO CONSTRUCTION COMPLETE.

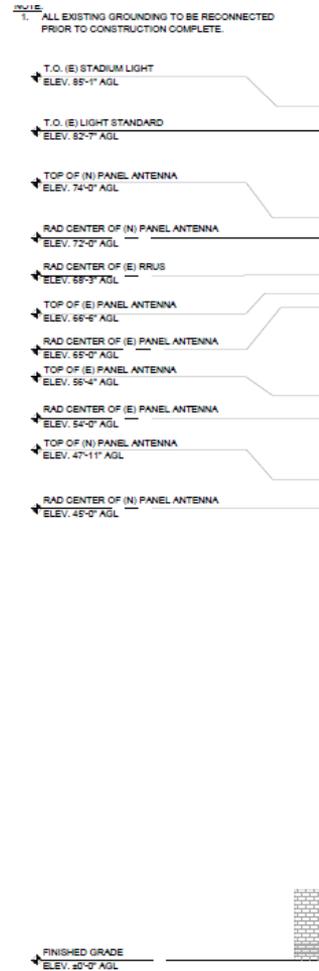
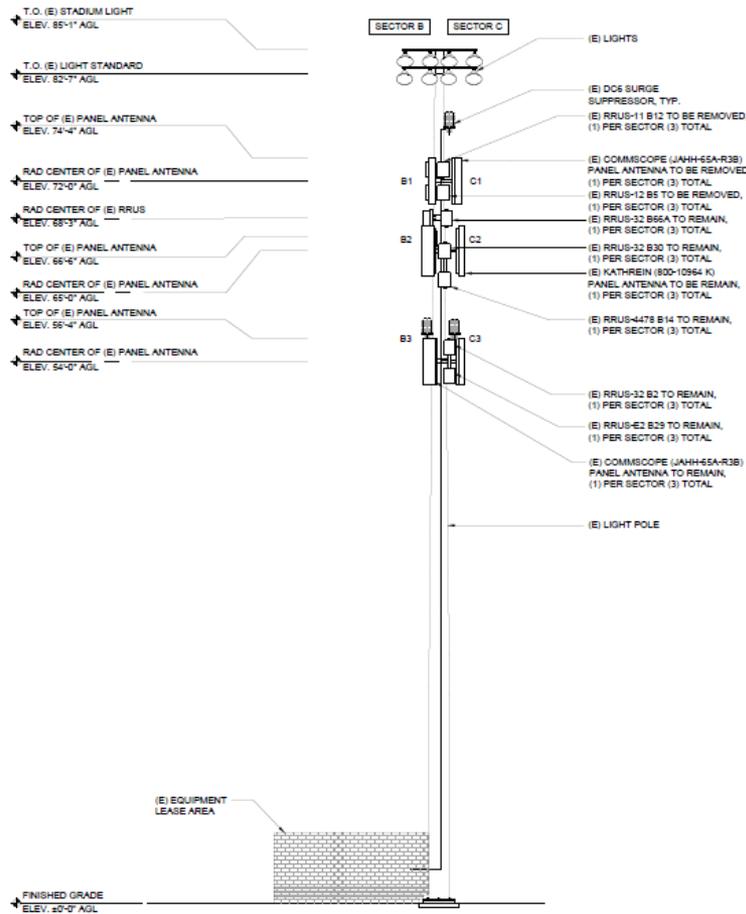
BATTERY STORAGE SYSTEM CAPACITY	
BATTERY TECHNOLOGY	LEAD ACID
QUANTITY OF EXISTING BATTERIES	0
QUANTITY OF NEW BATTERIES	24
QUANTITY OF TOTAL BATTERIES	24
(E) BATTERY STORAGE SYSTEM CAPACITY	-
(N) BATTERY STORAGE SYSTEM CAPACITY (50AH BATTERY-8 STRINGS)	54.72 kWh
TOTAL BATTERY STORAGE SYSTEM CAPACITY	54.72 kWh
TOTAL STORAGE SYSTEM CAPACITY IS LESS THAN 75kWh.	



Site Plan (continued)

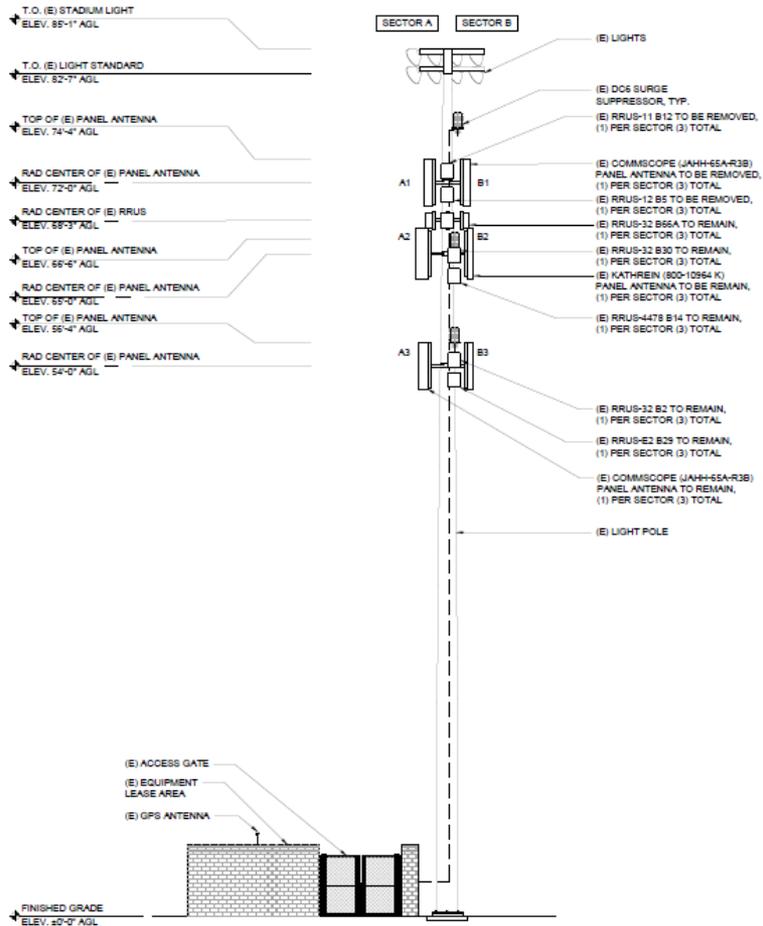


Existing and Proposed Southwest Elevations

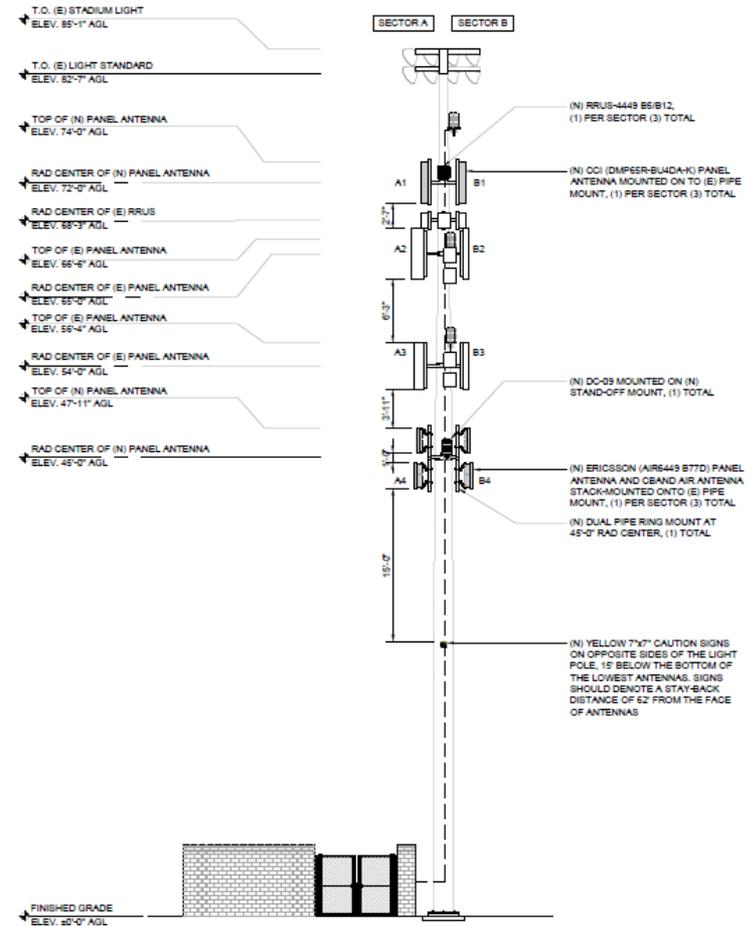


NOTE:
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Existing and Proposed Northwest Elevations



NOTE:
1. ALL EXISTING GROUNDING TO BE RECONNECTED PRIOR TO CONSTRUCTION COMPLETE.



Conditions of Approval

- A building permit is required.
- The contractor shall notify the Recreation and Parks Department of the proposed construction schedule. Construction hours shall be limited to 8:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. Saturdays. No construction is permitted on Sundays and holidays.
- Comply with all applicable federal, state, and local codes. Failure to comply may result in issuance of a citation and/or revocation of approval.
- Comply with the latest adopted ordinances, resolutions, policies, and fees adopted by the City Council at the time of building permit review and approval.
- No exterior signs are approved with this permit. A separate sign permit is required.
- All work shall be done according to the final approved plans dated August 25, 2022, or as otherwise amended by the Zoning Administrator.

- The proposed project has been reviewed in compliance with the California Environmental Quality Act (CEQA) and qualifies for a Class 3 exemption under Section 15301 in that the proposed change does not substantially change the physical dimensions of the tower or ground station.

- There are no unresolved issues as a result of staff review.
- No comments have been received.

It is recommended by the Planning and Economic Development Department that the Zoning Administrator approve a Minor Design Review Permit to allow various equipment modifications and installations for an existing telecommunications facility located at 1700 Hoen Avenue.

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