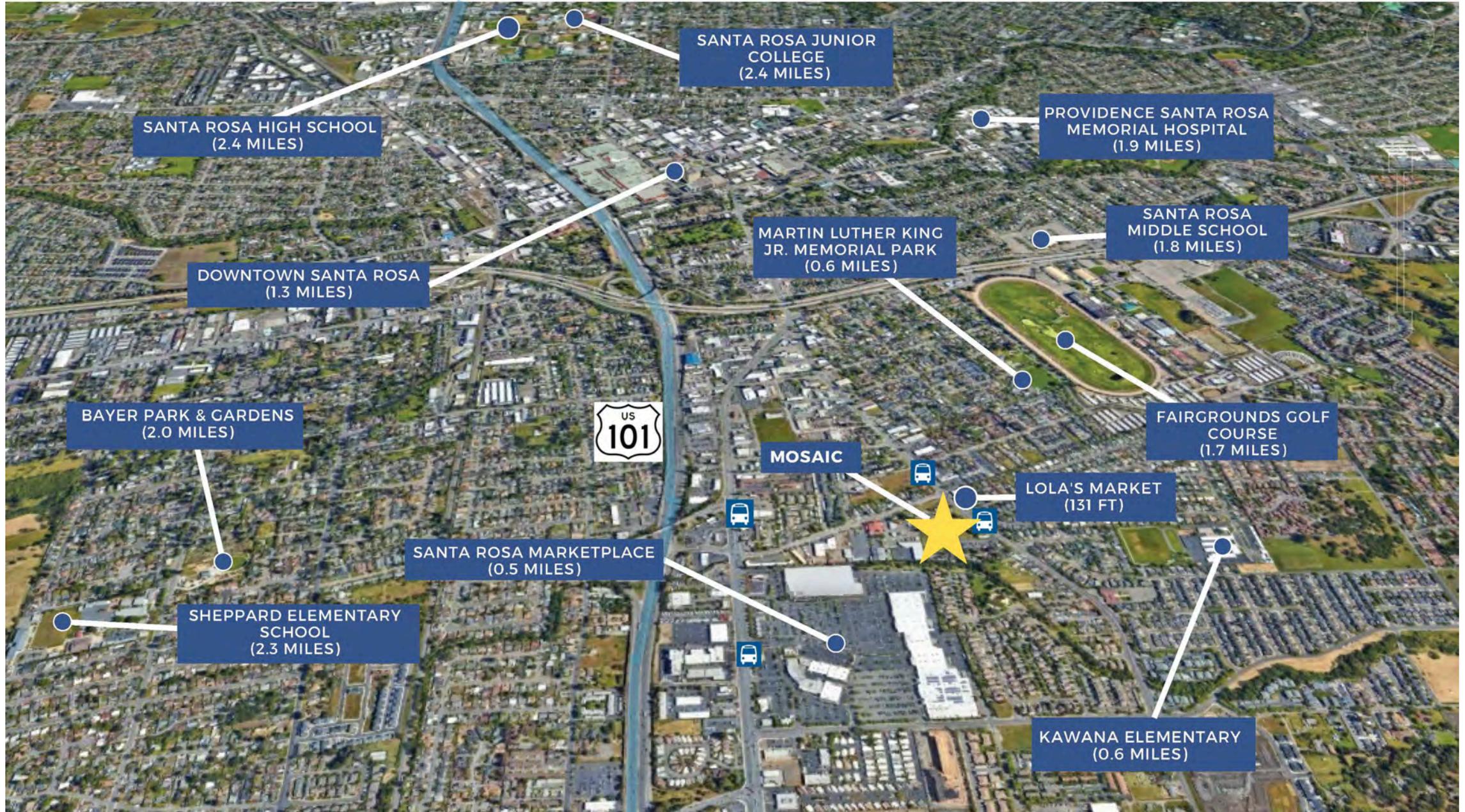


Mosaic Apartments



1683 – 1775 Petaluma Hill Road
Santa Rosa, CA

Proximity to Important Services



Showing the more immediate surroundings



Current Views of the Property



Looking east to Petaluma Hill Road. Property outlined in yellow. Apartments to the South

Current Views of the Property



View looking South from Colgan Ave

Current Views of the Property



View traveling North along Petaluma Hill Rd.

Current Views of the Property



Traveling further North along Petaluma Hill Rd. Property to the left

Landscape Plan Presentation



SITE CONCEPT LEGEND

	Asphalt Paving of Road		Play Area Surfacing
	Concrete Paving		4'-0" High Decorative Fence of Play Area
	Permeable Paving		Outdoor Ping Pong Table
	Site Planting		Poolside Furniture
	Glass Fence and Gate at Pool Area		Concrete Seating Pebbles
	New Street Tree		Concrete Seat Walls
	New Shade & Mitigation Trees		6'-0" High Solid Vinyl Perimeter Fence
	New Pool Area Trees		Pole Lights
	New Accent Tree		Bioretention Area
			Colored Asphalt Crosswalks

SITE PLAN CALLOUTS

1	Pool Area	Outdoor Game Tables and Seating
2	Spa Area	Seating, Pebble Seating, and Sensory Planting
3	6'-0" Stucco Wall at Pool Area, Color T.B.D.	Entry Patio
4	Teen Area with Outdoor Ping Pong Table and Seating	Play Area
		Decorative Fence at Pool
		Gate, Color TBD
		Seating

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IRRIGATION CONCEPT & STATEMENT OF COMPLIANCE

All irrigation and planting design will comply with the criteria of the California Water Resources Model Water Efficient Landscape Ordinance and will apply them for the efficient use of water in the landscape design plan.

- Weather based, self-adjusting irrigation controller with a weather sensor.
- Efficient irrigation systems (e.g., drip irrigation) and low flow fixtures.
- Fixtures to be placed on secondary valves.
- Valves to be placed on the inlet or outlet of connection and before each valve in manifold.
- Pressure regulation to be installed.
- Secondary valves to be installed to irrigate zones of medium and low water use plantings.
- Check valves will be installed to prevent low point drainage.

TREE MITIGATION

TREE MITIGATION SUMMARY Existing trees to be removed

Native trees to mitigate: 207 inches = 149.24 San Diego Redwoods to be Quantified/Retained/Offset
Quercus wislizenii (White Oak) and Quercus macrocarpa (Redwood)

Non-native trees to mitigate: 227 = 174.0 (1) Offset replacements, species to be a combination of ornamental street trees, shade trees and accent trees as shown on the planting legend

*Native trees (not shown) that overlying the project site are to be protected per Santa Rosa City Tree Ordinance. See project report for more information.



June 2023

Petaluma Hill Road
Santa Rosa, CA

Concept Site Design

L1.0

CONCEPT SITE DESIGN



SITE CONCEPT LEGEND

	Asphalt Paving at Road		Play Area Surfacing
	Concrete Paving		4'-0" High Decorative Fence at Play Area
	Speciality Concrete Paving		Outdoor Ping Pong Table
	Permeable Paving		Poolside Furniture
	Site Planting		Concrete Seating Pebbles
	Glass Fence and Gate at Pool Area		Concrete Seat Walls
	New Street Tree		6'-0" High Solid Vinyl Perimeter Fence
	New Shade & Mitigation Trees		Pole Lights
	New Pool Area Trees		Bioretention Area
	New Accent Tree		Colored Asphalt Crosswalks

SITE PLAN CALLOUTS

- 1 Pool Area
- 2 Spa Area
- 3 6'-0" Stucco Wall at Pool Area; Color T.B.D.
- 4 Teen Area with Outdoor Ping Pong Table and Seating
- 5 Teen Area with Outdoor Game Tables and Seating
- 6 Play Area with Boulders, Pebble Seating, Rubber Surfacing and Sensory Planting
- 7 Bioretention Area
- 8 Trash Enclosure
- 9 Private Patio Area, typical
- 10 Sitting Area and Entry Patio
- 11 Pet Relief & Sitting Area
- 12 6'-0" Transparent Decorative Fence at Pool
- 13 6'-0" CMU Block Wall, Color TBD
- 14 Short Term Bike Parking

IRRIGATION CONCEPT & STATEMENT OF COMPLIANCE

All irrigation and planting design will comply with the criteria of local and state Water Resources Model Water Efficient Landscape Ordinances and will apply them for the efficient use of water in the landscape design plan.

- Weather based, self-adjusting irrigation controller with a weather sensor.
- Emitters to include subsurface drip irrigation and tree bubblers.
- Trees to be placed on separate valves.
- Isolation valves to be installed at point of connection and before each valve or manifold.
- Pressure regulation to be installed.
- Separate valves to be installed to irrigate zones of medium and low water use plantings.
- Check valves will be installed to prevent low point drainage.

TREE MITIGATION

TREE MITIGATION SUMMARY Existing Tree to be Removed

Native trees to mitigate: 267 inches = (45) 24" Box trees, Native species to be Quercus lobata/Valley Oak, Quercus wislizeni/Interior Live Oak and Albicinus menziesii/Pacific Madrone.

Non-Native trees to mitigate: 222" = (74) 15 Galton replacements, species to be a combination of ornamental street tree, shade tree and accent tree as shown on the planting legend.

*Offsite trees (not shown) that overhanging the project site are to be protected per Santa Rosa City Tree Ordinance. See arborist report for more information.

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June 2023

Petaluma Hill Road
 Santa Rosa, CA

Concept Site Design

L1.0

CONCEPT SITE DESIGN



POOL AND TEEN AREA ENLARGEMENT



SITE CONCEPT LEGEND

	Asphalt Paving at Road		Play Area Surfacing
	Concrete Paving		4'-0" High Decorative Fence at Play Area
	Speciality Concrete Paving		Outdoor Ping Pong Table
	Permeable Paving		Poolside Furniture
	Site Planting		Concrete Seating Pebbles
	Glass Fence and Gate at Pool Area		Concrete Seat Walls
	New Street Tree		6'-0" High Solid Vinyl Perimeter Fence
	New Shade and Mitigation Trees		Pole Lights
	New Pool Area Trees		Bioretention Area
	New Accent Tree		Colored Asphalt Crosswalks



PET RELIEF AND SITTING AREA



PLAY AREA AND PET RELIEF/SITTING AREA



SITE PLAN CALLOUTS

- 1 Pool
- 2 Spa
- 3 6'-0" Stucco Wall at Pool Area; Color T.B.D.
- 4 Teen Area with Outdoor Ping Pong Table and Seating
- 5 Teen Area with Outdoor Game Tables and Seating
- 6 Play Area with Pebble Seating, Poured in Place Rubber Surfacing and Sensory Planting
- 7 Private Patio Area, typical
- 8 Pool Equipment Building
- 9 Bike Parking
- 10 Covered Outdoor Kitchen and TV Lounge Area
- 11 Outdoor BBQ and Counter
- 12 Covered Lounge Area with Outdoor Fire Place
- 13 6'-0" High Transparent Decorative Fence at Pool
- 14 Glass Fence and Gate Entrance to Pool
- 15 3 SHORT TERM BIKE RACKS (6 SPACES)

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June 2023

Petaluma Hill Road
Santa Rosa, CA

Site Plan - Enlargements

L1.1

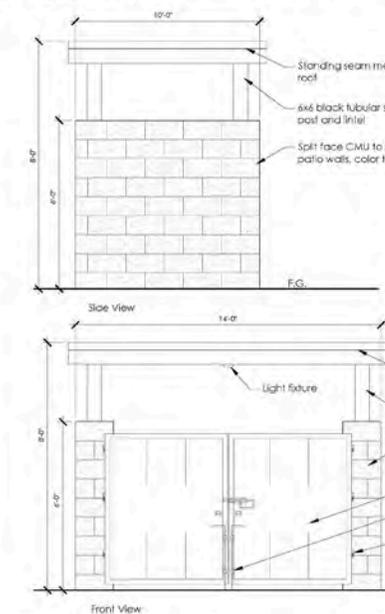
CANDIDATE PLANT LIST

Botanical Name	Common Name	HxW	Spacing	Water Use	Site
Trees: Street					
<i>Fraxinus halimifolia</i> 'Marbine'	Marbine Ash	40x40	Per Plan	Medium	15 Gal
<i>Ginkgo biloba</i> 'Autumn Gold'	Autumn Gold Ginkgo	40x30	Per Plan	Medium	15 Gal
<i>Platanus x. Hispanica</i> 'Bloodgood'	Bloodgood Plane Tree	40x30	Per Plan	Medium	15 Gal
Trees: Shade & Mitigation					
<i>Abutilon menziesii</i>	Pacific Madrone	25x25	Per Plan	Low	24' Box
<i>Cercidiphyllum japonicum</i>	Katsura Tree	40x25	Per Plan	Medium	24' Box
<i>Nyssa sylvatica</i>	Tupelo	45x45	Per Plan	Medium	24' Box
<i>Quercus laevis</i>	Valley Oak	40x60	Per Plan	Low	24' Box
<i>Quercus coccinea</i>	Scarlet Oak	40x60	Per Plan	Medium	24' Box
<i>Quercus wislizeni</i>	Inferior Live Oak	40x60	Per Plan	Low	24' Box
<i>Ulmus parviflora</i> 'Drake'	Drake Elm	45x40	Per Plan	Low	24' Box
<i>Zelkova serrata</i> 'Village Green'	Sawleaf Zelkova	50x50	Per Plan	Medium	24' Box
Trees: Small/Accent					
<i>Acer buergerianum</i>	Japan Maple	20x40	Per Plan	Medium	15 Gal
<i>Calopogon tenuiflorus</i> 'Festigiata'	Pyramidal Hornbeam	20x40	Per Plan	Medium	15 Gal
<i>Chilodactylus linearis</i>	Desert Willow	20x20	Per Plan	Low	15 Gal
<i>Chionanthus retusus</i>	Chinese Fringe Tree	10x8	Per Plan	Medium	15 Gal
<i>Chilodactylus linearis</i>	Chilodactylus Tree	20x20	Per Plan	Low	15 Gal
<i>Cornus florida</i> 'Eddie's White Wonder'	Dogwood Tree	20x20	Per Plan	Medium	15 Gal
<i>Viburnum chinensis</i>	Chinese Tree	10x15	Per Plan	Low	15 Gal
Trees: Accent at Pool Area					
<i>Citrus Meyer Lemon</i>	Meyer Lemon Tree	8'x8'	Per Plan	Medium	15 Gal
<i>Citrus aurantium</i>	Bears Lime Tree	8'x8'	Per Plan	Medium	15 Gal
<i>Olea europaea</i> 'Frantz Fullness'	Frantz Fullness Olive	20x20	Per Plan	Very Low	24' Box
Shrubs: Site					
<i>Asplenium latifolium</i> 'breweri'	Brewer's Sill Bush	6'x6'	Per Plan	Low	5 Gal
<i>Arctostaphylos 'Newland McClure'</i>	Newland McClure	4'x4'	Per Plan	Low	5 Gal
<i>Berberis aquifolium</i> var. <i>repens</i>	Creeeping Oregon Grape	2'x4'	Per Plan	Low	5 Gal
<i>Callistemon citrinus</i> 'Little John'	Dwarf Bottle Brush	3'x3'	Per Plan	Low	5 Gal
<i>Ceanothus griseus</i> 'Yankee Point'	CA Lilac	3'x3'	Per Plan	Low	5 Gal
<i>Carpinus californica</i> 'Pink Champagne'	Smoke Bush	3'x3'	Per Plan	Low	5 Gal
<i>Elaeagnus argentea</i>	St. Catherine's Lace	4'x4'	Per Plan	Low	5 Gal
<i>Grevillea 'Supurb'</i>	Grevillea	4'x4'	Per Plan	Low	5 Gal
<i>Olea europaea</i> 'Morinda'	Little Olive/Dwarf Olive	3'x3'	Per Plan	Low	5 Gal
<i>Phytolacca spiculifolia</i> 'Morita'	Dwarf Purple Honeysuckle	3'x3'	Per Plan	Low	5 Gal
<i>Punica granatum</i> 'Nana'	Dwarf Pomegranate	3'x3'	Per Plan	Low	5 Gal
<i>Rhamnus californica</i> 'Mount San Bruno'	CA Coffeeberry	6'x6'	Per Plan	Low	5 Gal
<i>Ribes sanguineum</i> 'Claremont'	Claremont Flowering Currant	4'x8'	Per Plan	Low	5 Gal
<i>Vaccinium ovatum</i>	Evergreen Huckleberry	4'x4'	Per Plan	Low	5 Gal
Perennials, Grasses & Succulents: Site					
<i>Agave x. Blue Rains</i>	Blue Flame Agave	4'x4'	Per Plan	Low	5 Gal
<i>Beschorneria y.</i> 'Flamingo Glow'	Beschorneria	4'x4'	Per Plan	Low	1 Gal
<i>Dianella revoluta</i> 'Little Rev'	Dianella	3'x3'	Per Plan	Low	1 Gal
<i>Grevillea lanigera</i> 'Prostrate'	Prostrate Woolly Grevillea	1'x4'	Per Plan	Low	1 Gal
<i>Hesperaloe parviflora</i> 'Yellow'	Yellow Yucca	2'x4'	Per Plan	Low	1 Gal
<i>Lomatium longifolium</i> 'Prismum Beauty'	Prismum Beauty Mat Bush	3'x3'	Per Plan	Low	5 Gal
<i>Mahonia Soft Carex</i>	Oregon Grape	3'x3'	Per Plan	Low	5 Gal
<i>Munierbergia dubia</i>	Pine Mulberry Grass	4'x4'	Per Plan	Low	1 Gal
<i>Perovskia atriplicifolia</i>	Russian Sage	4'x4'	Per Plan	Low	1 Gal
<i>Polystichum munifolium</i>	Western Sword Fern	4'x4'	Per Plan	Medium	5 Gal
<i>Salvia sieboldiana</i> 'Wendland Gilman'	Cleveland Sage	3'x3'	Per Plan	Low	1 Gal
<i>Sedum spectabile</i> 'Autumn Joy'	Autumn Joy Sedum	2'x2'	Per Plan	Low	1 Gal
<i>Teucrium chamaedrys</i>	Germander	18"x18"	Per Plan	Low	1 Gal
<i>Verbena bonariensis</i>	Purpletop Verbena	2'x2'	Per Plan	Very Low	1 Gal
<i>Yucca glauca</i> 'Bright Star'	Yellow Spanish	2'x2'	Per Plan	Low	1 Gal
<i>Zauschneria californica</i> 'Catalina'	California Fuchsia	2'x2'	Per Plan	Low	1 Gal
Groundcovers: Site					
<i>Acacia dealbata</i> 'Desert Carpet'	Bank Catalpa	2'x2'	Per Plan	Low	1 Gal
<i>Arctostaphylos x. 'Pacific Mist'</i>	Pacific Mist Manzanita	1'x4'	Per Plan	Low	1 Gal
<i>Elaeagnus fasciculatum</i> 'Walter Lytle'	Warmer Lytle Buckwheat	1'x4'	Per Plan	Low	1 Gal
Vines: Site					
<i>Clematis amaranth</i>	Evergreen Clematis	10'-20'	Per Plan	Medium	5 Gal
<i>Celastrum sempervirens</i>	Celastrus Jasmine	10'-15'	Per Plan	Medium	5 Gal
<i>Hardenbergia violacea</i>	Utah Vine	10'-15'	Per Plan	Medium	5 Gal
<i>Parthenocissus tricuspidata</i>	Boston Ivy	10'-15'	Per Plan	Medium	5 Gal
Stormwater L.I.D. Planting Areas					
<i>Achillea millefolium</i>	Common Yarrow	3'x3'	3' O.C.	Low	1 Gal
<i>Calamagrostis 'Karl Foerster'</i>	Feather Reed Grass	2'x4'	3' O.C.	Medium	1 Gal
<i>Carex oshana</i>	Serkelley Sedge	3'x3'	3' O.C.	Low	1 Gal
<i>Chondropetalum tectorum</i>	Cape Rush	3'x3'	3' O.C.	Low	1 Gal
<i>Elymus condensatus</i> 'Canyon Prince'	Canyon Prince Wild Rye	3'x3'	3' O.C.	Low	1 Gal
<i>Eriochloa californica</i>	California Poppy	1'x1'	1' O.C.	Low	4 Gal
<i>Gaura filifolia</i> 'Blue'	Silk Tassel	8'x8'	8' O.C.	Low	1 Gal
<i>He deuglossiana</i>	Douglas Iris	2'x2'	2' O.C.	Low	1 Gal
<i>Juncus pallens</i> 'Ik Blue'	Spreading Rush	3'x3'	3' O.C.	Low	1 Gal
<i>Ribes sanguineum</i> 'White Icicle'	White Flowering Currant	6'x6'	6' O.C.	Low	1 Gal
<i>Sotoloba douglasii</i>	Neira Buena	1'x2'	3' O.C.	Low	1 Gal

MAWA CALCULATIONS



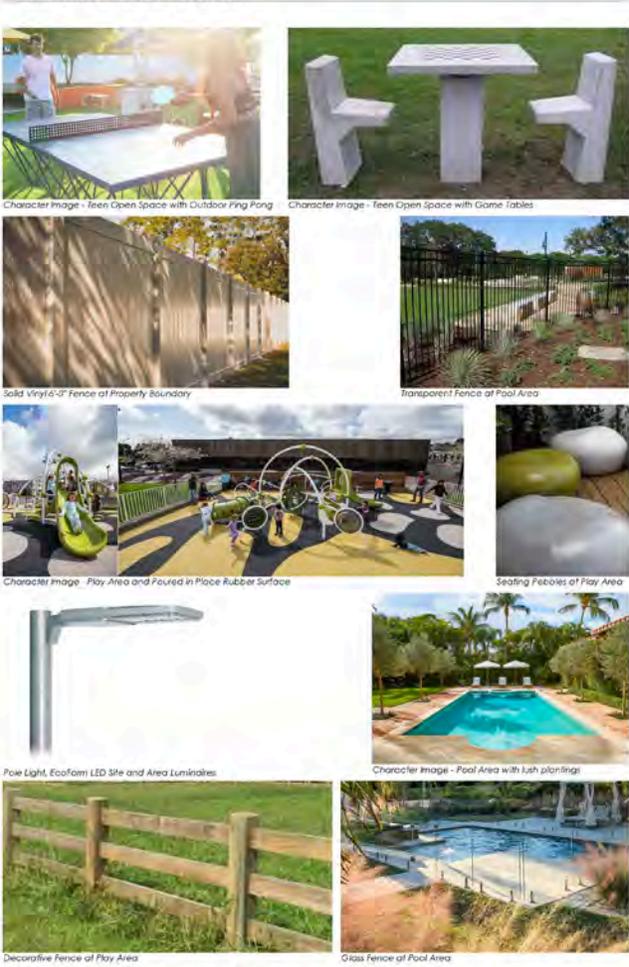
The EMU (444,684) is less than MAWA (487,174). Therefore this design complies with the California Code of Regulations Title 23, Water - Model Efficient Landscape Ordinance. See Sheet L1.0 for Irrigation Concept.



1 TRASH ENCLOSURE ELEVATION

SCALE: 1/2"=1'-0"

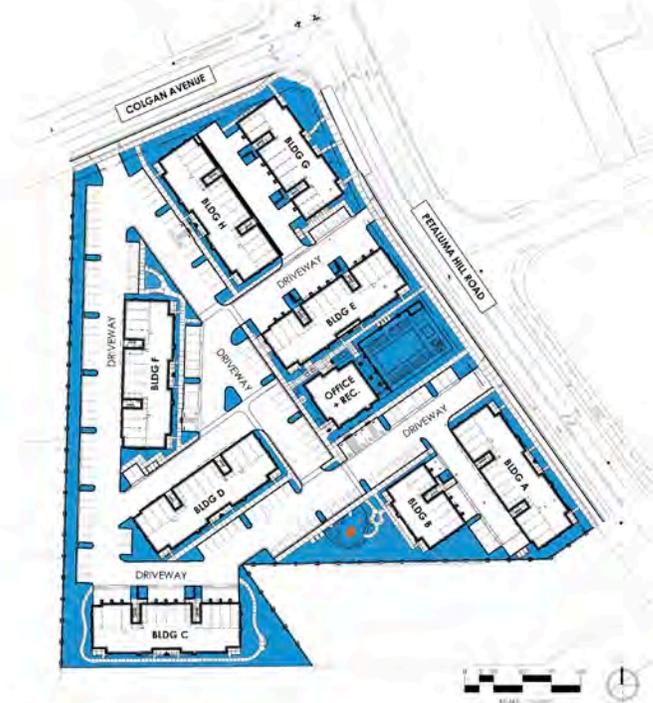
CHARACTER IMAGES



Short Term Bike Parking
Model Post and Ring
Manufacturer: Maxtrax Bike Rack
Items: 7 total racks = 14 parking spaces
15% of 140 vehicular parking spaces = 7 short term bike parking exceeds requirements

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June 2023
Petaluma Hill Road
Santa Rosa, CA
Planting Palette, Irrigation Calc's
and Images
L1.2



OPEN SPACE (less buildings, parking, driveways, and accessible paths)
51,166 square feet of Open Space



SITE PLANTED AREA
44,663 square feet (87% of Open Space)



TOTAL COMMON OPEN SPACE - 15,706 square feet
All Ages Common Area: 5,579 square feet
Teen Area: 1,781 square feet
Child Play Area (ages 5 and under): 1,294 square feet

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June 2023

Petaluma Hill Road
 Santa Rosa, CA
 Open Space Diagram

L1.3

Architectural Presentation



McKinley | Longstaff

Architecture ▲ Planning

3914 Murphy Canyon Rd. Ste A107, San Diego, CA 92123

Front Rendering

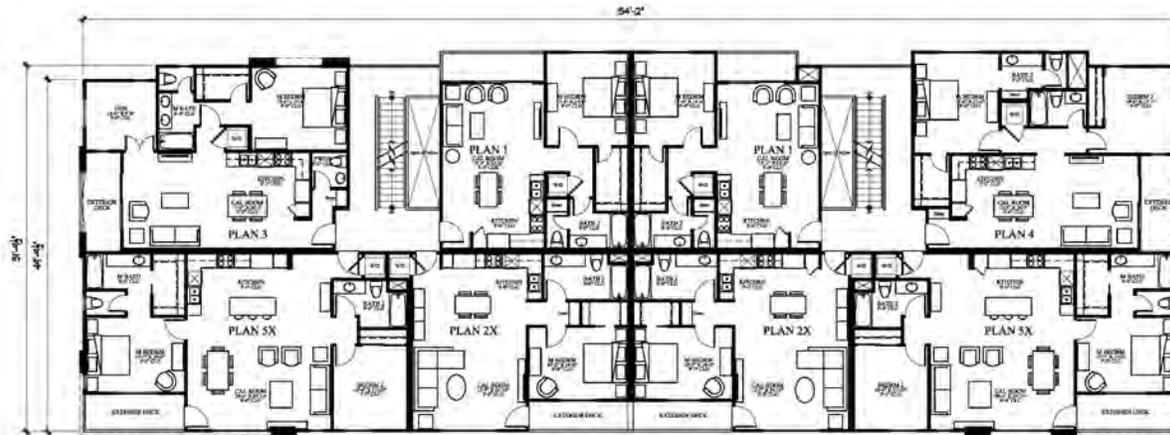


Rear Side Rendering



Recreation Building Rendering





2ND BUILDING PLAN

1/8"=1'-0"



1ST FLOOR BUILDING PLAN

1/8"=1'-0"

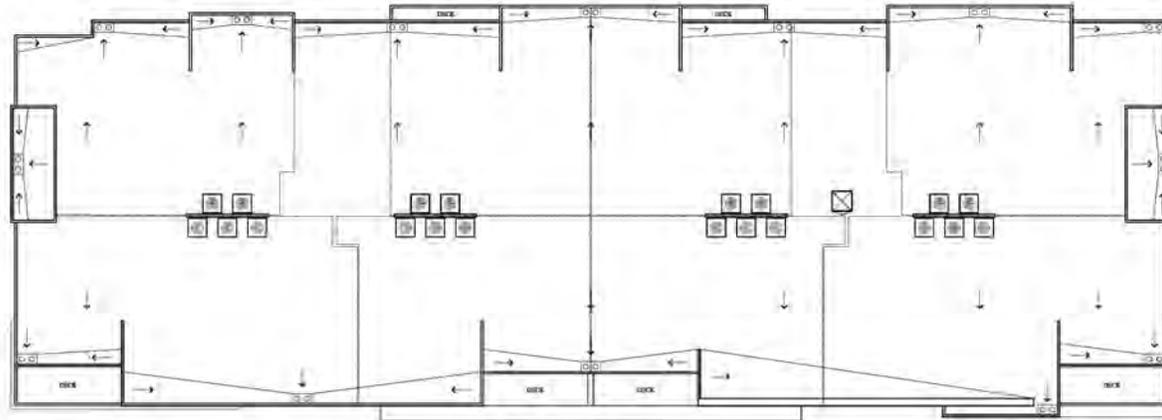
20-PLEX APARTMENT BUILDING
 PETALUMA HILL ROAD, SANTA ROSA
 McKellarMcGowan



SEPTEMBER 01, 2022

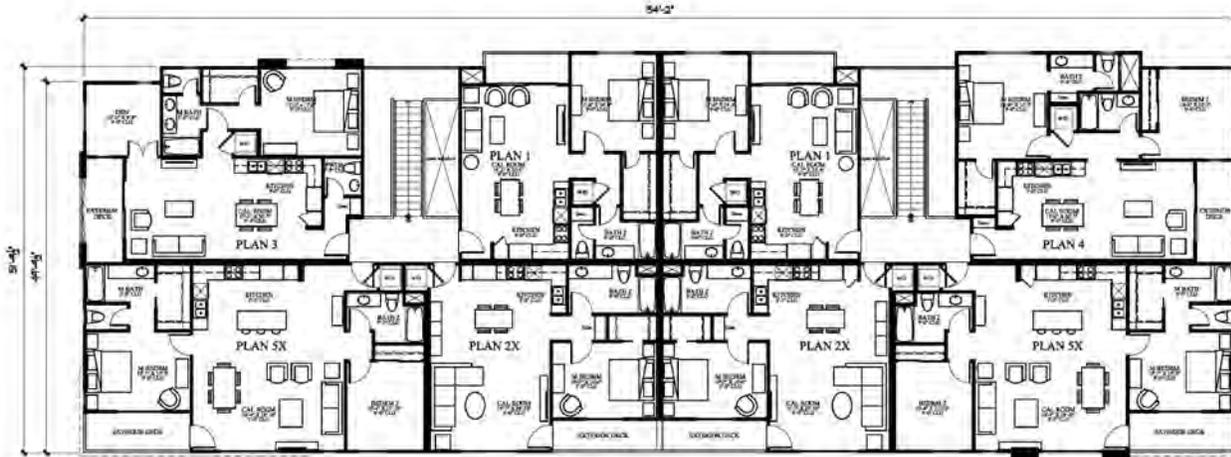
PROJECT UNIT MIX

PLAN 1	34	1 Br/1Ba	690 S.F.
PLAN 2	15	1 Br/1Ba	767 S.F.
PLAN 2X	34	1 Br/1Ba	767 S.F.
PLAN 4	26	2 Br/2Ba	947 S.F.
PLAN 5	12	2 Br/2Ba	1080 S.F.
PLAN 5X	26	2 Br/2Ba	1080 S.F.
TOTAL	147		



ROOF PLAN

1/8"=1'-0"

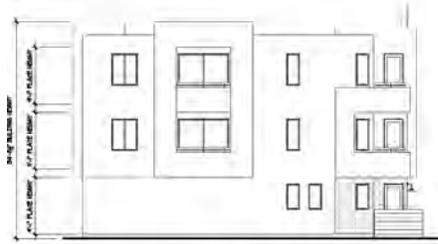


3RD BUILDING PLAN

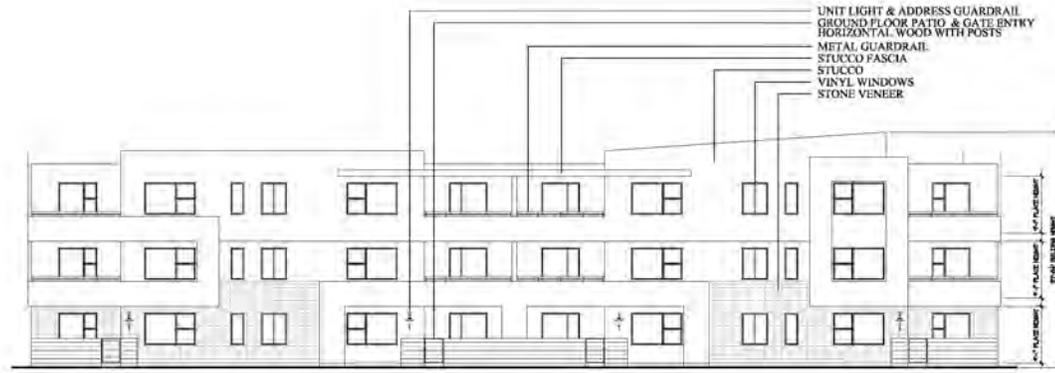
1/8"=1'-0"

20-PLEX APARTMENT BUILDING
 PETALUMA HILL ROAD, SANTA ROSA
 McKellarMcGowan

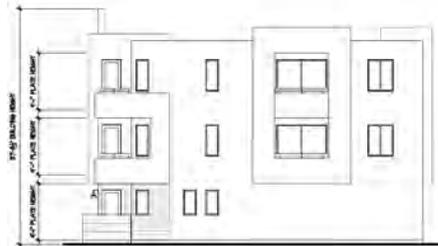




LEFT SIDE ELEVATION
1/8"=1'-0"



FRONT ELEVATION
1/8"=1'-0"



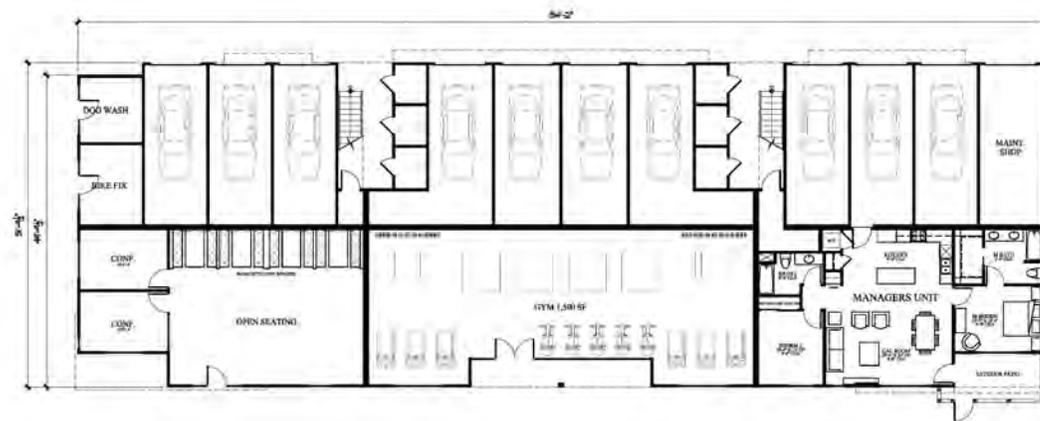
RIGHT SIDE ELEVATION
1/8"=1'-0"



REAR ELEVATION
1/8"=1'-0"

20-PLEX APARTMENT BUILDING
PETALUMA HILL ROAD, SANTA ROSA
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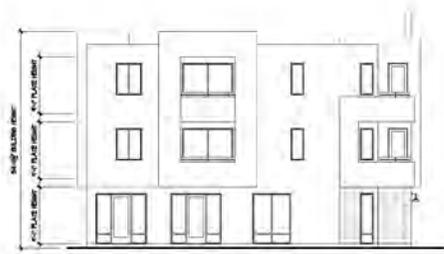


1ST FLOOR BUILDING PLAN

1/8"=1'-0"
SEE SHEETS A.1 & A.2 FOR 2ND FLOOR, 3RD FLOOR AND ROOF PLAN

17-PLEX APARTMENT BUILDING
PETALUMA HILL ROAD, SANTA ROSA
 McKellarMcGowan

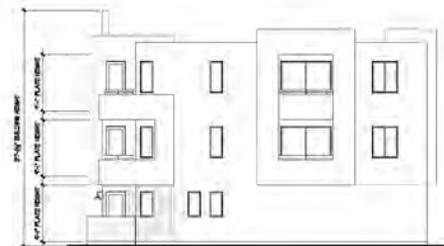




LEFT SIDE ELEVATION
1/8"=1'-0"



FRONT ELEVATION
1/8"=1'-0"



RIGHT SIDE ELEVATION
1/8"=1'-0"

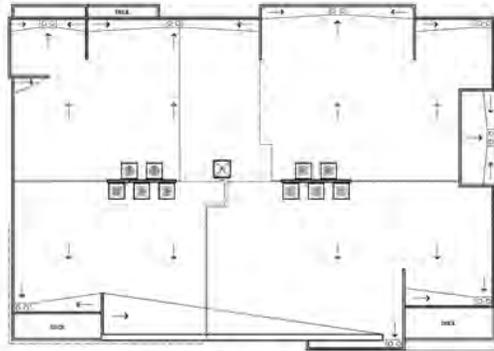


REAR ELEVATION
1/8"=1'-0"

17-PLEX APARTMENT BUILDING
PETALUMA HILL ROAD, SANTA ROSA
McKellarMcGowan



SEPTEMBER 01, 2022



ROOF PLAN

18'-11/4"



3RD FLOOR BUILDING PLAN

18'-11/4"



2ND BUILDING PLAN

18'-11/4"



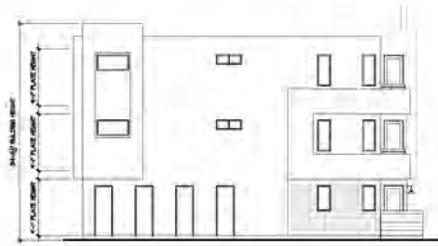
1ST FLOOR BUILDING PLAN

18'-11/4"

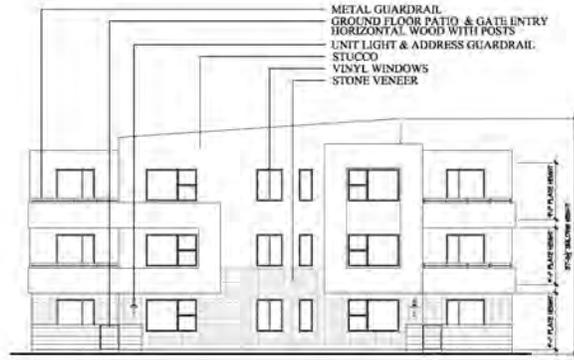
10-PLEX APARTMENT BUILDING
 PETALUMA HILL ROAD, SANTA ROSA
 McKellarMcGowan



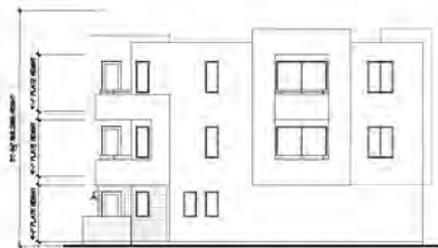
SEPTEMBER 01, 2022



LEFT SIDE ELEVATION
1/8"=1'-0"



FRONT ELEVATION
1/8"=1'-0"



RIGHT SIDE ELEVATION
1/8"=1'-0"

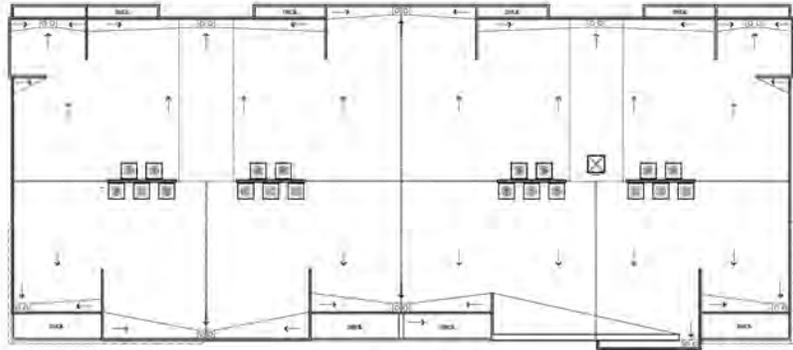


REAR ELEVATION
1/8"=1'-0"

10-PLEX APARTMENT BUILDING
PETALUMA HILL ROAD, SANTA ROSA
McKellarMcGowan

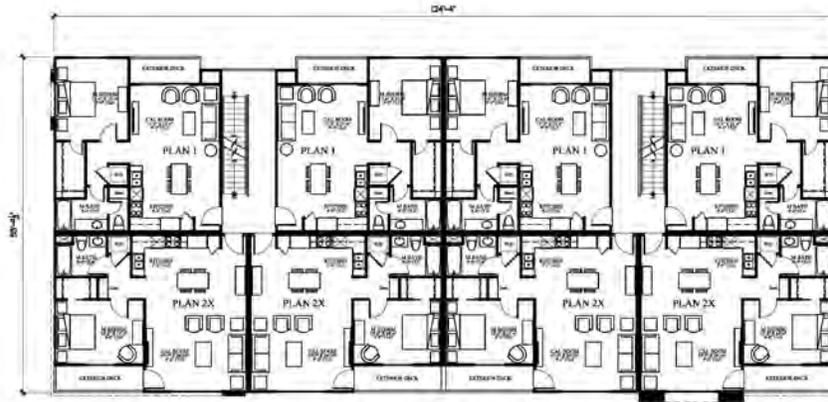


SEPTEMBER 01, 2022



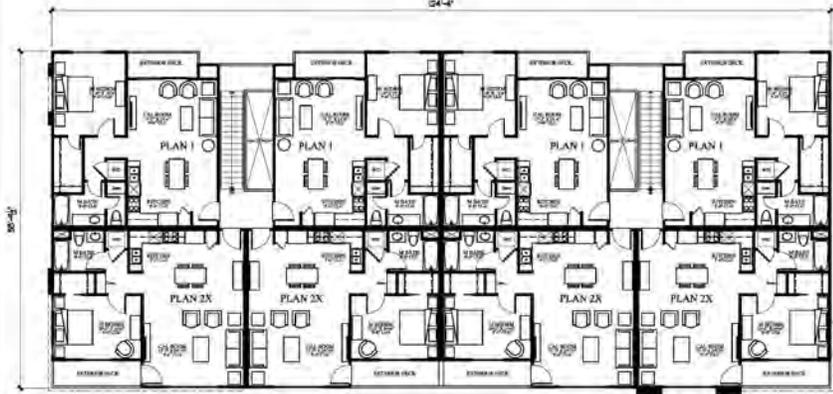
ROOF PLAN

1/8"=1'-0"



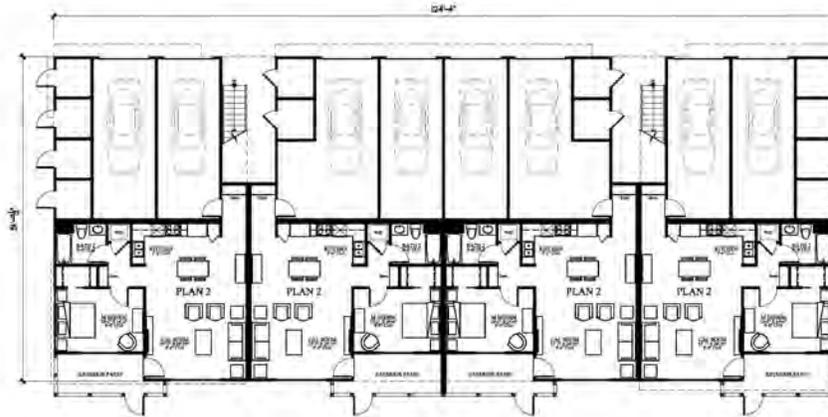
2ND BUILDING PLAN

1/8"=1'-0"



3RD FLOOR BUILDING PLAN

1/8"=1'-0"

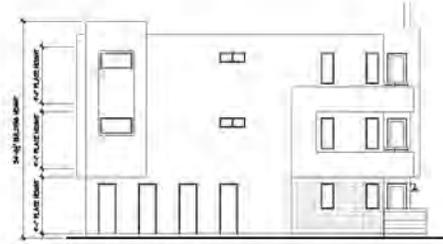


1ST FLOOR BUILDING PLAN

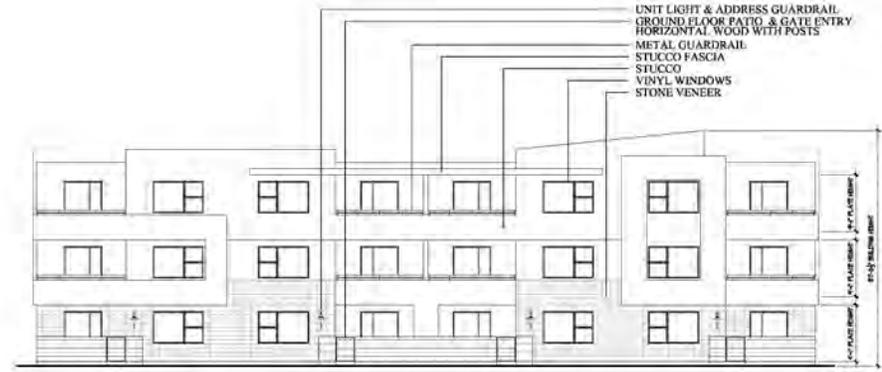
1/8"=1'-0"

ALT 20-PLEX APARTMENT BUILDING
 PETALUMA HILL ROAD, SANTA ROSA
 McKellarMcGowan

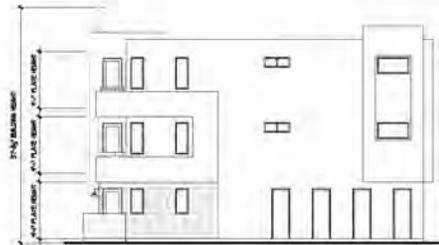




LEFT SIDE ELEVATION
1/8"=1'-0"



FRONT ELEVATION
1/8"=1'-0"



RIGHT SIDE ELEVATION
1/8"=1'-0"

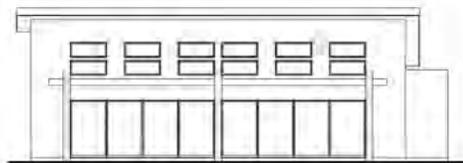
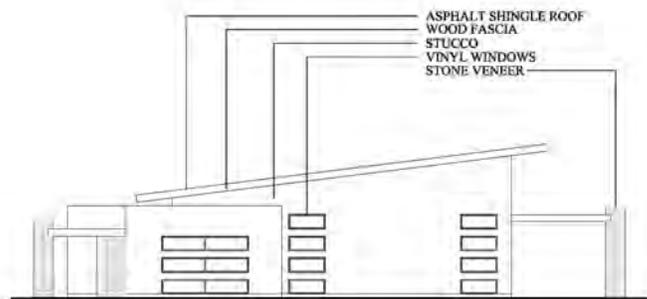
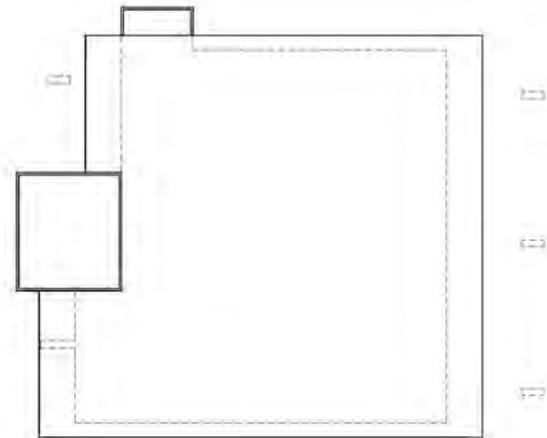
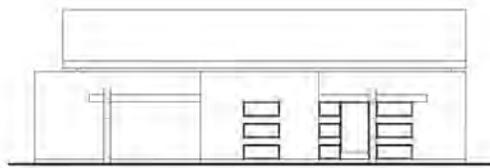
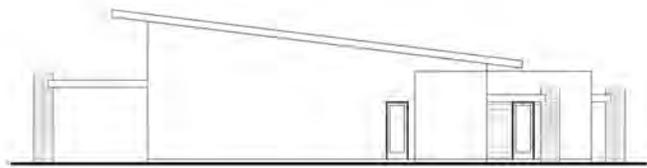


REAR ELEVATION
1/8"=1'-0"

ALT 20-PLEX APARTMENT BUILDING
PETALUMA HILL ROAD, SANTA ROSA
McKellarMcGowan



SEPTEMBER 01, 2022

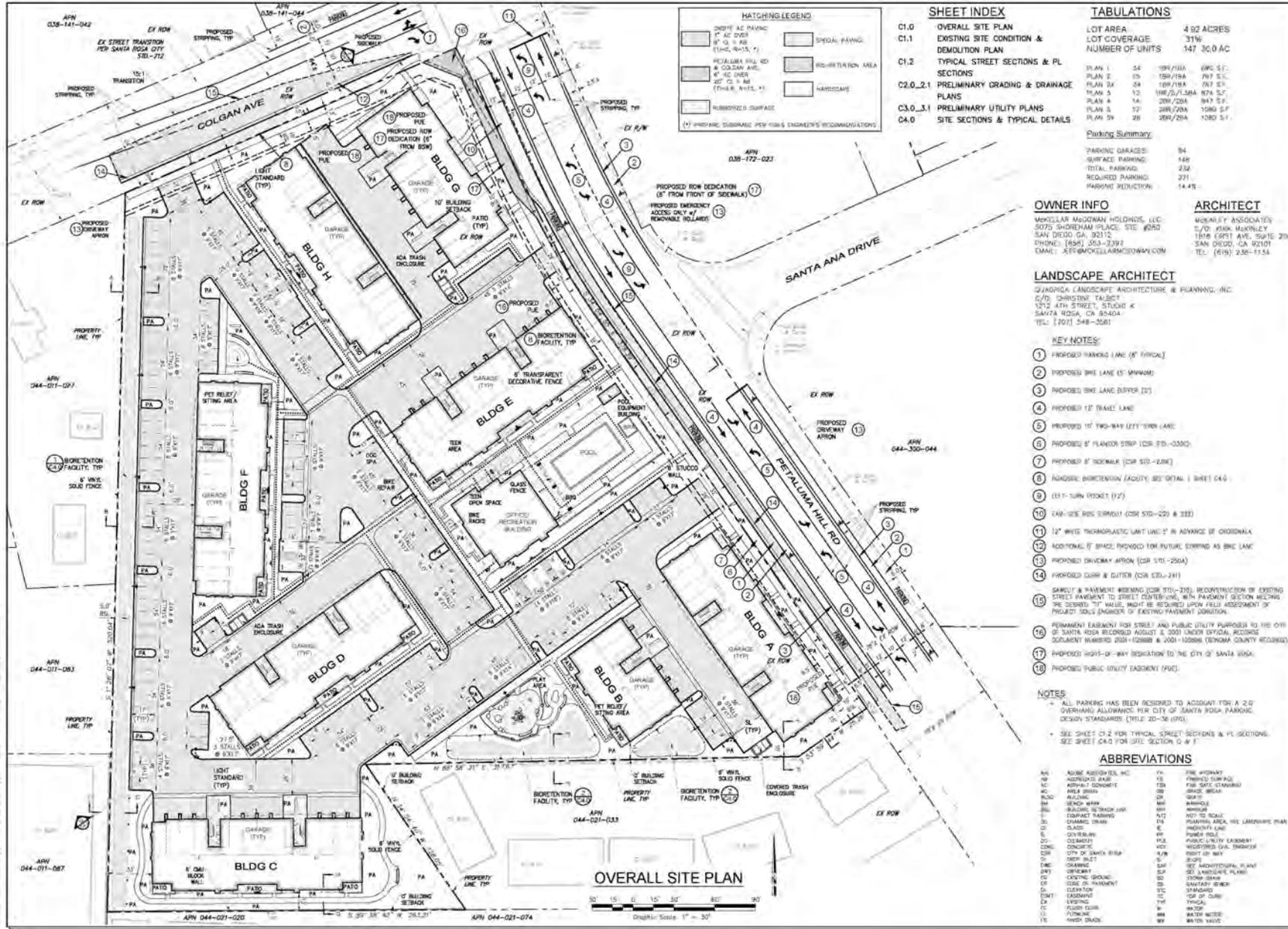


RECREATION BUILDING
PETALUMA HILL ROAD, SANTA ROSA
McKellarMcGowan



SEPTEMBER 01, 2022

Improvement Plans



Thank You



MCKELLAR MCGOWAN

REAL ESTATE DEVELOPMENT

Appendix

Project Description

Unit Mix:

- 83 – 1BR/1BA
- 12 – 1BR/1.5BA
- 52 – 2BR/2BA

Parking:

- Attached Single Garages* 84
- Surface 148
- Total 232
- Required by Zone 271
- Minor Adjustment Request 14.4%

*Garages face inward and away from public streets

Access:

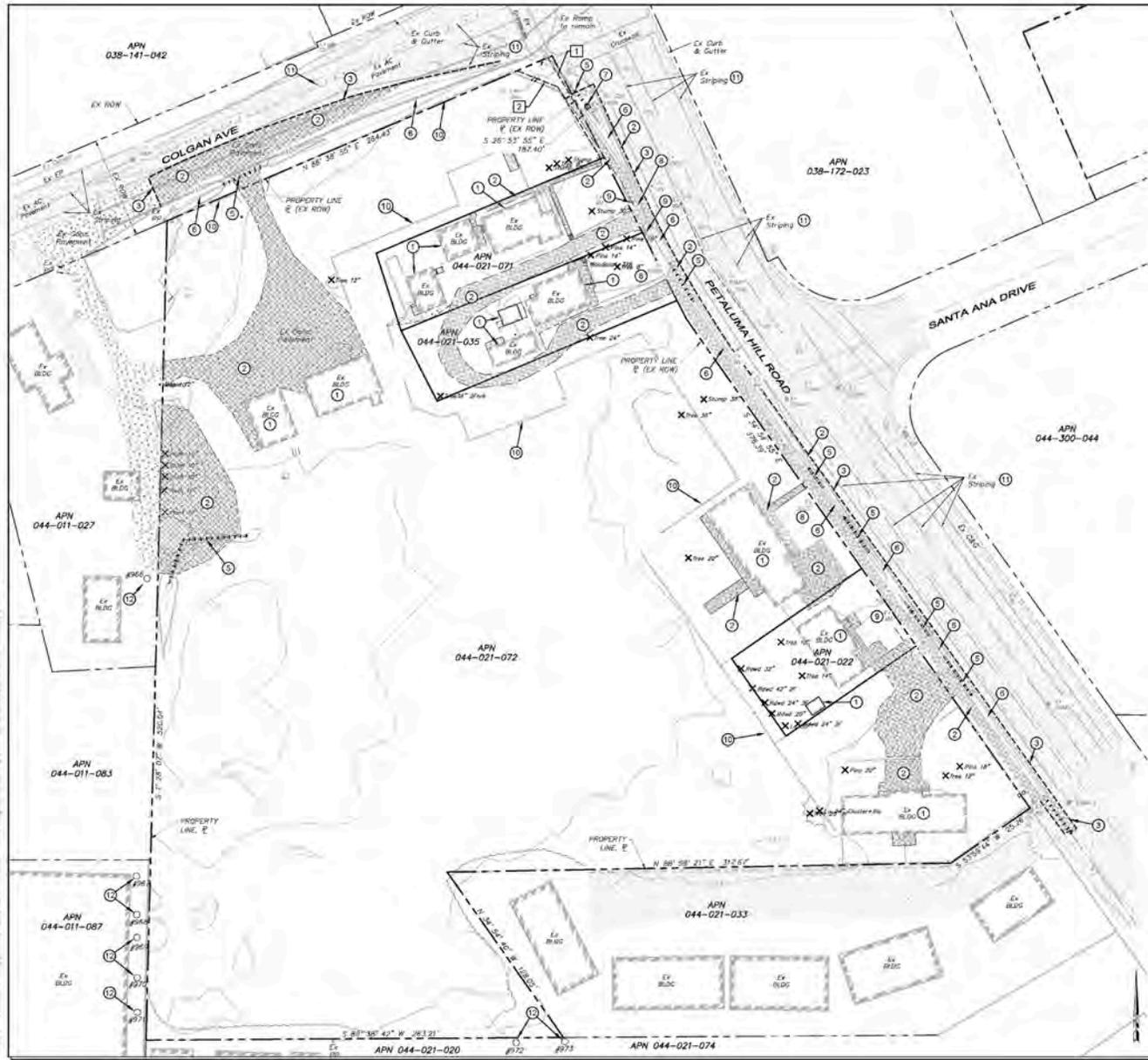
There are 2 driveways, one from Petaluma Hill Road and one from Colgan Ave, with an additional emergency access on Petaluma Hill Rd.

Amenities:

- State of the Art Recreation Building
 - Full Kitchen
 - Ample Seating
 - Workstations
 - Fireplace
 - Gathering Areas & Outdoor Seating
 - Large Screen TVs
 - Conference Rooms
 - Fully Equipped Gym
- BBQ Area with Gas Grills for Outdoor Cooking
- Swimming Pool & Spa with Chairs & Lounges
- Dog Washing Room
- Bike Repair Room
- Tot Lot and Play Area
- Teen Gathering Area

Type of Construction:

- Type V One Hour
- Slab on Grade Floors
- 13R Sprinkler Systems



DEMOLITION TABLE *

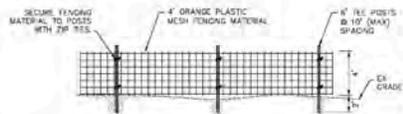
SYMBOL	DEMOLITION FEATURE
①	REMOVE EXISTING BUILDING/STRUCTURE
②	REMOVE EXISTING ASPHALT/CONCRETE
③	SAWTOOTH LINE
④	REMOVE EX CURB, GUTTER OR AC BERM
X	REMOVE EX TREE (32 COUNT)
⑤	REMOVE EX STORMDRAIN
⑥	REMOVE EX ROADSIDE DITCH
⑦	REMOVE EX (DAP)-INLET/CATCH BASIN
⑧	REMOVE EX SEWER SERVICE PER CITY STANDARDS
⑨	REMOVE WATER LINE & FEATURES. EXISTING WATER SERVICE SHALL BE ABANDONED AT WATER MAIN PER CITY STANDARDS
⑩	REMOVE EXISTING FENCE
⑪	REMOVE/REPLACE EX STRIPE & PAVEMENT MARKING (SEE PUBLIC IMPROVEMENT PLANS)
⑫	TREE NUMBERS 966 THRU 973 APPEAR TO LOCATE ON NEIGHBORING PROPERTIES. LOCATIONS TO BE FIELD VERIFIED AND TREE PROTECTION TO BE DEPLOYED AS NECESSARY PER ARBORIST REPORT & TREE PROTECTION DETAIL 1 HEREON.

* CONTRACTOR TO VERIFY QUANTITIES PRIOR TO CONSTRUCTION

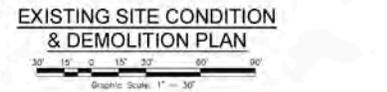
UTILITY REMOVAL & ABANDONMENT.
 * REMOVAL AND ABANDONMENT OF EXISTING UTILITIES SHALL BE DONE PER CITY STANDARDS.
 * ALL UNUSED SEWER AND WATER SERVICES MUST BE ABANDONED AT THE MAIN PER CITY STANDARDS.

TREE PROTECTION NOTES.
 1 ALL EXISTING TREES ARE TO BE RETAINED AND PROTECTED UNLESS MARKED TO BE REMOVED.
 2 CONTRACTORS TO INSTALL TREE PROTECTION FENCING PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITY IN THE AREA.
 3 FENCING SHALL BE MAINTAINED AND REMAINED UNTIL PROJECT COMPLETES.

EXISTING EASEMENTS
 ① EXISTING PUBLIC ACCESS & UTILITY EASEMENT (DN 2001-10988)
 ② EXISTING PUBLIC ACCESS & UTILITY EASEMENT (DN 2001-10989)



① TREE PROTECTION FENCING



Approvals: _____
 Designation: _____
 Title: _____
 Date: _____

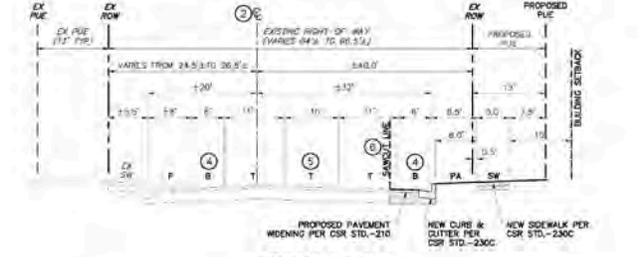
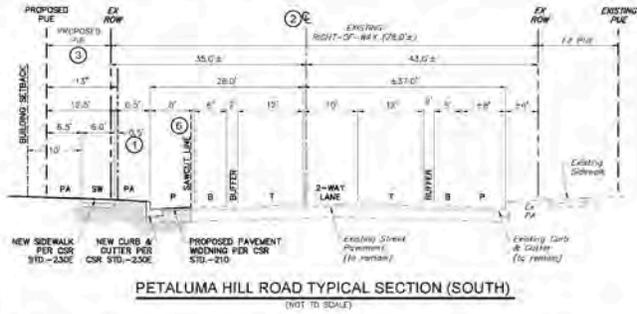
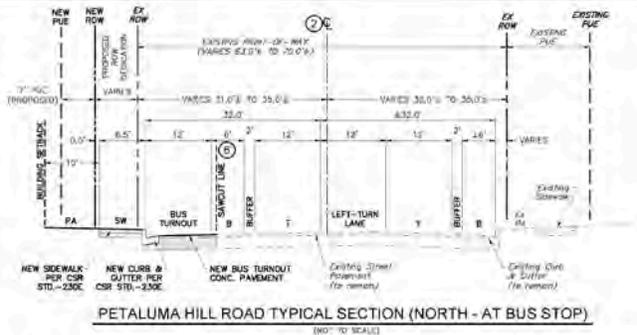
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 Website: www.adobeinc.com
* See Sheet TPC-048, Case C-07

DESIGN REVIEW
 David R. Brown, RCE #1833
 My license expires 3/31/2024

MOSAIC APARTMENTS
PRELIMINARY SITE IMPROVEMENTS
EXISTING SITE CONDITION & DEMOLITION PLAN
 1775, 1725, 1683 Petaluma Hill Road
 Santa Rosa, California
 APN 044-021-072, 071, 035 & 022

SCALE/MS SHOWN: _____
 Date: April 2023
 Design By: J.S./D.R.
 Drawn By: _____
 Checked by: _____

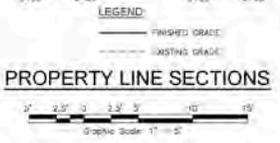
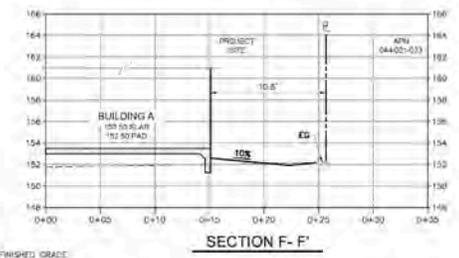
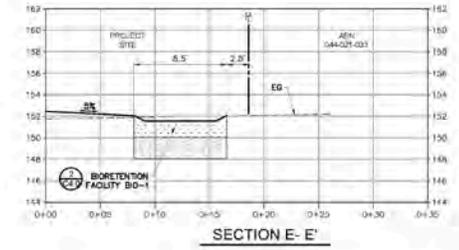
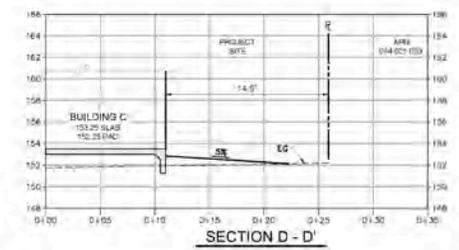
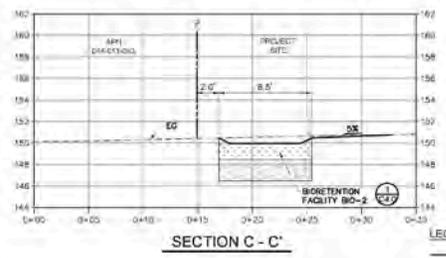
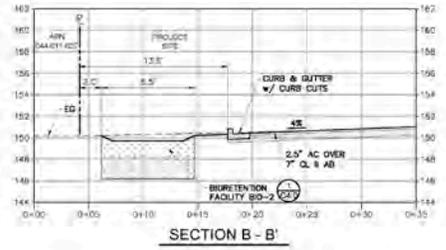
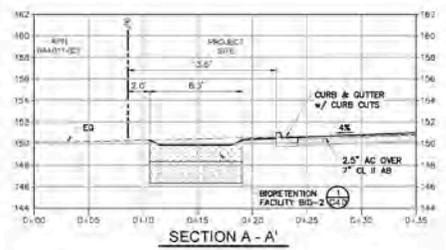
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 2 of 8 Sheets
 Job 18294



ABBREVIATIONS

B BYD LANE
 PA PLANNING AREA
 P PARKING LANE
 PUC PUBLIC UTILITY CASSETT
 SW SIDEWALK
 T TRAVEL LANE

- KEY NOTES**
- 1 "RIGHT-OF-WAY" LINE 6" OFFSET FROM FRONT OF SIDEWALK PER CITY OF SANTA ROSA STD.-230C "PARKWAY STREET" SECTION.
 - 2 CENTERLINE SIGN IS MONUMENT CENTERLINE.
 - 3 PROPOSED PUBLIC UTILITY CASSETT (PUC) IS 8.5' MINIMUM FROM BACK OF CURB.
 - 4 BIKE LANE ON COLGAN AVENUE WILL NOT BE STRIPPED FOR THIS PROJECT SINCE FOR A 4' BIKE LANE HAS BEEN PROVIDED FOR FULL BUILD OUT.
 - 5 TWO-WAY LEFT TURN LANE ON COLGAN AVENUE WILL NOT BE STRIPPED FOR THIS PROJECT SINCE FOR THE TWO-WAY LEFT TURN LANE HAS BEEN PROVIDED AND WILL BE STRIPPED FOR FULL BUILD OUT.
 - 6 RECONSTRUCTION OF EXISTING STREET PAVEMENT TO STREET CENTER LINE WITH PAVEMENT SECTION MEETING THE DESIRED "F" VALUE, MIGHT BE REQUIRED UPON FIELD ASSESSMENT BY PROJECT'S GRS ENGINEER OF EXISTING PAVEMENT CONDITION.



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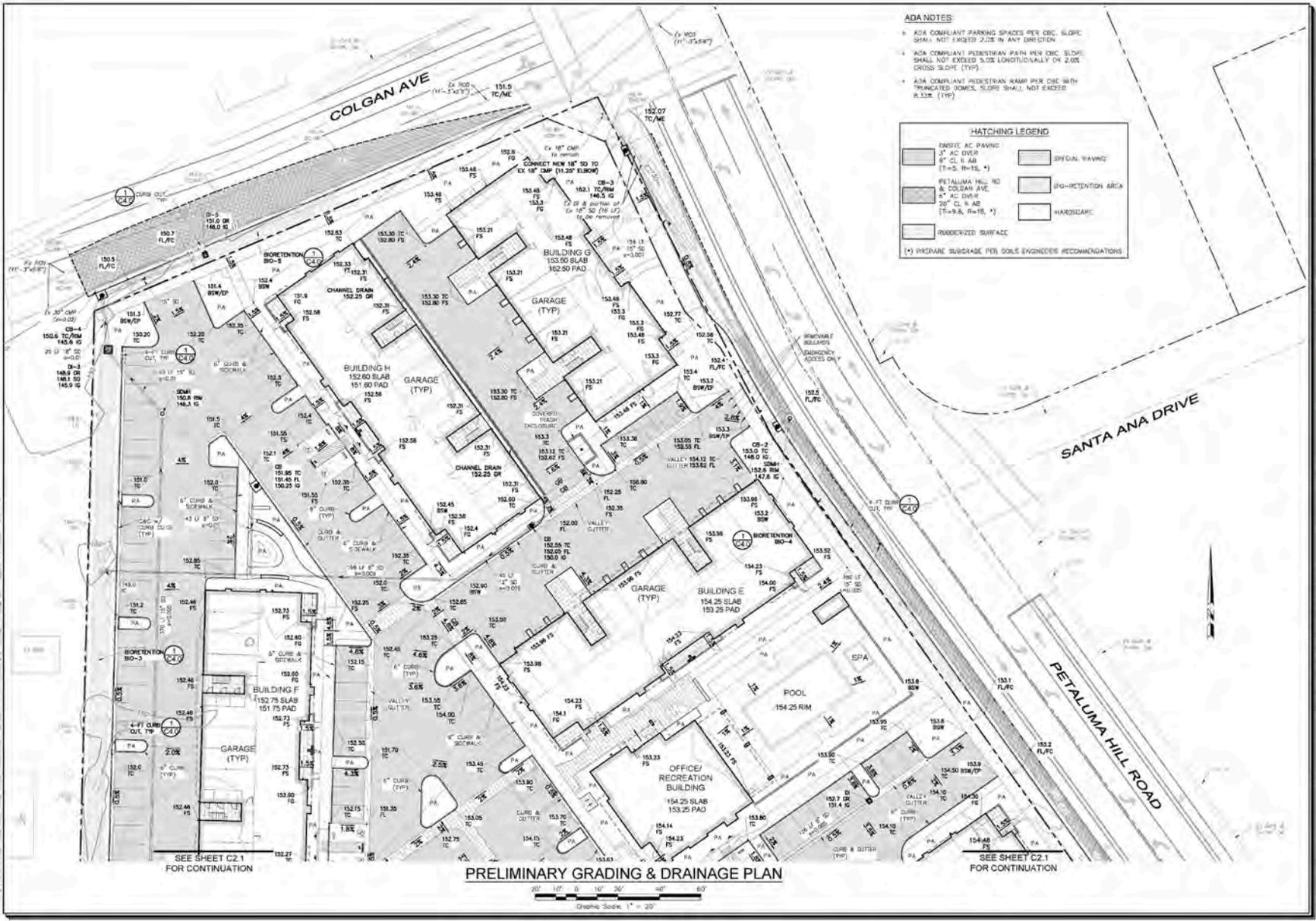
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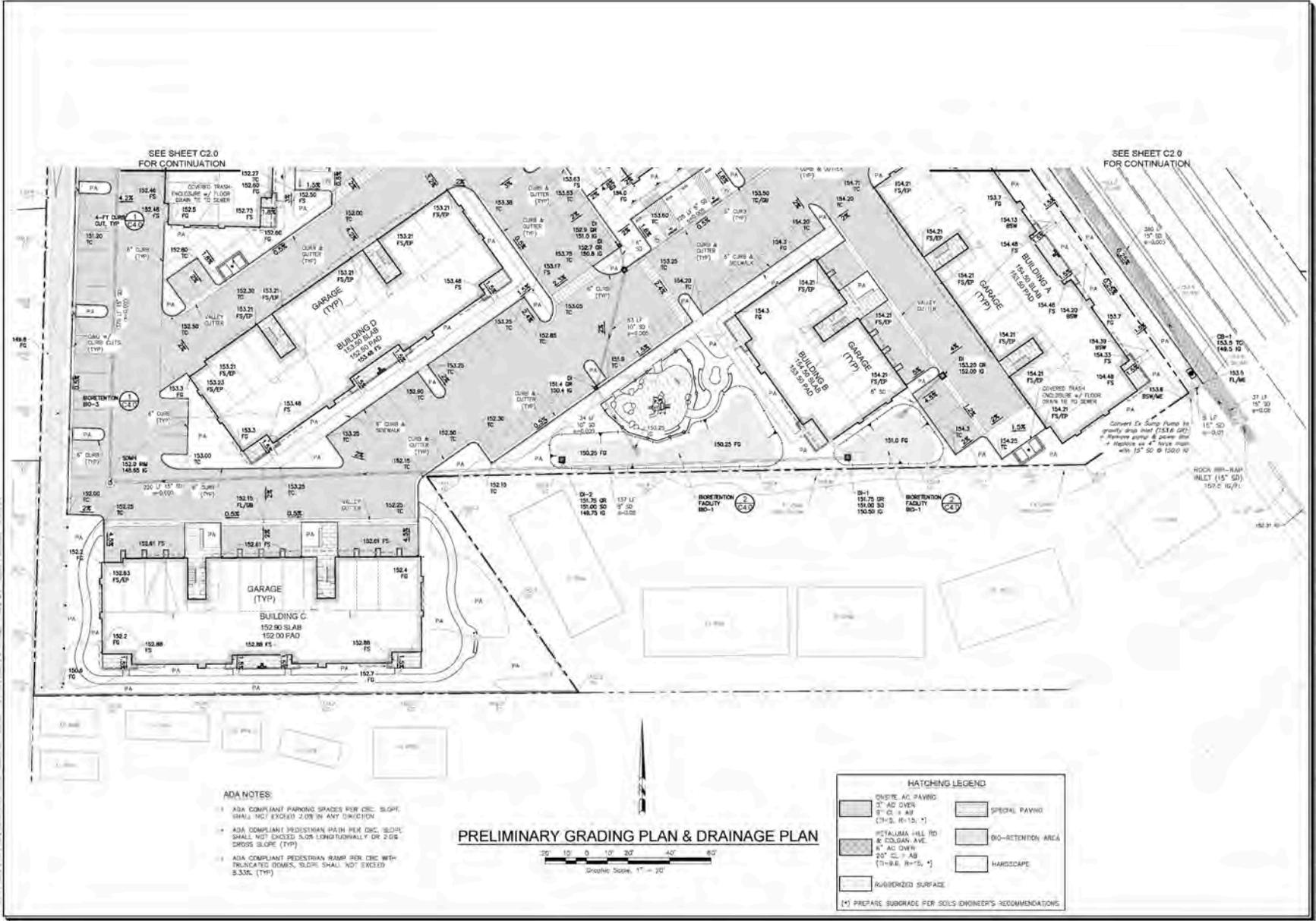
MOSAIC APARTMENTS
PRELIMINARY SITE IMPROVEMENTS & PL SECTIONS
TYPICAL STREET SECTIONS & PL SECTIONS
 1775, 1725, 1683 Petaluma Hill Road
 Santa Rosa, California
 APN: 044-021-072, 071, 035, & 022

SCALE: 1/8" = 1'-0"

Sheet: **C1.2**
 of 8 Sheets
 18294

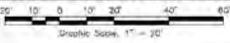


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MOOSA APARTMENTS PRELIMINARY SITE IMPROVEMENTS PRELIMINARY GRADING & DRAINAGE PLAN 1775, 1725, 1683 Petaluma Hill Road Santa Rosa, California APN 044-023-072, 071, 035 & 022				
DESIGN REVIEW 				
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Sheet C2.0 of a set of Sheets Job # 18294				



- ADA NOTES:**
- 1. ADA COMPLIANT PARKING SPACES FOR DEC. SLOPE SHALL NOT EXCEED 2.0% IN ANY DIRECTION.
 - 2. ADA COMPLIANT PEDESTRIAN RAMP PER DEC. SLOPE SHALL NOT EXCEED 3.0% LONGITUDINALLY OR 2.0% CROSS SLOPE (TYP).
 - 3. ADA COMPLIANT PEDESTRIAN RAMP PER DEC. WITH TRUNCATED DOMES, SLOPE SHALL NOT EXCEED 3.33% (TYP).

PRELIMINARY GRADING PLAN & DRAINAGE PLAN



HATCHING LEGEND

[Hatch pattern]	CONCRETE PAVED	[Hatch pattern]	SPECIAL PAVING
[Hatch pattern]	2" AC OVER 2" C & A# (T=8.8, R=15.4)	[Hatch pattern]	BO-RETENTION AREA
[Hatch pattern]	4" C&A# (T=8.8, R=15.4)	[Hatch pattern]	HARDSCAPE
[Hatch pattern]	4" C&A# OVER 2" C & A# (T=8.8, R=15.4)	[Hatch pattern]	
[Hatch pattern]	RAVISED SURFACE		

(*) PREPARE SUBGRADE FOR SOILS ENGINEER'S RECOMMENDATIONS.

SCALE: AS SHOWN

Date: 05/20/2023
 Drawn by: JF/2023
 Checked by: JF/2023

Sheet: **C2.1**
 of a sheets
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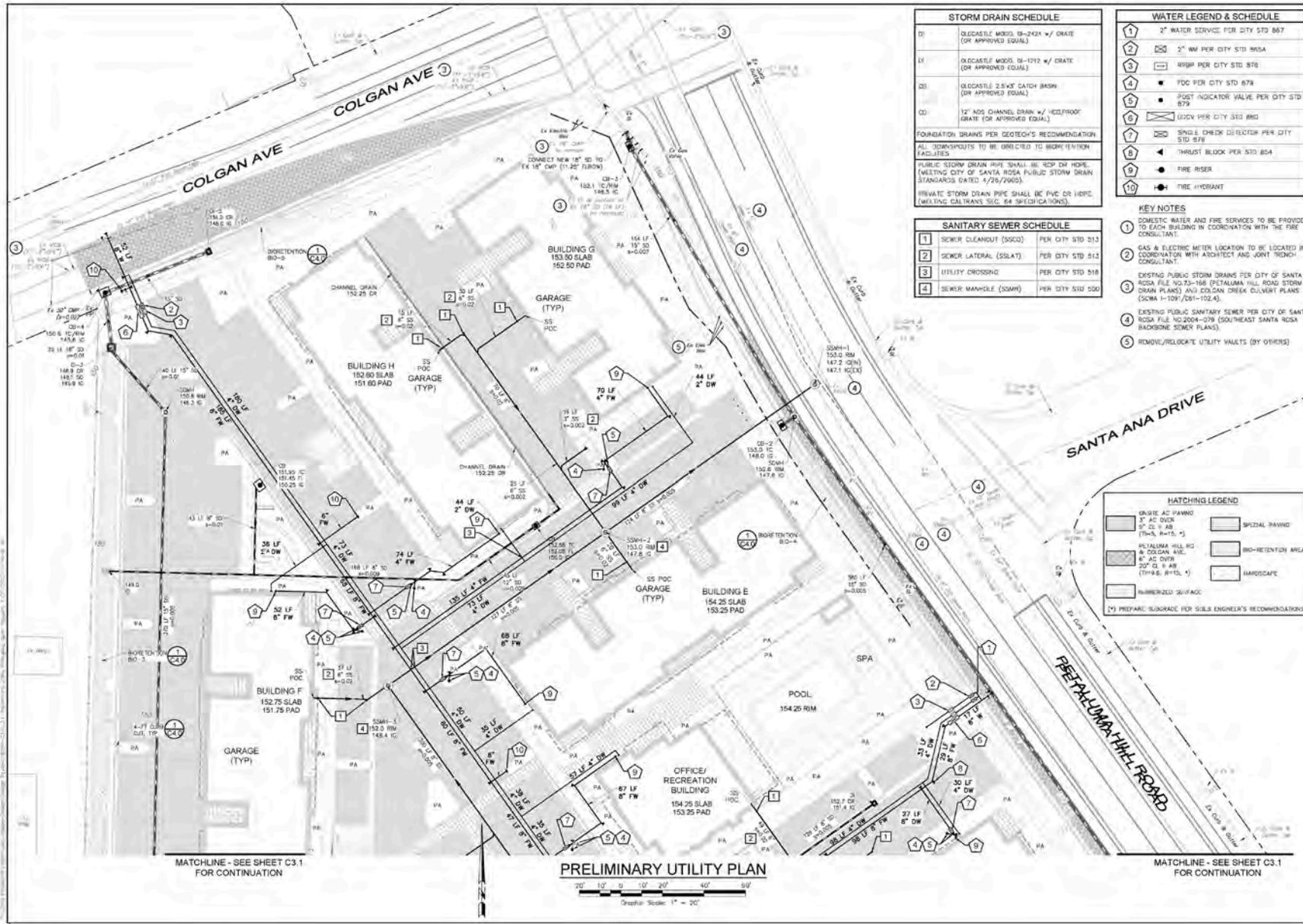
**MOSAIC APARTMENTS
 PRELIMINARY SITE IMPROVEMENTS
 PRELIMINARY GRADING & DRAINAGE PLAN**
 1775 - 1725 - 1683 Pelipoma Hill Road
 Santa Rosa, California
 APR 04-021-072, 071, 035 & 022

DESIGN REVIEW

David R. Brown, P.E. 41833
 My license expires 3/31/2024

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 Website: www.adobe.com

Revisions: [Table with columns: No., Date, Description, Approval]



STORM DRAIN SCHEDULE	
D1	OLECASTLE MOD. 18"-24" w/ GRATE (OR APPROVED EQUAL)
D2	OLECASTLE MOD. 18"-18" w/ GRATE (OR APPROVED EQUAL)
D3	OLECASTLE 2.5'x4' CATCH BASIN (OR APPROVED EQUAL)
D4	12" NOS CHANNEL DRAIN w/ 1/2" SLOPE (OR APPROVED EQUAL)

FOUNDATION DRAINS PER GEOTECH'S RECOMMENDATION
 ALL DOWNSPUTS TO BE DIRECTED TO HIGH RETENTION FACILITIES
 PUBLIC STORM DRAIN PIPE SHALL BE 30" OR MORE (MILITARY CITY OF SANTA ROSA PUBLIC STORM DRAIN STANDARDS DATED 4/29/2005)
 PRIVATE STORM DRAIN PIPE SHALL BE PVC OR HDPE (MILITARY CALTRANS SEC. 64 SPECIFICATIONS)

SANITARY SEWER SCHEDULE	
S1	SEWER CLEANOUT (SCCO) PER CITY STD 513
S2	SEWER LATERAL (SBLAT) PER CITY STD 513
S3	UTILITY CROSSING PER CITY STD 518
S4	SEWER MANHOLE (SOMH) PER CITY STD 500

WATER LEGEND & SCHEDULE	
1	2" WATER SERVICE PER CITY STD 867
2	2" WV PER CITY STD 865A
3	4" RSP PER CITY STD 870
4	FDC PER CITY STD 879
5	PIST INDICATOR VALVE PER CITY STD 879
6	UGCV PER CITY STD 880
7	SINGLE CHECK DETECTOR PER CITY STD 878
8	THRUST BLOCK PER STD 854
9	FIRE RISER
10	FIRE HYDRANT

- KEY NOTES**
- DOMESTIC WATER AND FIRE SERVICES TO BE PROVIDED TO EACH BUILDING IN COORDINATION WITH THE FIRE CONSULTANT
 - GAS & ELECTRIC METER LOCATION TO BE LOCATED IN COORDINATION WITH ARCHITECT AND JOINT TRENCH CONSULTANT
 - EXISTING PUBLIC STORM DRAINS PER CITY OF SANTA ROSA FILE NO.23-168 (PETALUMA HILL ROAD STORM DRAIN PLANS) AND COLGAN CREEK CULVERT PLANS (SCWA 1-109/061-102.4)
 - EXISTING PUBLIC SANITARY SEWER PER CITY OF SANTA ROSA FILE NO.2004-079 (SOUTHEAST SANTA ROSA BACKSORE SEWER PLANS)
 - REMOVE/RELOCATE UTILITY VAULTS (BY OTHERS)

HATCHING LEGEND	
[Symbol]	GRADE AC PAVING
[Symbol]	3" AC OVER
[Symbol]	7" CS II AS
[Symbol]	20" CL II AS
[Symbol]	NUMBERED SURFACE
[Symbol]	SPECIAL PAVING
[Symbol]	SOIL-RETENTION AREA
[Symbol]	HARDSCAPE

(*) PREPARE SUBGRADE PER SOIL ENGINEER'S RECOMMENDATIONS

**MOOSAIC APARTMENTS
 PRELIMINARY SITE IMPROVEMENTS
 PRELIMINARY UTILITY PLAN**

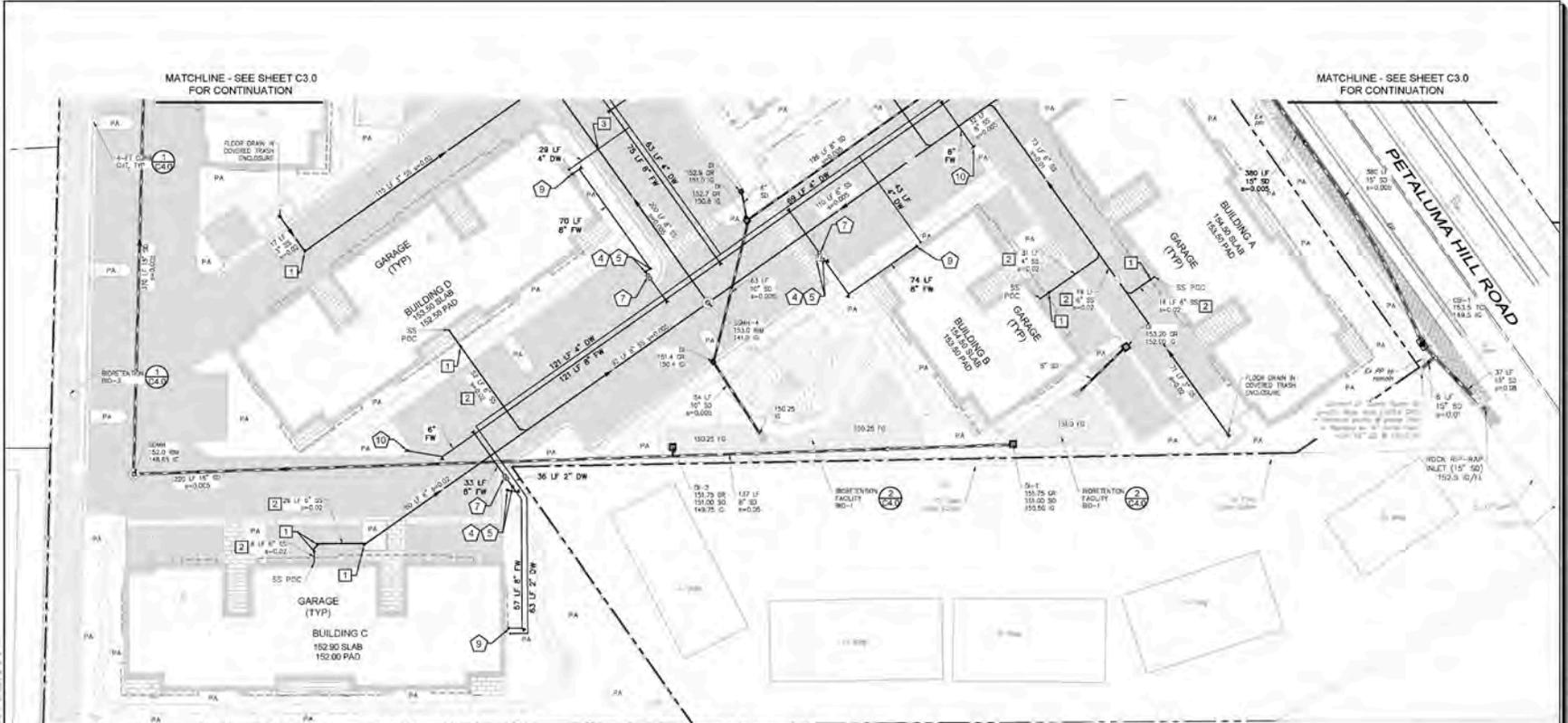
1775, 1725, 1683 Petaluma Hill Road
 Santa Rosa, California
 APN 044-021-072, 071, 035, & 022

SCALERS: SIGNED _____
 Date: April 2023
 Design by: JVG
 Drawn by: PPG
 Checked by: PPG

Sheet
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 8 of 8 Sheets
 Job 18294

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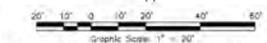
DESIGN REVIEW
 David R. Brown, P.E. 41133
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SANITARY SEWER SCHEDULE		
1	SEWER CLEANOUT (SSCO)	PER CITY STD 513
2	SEWER LATERAL (SSLAT)	PER CITY STD 513
3	UTILITY CROSSING	PER CITY STD 515
4	SEWER MANHOLE (SSMH)	PER CITY STD 500

- KEY NOTES**
- DOMESTIC WATER AND FIRE SERVICES TO BE PROVIDED TO EACH BUILDING IN COORDINATION WITH THE FIRE CONSULTANT.
 - GAS & ELECTRIC METER LOCATION TO BE LOCATED IN COORDINATION WITH ARCHITECT AND JENX TRINCH CONSTRUCTION.

WATER LEGEND & SCHEDULE	
1	2" WATER SERVICE PER CITY STD 867
2	2" WM PER CITY STD 865A
3	RRSP PER CITY STD 876
4	FIC PER CITY STD 879
5	POST INDICATOR VALVE PER CITY STD 879
6	DDCV PER CITY STD 880
7	SINGLE CHECK DETECTOR PER CITY STD 879
8	THRUST BLOCK PER STD 854
9	FIRE HYDRANT



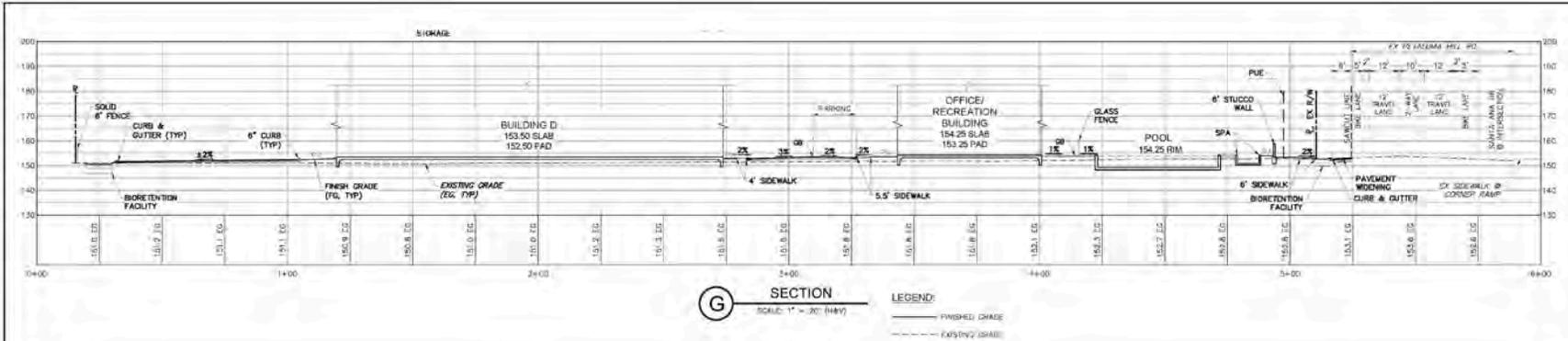
PRELIMINARY UTILITY PLAN

HATCHING LEGEND	
[Hatched Pattern]	ONHISE AC PAVING
[Hatched Pattern]	3" AC OVER 8\"/>

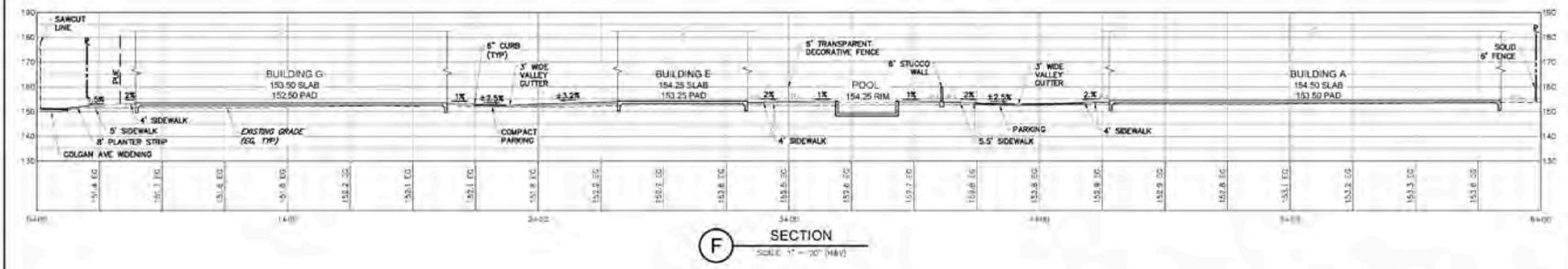
STORM DRAIN SCHEDULE	
1	LOCASILE MODEL B-2424 w/ GRADE (OR APPROVED EQUAL)
2	LOCASILE MODEL D-1212 w/ GRADE (OR APPROVED EQUAL)
3	LOCASILE 2.5'x3' CATCH BASIN (OR APPROVED EQUAL)
4	12\"/>

FOUNDATION DRAINS PER GEOTECH'S RECOMMENDATION
 ALL DOWNSPOUTS TO BE DIRECTED TO BREWERY/RETENTION FACILITIES
 PUBLIC STORM DRAIN PIPE SHALL BE ROP OR HOPE (MEETING CITY OF SANTA ROSA PUBLIC STORM DRAIN STANDARDS (SAR) 4/24/2005)
 PRIVATE STORM DRAIN PIPE SHALL BE PVC OR HOPE (MEETING CALTRANS SEC. 64 SPECIFICATIONS)

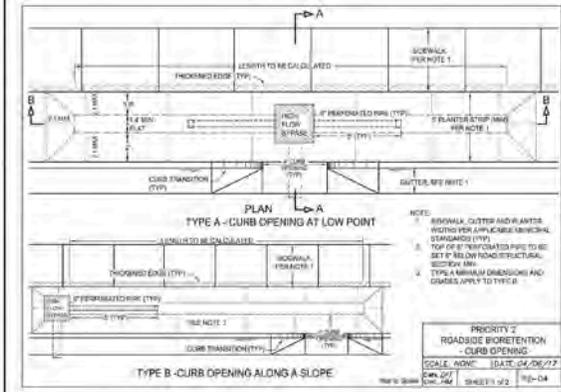
<p>adobe associates, inc. 228 N. Deane Ave., Suite 200, CA 94601 P: (916) 541-2300 F: (916) 541-2301 Website: www.adobe.com</p>	<p>DESIGN REVIEW</p> <p>David R. Brown, P.E. 41833 My license expires 3/31/2024</p>	<p>Revisions</p> <table border="1"> <tr> <th>No.</th> <th>Date</th> <th>Description</th> <th>Approved</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	No.	Date	Description	Approved				
No.	Date	Description	Approved							
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<p>Sheet C3.1 7 of 8 Sheets Job 18294</p>										



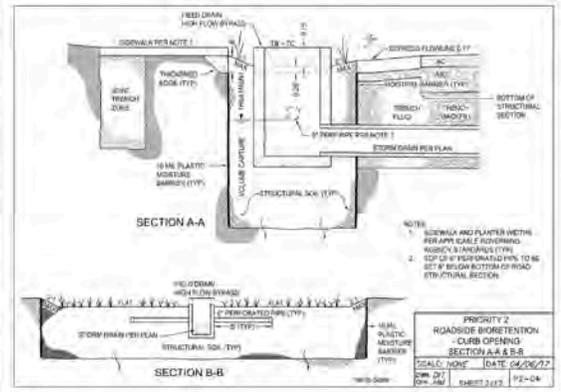
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LEGEND:
— FINISHED GRADE
- - - EXISTING GRADE



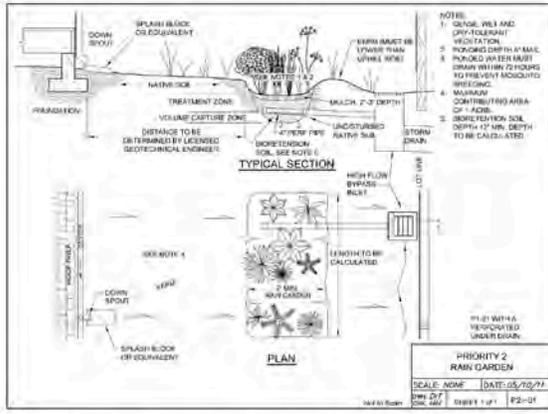
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SCALE: 1" = 30' (H&V)



1
ROADSIDE BIORETENTION DETAIL
(PER CITY OF SANTA ROSA LID MANUAL Rev 4/1/2022)
(NOT TO SCALE)



2
RAIN GARDEN DETAIL
(PER CITY OF SANTA ROSA LID MANUAL Rev 4/1/2022)
(NOT TO SCALE)



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MOSAIC APARTMENTS PRELIMINARY SITE IMPROVEMENTS SITE SECTIONS & TYPICAL DETAILS
1775, 1725, 1683 California Hill Road
Santa Rosa, California
APN: 044-021-072, 071, 035, 036, 022

SCALE: AS SHOWN
Date: 05/2022
Design by: JF/JF
Drawn by: JF/JF
Checked by: JF/JF

Sheet: C4.0
18294