



**SCHWARTZ**  
ARCHITECTURE

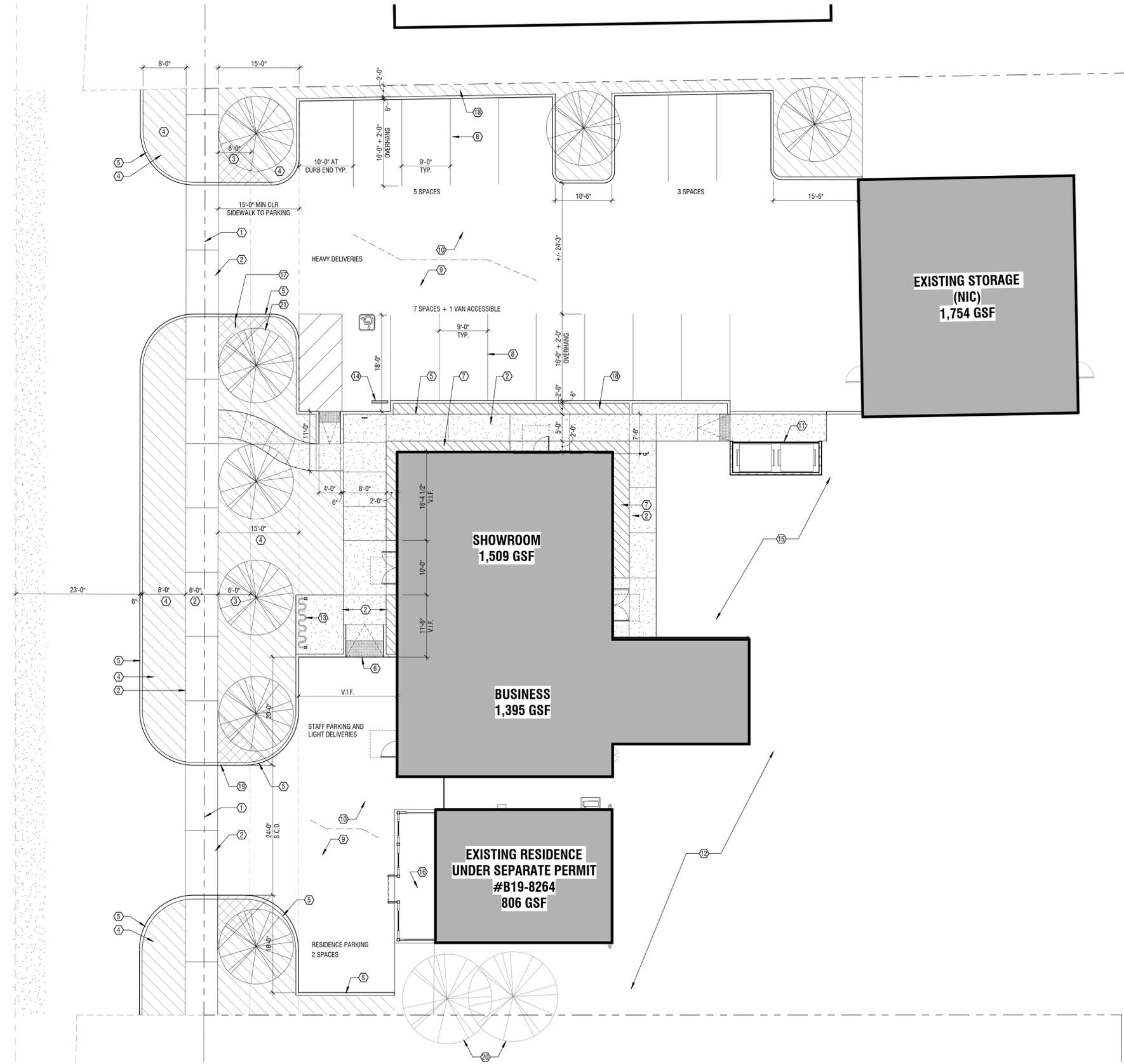
1653 FINLAW STREET  
SANTA ROSA, CA 95404  
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### GENERAL SHEET NOTES

- A. SITE PLAN IS DERIVED FROM PUBLICLY AVAILABLE SOURCES. VERIFY CRITICAL DIMENSIONS AND CLEARANCES IN FIELD.
- B. PROVIDE CONNECTION TO CITY WATER AND SEWER FOR DOMESTIC AND FIRE SPRINKLER USE. EXISTING WELL TO BE USED FOR IRRIGATION.
- C. PROVIDE ELECTRICAL DROP TO UTILITY ROOM.
- D. ALL CONCRETE FLATWORK EXPANSION AND CONTROL JOINTS FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR FURTHER INFO.
- E. MAINTAIN 14" MIN UNOBSTRUCTED VERTICAL CLEARANCE ABOVE ALL VEHICLE AREAS.
- F. LANDSCAPING AND OTHER PARKING IMPROVEMENTS SHALL BE MAINTAINED IN GOOD CONDITION.
- G. LANDSCAPE AREAS TO BE MAINTAINED WITH DROUGHT TOLERANT, LOW WATER USE, NATIVE PLANTS (IRRIGATION SYSTEM NOT REQUIRED).
- H. MAJORITY OF AREAS REQUIRED TO BE LANDSCAPED SHALL BE COVERED WITH GROUNDCOVER, SHRUBS, DROUGHT TOLERANT TURF, OR OTHER DROUGHT TOLERANT PLANTS.
  - 15% MAX CRUSHED ROCK PEBBLES, STONE, SIM.
  - NON-TURF AREAS SHALL BE TOP DRESSED W/ BARK CHIP MULCH OR APPROVED ALTERNATE.
- I. PLANT MATERIALS SHALL NOT BE LESS THAN 15-GAL FOR TREES, 5-GAL FOR SPECIMEN SHRUBS, AND 1-GAL FOR MASS PLANTING UNLESS OTHERWISE APPROVED.
- J. STREET TREES: 1 PER 20' OF COMMERCIAL FRONTAGE AND NOT WITHIN VISION TRIANGLE.
- K. PARKING TREES: 1 PER EACH 5 PARKING SPACES.
- L. TREES IN LANDSCAPE PLANTERS LESS THAN 10' WIDE OR CLOSER THAN 5' TO A PERMANENT STRUCTURE SHALL BE PROVIDED WITH ROOT BARRIERS.

### SHEET KEYNOTES

- ① PROPERTY LINE
- ② (N) CONCRETE WALK, ACCESSIBLE ROUTE
- ③ (N) PUBLIC UTILITY EASEMENT
- ④ (N) PLANTING AREA
- ⑤ (N) CONCRETE CURB, S.C.D.
- ⑥ (N) DETECTABLE WARNING
- ⑦ (N) PLANTING STRIP
- ⑧ (N) STRIPING, TYP.
- ⑨ (N) A.C. PAVING WHERE OCCURS
- ⑩ (E) AC PAVING TO BE RESTRIPTED FOR PARKING WHERE OCCURS
- ⑪ (N) C.M.U. TRASH ENCLOSURE
- ⑫ (E) GRASS YARD TO REMAIN
- ⑬ (N) BICYCLE PARKING
- ⑭ (N) WHEEL STOP
- ⑮ (N) PLANTING @ REMOVED STRUCTURE, TO MATCH ADJACENT
- ⑯ (E) PORCH @ RESIDENCE, N.I.C.
- ⑰ (N) TOW AWAY SIGN
- ⑱ BUMPER OVERHANG TO BE PLANTED WITH LOW-GROWTH HEARTY MATERIALS
- ⑲ DRIVEWAY VISION TRIANGLE WITH 10' LEGS
- ⑳ (E) LANDSCAPE TREES
- ㉑ (N) LANDSCAPE TREES, U.O.N.



**ALCAZAR**  
BUILDING MATERIALS SUPPLY - TI

910 FRESNO AVE  
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Revisions		
No.	Revisions	Date

### ENLARGED SITE PLAN

Project No.: 18-049-TI  
 Drawn By: S/A  
 Issue Date: 7-03-2023  
 Sheet

# DR4

7/3/2023 5:14:47 PM

## 1 ENLARGED SITE PLAN

1" = 10'-0"