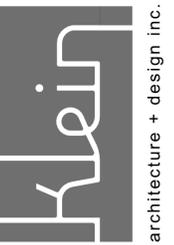


A Remodel for:

Blake & Brauley McNulty

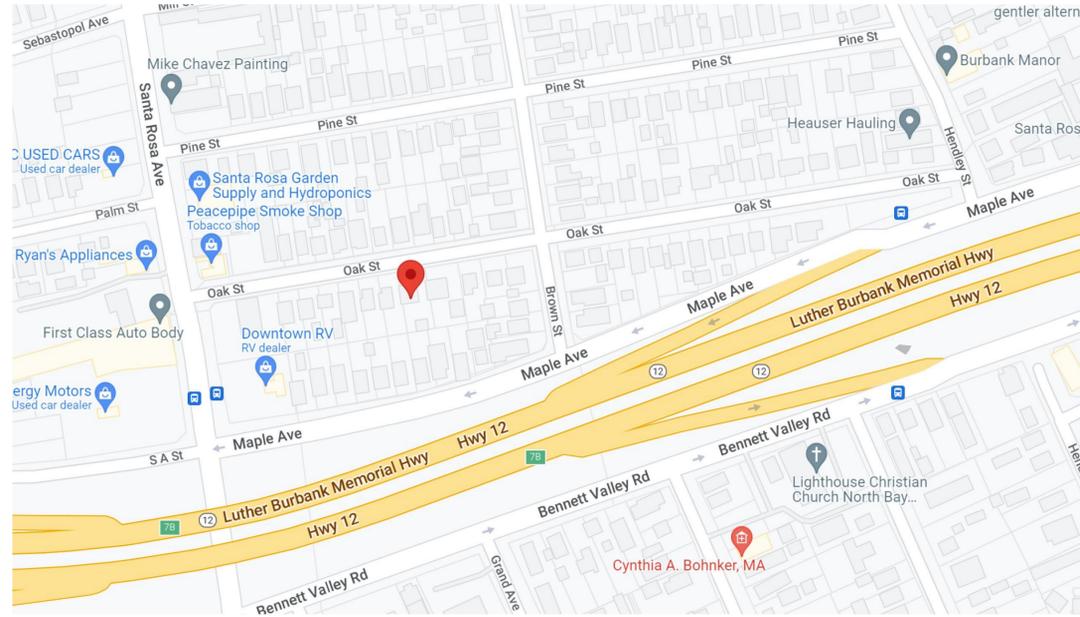
642 Oak Street, Santa Rosa



61 Montgomery Drive
Santa Rosa, CA 95404
(707) 364 - 3589
winfield@kleinarch.design

ABBREVIATIONS

&	AND	HGR	HANGER
@	AT	HORIZ	HORIZONTAL
#	POUND OR NUMBER	HSS	HOLLOW STEEL SHAPE
(E)	EXISTING	ID	INSIDE DIAMETER
(N)	NEW	INSUL	INSULATION
(R)	RENOVATED	J-BOX	JUNCTION BOX
AC	ASPHALT CONCRETE	KD	KILN DRIED
A/C	AIR CONDITIONING	KP	KING POST
AD	AREA DRAIN	MECH	MECHANICAL
AFCI	ARC FAULT CIRCUIT INTERRUPTOR	MDF	MEDIUM DENSITY FIBER BOARD
APPROX	APPROXIMATE	MTL	METAL
ARCH	ARCHITECTURAL	MFR	MANUFACTURER
BD	BOARD	M=L	MICRO-LAM BEAM
BLDG	BUILDING	NIC	NOT IN CONTRACT
BLK	BLOCKING	NS	NON-SHRINK
BLW	BELOW	NTS	NOT TO SCALE
BM	BEAM	O/	OVER
BOT	BOTTOM	OBS	OBSCURE
BSL	BUILDING SETBACK LINE BETWEEN	OC	ON CENTER
BTW		OFCl	OWNER FURNISHED CONTRACTOR INSTALLED
CANT	CANTILEVER	OS	OCCUPANCY SENSOR
CL	CENTER LINE	PERF	PERFORATED
CLG	CEILING	PERP	PERPENDICULAR
CLR	CLEAR	PLY	PLYWOOD
CMU	CONCRETE MASONRY UNIT	PT	PAIR
CO	CLEAN OUT	PUE	PRESSURE TREATED
COL	COLUMN	R	RISER OR RADIUS
CONC	CONCRETE	REF	REFRIGERATOR
CONT	CONTINUOUS	RET	RETAINING
CSK	COUNTERSINK	REQ	REQUIRED
CTR	CENTER	RO	ROUGH OPENING
d	PENNY (NAIL SIZE)	RWD	REDWOOD
D	DIMMER	RWL	RAIN WATER LEADER
DBL	DOUBLE	SAD	SEE ARCH. DRAWINGS
DET	DETAIL	SC	SOLID CORE
DF	DOUGLAS FIR	SEC	SECTION
DIA	DIAMETER	SHTG	SHEATHING
DN	DOWN	SIM	SIMILAR
DR	DOOR	SPECS	SPECIFICATIONS
DS	DOWNSPOUT	SS	SELECT STRUCTURAL OR STAINLESS STEEL OR SANITARY SEWER
DW	DISHWASHER	STAG	STAGGERED
EA	EACH	STD	STANDERED
EG	EXISTING GRADE	SW	SHEAR WALL
ELEC	ELECTRICAL	T	TREAD
ELEV	ELEVATION	TEMP	TEMPERED
EQ	EQUAL	TOB	TOP OF BEAM
EQUIP	EQUIPMENT	TOC	TOP OF CONCRETE
FD	FLOOR DRAIN	TOF	TOP OF FENCE
FDN	FOUNDATION	TOW	TOP OF WALL
FIN	FINISH	TOS	TOP OF SLAB or TOP OF SURFACE
FF	FINISH FLOOR	TS	TUBE STEEL
FG	FINISH GRADE	VIF	VERIFY IN FIELD
FOB	FACE OF BEAM	VERT	VERTICAL
FOC	FACE OF CONCRETE	VS	VACANCY SENSOR
FOS	FACE OF STUD	VTO	VENT TO OUTSIDE
FS	FINISH SLAB or FINISH SURFACE	W	WATTS
GA	GAUGE	W/	WITH
GALV	GALVANIZED	WC	WATER CLOSET
GSM	GALVANIZED SHEET METAL	WD	WOOD
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	WH	WATER HEATER
GL	GLASS	WOOD	WINDOW OPERATION CONTROL DEVICE (LIMIT OPENING TO <4")
GLB	GLUE LAMINATED BEAM	WP	WATERPROOF
GWB	GYP SUM WALL BOARD	WS	WEATHERSTRIPPING
HB	HOSE BIBB	WRB	WEATHER RESISTIVE BARRIER
HDR	HEADER	WTS	WELDED THREADED STUD
HWD	HARDWOOD		



Vicinity Map

NOT TO SCALE

DEMOLITION NOTES

- Contractor and his subcontractors are to verify all existing conditions before commencing with work, in order to ensure conformance with design drawings. All inconsistencies shall be brought to the attention of the owner prior to proceeding with any work.
- Layout of new work is largely based upon relationships to existing conditions. Any questions regarding the intent related to the layout of the new work shall be brought to the attention of the designer prior to proceeding with any work.

CONTRACTOR REQUIREMENTS

- All work to be performed must be by a licensed contractor and or subcontractor.
- All construction shall conform to the applicable building codes and any other local codes and ordinances in force at the time of construction. All materials shall conform to and be installed in accordance with manufacturer's specifications for the specific product and/or service.
- The intent of the documents is to include all labor, materials, equipment and transportation necessary for the complete and proper execution of the work, consistent with good practice. Any work or item not specifically called for in the drawings but required for a complete and fully functioning installation consistent with the intent of the documents shall be supplied by the contractor and his subcontractors.
- Deviations or alterations to any portion of the work of specific details shall not be done unless approved by the owner and/or designer prior to work being done.
- Any changes and or additional work to be performed must be submitted on a written change order with a cost estimate prior to work being performed.
- Contractor to supply owner with schedule of work to be performed with a completion date.
- Contractor to provide toilet facilities.
- Protect all areas outside of the project area.
- Contractor to protect and store all materials from weather and elements.
- On a daily basis, clean up and cart away debris; broom sweep all areas involved in the project.
- Contractor to haul away debris as necessary. Contractor to provide dumpster.
- Contractor shall be held responsible for all loss and damage that may happen to work or the any of the materials used thereon until the acceptance of the work by the owner. Damage incurred to existing conditions to remain are to be returned to their original condition.
- General contractor and any subcontractors shall guarantee all work installed by him/her for a period of one (1) year, unless noted otherwise.
- At the completion of the work, all glass, floors, plumbing fixtures, etc., shall be thoroughly cleaned and polished. All plumbing, heating, electrical systems shall be in satisfactory working condition. All exterior areas shall be left clean and free from debris, rubbish and miscellaneous materials.
- The contractor and subcontractors agree that during the guarantee period, any defective work and any other work damaged thereby, shall be replaced promptly and properly without cost to the owner.

- Manufacturers' printed or published instructions shall be strictly complied with for the incorporation of all manufactured materials and equipment into the building.
- A punch list of missing items, uncompleted work, and defective work shall be made by the contractor prior to the owner's occupancy of the work under contract. The owner, contractor and designer shall review and accept the punch list, on site, which will be incorporated into the notice of substantial completion filed by the owner.
- The filing of the notice of substantial completion by the owner starts the warranty and guarantee period, as well as the lien period for the subcontractors.
- When the owner occupies the space prior to completion, the contractor is not responsible for damages that have not been documented as defective before owner occupancy, except for defective or missing items.
- Remove existing work as indicated on the drawings and as necessary for new work. Verify with the owner before discarding any removed salvageable materials.
- The owner shall be instructed as to the use and maintenance of each piece of equipment.

GENERAL CONSTRUCTION NOTES

- Plans are not to be scaled, refer to written dimensions or contact Architect for information.

Symbol Key

Exterior Elevation		Drawing Number		Waterproofing, vapor barrier, WRB or flashing
		Sheet Number		Anti-fracture membrane (horiz), or drain mat (vertical)
Section		Drawing Number		Plywood or OSB
		Sheet Number		Concrete
Interior Elevation		Drawing Number		Drain Rock
		Sheet Number		Earth
Detail		Drawing Number		Rigid or spray foam insulation
		Sheet Number		Batt insulation
Key Note		Drawing Number		Beam or Post
Window ID		Window Number		2x lumber
Door ID		Door Number		I-joist
Elevation		Height		North Arrow
		Description		

Code Summary

2022 California Residential Code
2022 California Electrical Code
2022 California Mechanical Code
2022 California Plumbing Code
2022 California Energy Code
2022 California Fire Code
2022 Green Building Code
City of Santa Rosa local ordinances & regulations

Project Information

Project Name: McNulty Residence
Project Location: 642 Oak Street
APN: 009-331-030
Acres: 0.15 acres
Zoning: Low Residential
Building Type: Residential
Occupancy Type: R-3
Construction Type: V-B unsprinklered

Building Limits

Maximum height: 35 ft.
Setbacks (secondary structure)
Front: 20'-0"
Side: 5'-0"
Rear: 5'-0"

Project Description

Remodel kitchen, remove windows on side yard. Replace window at rear with a door and replace a door at rear with a window. Replace additional windows toward rear of property.

Deferred Submittals

none

Area Summary

BUILDING AREA
(E) Living Area: 1,426 sq. ft.
Remodel Area: 276 sq. ft.

BUILDING HEIGHT
Proposed building height: no change

Directory

OWNER
Blake & Brauley McNulty
642 Oak Street
Santa Rosa, CA 95404

ARCHITECT
Winfield Klein
61 Montgomery Drive
Santa Rosa, CA 95404
winfield@kleinarch.design
(707) 364-3589

A Remodel for:
Blake & Brauley McNulty
642 Oak Street
Santa Rosa, California 95404
APN: 009-331-030

REVISIONS:

Sheet Index

A001	Cover Sheet
A002	Site Plan
A101	Existing Plan, Demo Plan
A102	Proposed Floor Plan
A201	Existing Exterior Elevations
A202	Proposed Exterior Elevations



DESIGNER:
WK + TK

DATE:
Sept 21, 2023

LAYOUT NAME:
Cover Sheet

SHEET NO.

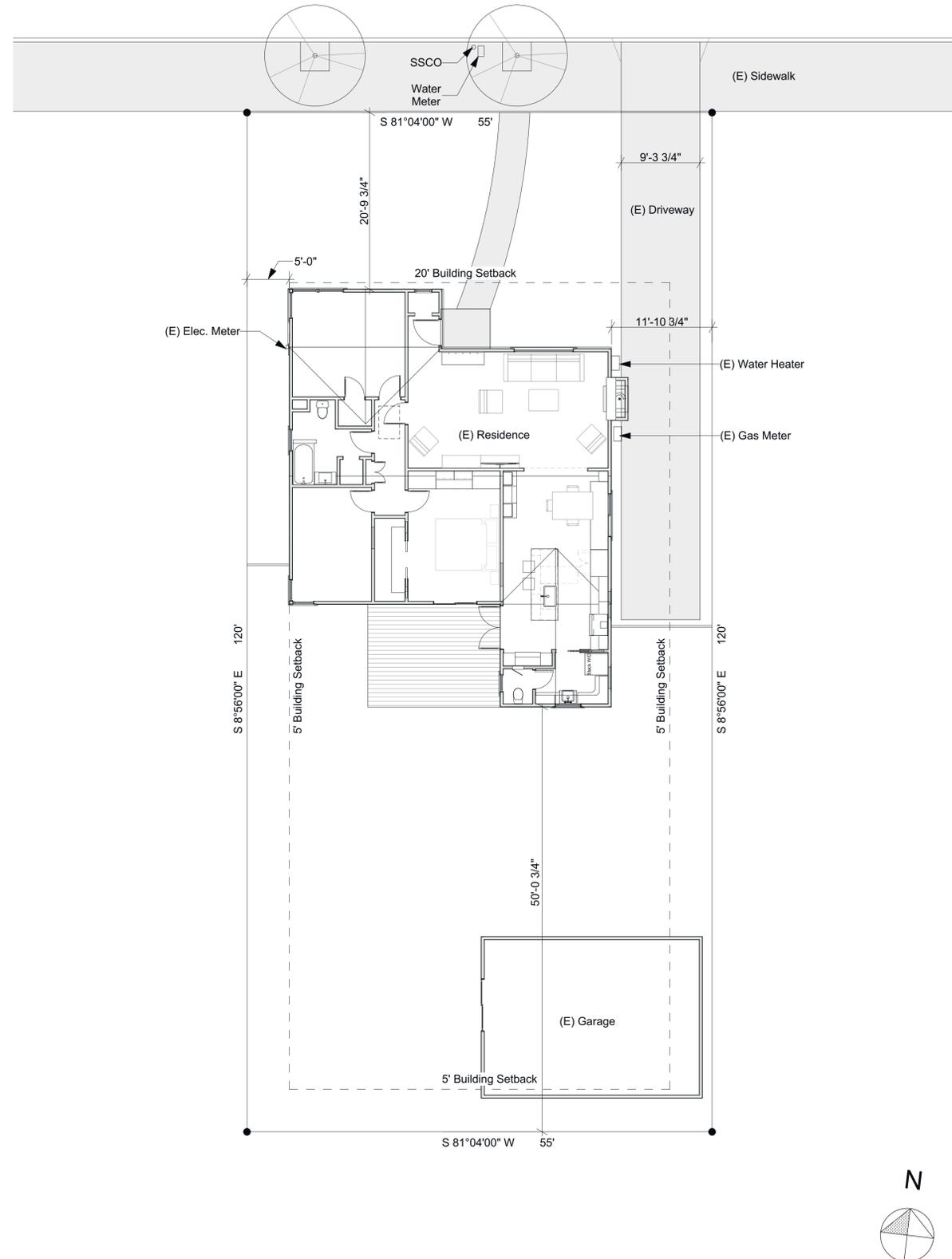
A001

REVISIONS:



DESIGNER:
WK + TK
DATE:
Sept 21, 2023
LAYOUT NAME:
Site Plan
SHEET NO.

Oak Street



Site Plan
SCALE: 1/8" = 1'-0"

COUNTY ASSESSOR'S PARCEL MAP

TAX RATE AREA
004-001 004-298
004-297

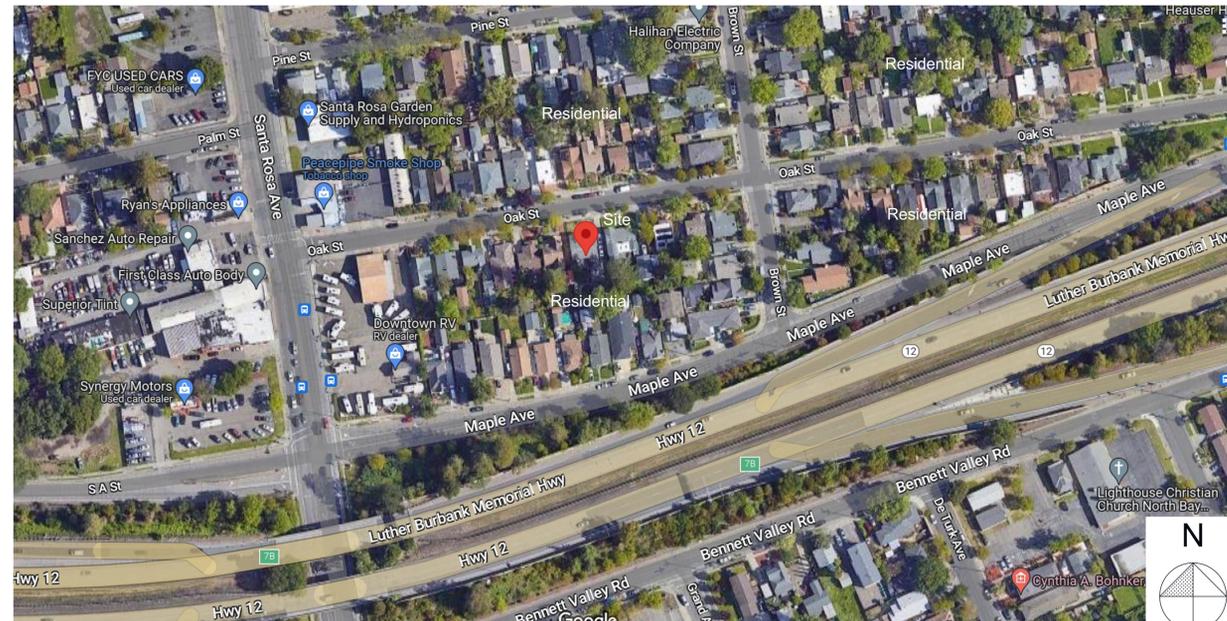


NOTE: This map was prepared for the Sonoma County Assessor for assessment purposes only and does not indicate parcel legality or valid building sites. To verify legal parcel status check with your city or county development or planning division. No liability is assumed for the accuracy of the date delineated.

Assessor's Map Bk. 009, Pg. 33
Sonoma County, Calif. (ACAD)
KEY 10-1-08 KB

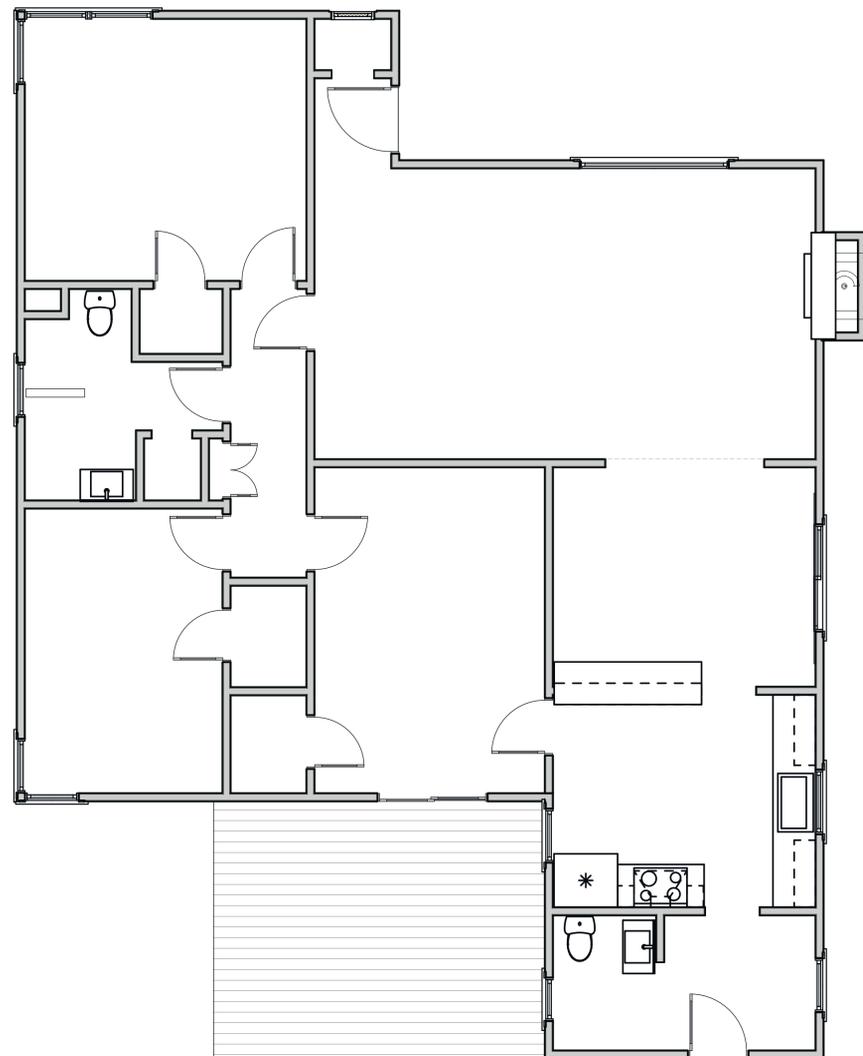
Assessors Parcel Map

NOT TO SCALE



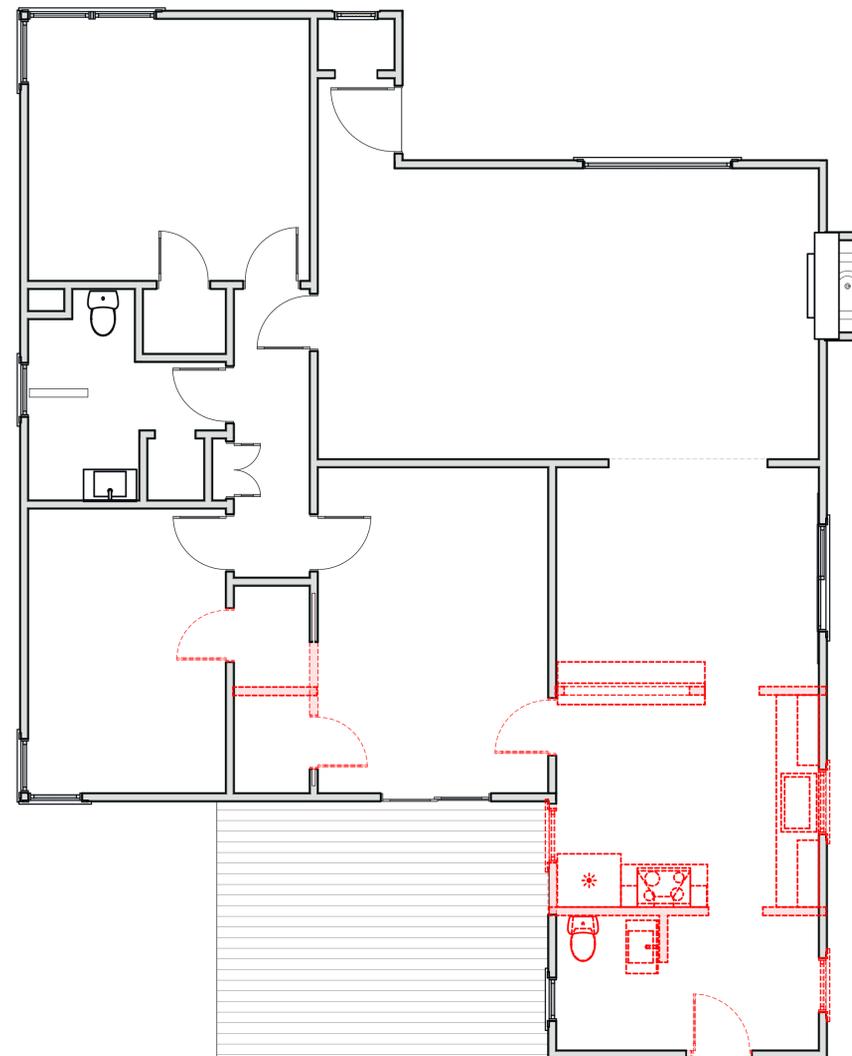
Neighborhood Context Map

NOT TO SCALE



1 Existing Floor Plan
A101

SCALE: 1/4" = 1'-0"



2 Demo Plan
A101

SCALE: 1/4" = 1'-0"

A Remodel for:

Blake & Brauley McNulty

642 Oak Street
Santa Rosa, California 95404
APN: 009-331-030

REVISIONS:



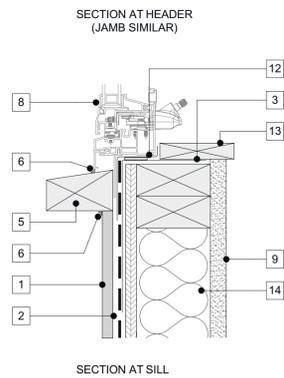
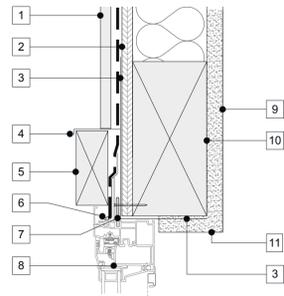
DESIGNER:
WK + TK

DATE:
Sept 21, 2023

LAYOUT NAME:
Existing Plan, Demo Plan

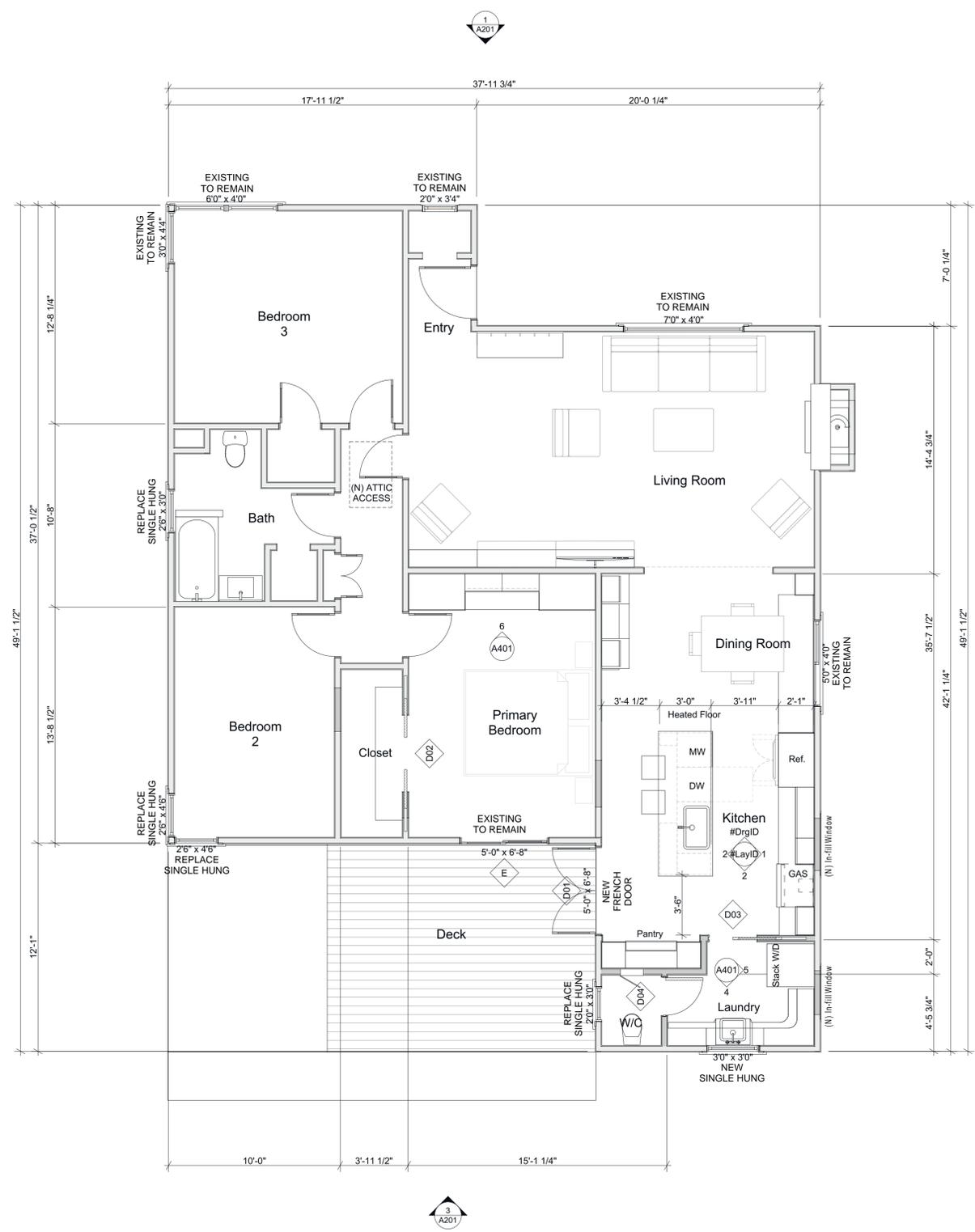
SHEET NO.

A101

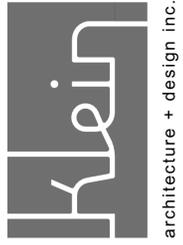


- 1 Siding over WRB
- 2 Sheathing per structural engineer
- 3 Wrap rough opening with self-adhesive flashing
- 4 G90 head flashing
- 5 Trim to match existing
- 6 Sealant
- 7 Set window in bed of sealant at head and jambs
- 8 Install window per manufacturer's specifications
- 9 5/8" gypsum board
- 10 Header per plan
- 11 Wrap top and sides with 5/8" gypsum board
- 12 Window flashing pan set in bed of sealant
- 13 3/4" paint grade poplar sills typical
- 14 R-15 mineral batts
- 15 2 x 4 stud framing
- 16 5/8" gypsum board

1 Window Detail
A102 SCALE: 3" = 1'-0"



Proposed Floor Plan
 SCALE: 1/4" = 1'-0"



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 642 Oak Street
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 APN: 009-331-030

REVISIONS:

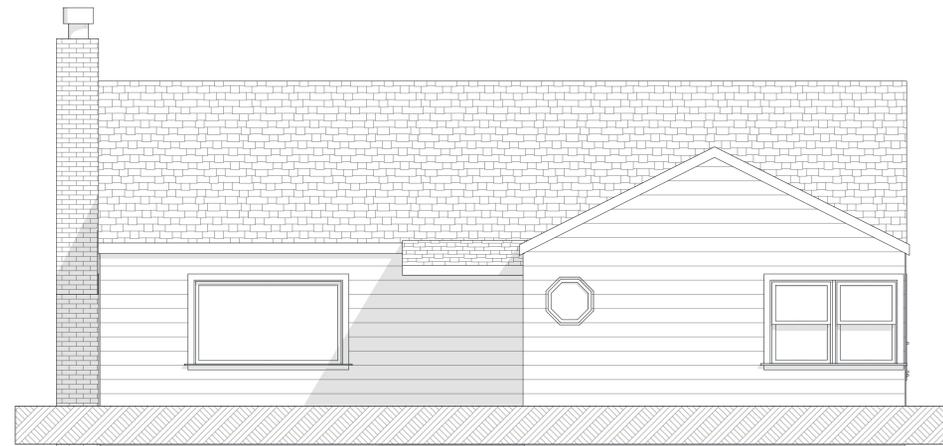


DESIGNER:
 WK + TK
 DATE:
 Sept 21, 2023
 LAYOUT NAME:
 Proposed Floor Plan
 SHEET NO.

A102



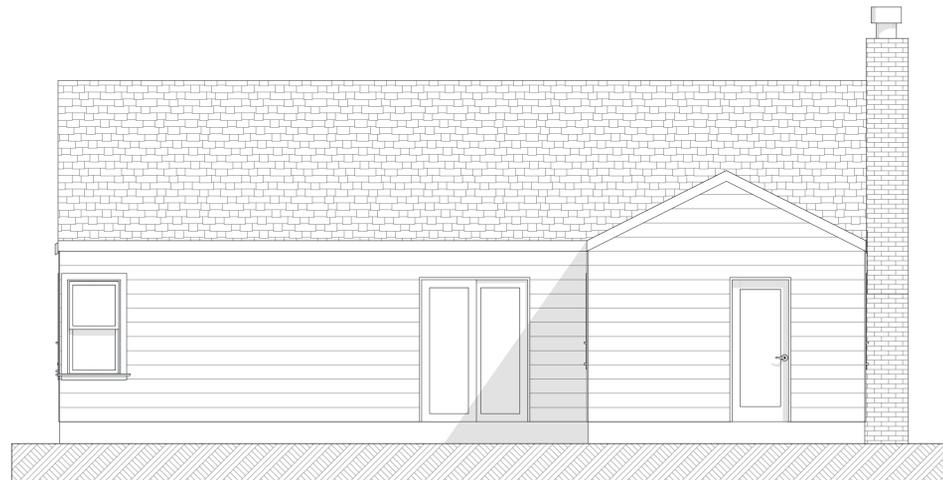
Front Elevation



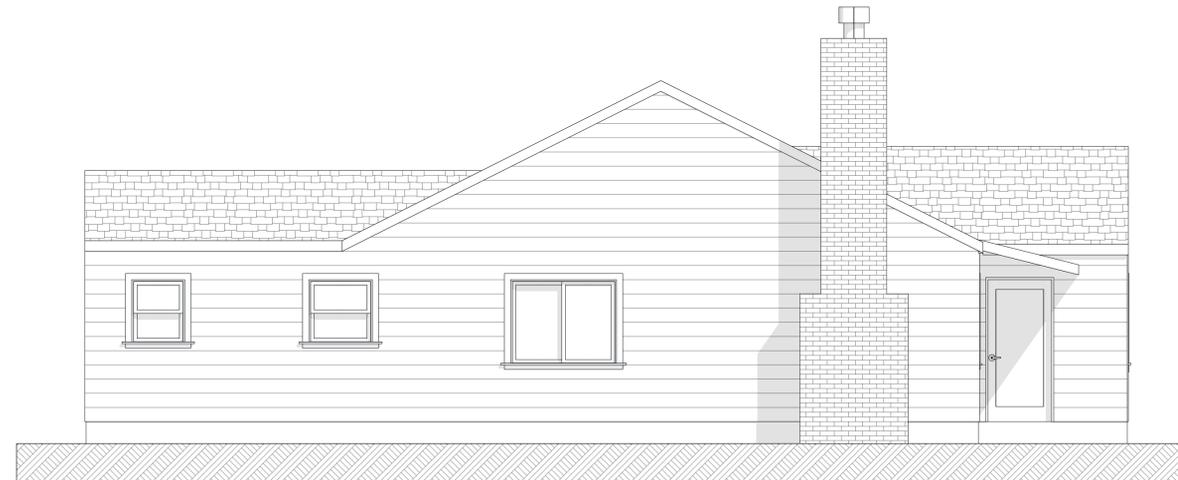
1 North Elevation (Existing)
SCALE: 1/4" = 1'-0"



2 East Elevation (Existing)
SCALE: 1/4" = 1'-0"



3 South Elevation (Existing)
SCALE: 1/4" = 1'-0"



4 West Elevation (Existing)
SCALE: 1/4" = 1'-0"

REVISIONS:



DESIGNER:
WK + TK

DATE:
Sept 21, 2023

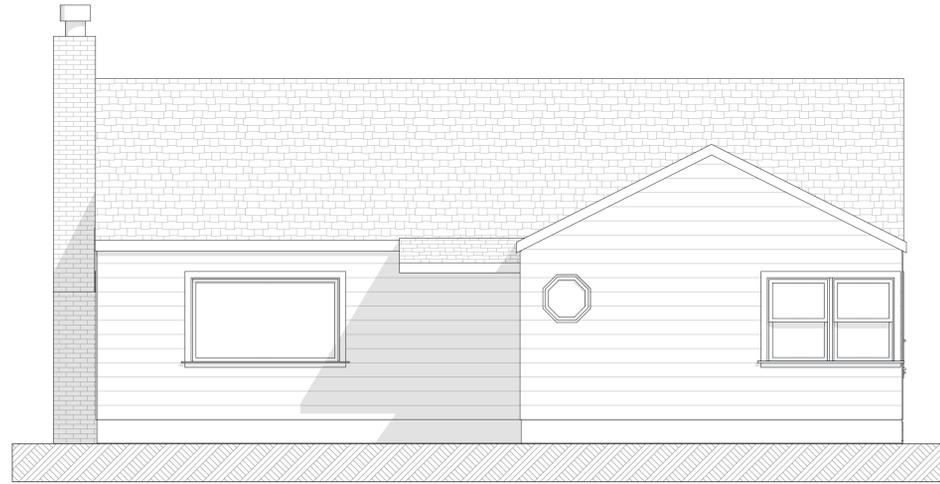
LAYOUT NAME:
Existing Exterior
Elevations

SHEET NO.

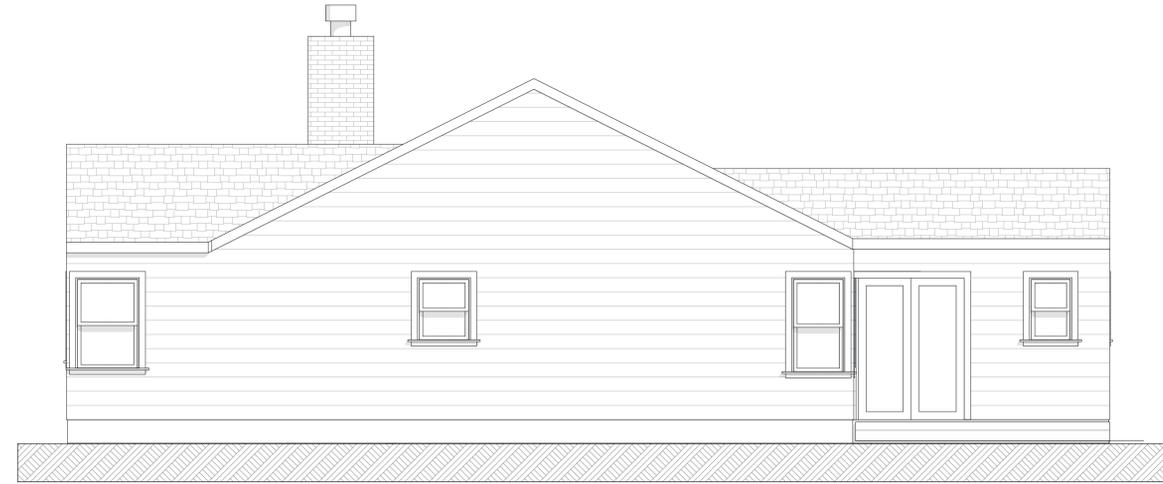
A201

Exterior Finishes

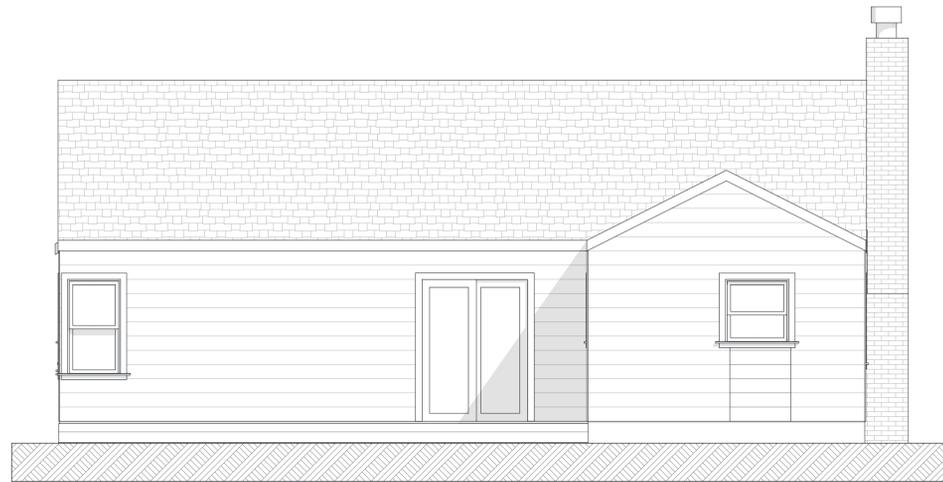
Roof	No change
Siding	Match existing wood siding with redwood or cedar. Install siding over HydroTex weather barrier or approved equal over 1/2" APA rated sheathing. Paint to match existing color.
Windows and Doors	New fiberglass doors and windows. Install per manufacturer's specifications. Color: White
Trim	Painted wood trim at corners, windows and doors. Color to match existing. Wood species to match existing.
Gutter and Downspouts	No change
Flashing	All wall cap metal, sill pans, flashing, counter flashing and z-bar over windows shall be galvanized steel painted to match siding color.
Driveway	No change



1 North Elevation
 A202 SCALE: 1/4" = 1'-0"



2 East Elevation
 A202 SCALE: 1/4" = 1'-0"



3 South Elevation
 A202 SCALE: 1/4" = 1'-0"



4 West Elevation
 A202 SCALE: 1/4" = 1'-0"

A Remodel for:

Blake & Brauley McNulty

642 Oak Street
 Santa Rosa, California 95404
 APN: 009-331-030

REVISIONS:



DESIGNER:
 WK + TK

DATE:
 Sept 21, 2023

LAYOUT NAME:
 Proposed Exterior Elevations

SHEET NO.

A202