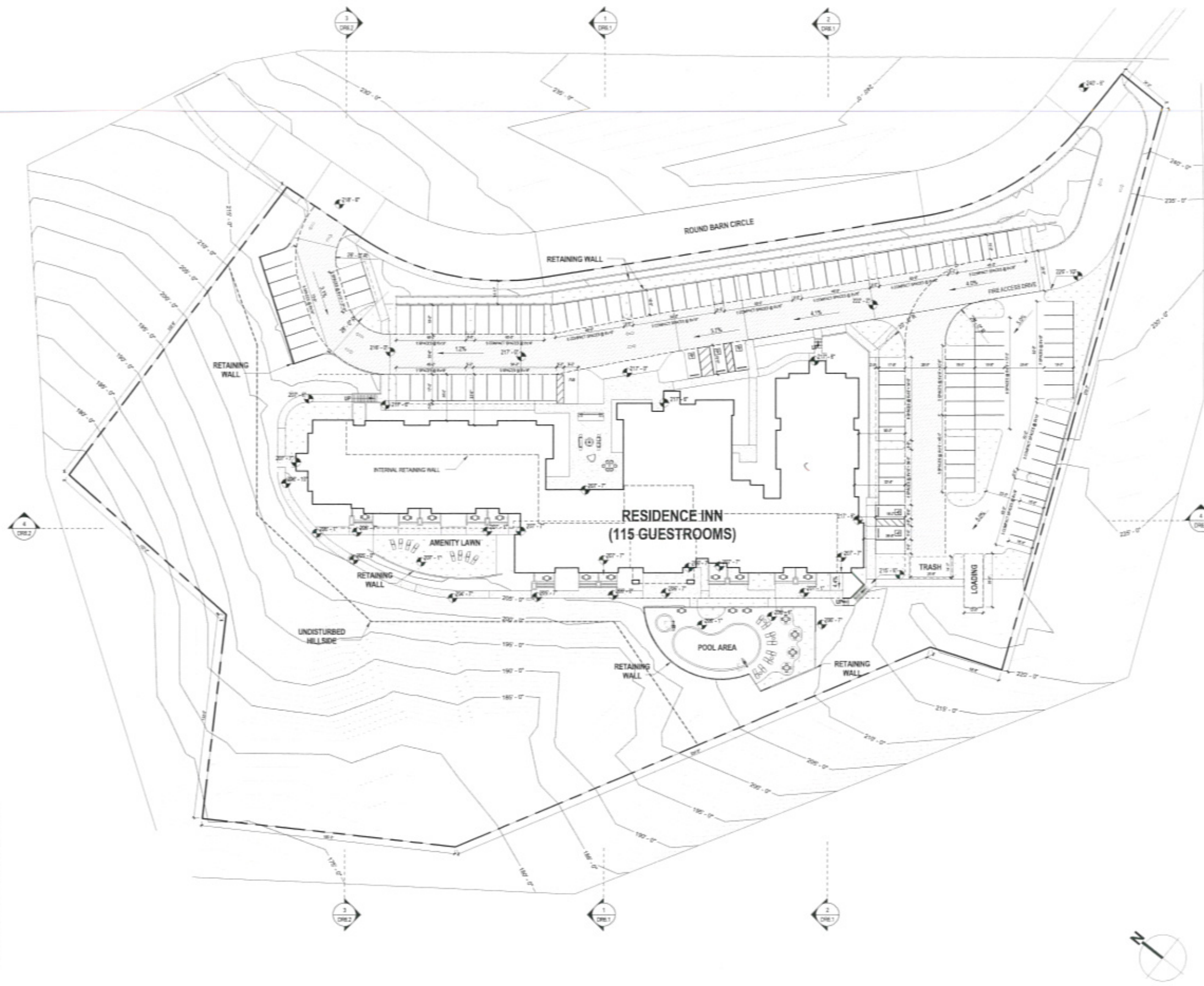




PROJECT SUMMARY	
THIS PROJECT CONSISTS OF SITE DEVELOPMENT FOR (S.D.)	
SITE SUMMARY	
APN#	173-025-008
ADDRESS	BROADACRE DR SANTA ROSA, CA 95403
JURISDICTION	SANTA ROSA
LAND USE PLAN AREA	VACANT COMMERCIAL LAND (VCL)
SITE AREA (NET)	4.6 ACRES / 200,800 SF
ZONING CLASSIFICATION	PD 12-001
PLANNED LAND USE	RETAIL AND BUSINESS SERVICE
FRONT YARD SETBACK	8'-0" REQUIRED / 8'-0" PROVIDED
SIDE YARD SETBACK	8'-0" REQUIRED / 8'-0" PROVIDED
REAR YARD SETBACK	8'-0" REQUIRED / 8'-0" PROVIDED
HEIGHT ALLOWED	8' MAX ALLOWED
BUILDING FOOTPRINT COVERAGE	28,200 SF (14.1%)
PARKING LOT AREA	47,300 SF (23.5%)
LANDSCAPE AREA	125,300 SF (62.4%)
BUILDING AREAS	
RESIDENCE INN (115 GUESTROOMS)	
LEVEL 1	13,910 SF
LEVEL 2	28,000 SF
LEVEL 3	24,000 SF
TOTAL	65,910 SF
PARKING CALCULATIONS	
USE	HOTEL / MOTEL
REQUIRED	1 SPACE PER GUESTROOM 1 X 115 = 115 SPACES
PROVIDED	ON-SITE PARKING 115 SPACES
TOTAL	TOTAL: 115 SPACES PROVIDED INCL. TOTAL 5 ACCESSIBLE (4 ACC. AND 1 VAN ACC.)
VICINITY MAP	



designcell
ARCHITECTURE

10777 W. Twain Avenue, Suite 125 Las Vegas, NV 89135
702.403.1575
www.design-cell.com

v09
1 / 30 / 2017
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City of Santa Rosa
FEB 03 2017
Planning & Economic
Development Department

RESIDENCE INN SANTA
ROSA by MARRIOTT
SANTA ROSA, CA

Project Number 15.054

SITE PLAN / SITE
DATA

DR1.1



COLOR SITE PLAN

1" = 30'-0"

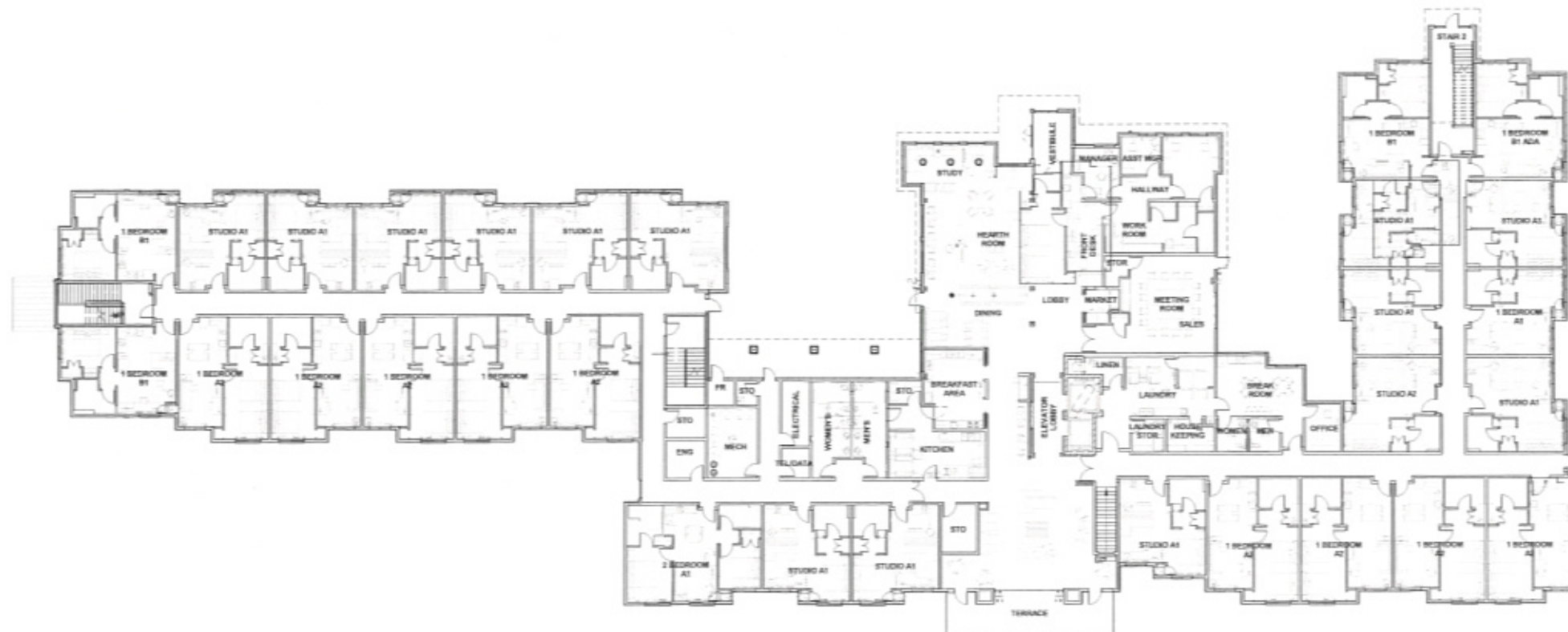
LEVEL 0

1/16" = 1'-0"

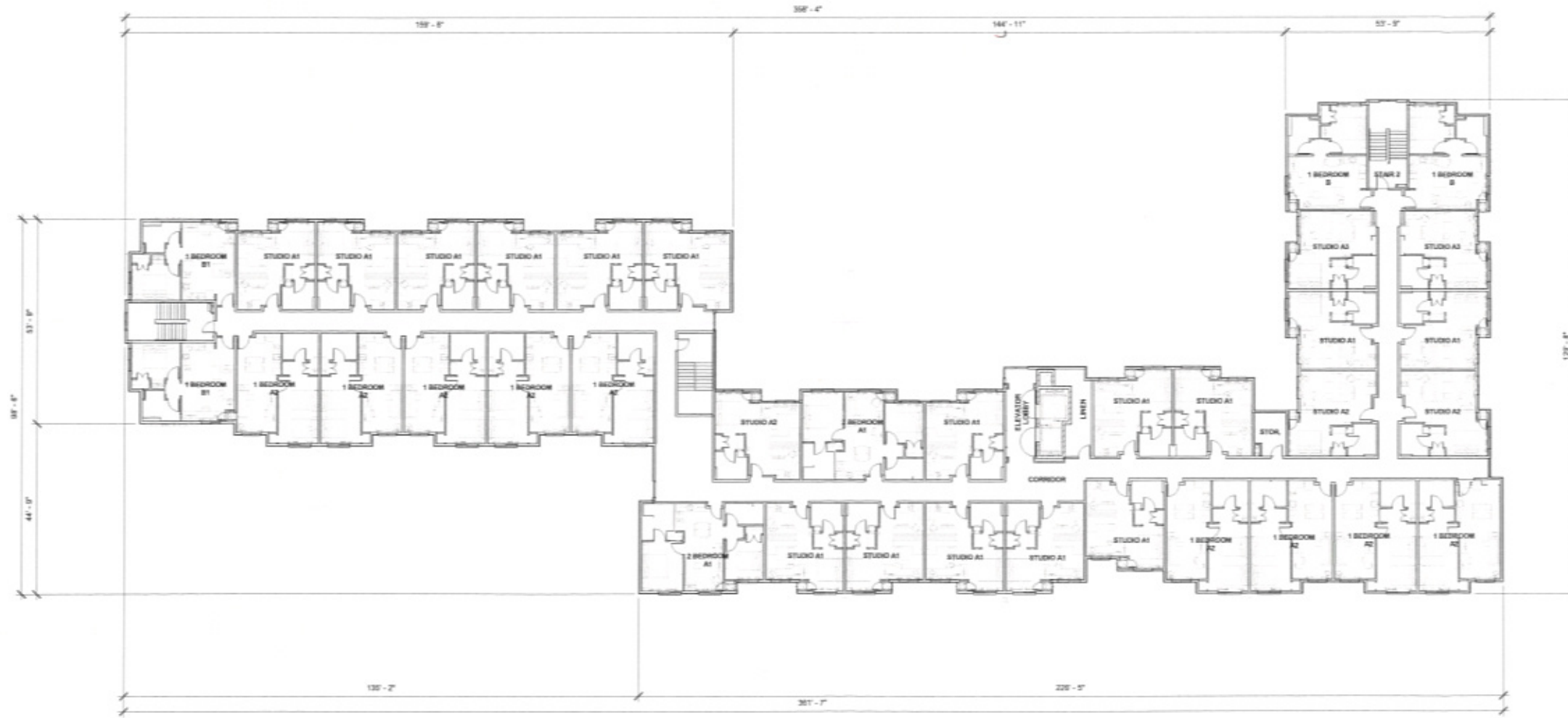


LEVEL 1

1/16" = 1'-0"



RESIDENCE INN



TYPICAL FLOOR PLAN

1/16" = 1'-0"



GUESTROOM TYPES	
GUESTROOM UNIT TYPE	# OF UNITS
1 BEDROOM A1	1
1 BEDROOM A2	35
1 BEDROOM B1	4
1 BEDROOM B2	9
1 BEDROOM B1 ADA	1
2 BEDROOM A1	6
STUDIO A1	48
STUDIO A2	7
STUDIO A3	4
TOTAL GUESTROOMS	115



EAST ELEVATION 1

1" = 10'-0"



EAST ELEVATION 2

1" = 10'-0"



NORTH ELEVATION

1" = 10'-0"

EXTERIOR FINISH LEGEND		
HATCH	KEY	DESCRIPTION
[Pattern]	PT-1	EPS
[Pattern]	PT-2	EPS
[Pattern]	PT-3	EPS
[Pattern]	PT-4	EPS
[Pattern]	FC-1	FIBER CEMENT SIDING
[Pattern]	S-01	SIMULATED WOOD SOFFIT
[Pattern]	STN-1	STONE VENEER
[Pattern]	MTL-1	SOLID SEAM METAL ROOF



WEST ELEVATION 1

1" = 10'-0"



WEST ELEVATION 2

1" = 10'-0"



SOUTH ELEVATION

1" = 10'-0"

EXTERIOR FINISH LEGEND		
HATCH	KEY	DESCRIPTION
	PT-1	EPS
	PT-2	EPS
	PT-3	EPS
	PT-4	EPS
	FC-1	FIBER CEMENT SIDING
	S-01	SIMULATED WOOD SOFFIT
	STN-1	STONE VENEER
	MTL-1	SIDING SEAM METAL ROOF



SECTION 1

1/16" = 1'-0"



SECTION 2

1/16" = 1'-0"



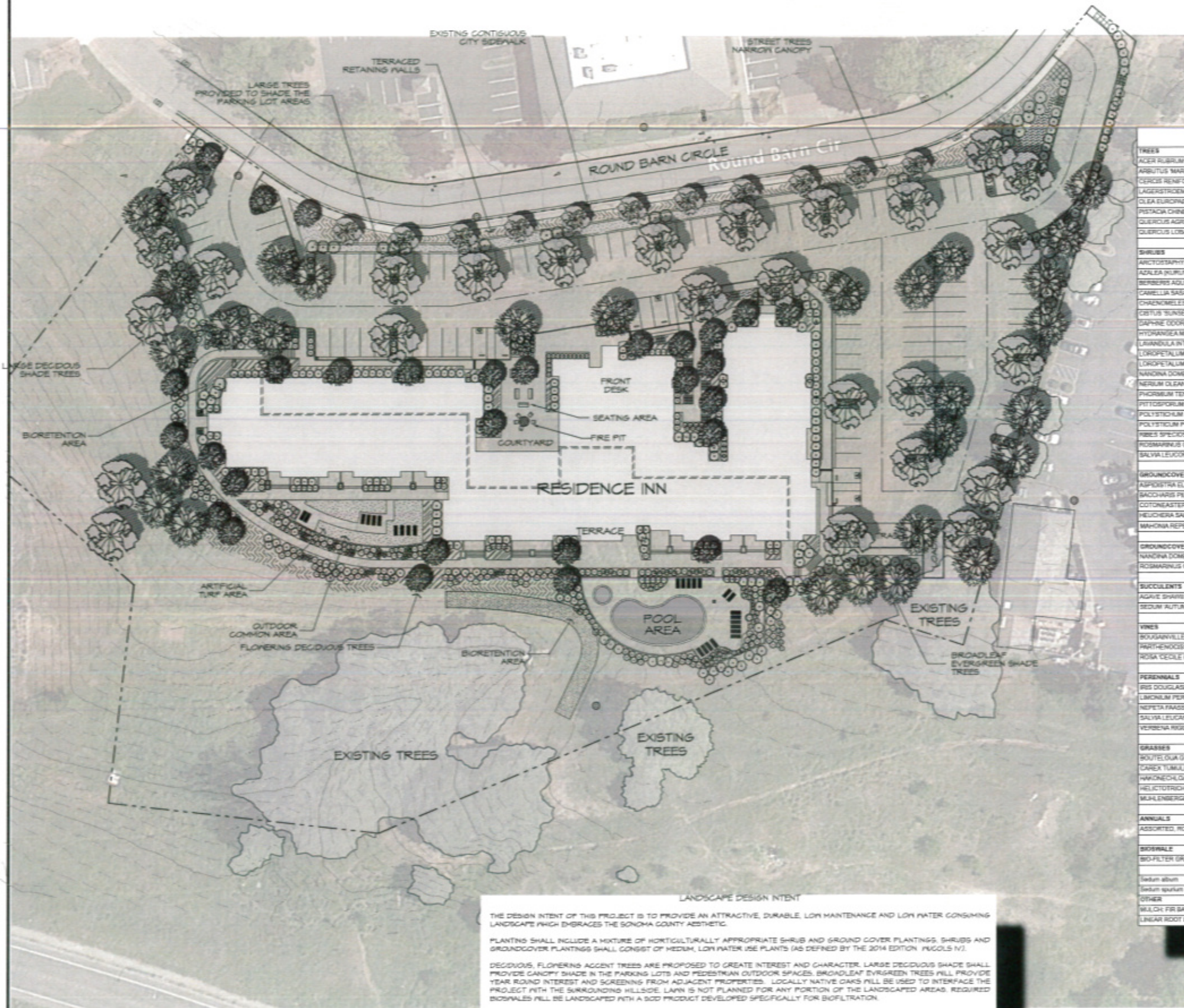
SECTION 3

1/8" = 1'-0"



SECTION 4

3/16" = 1'-0"



TYPICAL PLANT PALETTE

BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	WATER USE PER WUCOLS IV
TREES				
ACER RUBRUM ARMSTRONG	SCARLET MAPLE	10		M
ARBUTUS MENZIESII	NON	24	MULTI TRUNK FORM	L
CERCIS RENIFORMIS OKLAHOMA	OKLAHOMA REDBUD	15		L
LAGERSTROEMIA FALCATA	CHINA MYRTLE	24		L
OLEA EUROPEA 'SILVER HILL'	FRUITLESS OLIVE	24	SPECIMEN TREE	VL
PISTACHIA CHINENSIS 'KEITH DAVEY'	CHINESE PISTACHE	24		L
QUERCUS AGRIYOLIA	COAST LIVE OAK	24	CALIFORNIA NATIVE	VL
QUERCUS LOBATA	VALLEY OAK	24/36	CALIFORNIA NATIVE	L
SHRUBS				
ARCTOSTAPHYLOS C. 'HOWARD WENBY'	VINE HILL MANZANITA	5	CALIFORNIA NATIVE	L
AZALEA (MULINE)	KURUME AZALEA	5	ASSORTED	M
BERBERIS AQUIFOLIUM VAR. REPENS	CREeping MAHONIA	5	CALIFORNIA NATIVE	L
CAMELLIA SASANGUA 'YULETIDE'	CAMELLIA	5	ESPAILLER	M
CHAMNOMELIS 'TEXAS SCARLET'	JAPANESE QUINCE	5		L
OSTEA 'SUNSET'		5		L
DAPHNE ODOREA 'MAGNATA'	WINTER DAPHNE	5		M
HYDRANGEA MACROPHYLLA 'WATERS'	LACECAP HYDRANGEA	5		M
LIANANULA INTERMEDIA 'PHENOMENAL'	LAVENDER	5		L
LODOPETALUM CHINENSE 'PEACH'	DWARF CHINESE FRINGE FLOWER	1	DWARF CULTIVAR	L
LODOPETALUM CHINENSE 'RAZZLEBERRY'	NON	5		L
NANDINA DOMESTICA 'MOYE'S RED'	HEAVENLY BAMBOO	5		L
NEROLIUM OLEANDER LITTLE RED	DWARF OLEANDER	5		L
PHORUM TENAX 'JACK SPRIAT'	NEW ZEALAND FLAX	5		L
PHYTOSPORUM TOBIRA 'WHEELER'S DWARF'	DWARF MOCK ORANGE	5	5' O.C. TRE SHADING	L
POLYSTICHUM MUNITUM	SWORD FERN	5	CALIFORNIA NATIVE	M
POLYSTICHUM POLYLEPHANTUM	TAOSSEL FERN	5		M
RIBES SPECIOSUM	FUCHSIA GOSSEBERRY	5	CALIFORNIA NATIVE	L
ROSMARINUS D. 'TUSCAN BLUE'	ROSEMARY	5		L
SALVADOLICOPHYLLA 'FRIGID'	PURPLE SAUCE	5	CALIFORNIA NATIVE	L
GROUNDCOVER				
ASPIDISTRA ELATIOR	CAST-IRON PLANT	1		L
BACCHARIS PILLULARIS 'TWIN PEAKS 82'	DWARF COYOTE BUSH	1	CALIFORNIA NATIVE	L
COTONEASTER DAMMERI 'CORAL BEAUTY'	COTONEASTER	1		L
HEUCHERA SANGUINEA 'TWISTLY'	CORAL BELLS	1		M
MAHONIA REPENS	CREeping MAHONIA	1	CALIFORNIA NATIVE	L
GROUNDCOVER				
NANDINA DOMESTICA 'FIREPOWER'	HEAVENLY BAMBOO	1		L
ROSMARINUS OFFICINALIS PROSTRATUS	PROSTRATE ROSEMARY	1		L
SUCCULENTS				
AGAVE SHAWII 'ATTENUATA BLUE FLAME'	AGAVE	1		L
SEDUM AUTUMN JOY	STONECROP	1		L
VINES				
BOXYCARPUS 'LAVENDER RED'		5	TIE TO TRELIS	L
PARHENSOCISSUS THICUSPATA	BOSTON IVY	5		L
ROSA CECLIA BRUNNER		5	TIE TO TRELIS	L
PERENNIALS				
IRIS DOUGLASSIANA PACIFIC COAST HYBRID	IRIS	1	CALIFORNIA NATIVE	L
LIKONUM PERIZI	SEA LAVENDER	1		L
NEPETA FAASSINI 'WALKER'S LOW'	CATMINT	1		L
SALVADOLICANTHA	MEXICAN BUSH SAGE	1		L
VERBENA RUDDA	BLUE RIGID VERBENA	1		L
GRASSES				
BOULEDOU GRACILLUS BLONDE AMBITON	BLONDE AMBITON BLUE GRAMA	1		L
CAREX YUMUJICOLA	BERNIELEY GEORGE	1	CALIFORNIA NATIVE	L
HAIRONECHLOA MACRA ALRED-VAREGAK	VARIATED JAPANESE FOREST GRASS	1		M
HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1		L
MULLENBERGIA OLUBA	PINE MULEY	1		L
ANNUALS				
ASSORTED, ROTATE BY SEASON	4 TIMES/YEAR	4" POT		
BIOFILT				
BIO-FILTER GRASSES	'BIO-FILTRATION SCOT'	500		L
Sedum album		FLAT		L
Sedum spumellatum 'Schotbauer Blue'		FLAT		L
OTHER				
MULCH FOR BARK, 1/2" TO 1-1/2"			ALL LANDSCAPE AREAS	
LINEAR ROOT BARRIER	ROOT SOLUTIONS, OR EQUAL			

LANDSCAPE DESIGN INTENT

THE DESIGN INTENT OF THIS PROJECT IS TO PROVIDE AN ATTRACTIVE, DURABLE, LOW MAINTENANCE AND LOW WATER CONSUMING LANDSCAPE WHICH ENHANCES THE SONOMA COUNTY AESTHETIC.

PLANTING SHALL INCLUDE A MIXTURE OF HORTICULTURALLY APPROPRIATE SHRUB AND GROUND COVER PLANTINGS. SHRUBS AND GROUND COVER PLANTINGS SHALL CONSIST OF MEDIUM, LOW WATER USE PLANTS (AS DEFINED BY THE 2014 EDITION - WUCOLS IV).

DECIDUOUS, FLOWERING ACCENT TREES ARE PROPOSED TO CREATE INTEREST AND CHARACTER. LARGE DECIDUOUS SHADE SHALL PROVIDE CANOPY SHADE IN THE PARKING LOTS AND PEDESTRIAN OUTDOOR SPACES. BROADLEAF EVERGREEN TREES WILL PROVIDE YEAR ROUND INTEREST AND SCREENING FROM ADJACENT PROPERTIES. LOCALLY NATIVE OAKS WILL BE USED TO INTERFACE THE PROJECT WITH THE SURROUNDING HILLSIDE. LAWN IS NOT PLANNED FOR ANY PORTION OF THE LANDSCAPED AREAS. REQUIRED BIOFILTALS WILL BE LANDSCAPED WITH A SOF PRODUCT DEVELOPED SPECIFICALLY FOR BIOFILTRATION.

IRRIGATION DESIGN INTENT

ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM WITH WEATHER SENSOR OVERRIDE. SENSOR SHALL BE CAPABLE OF CALCULATING EVAPOTRANSPIRATION AND SHALL ADJUST FOR LOCAL WEATHER. THE ENTIRE IRRIGATION SYSTEM SHALL BE ON AN AUTOMATICALLY CONTROLLED SYSTEM WITH SEPARATE PROGRAMS CAPABLE OF IRRIGATING EACH HYDROZONE INDEPENDENTLY.

THE PROPOSED TREE SHALL BE IRRIGATED VIA SEPARATE, DEDICATED BUBBLER CIRCUIT. ALL OTHER LANDSCAPE AREAS SHALL BE IRRIGATED VIA AN IN-LINE DRIP EMITTER IRRIGATION SYSTEM. THE INTENT OF THE LANDSCAPE AND WATER DELIVERY SYSTEMS IS TO MEET ALL ASPECTS OF THE CITY OF SANTA ROSA WATER EFFICIENCY LANDSCAPE ORDINANCE (MELD).

CONCEPTUAL LANDSCAPE PLAN



DATE: 2/2/17
 JOB: 2016-39
 SCALE: 1" = 30'
 DRAWN: DM
 SHEET: L-1
 SHEET 1 OF 1

CONCEPTUAL LANDSCAPE PLAN

City of Santa Rosa

FEB 03 2017

Planning & Economic Development Department

RESIDENCE INN SANTA ROSA BY MARRIOTT

SANTA ROSA, CALIFORNIA

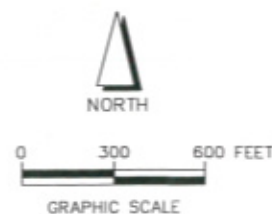




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ZONING CODE ABBREVIATIONS :

CG	GENERAL COMMERCIAL
CO	OFFICE COMMERCIAL
IL	LIGHT INDUSTRIAL
MH	MOBILE HOME
PD	PLANNED DEVELOPMENT
PI	PUBLIC INSTITUTIONAL
R	SINGLE FAMILY RESIDENTIAL
RR	RURAL RESIDENTIAL



NEIGHBORHOOD CONTEXT MAP

Residence Inn Santa Rosa by Marriott
0 Broadacre Circle, (Round Barn Circle)
Santa Rosa CA
APN: 173-020-008

adobe associates, inc.
civil engineering | land surveying | wastewater
1220 N. Dutton Ave., Santa Rosa, CA 95401
P. (707) 541-2300 F. (707) 541-2301
Website: www.adobeinc.com
"A Service You Can Count On!"

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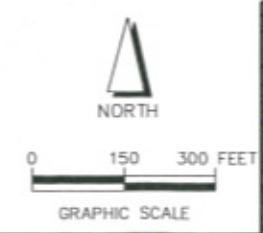
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SOIL ABBREVIATIONS:

AgD	Arbuckle gravelly sandy loam, 5 to 15% slopes	SkC	Spreckles loam, 2 to 9% slopes
CeA	Clear Lake clay, Sandy substratum, drained, 0 to 2% slopes, MLRA 14	SKE	Spreckles loam, 15 to 30% slopes
CGA	Clear Lake clay, ponded, 0 to 2% slopes	ZaA	Zamora silty clays loam, 0 to 2% slopes
CrA	Cortina very gravelly sandy loam, 0 to 2% slopes	ZaB	Zamora silty clays loam, 2 to 5% slopes
FaD	Felta very gravelly loam, 5 to 15% slopes		
Fae	Felta very gravelly loam, 15 to 30% slopes		
GIE	Goulding cobbly clay loam, 15 to 30% slopes		
RaD	Raynor Clay, 9 to 15% slopes		
RaE	Raynor Clay, 15 to 30% slopes		

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SITE ANALYSIS MAP

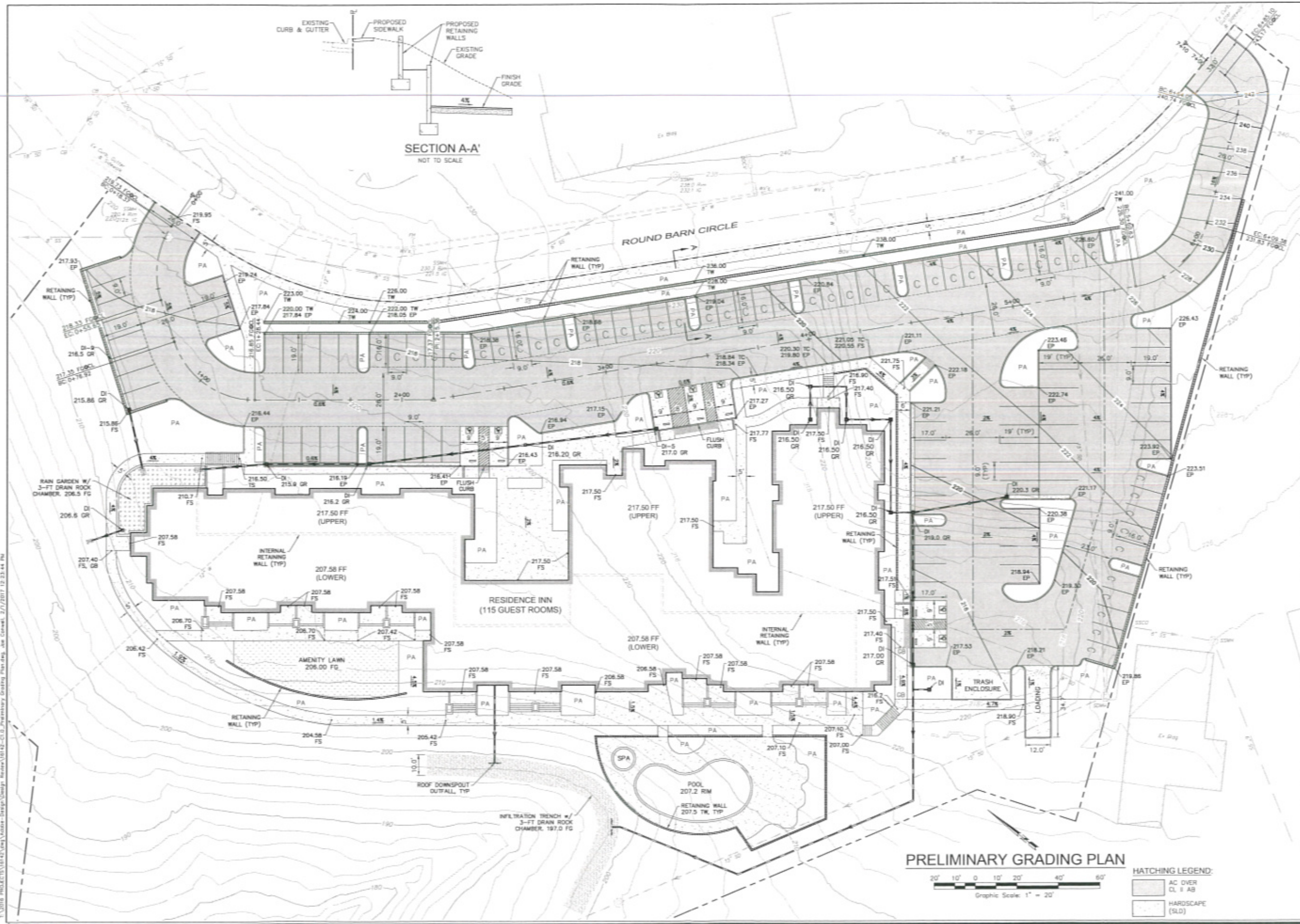
Residence Inn Santa Rosa by Marriott
0 Broadacre Circle, (Round Barn Circle)
Santa Rosa CA
APN: 173-020-008

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No.	Date	Description	Approved

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civil engineering / land surveying / wastewater
1320 N. Duham Ave., Santa Rosa, CA 95401
P: (707) 541-2300 F: (707) 541-2301
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City of Santa Rosa

FEB 23 2017

Planning & Economic Development Department

**RESIDENCE INN
SANTA ROSA BY MARRIOTT
PRELIMINARY GRADING PLAN**
3555 Round Barn Circle
Santa Rosa, California
APN 173-020-005

SCALE: AS NOTED
Date: January 16, 2017
Design by: JCN
Drawn by: JCN, JSC
Checked by: TJS

**Sheet
C1.0**
1 of 1 Sheets
Job 16142