



THE SEQUOIA GREEN TOWNHOMES : 1285 GLENN STREET, SANTA ROSA, CA

GLENN STREET ELEVATION

SCALE : 1/8" = 1'-0"

City of Santa Rosa

MAR 30 2017

Planning & Economic
Development Department

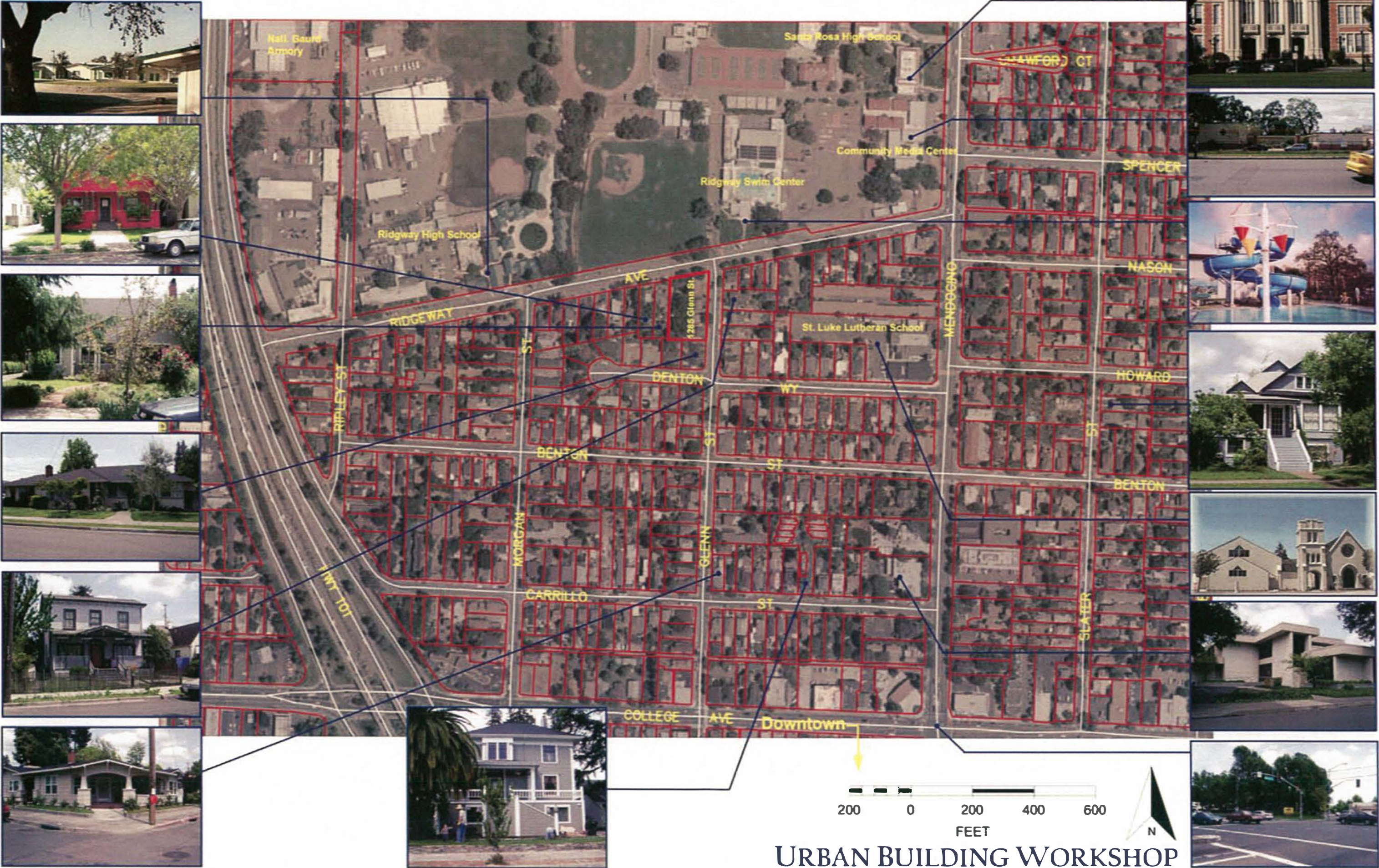


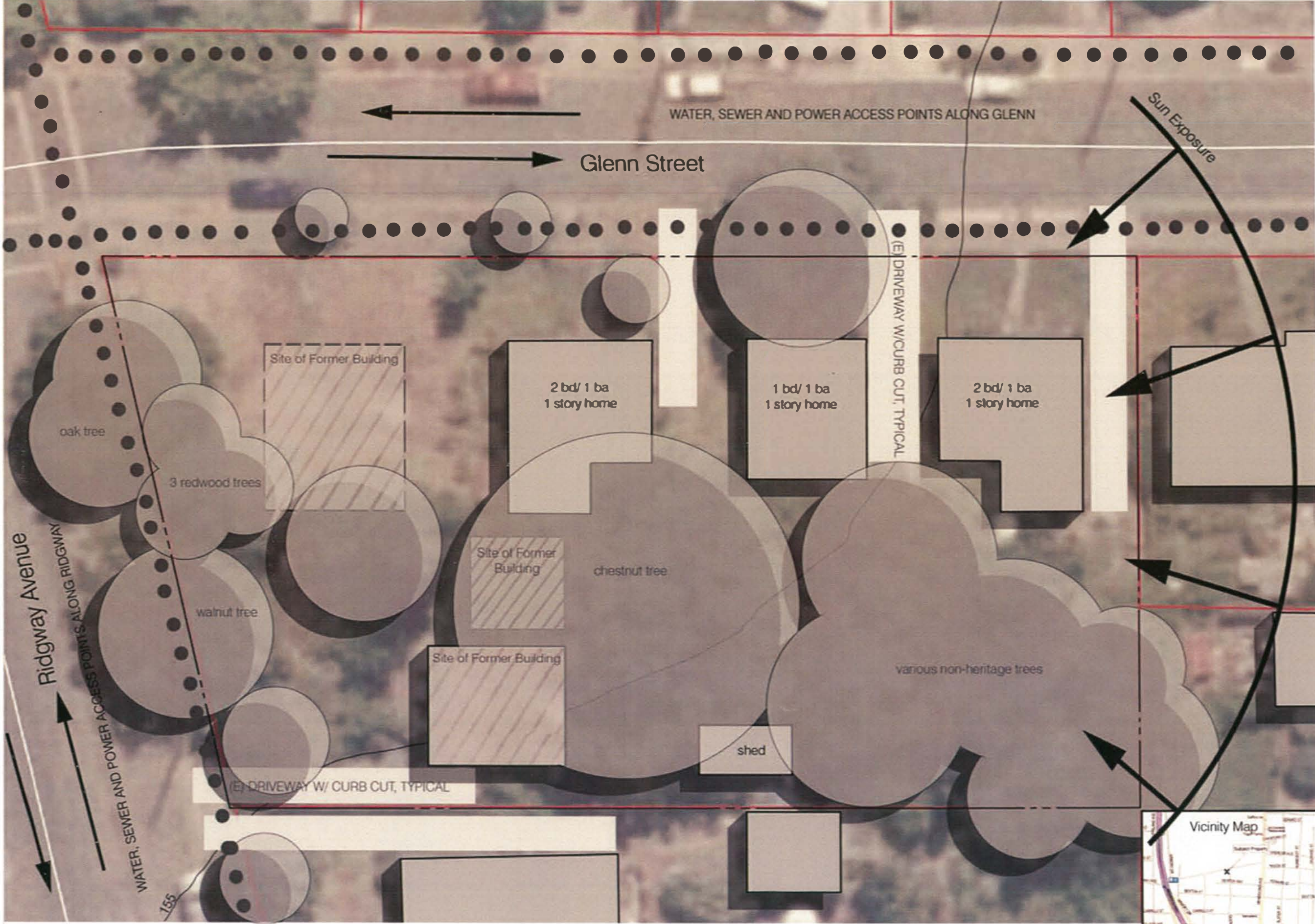
THE SEQUOIA GREEN TOWNHOMES : 1285 GLENN STREET, SANTA ROSA, CA

RIDGWAY ELEVATION

SCALE : 1/8" = 1'-0"

NEIGHBORHOOD CONTEXT MAP : 1285 GLENN STREET





1285 GLENN STREET
THE SEQUOIA GREEN
TOWNHOMES

issues

revisions

scale 1" = 10'-0" date 5.05.05
drawn: KEVIN checked:



SITE ANALYSIS

A2.0

SITE ANALYSIS



SCALE : 1" = 20'-0"

KEYNOTES

- ① (N) STRUCTURE OR FENCE
- ② (E) STRUCTURES, FENCES AND ADJACENT BUILDINGS
- ③ (N) CONCRETE DRIVEWAY TO CITY R.O.W.
- ④ (E) SIDEWALK INSTALLED PER APPROVED IMPROVEMENT PLANS, ACCEPTED BY CITY IN 2008
- ⑤ (N) LANDSCAPE PAVERS OR PAVING, S.L.O.
- ⑥ SETBACK LINE
- ⑦ (N) FENCE, 6 FT. HIGH
- ⑧ PORCH EXTENDS INTO FRONT SETBACK

NOTE: SEE LANDSCAPE DRAWING FOR NEW TREES AND PLANTING

LINETYPE KEY

- 6" TALL SOLID FENCE
- 3" TALL OPEN PICKET FENCE
- PROPERTY LINE
- BUILDING SETBACK LINE

SHEET NOTES

1. THE FOLLOWING CODE EDITIONS USED FOR THE DESIGN OF THE PROJECT: 2013 CBC, 2013 CMC, 2013 CPC, 2013 CEC, 2013 CFC, 2013 CALIFORNIA GREEN BUILDING STANDARDS. ALL CONSTRUCTION, REGARDLESS OF THE DETAILS ON PLANS, SHALL COMPLY WITH THE CODES LISTED ABOVE. ONE AND TWO FAMILY DWELLINGS MAY BE DESIGNED TO THE 2013 RESIDENTIAL CODE.
2. PRIOR DESIGN REVIEW APPROVAL IN 2008, EXPIRED BUILDING PERMIT SUBMITTAL IN 2007
3. DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE OF PROJECT: KEVIN SKILES, ARCHITECT, 111 JAMES STREET, MILL VALLEY, CA 94941 PHONE: 415.572.4159
4. PUBLIC IMPROVEMENTS COMPLETED AND ACCEPTED BY CITY OF SANTA ROSA IN 2008. ALL UTILITIES, SIDEWALKS, DRIVEWAY APRONS, JOINT TRENCH, FINISHED GRADING AND CURBS COMPLETE

FOUR FINISHED LOTS WITH PROPOSED NEW HOMES

EXISTING NEIGHBOR HOME

PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

4 LOTS
SEQUOIA GREEN

RIDGWAY & GLENN
SANTA ROSA, CA
95401

OWNER:
1285 GLENN STREET, LLC

issues

DESIGN REVIEW... 8.2017

revisions



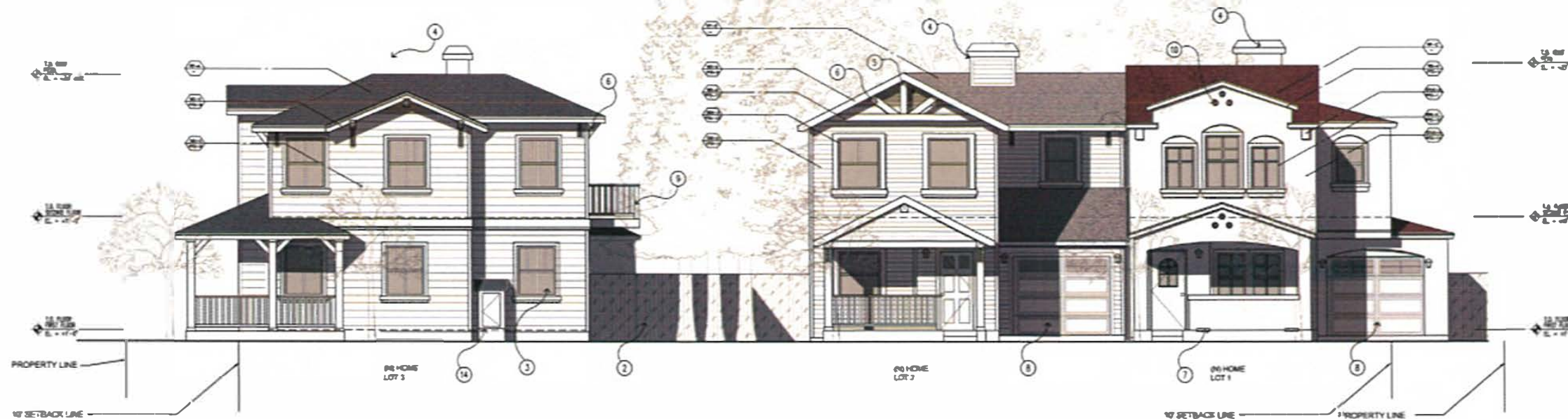
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SITE PLAN

A1.0

URBAN BUILDING WORKSHOP | 111 James St. | Mill Valley, CA | 94941 | 415.572.4159

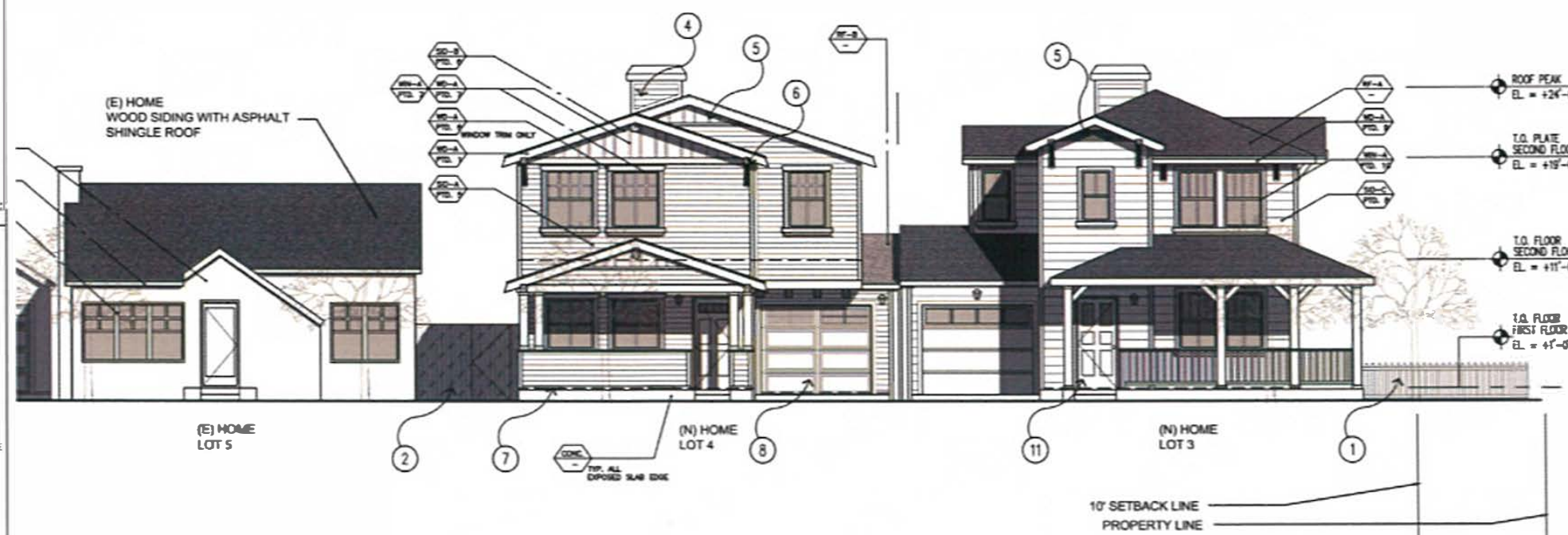


2 NORTH ELEVATION - RIDGWAY AVENUE FRONTAGE

SCALE: 3/16" = 1'-0"

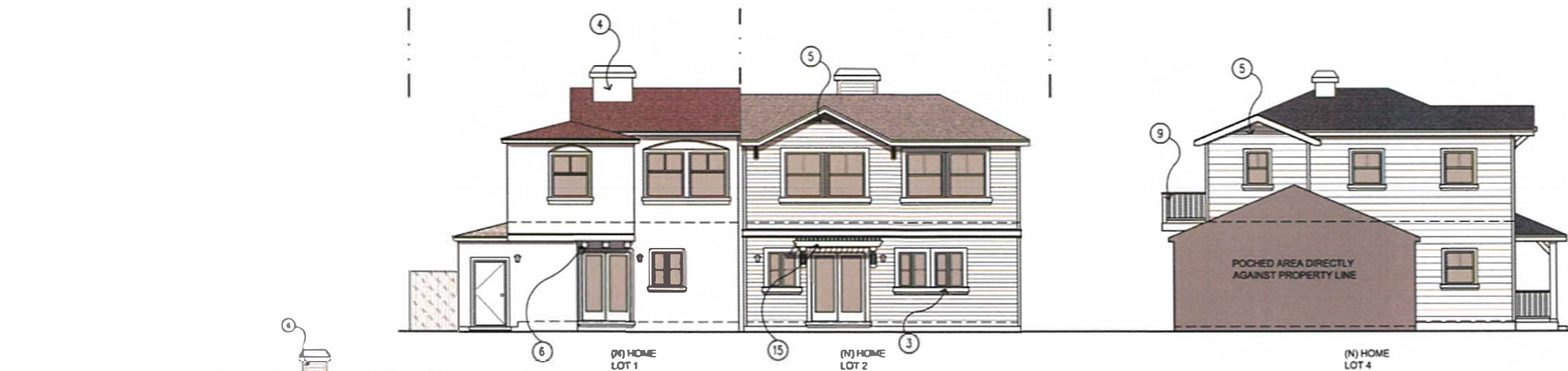
KEYNOTES	
1	5' HIGH OPEN POCKET WOOD FENCE
2	6' HIGH SOLID WOOD FENCE
3	FIBERGLASS WINDOWS, TYP.
4	CHIMNEY FOR GAS APPLIANCES AND CAPPED PLUMBING VENTS
5	ATRIC VENTILATION
6	WOOD BRACKETS
7	THRU-BALL OVERFLOW DRAIN
8	SECTIONAL GARAGE DOOR WITH UTILITY IN TOP SECTION
9	CANTILEVERED BALCONY W/ OPEN RAILING
10	6" TERRA COTTA PIPE TILE FOR VENTILATION
11	SOLID CORE, HANDED PANEL, FIBERGLASS ENTRY DOOR
12	NOT USED
13	(N) GARAGE ADJACENT TO (E) HOME
14	UTILITY METER ENCLOSURE

FINISH KEY	PAIN. KEY
SD-A	PAINTED SIDER
SD-B	PAINTED SIDER
SD-C	PAINTED SIDER
SD-D	PAINTED SIDER
SD-E	PAINTED SIDER
SD-F	PAINTED SIDER
SD-G	PAINTED SIDER
SD-H	PAINTED SIDER
SD-I	PAINTED SIDER
SD-J	PAINTED SIDER
SD-K	PAINTED SIDER
SD-L	PAINTED SIDER
SD-M	PAINTED SIDER
SD-N	PAINTED SIDER
SD-O	PAINTED SIDER
SD-P	PAINTED SIDER
SD-Q	PAINTED SIDER
SD-R	PAINTED SIDER
SD-S	PAINTED SIDER
SD-T	PAINTED SIDER
SD-U	PAINTED SIDER
SD-V	PAINTED SIDER
SD-W	PAINTED SIDER
SD-X	PAINTED SIDER
SD-Y	PAINTED SIDER
SD-Z	PAINTED SIDER
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SD-98	PAINTED SIDER
SD-99	PAINTED SIDER
SD-100	PAINTED SIDER



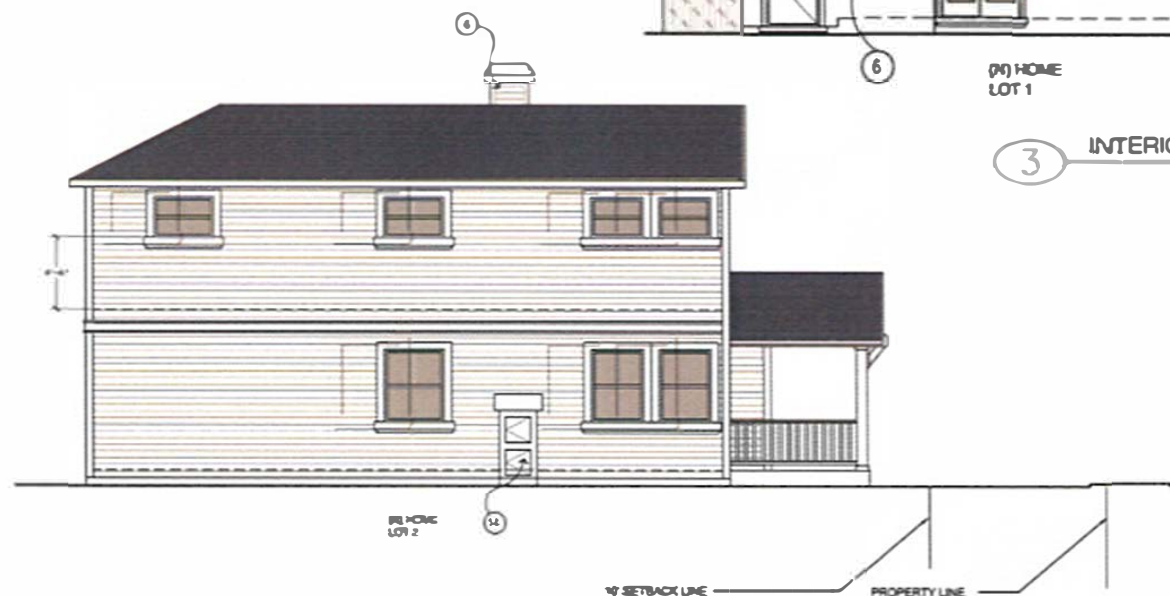
1 EAST ELEVATION - GLENN STREET FRONTAGE

SCALE: 3/16" = 1'-0"



3 INTERIOR ELEVATION - LOOKING NORTH

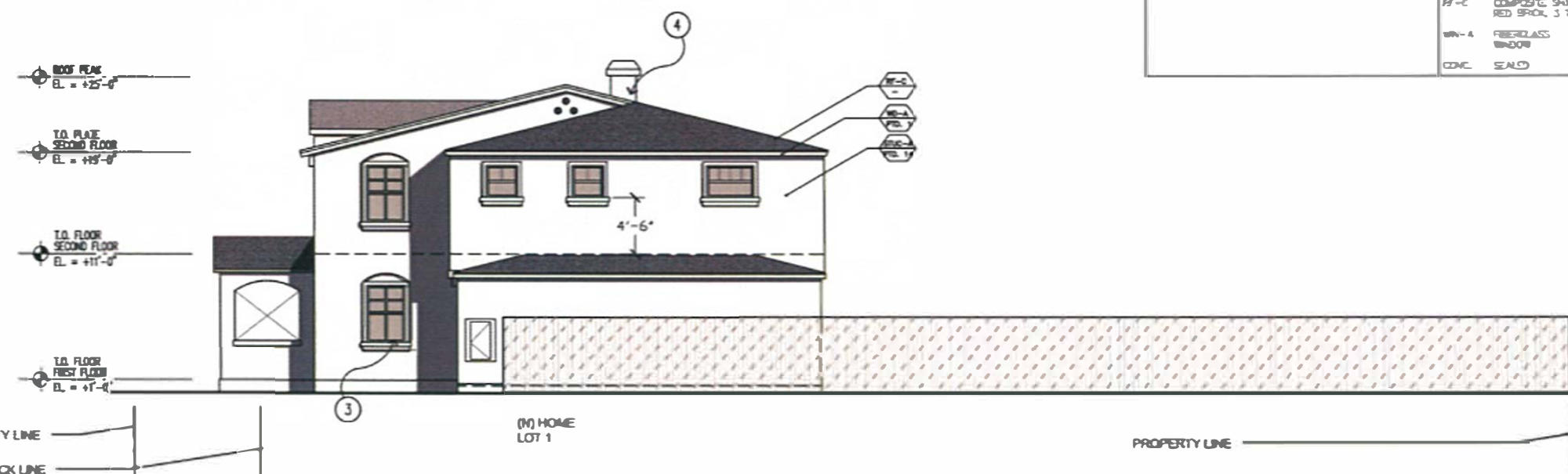
SCALE: 3/16" = 1'-0"



2 INTERIOR ELEVATION - LOOKING WEST

SCALE: 3/16" = 1'-0"

KEYNOTES	FINISH KEY	PANT KEY
1 3' HIGH OPEN PICKET WOOD FENCE	SD-A HARD-BOARD SIDING 5" EXPOSURE	PTD. 1 IC #719 STONE WHITE
2 6' HIGH SOLID WOOD FENCE	SD-B HARD-BOARD BATTEN STICK SIDING	PTD. 2 IC #833 GREY BIRCH
3 FIBERGLASS WINDOWS, TYP.	SD-C RUMED-BOARD SIDING 7" EXPOSURE	PTD. 3 IC #143 STONEWALL
4 CHIMNEY FOR GAS APPLIANCES AND CAPPED PLUMBING VENTS	SD-D HARD-BOARD SIDING 10" EXPOSURE	PTD. 4 IC #90 BLACKBERRY FRESH
5 ATBC VENTILATION	STUC-A PAINTED STUCCO	PTD. 5 IC #053 DISTANT HAZE
6 WOOD BRACKETS	SD-A WOOD TRIM OR HARD- BOARD TRIM	PTD. 6 IC #145 MAINE HARBOR
7 THRU WALL DOWNDRAW DRAIN	RF-A COMPOSITE SHINGLE GREY, 3 TAB	PTD. 7 IC #136 UNION BLUE
8 SECTIONAL GARAGE DOOR WITH LITES IN TOP SECTION	RF-A COMPOSITE SHINGLE LIGHT GREY, 3 TAB	PTD. 8 IC #884 SILENT FOG
9 CANTILEVERED BALCONY w/ OPEN RAILING	RF-C COMPOSITE SHINGLE RED BROWN, 3 TAB	PTD. 9 IC #127 GRANITE GREEN
10 6" TERRAZZO COTTA PIPE TILE FOR VENTILATION	WN-A FIBERGLASS WINDOW	PTD. 10 IC #121 CLASSIC BUCKLEBURY
11 SOLID CORE RAISED PANEL FIBERGLASS ENTRY DOOR	CONC. SEALED	PTD. 11 IC #890 CHAMELLEWAY WHITE
12 NOT USED		PTD. 12 IC #106 MAINE STREET USA
13 (N) GARAGE ADJACENT TO (E) HOME		PTD. 13 IC #780 OLD SHELL
14 UTILITY METER ENCLOSURE		PTD. 14 IC #720 SAGHIE COAST
		PTD. 15 IC #263 WOODHAVEN

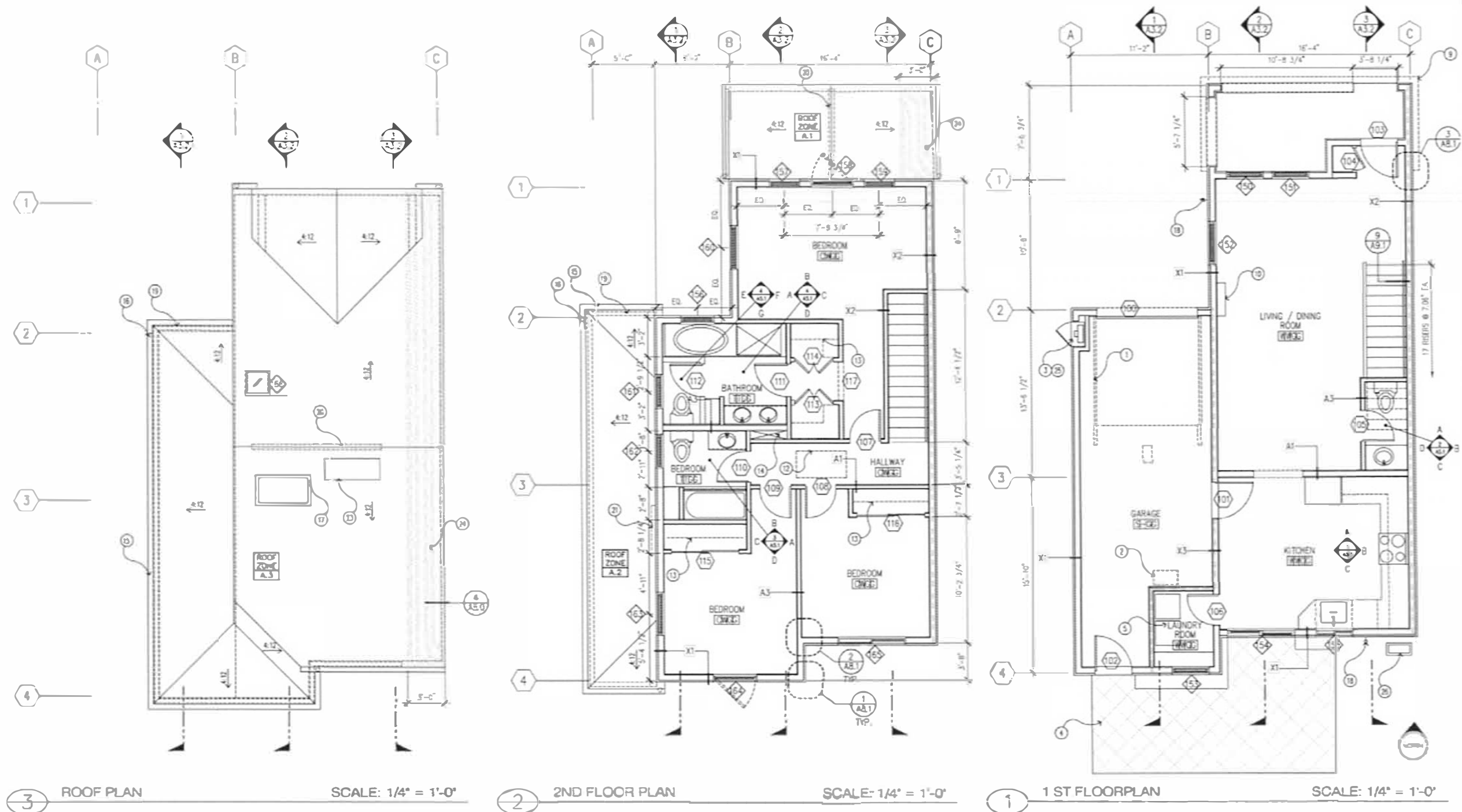


1 WEST ELEVATION - NEIGHBOR FRONTAGE

SCALE: 3/16" = 1'-0"

356 Ridgway Ave.
Santa Rosa, CA

Sequoia Green



3 ROOF PLAN SCALE: 1/4" = 1'-0"

2 2ND FLOOR PLAN SCALE: 1/4" = 1'-0"

1 1ST FLOORPLAN SCALE: 1/4" = 1'-0"

SHEET NOTES

1. ALL INTERIOR NON-RATED WALL ASSEMBLIES TO BE BUILTTYPE "A", U.O.N.
2. ALL EXTERIOR NON-RATED WALL ASSEMBLIES TO BE BUILTTYPE "B", U.O.N.
3. OFFSET ALL VENT DUCTS AND VENTS A MIN. TO PENETRATE ROOF INSIDE CHIMNEY STRUCTURE
4. CONNECT ALL RAIN WATER LEADERS TO CONCRETE DRAINAGE
5. ROOF MATERIAL TO BE ASPHALT SHINGLES, SEE SPEC.
6. SEE STRUCTURAL DRAWINGS FOR STUD SIZING AND LOCATION OF PLYING SHEAR WALLS

LEGEND

INDICATES 1 HR. RATED WALL

DOWNSPOUT AT ROOF

DOWNSPOUT FROM ROOF ABOVE

ROOF AREA REQUIRED TO BE 1 HOUR RATED

FLOOR FINISH KEY

BEDROOM

- C: GYP. BC., PAINTED PER INTERIOR ELEVATION
- C: CARPET
- T: CERAMIC TILE 12" x 12" WITH 3/16" GROUT JT.
- V: UNGLAZED TILE
- W: WOOD, SEE INTERIOR ELEVATIONS AND BELOW
- FLOOR: BAMBUC ENGINEERED FLOORING
- BASE: 3/25" MDF BASEBOARD, PAINTED
- WALL: BAMBUC PANELING, PAINTED

WALL TYPE KEY

- X1: EXTERIOR NON-RATED WALL SEE A.B.2
- X2: EXTERIOR 1 HR. RATED WALL SEE A.B.2
- X3: 1 HR. RATED WALL SEE A.B.2
- A1: NON-RATED INTERIOR PARTITION
- A2: INTERIOR PARTITION, SPECIAL FINISH
- A3: INTERIOR PLUMBING WALL

KEYNOTES

- 1. OVERHEAD GARAGE DOOR OPENER
- 2. WALL MOUNTED TANKLESS WATER HEATER, S.W.D.
- 3. UTILITY METERS PER APPROVED POC ENCLOSURE STANDARDS
- 4. STAMPED CONCRETE PAD
- 5. FULL SIZE WASHER DRYER
- 6. BUILT IN SHELF / CABINET
- 7. BALCONY
- 8. CONCRETE POPEH
- 9. ROOF OVERHANG ABOVE
- 10. ENCLOSED GAS FIREPLACE
- 11. GARBAGE / RECYCLING BINS
- 12. ATTIC ACCESS DOOR, SEE DETAIL # A-3.1
- 13. CLOSET SHELF W/ HANGER ROD, SEE DETAIL # A-3.1
- 14. NON-RATED SHIRT FOR MECHANICAL DUCTS AND VENTS, S.W.D.
- 15. 5" x 4" STYLE ALUMINUM OUTER
- 16. 2" x 3" RECTANGULAR ALUMINUM DOWNSPOUT # A.B.2
- 17. WOOD FRAMED VENT ENCLOSURE, SEE DETAIL # A.B.2
- 18. HOSE BIB
- 19. SOFFIT VENT, 3.6 SQ. IN./LF
- 20. ROOF VENT, 22 SQ. IN./LF
- 21. 1/2" REAR VENT AT WALL INTERSECTION
- 22. DOWNED VENT IN CABLE END
- 23. 1/2" NATURAL GAS OUTLET FOR FURNACE IN ATTIC, S.W.D. FOR FURNACE SPEC
- 24. 1 HR. FIRE RATED DOOR WITHIN 5'-0" OF PROPERTY LINE, SEE DETAIL # A-3.0
- 25. ELECTRICAL METER AND CIRCUIT PANEL SEE E.L.D.
- 26. HVAC UNIT W/ LATTICE SCREEN, S.W.D.
- 27. WALL BELLOW COUNTER (14" x 14" A.F.F.)
- 28. PLYND. CROCKET FOR DRAINAGE

Roof Ventilation Calculations

Roof Zone	Attic Area (Sq. Ft.)	Vent Factor *	Vent Req'd. (Sq. In.)	Roof Length (LF)	Roof Area (Sq. In.)	Other Lower Vent (Sq. In.)	Ridge/Shed Length (LF)	Ridge/Shed Vent (Sq. In.)	Other Upper Vent (Sq. In.)	Total Vent Provided (Sq. In.)
A.1	132	1/150	127	65	234		6.5	143	37	203.4
A.2	156	1/150	159	40	144		4	34	0	178
A.3	870	1/300	418	80	216		10.5	231	37	447

* w/ vapor retarder at ceiling with factor = 1/300, w/ 50% of ridge venting 3 ft. above eave vent, vent factor = 1/300

** Eave Vent = 3.6 sq. in. / LF per Hard Board Soffit product literature

*** Ridge Vent = (7) 2" Dia. Holes per 24" O.C. Truss Bay on both Sides (22 Sq. In. of Free Vent Per LF)

**** Vent at roof / wall connection = 8.5 Sq. In. Per LF

Note: 1. All Roof Zones to have vertical blocking at each bay

2. Provide Venting Holes 2" Dia. @ 24" O.C. in Joists for cross ventilation

ISSUES

PERMIT SUBMITTAL 12.13.06

revisions



Scale: 1/4" = 1'-0" Date: 6.21.06

Drawn: KEVIN M. SKILES

FLOOR PLANS
HOME 1

A2.2

356 RIDGWAY AVE.
Santa Rosa, CA

Sequoia Green



4 WEST ELEVATION - NEIGHBOR FRONTAGE SCALE: 1/4"=1'-0"



2 NORTH ELEVATION - RIDGWAY AVE. FRONTAGE SCALE: 1/4"=1'-0"

KEYNOTES	FINISH KEY	PART KEY
1 3" HIGH OPEN PICKET WOOD FENCE	SD-A HARD-BOARD SIDING 5" EXPOSURE	PTD 1 KD 4779 STONE WHITE
2 6" HIGH SOLID WOOD FENCE	SD-B HARD-BOARD BATTEN STYLE SIDING	PTD 2 KD #833 GREY BROWN
3 FIBERGLASS WINDOAS, TYP.	SD-C HARD-BOARD SIDING 7" EXPOSURE	PTD 3 KD #143 STONEBELL
4 CHIMNEY FOR GAS APPLIANCE AND CAPPED	SD-D HARD-BOARD SIDING 10" EXPOSURE	PTD 4 KD #90 BLACKBERRY FRESH
5 PLUMBING VENTS SEE DRL #5 AS.2	SPAC-A PAINTED STEEL	PTD 5 KD #1053 DISTANT HAZE
6 ATIC VENTILATION	WD-A WOOD TRIM OR HARD-BOARD TRIM	PTD 6 KD #1243 WARE HARBOR
7 WOOD BRACKETS	RF-A COMPOSITE SHINGLE GREY, 3 TAB	PTD 7 KD #1388 UNION BLUE
8 THRU WALL OVERHEAD DRUM	RF-B COMPOSITE SHINGLE LIGHT GREY, 3 TAB	PTD 8 KD #554 SILENT FOG
9 SECTIONAL GARAGE DOOR WITH UTES IN TOP SECTION	RF-C COMPOSITE SHINGLE RED BROWN, 3 TAB	PTD 9 KD #1321 GRANITE GREEN
10 CANTILEVERED BALCONY w/ OPEN RAILING	WR-A FIBERGLASS WINDOW	PTD 10 KD #471 CLASSIC BUCKINGHAM
11 6" TERRA COTTA PIPE TIE FOR VENTILATION	CONC SEALED	PTD 11 KD #890 CHAMBERLAIN WHITE
12 SOLID CORE RAISED PANEL FIBERGLASS ENTRY DOOR		PTD 12 KD #905 WARE STREET USA
13 NOT USED		PTD 13 KD #720 OLD SHELL
14 (H) GARAGE ADJACENT TO (H) HOME		PTD 14 KD #720 SUNSHINE COAST
15 UTILITY METER ENCLOSURE		PTD 15 KD #252 WOODFINER

issues

BUILDING PERMIT 12.13.05

revisions



Scale: 1/4" = 1'-0" date: 12.11.05

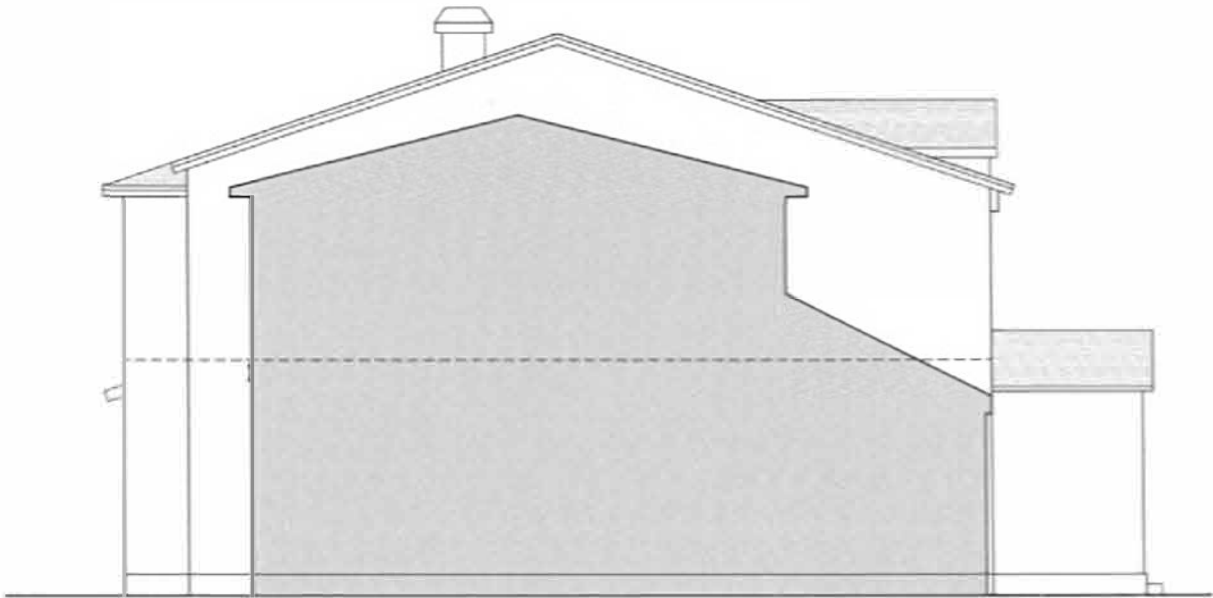
drawn: KEVIN

ELEVATIONS

A3.1



3 SOUTH ELEVATION - REAR YARD FRONTAGE SCALE: 1/4"=1'-0"



1 EAST ELEVATION - GLENN STREET FRONTAGE SCALE: 1/4"=1'-0"

358 RIDGWAY
Santa Rosa, CA

Sequoia Green

Issues

BUILDING PERMIT 12.13.06

revisions



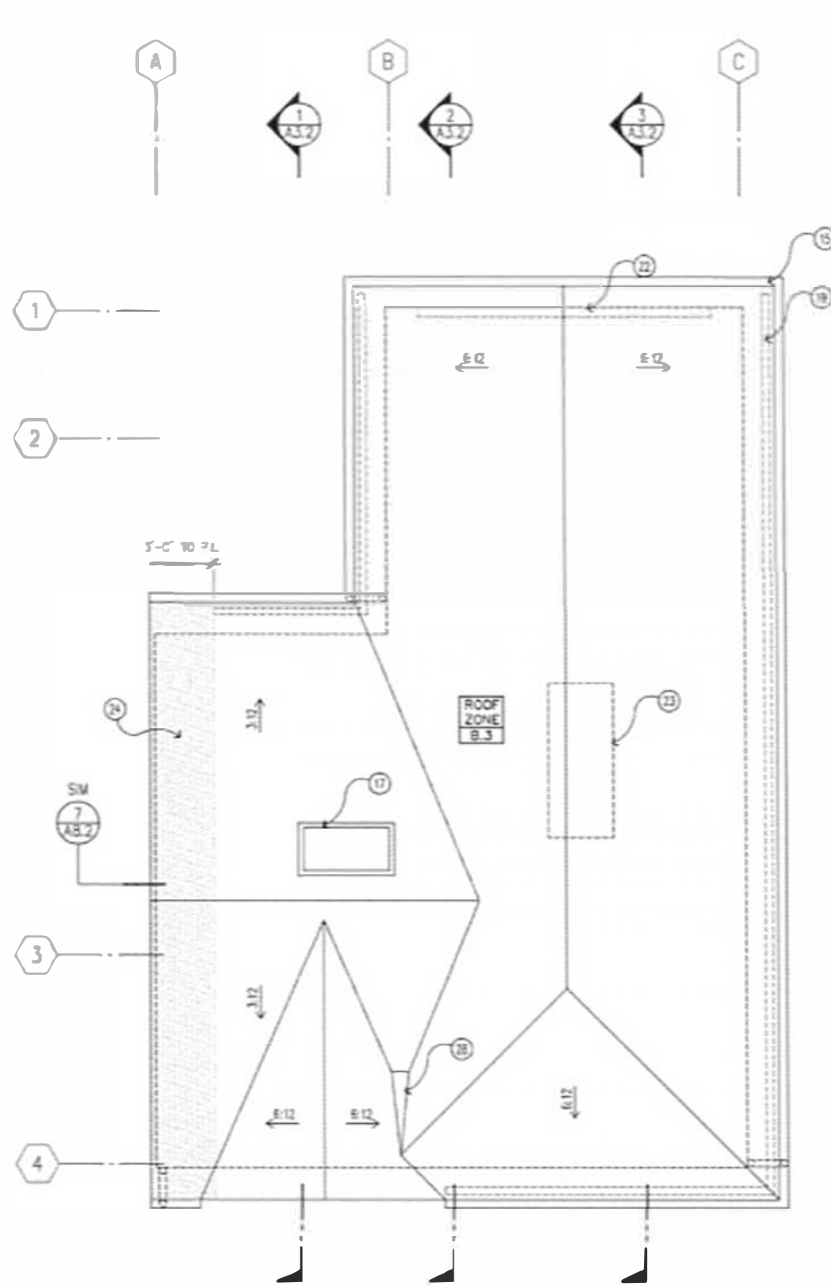
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Drawn: KEVIN Checked:

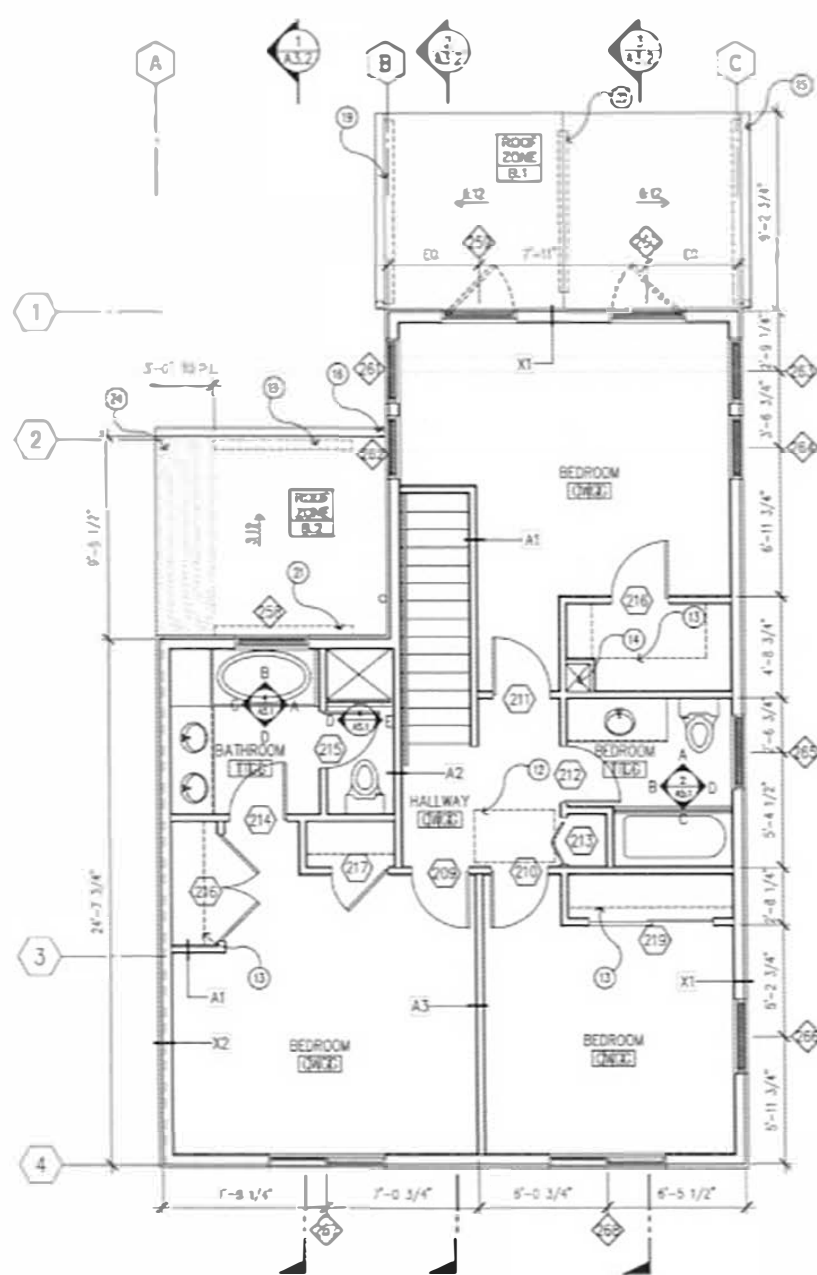
FLOOR PLANS
HOME 2

A2.2

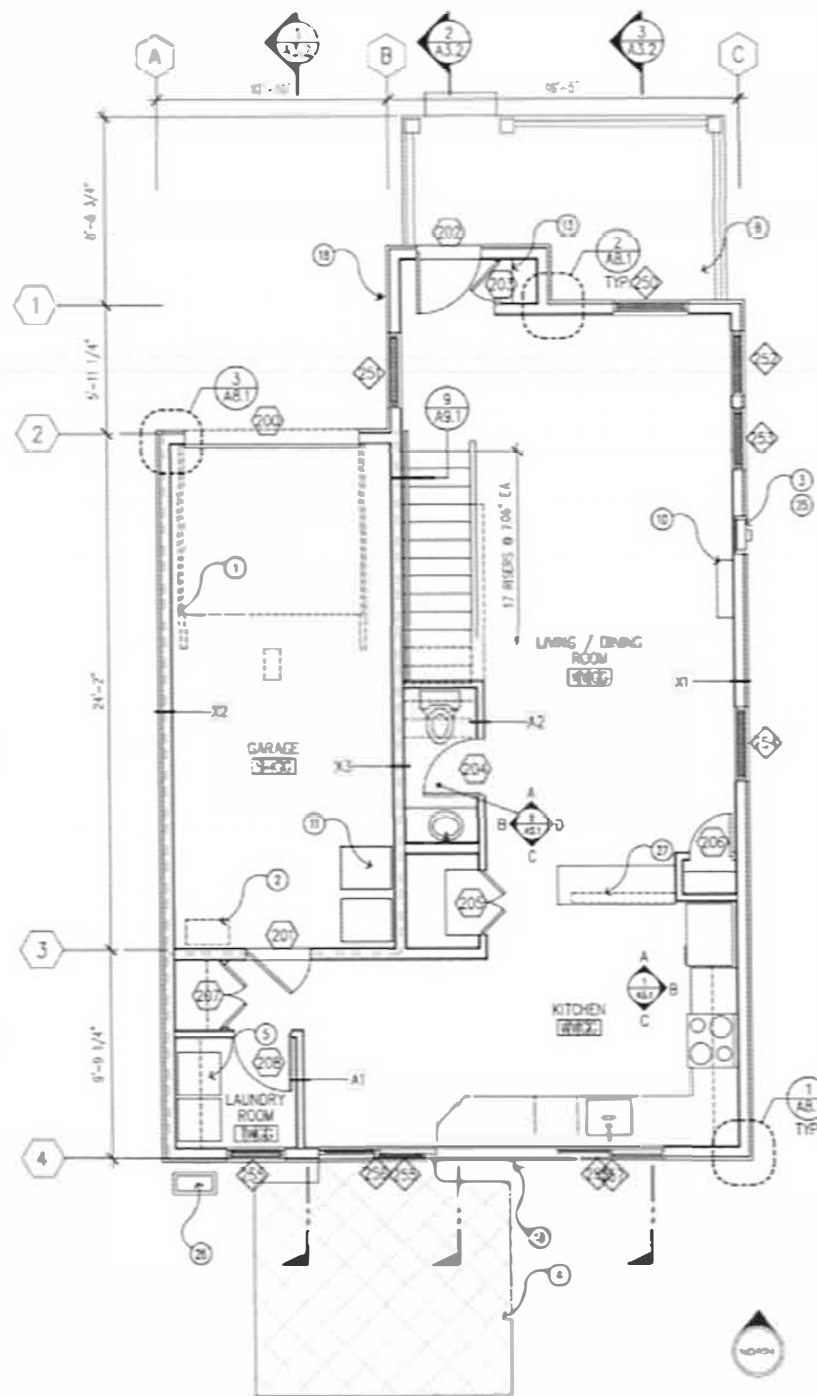
URBAN BUILDING WORKSHOP | 1728 Union St. #210 | San Francisco, CA | 94123 | 415.572.4159



3 ROOF PLAN SCALE: 1/4" = 1'-0"



2 2ND FLOOR PLAN SCALE: 1/4" = 1'-0"



1 1ST FLOOR PLAN SCALE: 1/4" = 1'-0"

SHEET NOTES

1. ALL INTERIOR NON-RATED WALL ASSEMBLIES TO BE WALLTYPE "A1", U.O.N.
2. ALL EXTERIOR NON-RATED WALL ASSEMBLIES TO BE WALLTYPE "X1", U.O.N.
3. OFFSET ALL VENT DUCTS AND VENTS IN ATTIC TO PENETRATE ROOF INSIDE CHIMNEY STRUCTURE.
4. CONNECT ALL RAIN WATER LE-DEDS TO CONCRETE SPLASHBLOCKS.
5. ROOF MATERIAL TO BE ASPHALT SHINGLES, SEE SPEC.
6. SEE STRUCTURAL DRAWINGS FOR STUD SIZING AND LOCATION OF PLYED SHEAR WALLS.

LEGEND

- INDICATES 1 HR. RATED WALL
- DOWNSPOUT AT ROOF
- DOWNSPOUT FROM ROOF ABOVE
- ROOF AREA REQUIRED TO BE 1 HOUR RATED

FINISH (F)

- CEILING FINISH
- WALL FINISH
- FLOOR FINISH
- CONCRETE FLOOR
- CARPET
- CERAMIC TILE 12" X 12" WITH 3/16" GROUT JT
- WOOD, SEE INTERIOR ELEVATIONS AND BELOW
- FLOOR: BAMBOO ENGINEERED FLOORING
- BASE: 3/8" NOF BASEBOARD PAINTED
- WALL: BANSOOT PANELING PAINTED

WALL TYPE KEY

- X1 EXTERIOR NON-RATED WALL, SEE A.B.D.
- X2 EXTERIOR 1 HR. RATED WALL, SEE A.B.D.
- X3 1 HR. RATED WALL, SEE A.B.D.
- A1 NON-RATED INTERIOR PARTITION
- A2 INTERIOR PARTITION, SPECIAL FINISHES
- A3 INTERIOR PLUMBING WALL

KEYNOTES

1. OVERHEAD CANOE DOOR OPENER
2. WALL MOUNTED TANKLESS WATER HEATER, S.W.D.
3. VENTILATION METERS PER APPROVED PDE ENCLOSURE STANDARDS
4. STIMPEL CONCRETE PISTON
5. FULL SIZE WASHER DRYER
6. BUILT IN SHELF / CABINET
7. BALCONY
8. CONCRETE FINISH
9. ROOF OVERHANG ABOVE
10. ENCLOSED GAS FIREPLACE
11. GARAGE / RECYCLING BINS
12. ATTIC ACCESS DOOR, SEE DETAIL #1 - A2.1
13. CLOSET SHELF &/ HANGER ROD, SEE DETAIL #5 - A3.1
14. NON-RATED GRAFT FOR MECHANICAL DUCTS AND VENTS, S.W.D.
15. 5" x 5" STYLE ALUMINUM GUTTER
16. 2" x 5" RECTANGULAR ALUMINUM DOWNSPOUT
17. WOOD FRAMED VENT ENCLOSURE, SEE DETAIL #1 - A2.2
18. MOSE BBQ
19. SPLIT VENT, 3/8 SQ. IN./LF
20. RIDGE VENT, 22 SQ. IN./LF
21. 1/2" RIDGE VENT AT WALL INTERSECTION
22. LOCKED VENT IN GABLE END
23. 1/2" NATURAL GAS OUTLET FOR FURNACE IN ATTIC, S.W.D. FOR FURNACE SPEC.
24. 1 HR. FIRE RATED ROOF WITHIN 5'-0" OF PROPERTY LINE, SEE DETAIL #4 - A1.0
25. ELECTRICAL METER AND CIRCUIT PANEL, SEE (E.D.)
26. HVAC UNIT W/ LATICE SCREEN, S.W.D.
27. WALL BELOW COUNTER (+42" AFF.)
28. FLYED CREDIT FOR DRAINAGE

Roof Ventilation Calculations

Roof Zone	Area (Sq. Ft.)	Vent Factor*	Vent Req'd (Sq. In.)	Eave Length (L.F.)	Eave Vent (Sq. In.)**	Other Lower Vent (Sq. In.)	Ridge/Vent Length (L.F.)	Ridge/Vent Vent (Sq. In.)***	Other Upper Vent (Sq. In.)	Total Vent Provided (Sq. In.)
B.1	152	1/3000	73	17	61.2		8	8	68	129.2
B.2	101	1/3000	48	6.5	23.4		6.5	6.5	55	78.7
B.3	1112	1/3000	334	78.75	283.5		30	620		943.5

* w/ vapor retarder at ceiling vent factor = 1/3000, w/ 30% of req'd venting 3 R. above eave vent, vent factor = 1/3000

** Eave Vent = 3.6 sq. in. / LF per Hard Board Soffit product literature

*** Ridge Vent = (7) 2" Dia. Holes per 24" O.C. Truss Bay on both Sides (22 Sq. In. of Free Vent Per LF)

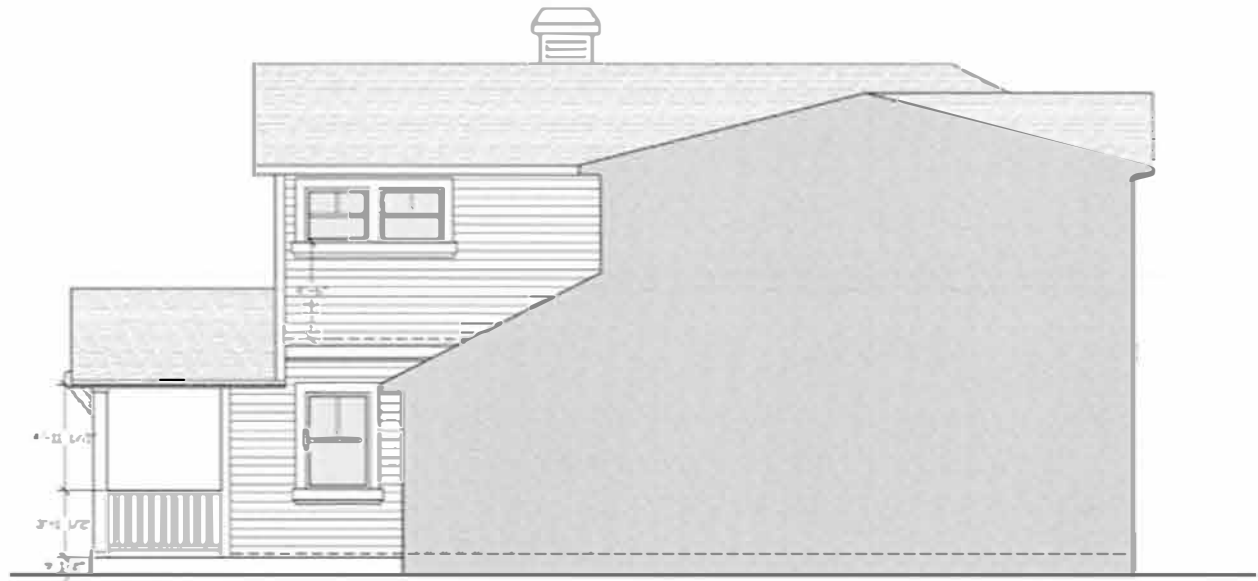
--- Vent at roof / wall intersection = 8.5 Sq. In. Per LF

Note: 1. All Roof Zones to have vertical blocking at each bay

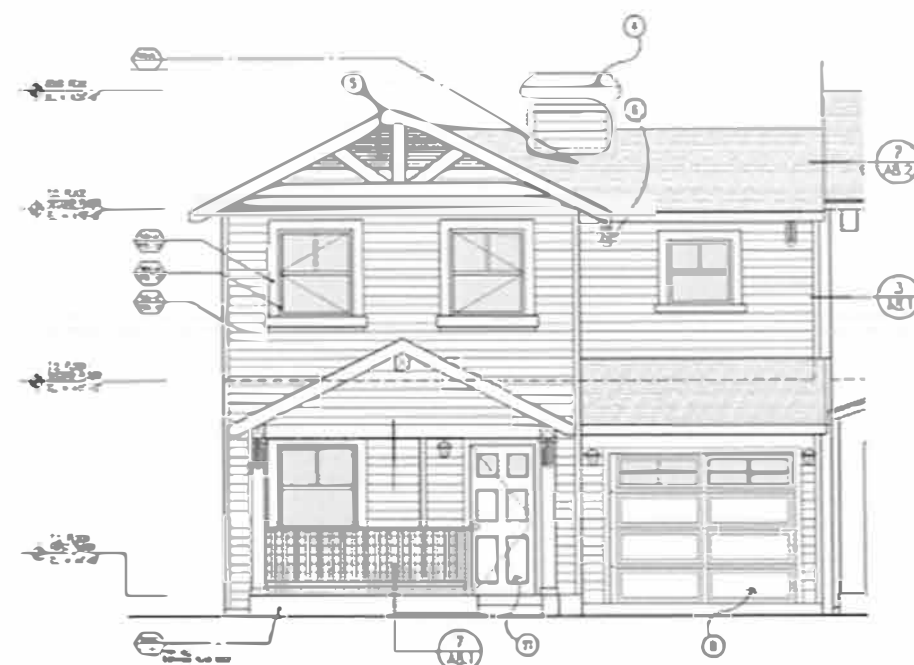
2. Provide Venting Holes 2" Dia. @ 24" O.C. in Joists for cross ventilation

358 RIDGWAY AVE.
Santa Rosa, CA

Sequoia Green



4 WEST ELEVATION - NEIGHBOR FRONTAGE SCALE: 1/4"=1'-0"

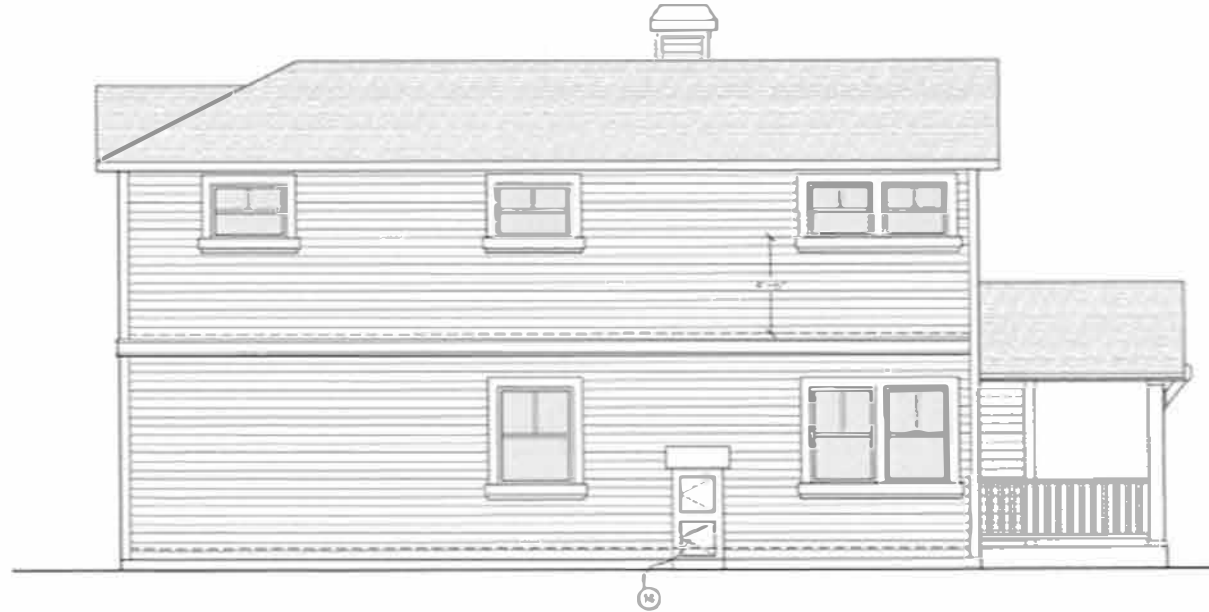


2 NORTH ELEVATION - RIDGWAY AVE. FRONTAGE SCALE: 1/4"=1'-0"

FINISH KEY	PAINT KEY
1 5' HIGH OPEN POINT WOOD FENCE	PTD. 1 10 #779 STOP WHITE
2 6' HIGH SOLID WOOD FENCE	PTD. 2 10 #833 GREY BRICK
3 FIBERGLASS WINDOOR, TYP.	PTD. 3 10 #143 STONEWALL
4 CHIMNEY FOR GAS APPLIANCES AND CAPPED FLUING VENTS SEE DR. #1 AS2	PTD. 4 10 #10 BLACKBERRY FROST
5 ATTIC VENTILATION	PTD. 5 10 #853 DISTANT HAZE
6 WOOD BRACKETS	PTD. 6 10 #245 WARM HARBOUR
7 THRU WALL OVERFLOW DRAIN	PTD. 7 10 #1386 UNDER BLUE
8 SECTIONAL GARAGE DOOR WITH LITES IN TOP SECTION	PTD. 8 10 #854 SILENT FOG
9 CANTILEVERED BALCONY w/ OPEN RAILING	PTD. 9 10 #827 GRANITE GREEN
10 6" TERRA COTTA PIPE TILE FOR VENTILATION	PTD. 10 10 #121 CLASSIC BURLWOOD
11 SOLID CORE RAISED PANEL FIBERGLASS ENTRY DOOR	PTD. 11 10 #820 CHARDONWAY WHITE
12 NOT USED	PTD. 12 10 #936 WARM STREET USA
13 (N) GARAGE ADJACENT TO (S) HOME	PTD. 13 10 #140 OLD SHELL
14 UTILITY METER ENCLOSURE	PTD. 14 10 #720 SUNSHINE COAST
	PTD. 15 10 #255 WOOD-GLAZEN



3 SOUTH ELEVATION - REAR YARD FRONTAGE SCALE: 1/4"=1'-0"



1 EAST ELEVATION - GLENN STREET FRONTAGE SCALE: 1/4"=1'-0"

ISSUES

BUILDING PERMIT 12.13.06

REVISIONS

Scale 1/4" = 1'-0" Date 12.11.06

Drawn KEVIN Checked

ELEVATIONS

A3.1

Roof Ventilation Calculations

Roof Zone	Atic Area (Sq. Ft.)	Vent Factor	Vent Req'd (Sq. In.)	Eave Length (LF)	Eave Vent (Sq. In.)	Other Lower Vent (Sq. In.)	Ridge/Shed Length (LF)	Ridge Vent (Sq. In.)	Other Upper Vent (Sq. In.)	Total Vent Provided (Sq. In.)
C-1	130	1/150	125	42	151.2		6.5	143	0	294.2
C-2	68	1/150	65	15	57.6		5	42.5		100.1
C-3	905	1/300	449	51	183.6		18.25	401.5		585.1

* w/ vapor barrier at ceiling vent factor = 1/300. w/ 50% of req'd venting 3 ft. above eave vent, vent factor = 1/200

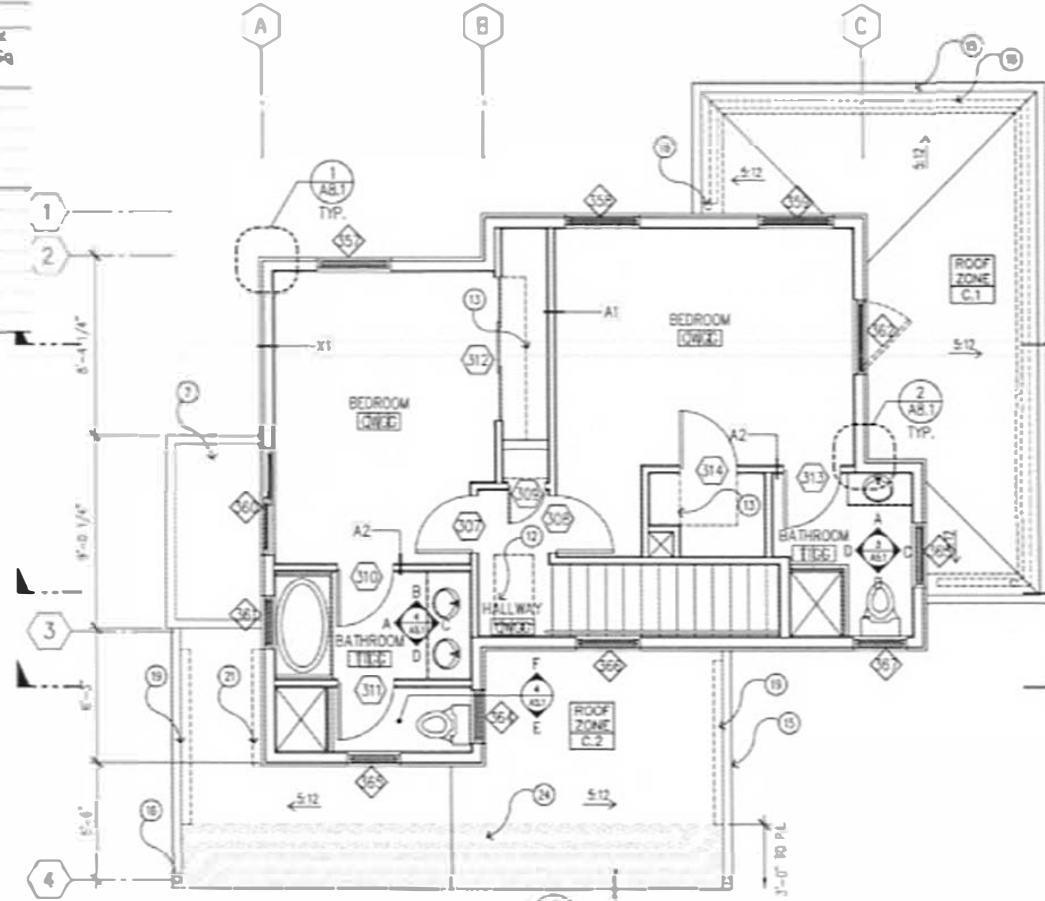
** Eave Vent = 3.6 sq. in. / LF per Hard Board Soffit product literature

*** Ridge Vent = (7) 2" Dia. Holes per 24" O.C. Truss Bay on both Sides (22 Sq. in. of Free Vent Per LF)

**** Vent at roof / wall connection = 8.5 Sq. in. Per LF

Note: 1. All Roof Zones to have vented blocking at each bay

2. Provide Venting Holes 2" Dia. @ 24" O.C. in Joists for cross ventilation



2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"

- SHEET NOTES**
1. ALL INTERIOR NON-RATED WALL ASSEMBLIES TO BE WALL-TYPE A1, U.G.R.
 2. ALL EXTERIOR NON-RATED WALL ASSEMBLIES TO BE WALL-TYPE X1, U.G.R.
 3. OFFSET ALL VENT DUCTS AND VENTS IN ATIC TO PENETRATE ROOF INSIDE CHIMNEY STRUCTURE
 4. CONNECT ALL RAIN WATER LEADERS TO CONCRETE SPLASHBLOCKS
 5. ROOF MATERIAL TO BE ASPHALT SHINGLES SEE SPEC
 6. SEE STRUCTURAL DRAWINGS FOR STILE SIZES AND LOCATION OF PLYWOOD SHEAP WALLS

- LEGEND**
- INDICATES 1 HR. RATED WALL
 - DOWNSPOUT AT ROOF
 - o DOWNSPOUT FROM ROOF ABOVE
 - ROOF AREA REQUIRED TO BE 1 HOUR RATED

- KEYNOTES**
1. OVERHEAD GARAGE DOOR OPENER
 2. WALL MOUNTED RAINWATER HEATER S.M.D.
 3. UTILITY METER PER APPROVED PRE ENCLOSURE STANDARDS
 4. STAMPED CONCRETE PADO
 5. FULL SIZE WASHER DRYER
 6. BUILT IN SHELF / CABINET
 7. BALCONY
 8. CONCRETE PORCH
 9. ROOF OVERHANG ABOVE
 10. EXCLUDED GAS FIREPLACE
 11. GARAGE / RECYCLING BINS
 12. ATIC ACCESS DOOR. SEE DETAIL #8 - A3.1
 13. CLOSET SHELF w/ HANGER ROD. SEE DETAIL #8 - A3.1
 14. NON-RATED SHAFT FOR MECHANICAL DUCTS AND VENTS. S.M.D.
 15. 5" K STICK ALUMINUM GUTTER
 16. 2" x 3" RECTANGULAR ALUMINUM DOWNSPOUT
 17. WOOD FRAMED VENT ENCLOSURE. SEE DETAIL #9 A3.2
 18. ROSE BEE
 19. SFFIT VENT. 3.5 SQ. IN./LF
 20. RIDGE VENT. 22 SQ. IN./LF
 21. 1/2" RIDGE VENT AT WALL IN REFLECTED
 22. LOUNED VENT IN CABLE END
 23. 1/2" NATURAL GAS OUTLET FOR FURNACE IN ATIC. S.M.D. FOR FURNACE SPEC
 24. 1 HR. FIRE RATED ROOF WITHIN 3'-0" OF PROPERTY LINE. SEE DETAIL #4 - A3.0
 25. ELECTRICAL METER AND CIRCUIT PANEL. SEE E.L.D.
 26. WOOD UNIT w/ LATTICE SCREEN. S.L.D.
 27. BUILT BELOW COUNTER (+42" A.F.F.)
 28. PLYMC. CABINET FOR DRAINAGE

- FINISH KEY**
- 1. GYP. BD., PAINTED PER INTERIOR ELEVATION
 - 2. CARPET
 - 3. CERAMIC 12" x 12" WITH 3/16" GROUT JT.
 - 4. LANTULUM TILE
 - 5. WOOD. SEE INTERIOR ELEVATIONS AND S.E.D.B.
 - 6. FLOOR: GAMBRO ENGINEERED FLOORING - BASE: 3/4" MFG BASEBOARD, PAINTED - WALL: BANGSOT. PANNELLING, PAINTED

- WALL TYPE KEY**
- X1 EXTERIOR NON-RATED WALL. SEE A3.0
 - X2 EXTERIOR 1 HR. RATED WALL. SEE A3.0
 - X3 1 HR. RATED WALL. SEE A3.0
 - A1 NON-RATED INTERIOR PARTITION
 - A2 INTERIOR PARTITION. SPECIAL FINISHES
 - A3 INTERIOR PLUMBING WALL

1299 Glenn Street
Santa Rosa, CA

Sequoia Green

ISSUES

BUILDING PERMIT 12.13.06

revisions

scale: 1/4" = 1'-0" date: 12.11.06

drawn: KEVIN

FLOOR PLANS
HOME 3

A2.2

URBAN BUILDING WORKSHOP | 1728 Union St. #210 | San Francisco, CA | 94123 | 415.572.4159



4 WEST ELEVATION - REAR YARD FRONTAGE SCALE: 1/4"=1'-0"



2 NORTH ELEVATION - RIDGWAY AVE. FRONTAGE SCALE: 1/4"=1'-0"

KEYNOTES	FINISH KEY	PAINT KEY
1 3' HIGH OPEN PICKET WOOD FENCE	SD-A HARD-SOARD SIDING	PTD 1 10 #775 STOP WHITE
2 6' HIGH SOLID WOOD FENCE	SD-B 5" EXPOSURE	PTD 2 10 #833 GREY BRUSH
3 FIBERGLASS ENCLOSURE, TYP.	SD-C HARD-SOARD BATTEN STYLE SIDING	PTD 3 10 #143 STONEWALL
4 CHIMNEY FOR GAS APPLIANCES AND CARVED FLUING VENTS 10" DIA. #1 AS-2	SD-D HARD-SOARD SIDING 7" EXPOSURE	PTD 4 10 #80 BLACKBERRY FROST
5 ATTC VENTILATION	SD-E HARD-SOARD SIDING 10" EXPOSURE	PTD 5 10 #1053 DISTANT HAZE
6 WOOD BRACKETS	SRVC-A PAINTED STUCCO	PTD 6 10 #1386 UNION BLUE
7 3/4" WALL OVERLAP DRAIN	WD-A WOOD TRIM ON HARD-SOARD TRIM	PTD 7 10 #584 SLENT FOG
8 SECTIONAL CARPAC DOOR WITH LITES IN TOP SECTION	RF-A COMPOSITE SHINGLE GREY, 3 TAB	PTD 8 10 #1721 GRAMME GREEN
9 CANTILEVERED BALCONY W/ OPEN RAILING	RF-B COMPOSITE SHINGLE LIGHT GREY, 3 TAB	PTD 9 10 #1721 GRAMME GREEN
10 6" TERRA COTTA PIPE TILE FOR VENTILATION	RF-C COMPOSITE SHINGLE RED BROWN, 3 TAB	PTD 10 10 #171 CLASSIC BACKGROUND
11 SOLID CORE, RANGES RANG, FIBERGLASS ENTRY DOOR	WOK-A FIBERGLASS WOOD	PTD 11 10 #590 CHARDONWAY WHITE
12 NOT USED	COIC SEALED	PTD 12 10 #126 MAINE STREET USA
13 (N) CARPAC ADJACENT TO (E) HOME		PTD 13 10 #780 OLD SHELL
14 UTILITY METER ENCLOSURE		PTD 14 10 #720 SUNSHINE COAST
		PTD 15 10 #262 WOODHAVEN



3 SOUTH ELEVATION - NEIGHBOR FRONTAGE SCALE: 1/4"=1'-0"



1 EAST ELEVATION - GLENN STREET FRONTAGE SCALE: 1/4"=1'-0"

1299 Glenn Street
Santa Rosa, CA

Sequoia Green

issues

BUILDING PERMIT 12.13.06

revisions



scale: 1/4" = 1'-0" date: 12.11.06

drawn: KEVIN checked:

ELEVATIONS

A3.1

Roof Ventilation Calculations

Roof Zone	Attic Area (Sq. Ft.)	Vent Factor	Vent Reqd. (Sq. In.)	Eave Length (LF)	Eave Vent (Sq. In.)	Other Lower Vent (Sq. In.)	Ridge/Shed Length (LF)	Ridge Vent (Sq. In.)	Other Upper Vent (Sq. In.)	Total Vent Provided (Sq. In.)
D 1	154	1/150	148	12	43.2		5	132		175.2
D 2	126	1/150	121	0	0		0	0	180	180
D 3	952	1/300	457	58	208.8		13.25	291.5		500.3

* w/ vapor retarder at ceiling vent factor = 1/300, w/ 50% of req'd venting 3 ft. above eave vent, vent factor = 1/300

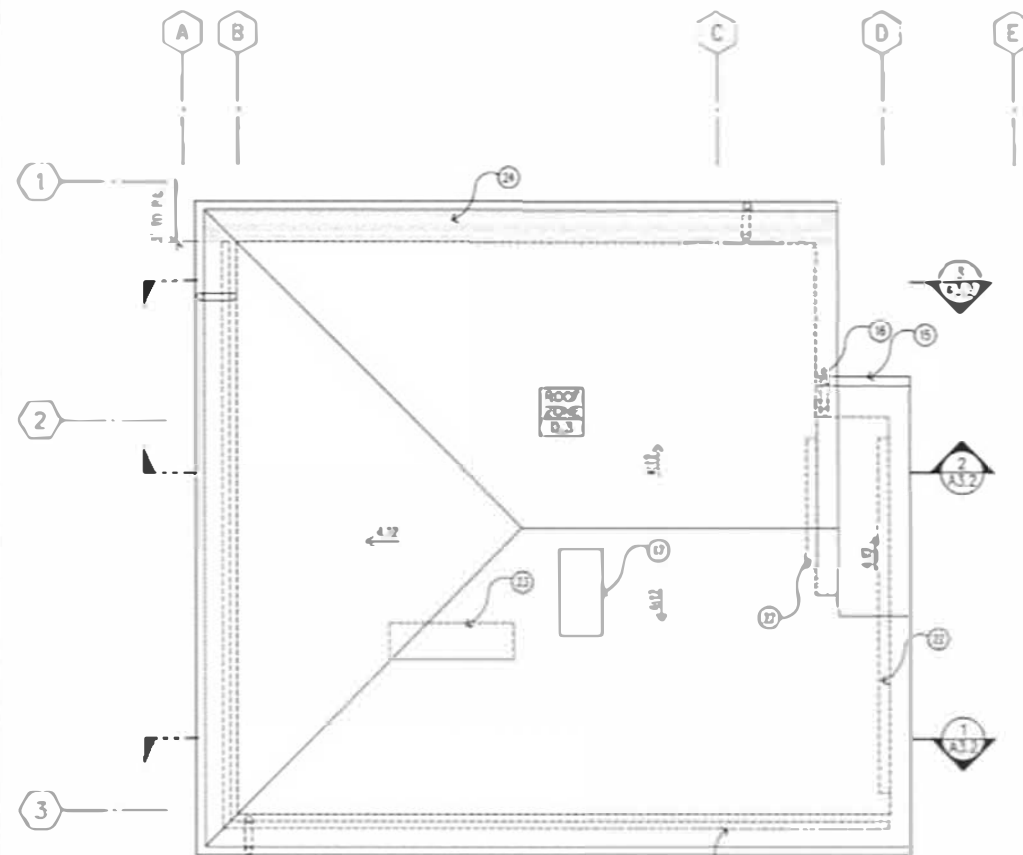
** Eave Vent = 3.6 sq. in. / LF per Home Better Soffit product literature

*** Ridge Vent = (7) 2" Dia. Holes per 24" O.C. Thus 6 Holes on both Sides (22 Sq. In. of Free Vent Per LF)

**** Vent at roof/wall connection = 8.5 Sq. In. Per LF

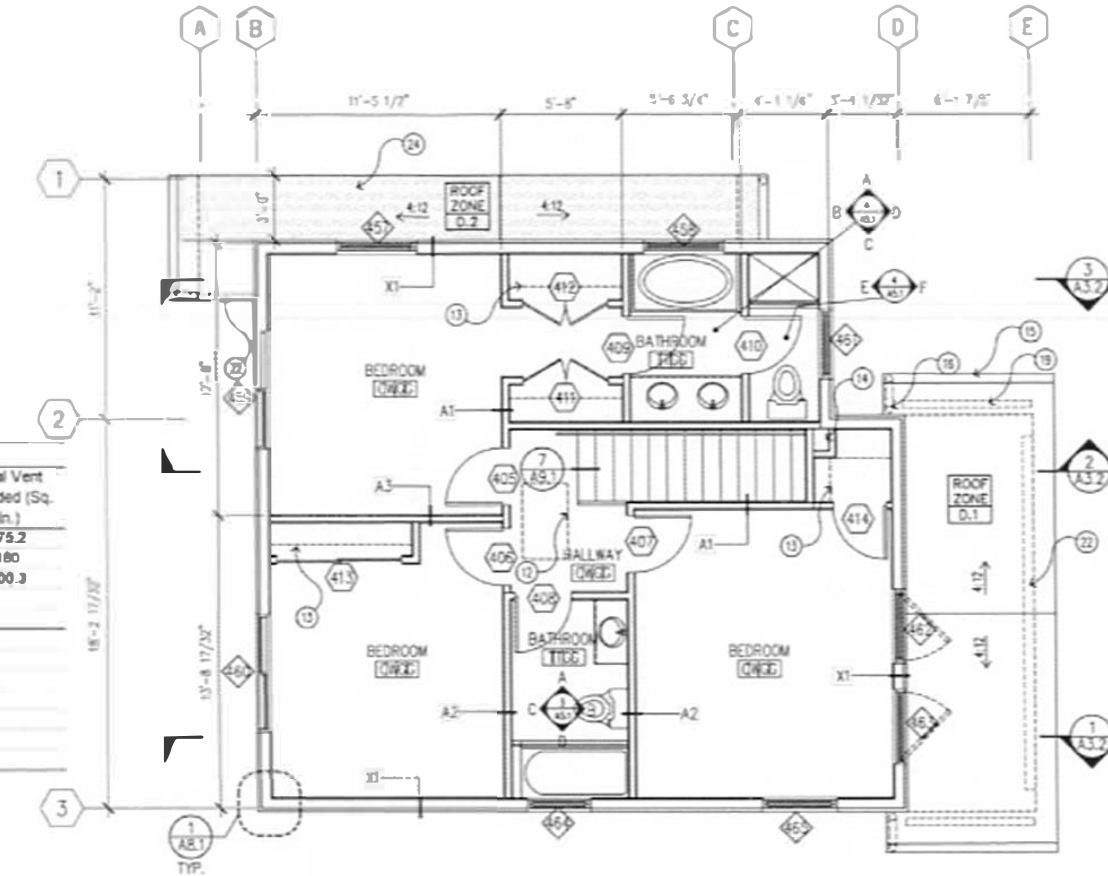
Note 1: All Roof Zones to have vented blocking at each bay

2: Provide Venting Holes 2" Dia. @ 24" O.C. in Joists for cross ventilation



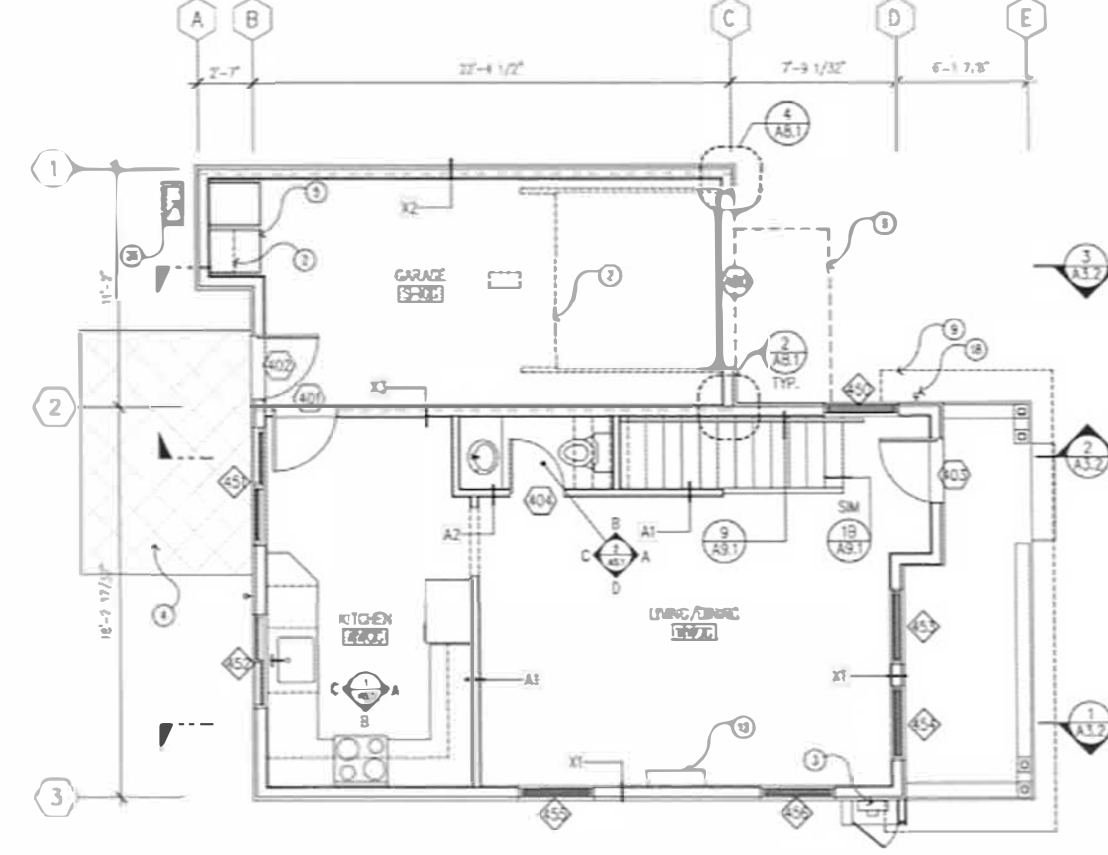
ROOF PLAN

SCALE: 1/4" = 1'-0"



2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"



1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

SHEET NOTES

1. ALL INTERIOR NON-RATED WALL ASSEMBLIES TO BE WALLTYPE "A1", U.O.N.
2. ALL EXTERIOR NON-RATED WALL ASSEMBLIES TO BE WALLTYPE "X1", U.O.N.
3. OFFSET ALL VENT DUCTS AND VENTS IN ATTIC TO PENETRATE ROOF INSIDE CHIMNEY STRUCTURE
4. CONNECT ALL RAIN WATER LEADERS TO CONCRETE SPLASHBLOCKS
5. ROOF MATERIAL TO BE ASPHALT SHINGLES SEE SPEC.
6. SEE STRUCTURAL DRAWINGS FOR STUD BEAMS AND LOCATION OF PLATE SHEAR WALLS

LEGEND

- INDICATES 1 HR. RATED WALL
- DOWNSPOUT AT ROOF
- DOWNSPOUT FROM ROOF ABOVE
- ROOF AREA REQUIRED TO BE 1 HOUR RATED

KEYNOTES

1. OVERHEAD GARAGE DOOR OPENER
2. WALL MOUNTED TANKLESS WATER HEATER, S.W.D.
3. UTILITY KITCHEN PER APPROVED PDE ENCLOSURE STANDARDS
4. STAMPED CONCRETE PATIO
5. FULL SIZE WASHER DRYER
6. BUILT IN SHELF / CABINET
7. SALLIDRY
8. CONCRETE PORCH
9. ROOF OVERHANG ABOVE
10. ENCLOSED GAS FIREPLACE
11. GARBAGE / RECYCLING BINS
12. ATTIC ACCESS DOOR, SEE DETAIL #1 - A3.1
13. CLOSET SHELF w/ HANGER ROD, SEE DETAIL #1 - A3.1
14. NON-RATED SHAFT FOR MECHANICAL DUCTS AND VENTS, S.W.D.
15. 5" X 5" STOLE ALUMINUM OUTER
16. 2" X 3" RECTANGULAR ALUMINUM DOWNSPOUT
17. BRICK FRAMED VENT ENCLOSURE, SEE DETAIL #1 - A2.2
18. MOSE 98
19. SOFFIT VENT, 3.6 SQ. IN./LF
20. RIDGE VENT, 22 SQ. IN./LF
21. 1/2" RIDGE VENT at WALL INTERSECTION
22. LOUNDED VENT IN GABLE END
23. 1/2" NATURAL GAS OUTLET FOR FURNACE IN ATTIC, S.W.D. FOR FURNACE SPEC.
24. 1 HR. FIRE RATED ROOF WITH 5'-0" OF PROPERTY LINE, SEE DETAIL #1 - A3.0
25. ELECTRICAL METER AND CIRCUIT PANEL, SEE E.T.C.
26. WYCK-DRIFT w/ LATTICE SCREEN, S.W.D.
27. WALL BELOW COUNTER (42" A.F.F.)
28. PLYED CROCKET FOR DRAINAGE

FINISH KEY

- BEDROOM: CEILING FINISH, WALL FINISH, WALL BASE FINISH, FLOOR FINISH
- G: GYP. SO., PAINTED PER INTERIOR ELEVATION
- C: CARPET
- T: CERAMIC TILE, 12" X 12" WITH 3/16" GROUT JT.
- Y: UNGLAZED TILE
- W: WOOD, SEE INTERIOR ELEVATIONS AND BELOW
 - FLOOR: BAMBOO ENGINEERED FLOORING
 - BASE: 3.25" MOF BASEBOARD, PAINTED
 - WALL: WAINSCOT PANNELLING, PAINTED

WALL TYPE KEY

- X1: EXTERIOR NON-RATED WALL, SEE A3.0
- X2: EXTERIOR 1 HR. RATED WALL, SEE A3.0
- X3: 1 HR. RATED WALL, SEE A3.0
- A1: NON-RATED INTERIOR PARTITION
- A2: INTERIOR PARTITION, SPECIAL FINISHES
- A3: INTERIOR PLUMBING WALL

1297 Glenn Street
Santa Rosa, CA

Sequoia Green

ISSUES

BUILDING PERMIT 12.13.08

revisions



SCALE: 1/4" = 1'-0" DATE: 6.21.08

DRAWN: KEVIN CHECKED:

FLOOR PLANS
HOME 4

A2.2



4 WEST ELEVATION - REAR YARD FRONTAGE SCALE: 1/4"=1'-0"



2 NORTH ELEVATION - NEIGHBOR FRONTAGE SCALE: 1/4"=1'-0"

NOTES	FINISH KEY	PAINT KEY
1 3' HIGH OPEN POCKET WOOD FENCE	SD-A HARD-BOARD SIDING 5' EXPOSURE	PTD 1 TO #779 STONE WHITE
2 6' HIGH SOLID WOOD FENCE	SD-B HARD-BOARD BATTEN STYLE SIDING	PTD 2 TO #813 GREY BIRCH
3 FIBERGLASS WINDOWS, TYP.	SD-C HARD-BOARD SIDING 7' EXPOSURE	PTD 3 TO #1745 STONEWALL
4 CHIMNEY FOR GAS APPLIANCES AND CAPPED PLUMBING VENTS, SEE DET. @ A3.2	SD-D HARD-BOARD SIDING 10' EXPOSURE	PTD 4 TO #997 BLACKBERRY FROST
5 ATRIC VENTILATION	STR-A PAINTED STUCCO	PTD 5 TO #853 DISTANT HAZE
6 WOOD BRACKETS	NO-A WOOD TRIM OR RAMP BOARD, TYP.	PTD 6 TO #1245 MAINE HARBOR
7 DOWN BALL OVERFLOW DRAIN	RF-A COMPOSITE SHINGLE GREY, 3 TAB	PTD 7 TO #1385 UNION BLUE
8 SECTION: GARAGE DOOR WITH LITES IN TOP SECTION	RF-B COMPOSITE SHINGLE LIGHT GREY, 3 TAB	PTD 8 TO #864 SILENT FOG
9 CANTILEVERED BALCONY w/ OPEN RAILING	RF-C COMPOSITE SHINGLE RED BROWN, 3 TAB	PTD 9 TO #1027 GRANITE GREEN
10 5" TERRA COTTA PIPE TILE FOR VENTILATION	WIN-A FIBERGLASS WINDOW	PTD 10 TO #121 CLASSIC BURGUNDY
11 SOLID CORE RIGID PANEL FIBERGLASS ENTRY DOOR	DOOR SEALS	PTD 11 TO #950 CHAMPAGNE WHITE
12 NOT USED		PTD 12 TO #986 MAINE STREET USA
13 (NO) GARAGE ADJACENT TO (E) HOME		PTD 13 TO #680 OLD SHELL
14 UTILITY METER ENCLOSURE		PTD 14 TO #720 SHORELINE COAST
		PTD 15 TO #282 WOODHAKEN



3 SOUTH ELEVATION - NEIGHBOR FRONTAGE SCALE: 1/4"=1'-0"



1 EAST ELEVATION - GLENN STREET FRONTAGE SCALE: 1/4"=1'-0"

1297 Glenn Street
Santa Rosa, CA

Sequoia Green

ISSUES

BUILDING PERMIT 12.13.08

REVISIONS

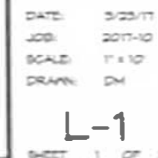


scale: 1/4" = 1'-0" date: 12.11.08

drawn: KEVIN checked:

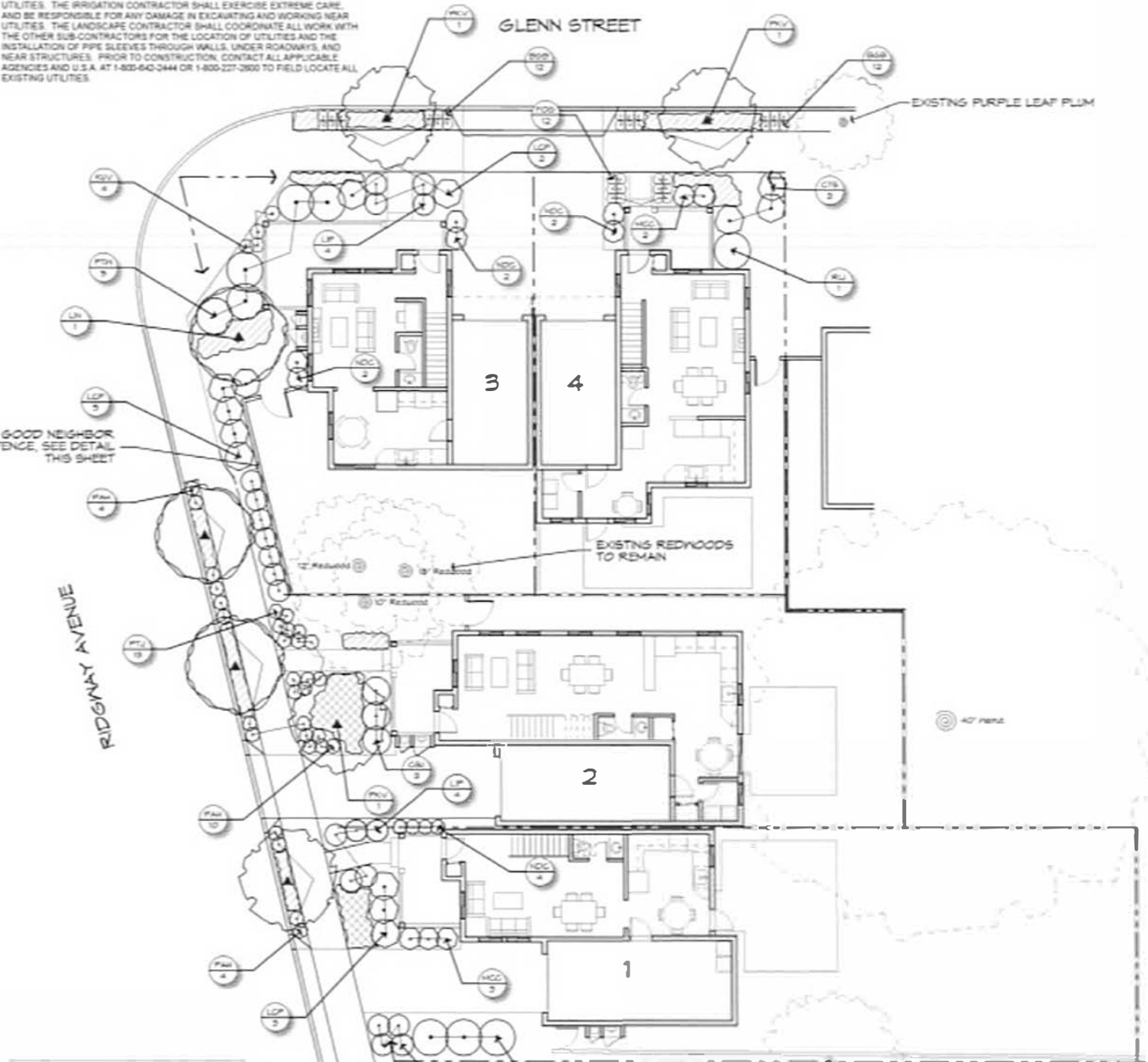
ELEVATIONS

A3.1



U.S.A NOTE

IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO BE FAMILIAR WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, STRUCTURES, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL EXERCISE EXTREME CARE AND BE RESPONSIBLE FOR ANY DAMAGE IN EXCAVATING AND WORKING NEAR UTILITIES. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OTHER SUB-CONTRACTORS FOR THE LOCATION OF UTILITIES AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, AND NEAR STRUCTURES. PRIOR TO CONSTRUCTION, CONTACT ALL APPLICABLE AGENCIES AND U.S.A. AT 1-800-640-2444 OR 1-800-227-2800 TO FIELD LOCATE ALL EXISTING UTILITIES.



CITY REQUIRED NOTES (W.E.L.O. COMPLIANCE)

- 1. UPON COMPLETION OF INSTALLATION, CONTRACTOR SHALL SUBMIT TO THE ENGINEERING SERVICES INSPECTOR A COMPLETED AND SIGNED "CERTIFICATE OF COMPLETION" STATING THE PROJECT HAS BEEN INSTALLED AS DESIGNED.
- 2. THE CERTIFICATE OF COMPLETION SHALL BE SUBMITTED BY AN IRRIGATION AUDIT, IRRIGATION SCHEDULE AND A MAINTENANCE SCHEDULE AS DESCRIBED IN THE CITY ORDINANCE.
- 3. A FINAL CITY INSPECTOR SHALL BE PERFORMED THE INSTALLATION CONTRACTOR SHALL AT ENTERED THIS INSPECTION AND HAVE ALL REQUIRED REPAIRS AND ADJUSTMENTS TO ACHIEVE APPROVAL AND COMPLETION FROM THE CITY TO SCHEDULE AN INSPECTION. CONTACT ENGINEERING DEVELOPMENT SERVICES AT (909) 562-8911.
- 4. PURSUANT TO CITY OF SANTA ROSA POLICY, ALL SUBSTITUTIONS SHALL BE APPROVED BY THE CITY INSPECTOR.

CITY REQUIRED NOTES

- 1. A MINIMUM OF 6" OF NON-HEAVY (LY) COMPACTED SOIL SHALL BE MAINTAINED FOR WATER RESISTANCE AND ROOT GROWTH IN PLANTING AREAS.
- 2. INCORPORATE COMPOST OR NATURAL FERTILIZER INTO THE SOIL TO A MINIMUM DEPTH OF 6" AT A MINIMUM RATE OF 6 CUBIC YARDS PER 1000 SQUARE FEET OR PER SPECIFIC ANALYST'S RECOMMENDATIONS FROM A SOILS LABORATORY REPORT.
- 3. A MINIMUM 2" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS OR DIRECT SEEDING APPLICATIONS.

THIS DRAWING COMPLIES WITH THE SPECIFICATIONS OF THE CALIFORNIA LANDSCAPE DESIGN ACT AND APPLIED TO THE PROJECT FOR THE CITY OF SANTA ROSA. THE LANDSCAPE DESIGN IS NOT A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF UTILITIES AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, AND NEAR STRUCTURES. PRIOR TO CONSTRUCTION, CONTACT ALL APPLICABLE AGENCIES AND U.S.A. AT 1-800-640-2444 OR 1-800-227-2800 TO FIELD LOCATE ALL EXISTING UTILITIES.



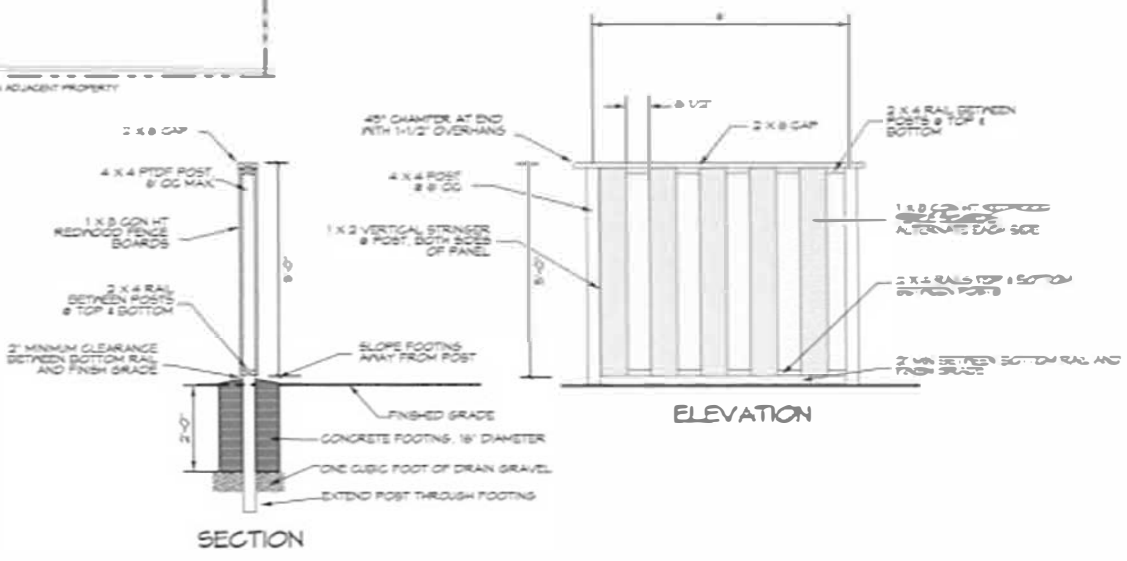
PLANT LEGEND

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS	WATER USE PER WEEKLY IV
TREES					
APA	30	ACER PLATANUS	JAPANESE MAPLE	MULCH BASE	W
UP	24	LAUREL OLEANDER	TURKISH OLEANDER		L
PD	24	PRUNUS SP.	VEGETABLE PRUNING PLUM		L
SHRUBS					
CT	5	CHENOPodium SP.	JAPANESE QUINCE		L
CB	5	CESTRUM SP.	CESTRUM		L
CL	5	CESTRUM SP.	CESTRUM		L
LC	1	LOEBERHIA SP.	LOEBERHIA		L
MC	5	MYRTUS SP.	MYRTUS		L
NC	5	NEROLI SP.	NEROLI		L
PL	5	PRUNUS SP.	PRUNUS		L
RL	5	RHAPHANUS SP.	RHAPHANUS		L
GROUNDCOVER					
SA	1	SANTALUM SP.	SANTALUM		L
SK	1	SANTALUM SP.	SANTALUM		L
GRASSES					
BS	1	BOUTELOA SP.	BOUTELOA		L
PS	1	PANICUM SP.	PANICUM		L
OTHER					
SK	DETAIL	SKIN	SKIN		

LANDSCAPE DESIGN DESIGN IS LIMITED TO FRONT YARDS ONLY.

PLANTING NOTES

- 1. ALL PLANTING TO BE SPACED IN A 12" SQUARE PATTERN. CONTRACTOR RESPONSIBLE FOR COMPLETE COVERAGE.
- 2. SUPPLY AND INSTALL 2" DRAIN TUBES AS FOLLOWS: 6" DIA. 3" DIA. 1" DIA.
- 3. DO NOT PLANT IN THE 2' DIA. THE DIAMETER AND 1/2" DIA. THE DIAMETER.
- 4. SPACING: 12" DIA. 3" DIA. 1" DIA.
- 5. ALL PLANTS TO BE SPACED IN THE FIELD BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- 6. WHEN PLANTING IN EXISTING PLANTED AREAS, CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE OR DESTROY ANY EXISTING PLANT MATERIAL OR FERTILIZER. EXISTING PLANT MATERIAL AND FERTILIZER THAT IS DAMAGED SHALL BE REPLACED WITH THE SAME QUALITY, SIZE, AND SPECIES AS THE EXISTING.
- 7. SPECIAL ATTENTION IS TO BE PAID TO THE 6" PLANTING AREAS SURROUNDING THE BUILDINGS. COMPACTED SOIL IS TO BE REMOVED AND REPLACED WITH 6" OF TOP SOIL. CHECK SOIL FOR PROPER DRAINAGE PRIOR TO PLANTING. ADDITIONAL SOIL MUST BE NEARBY. DO NOT PLANT IN THE DRAINAGE CHANNELS.
- 8. ALL CONTRACTOR IS TO BE FOR ALL APPLICABLE AND RELEVANT CITY OF SANTA ROSA CONSTRUCTION STANDARDS.



TYPICAL 5' HIGH WOOD FENCE DETAIL
ALL WOOD IN CONTACT WITH SOIL TO BE PRESSURE TREATED (BROWN).

PLANTING PLAN



SEQUOIA GREEN
1285 GLENN STREET
SANTA ROSA, CALIFORNIA