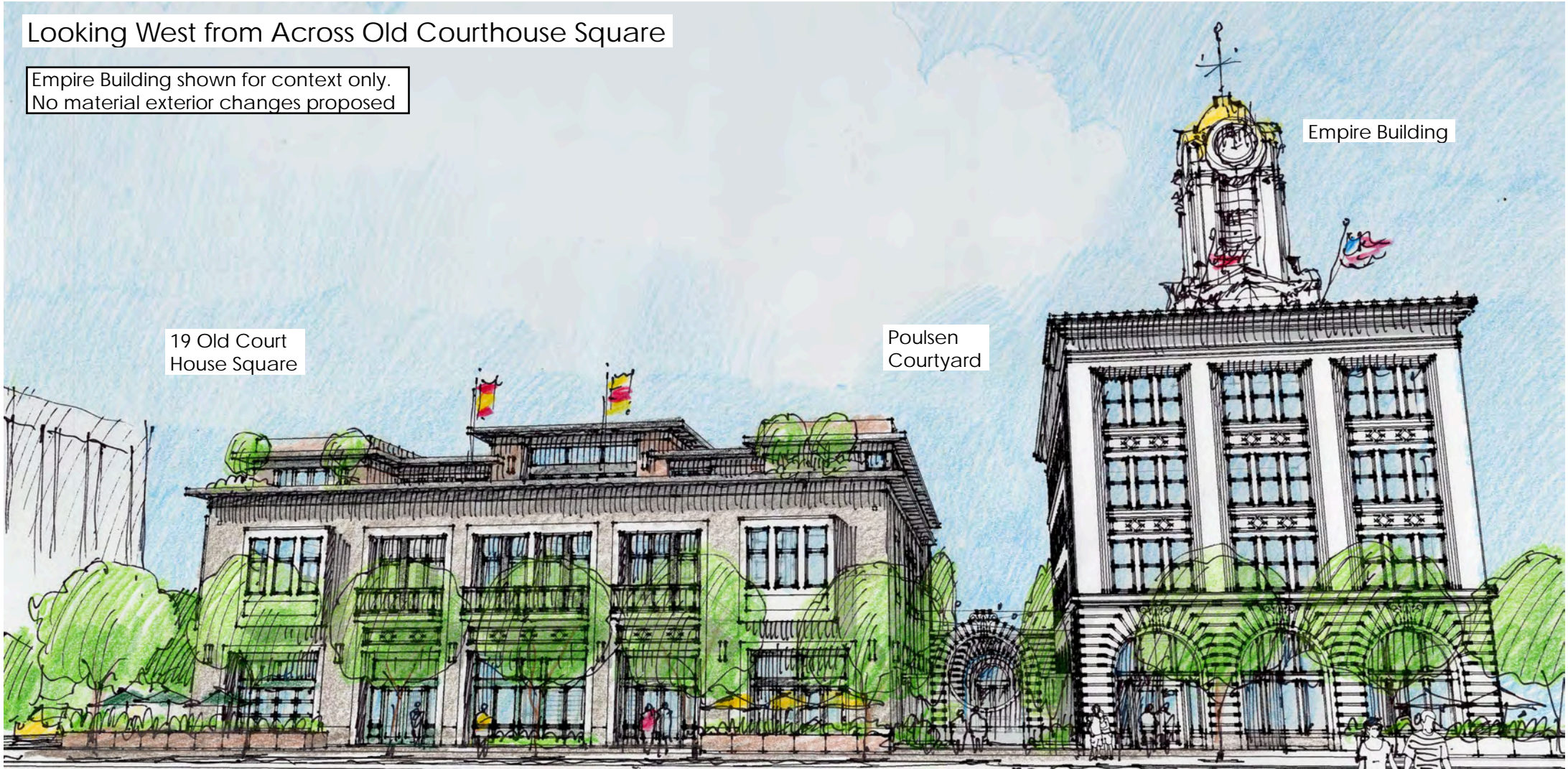


Looking West from Across Old Courthouse Square

Empire Building shown for context only.  
No material exterior changes proposed



Participants

Owner:  
Old Courthouse Square Hotel Associates, LLC.

Project Manager:  
Hugh Futrell Corporation/ General Partnership  
Contact: Giles Beeker/ 707-569-3482

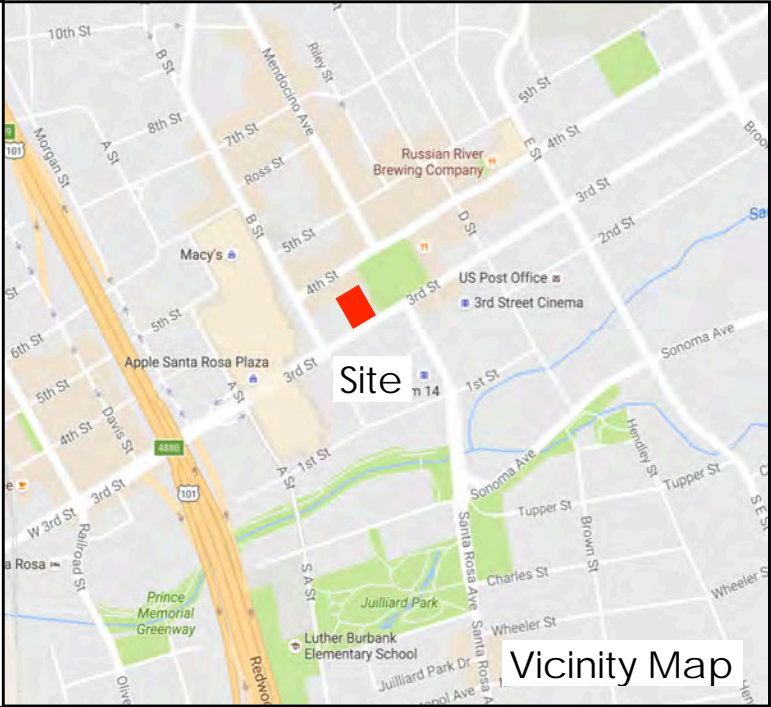
Concept Design Architect  
Jon Worden Architects  
Contact: Jon Worden/ 707-239-9076

Tenant Improvement Architect/ As Built Drawings  
Nilsen Architecture & Planning  
Contact: Chip Nilsen/

Landscape Architect  
Quadriga Landscape Architecture & Planning  
Contact: Jason Benson/ 916-244-7673

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- A-2 Site Context/ Site Factors and Site Photos
- A-3 Site Plan
- A-4 Existing Lower Floor Plan
- A-5 Proposed Lower Floor Plan
- A-6 Existing Second Floor Plan
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- A-24 Diagrammatic Lighting Plans
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- L-3 Landscape Details
- L-4 Ground Floor Planting Plan
- L-5 Roof Top Planting Plan



Project Description

This design review application is for the adaptive reuse of an existing two story commercial building located at 19 Old Courthouse Square and a new Courtyard created by the demolition of the existing structure at 25 Old Courthouse Square. Both of these elements are components of the Old Courthouse Square Hotel project which also includes the preserved Empire Building to their north.

The lower floor of 19 Old Courthouse Square will house two restaurant spaces with common ownership and management and a shared preparation kitchen, a coffee house, associated service and circulation areas and two stair/ elevator lobbies serving the upper floors. Tenant improvements for the interior spaces in the lower floor are under separate permits.

The second floor will house 21 hotel guest rooms and associated circulation, guest use, and service areas. Primary entrance to the hotel rooms will be from the Empire Building. Guests entering the hotel will pass through the Empire Building lobby to a covered walkway across the west end of the Courtyard and into a new stair and elevator lobby at the northwest corner of 19 Old Courthouse Square.

A new third level will be created on top of the existing 19 Old Courthouse Square roof. It will house eight hotel rooms, two hotel suites, meeting rooms, a cafe with food storage, preparation, and service pantry, restrooms, associated circulation and service spaces and a roof deck. This new level will be served by an extension of the existing south stair and a new stair elevator at the building's northeast corner.

The project is within the Downtown Parking District. Parking for the hotel will be provided by valet attendants; the project is presently finalizing a Parking Agreement with the City of Santa Rosa for sufficient reserved parking spaces in the City's Second Street Garage to fully meet hotel parking requirements.



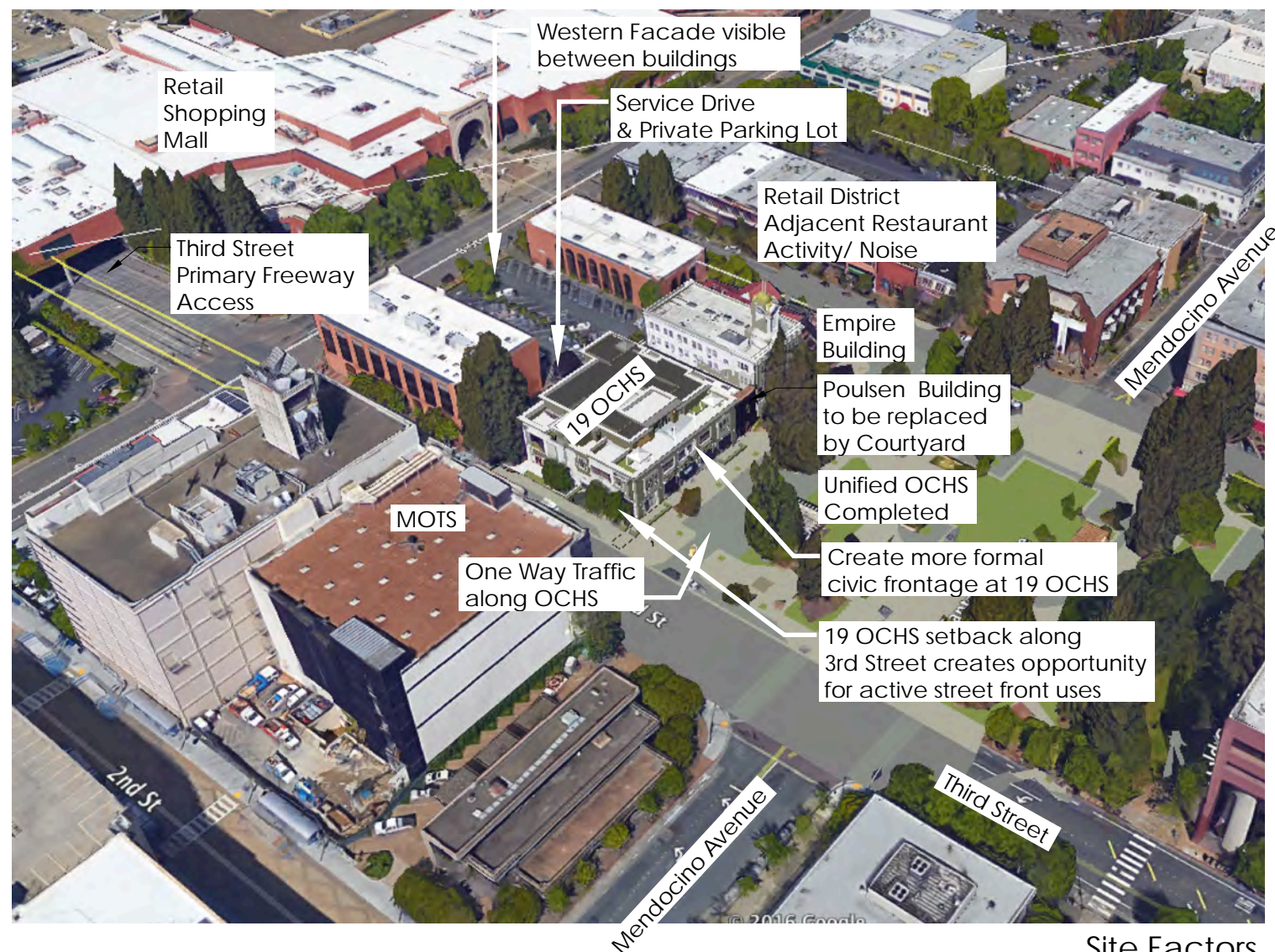
Jon Worden Architects  
512 Matheson Street  
Healdsburg, CA 95448

OLD COURTHOUSE SQUARE HOTEL  
Santa Rosa, CA

Cover Sheet  
Project Description

A-1  
11/30/16  
Revised 5-21-17





Site Factors



Site Context



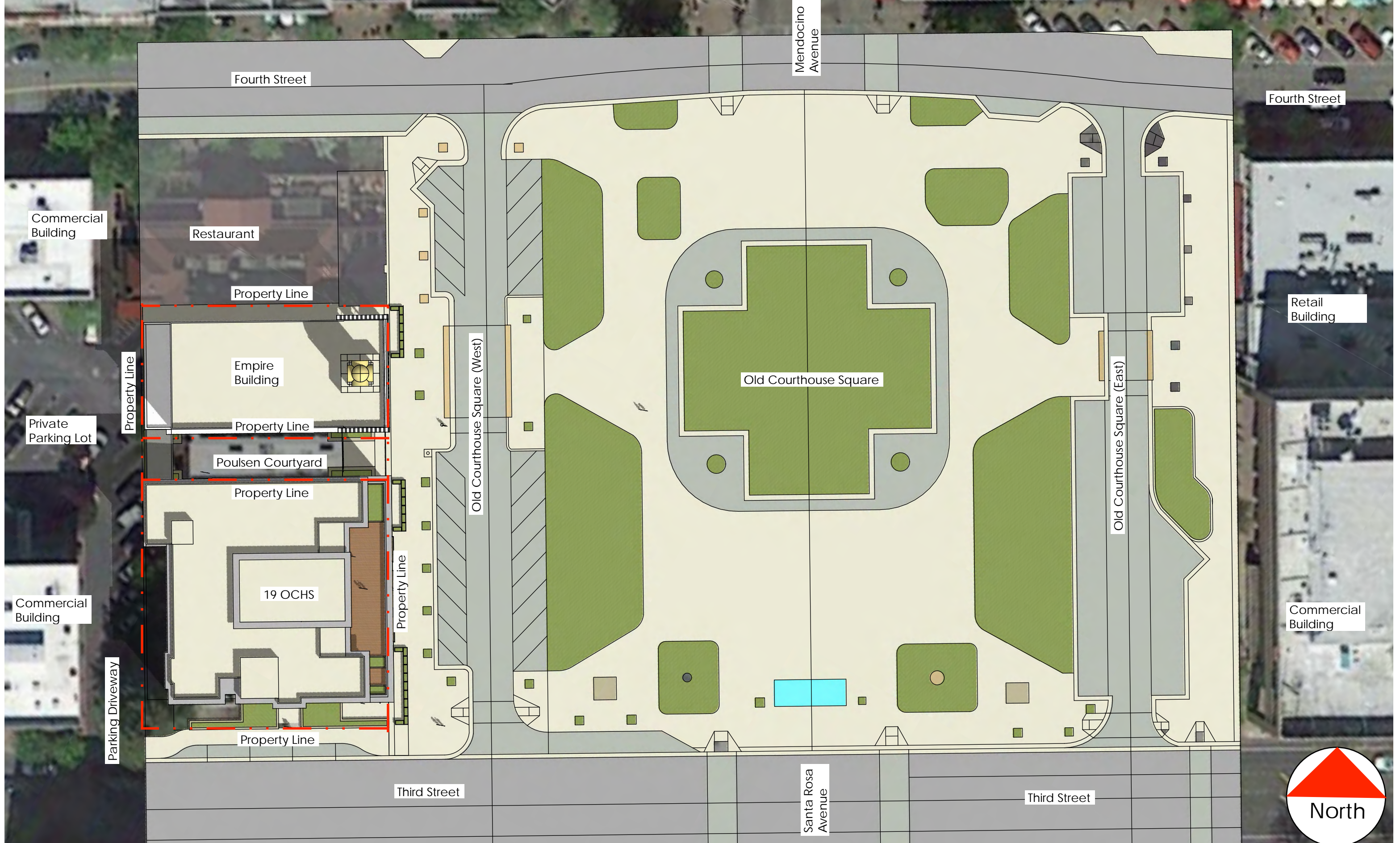
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# OLD COURTHOUSE SQUARE HOTEL Santa Rosa, CA

Site Context/ Site  
Factors/ Site Photos

A-2  
11/30/16  
Revised 5-21-17





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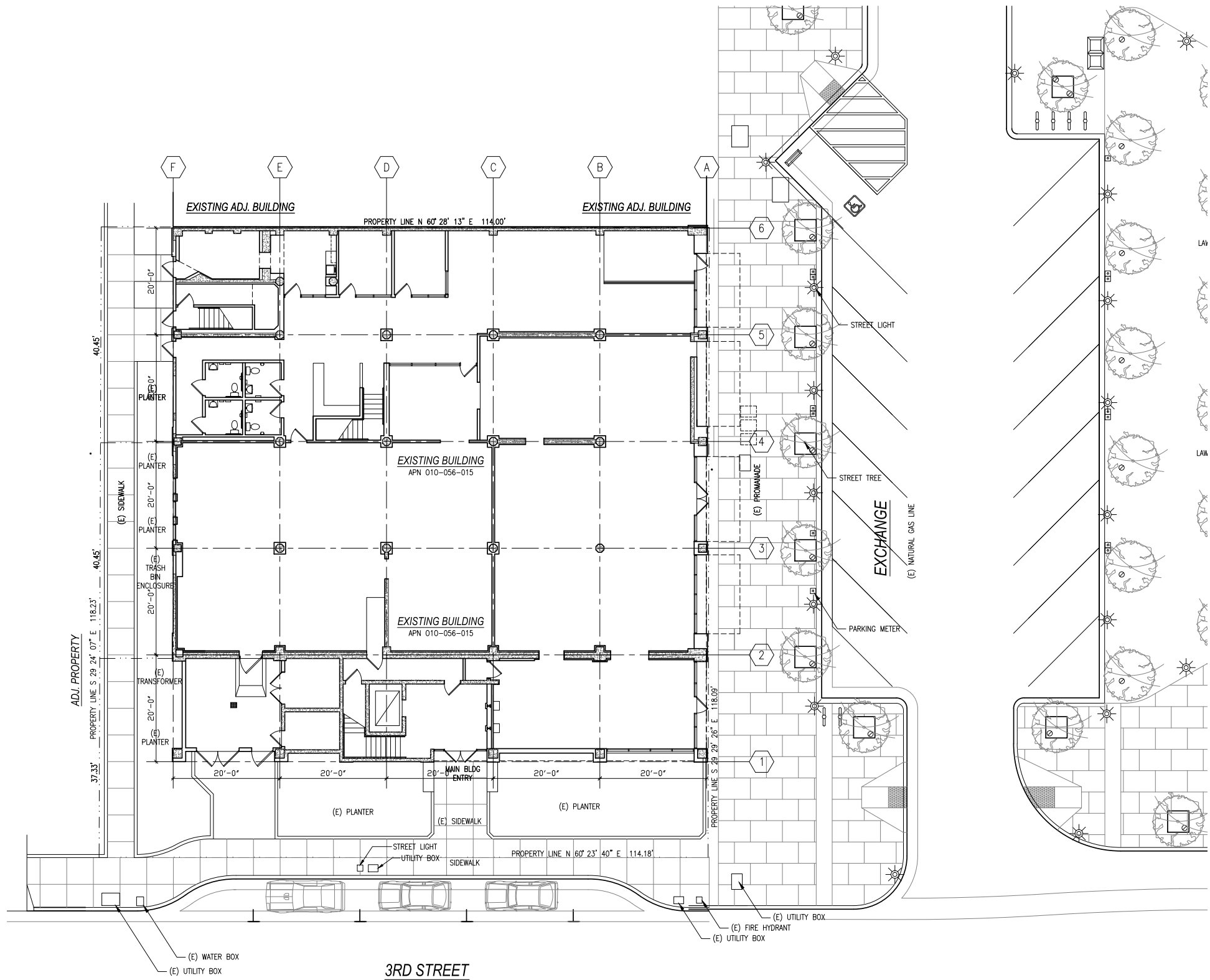
# OLD COURTHOUSE SQUARE HOTEL

## Santa Rosa, CA

Site/ Roof Plan  
1:40

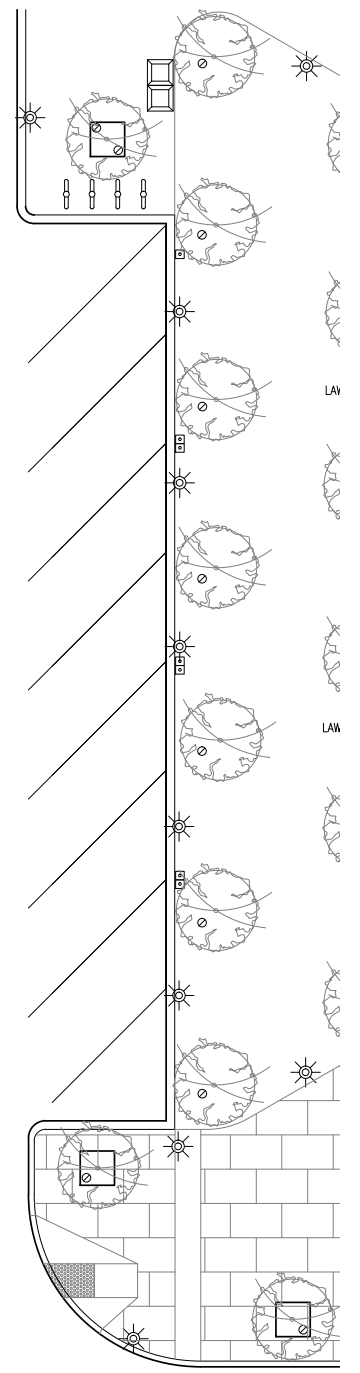
A-3  
Revised 5/21/17





1 EXISTING GROUND LEVEL FLOOR PLAN & SITE PLAN - SHOWING PROPOSED UNIFICATION OF SQUARE  
SCALE 1/8"=1'-0"

NOTE:  
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BUILDING.



NILSEN  
ARCHITECTURE - PLANNING  
5300 VENUS DRIVE FAIRFIELD, CALIFORNIA 94534  
(415) 860-3085

Project No.  
303-404

Drawn By:  
CN

Checked By:  
-

Owner Approval  
\_\_\_\_\_  
Date  
\_\_\_\_\_

EXISTING CONDITIONS  
19 OLD COURTHOUSE SQUARE  
SANTA ROSA - CALIFORNIA

Sheet Title  
EXISTING  
GROUND LEVEL  
&  
SITE PLAN

Scale: AS NOTED

APPROVALS

Revisions

No.	Date	Description
A	08-18-16	STRUCTURAL CLARIFICATION

Sheet No.  
**A0-E01**  
Date: 04-15-16

Note: OCHS  
Improvements  
(under construction)  
shown completed  
on this plan.

North

A-4

11/30/16

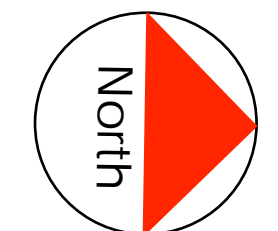




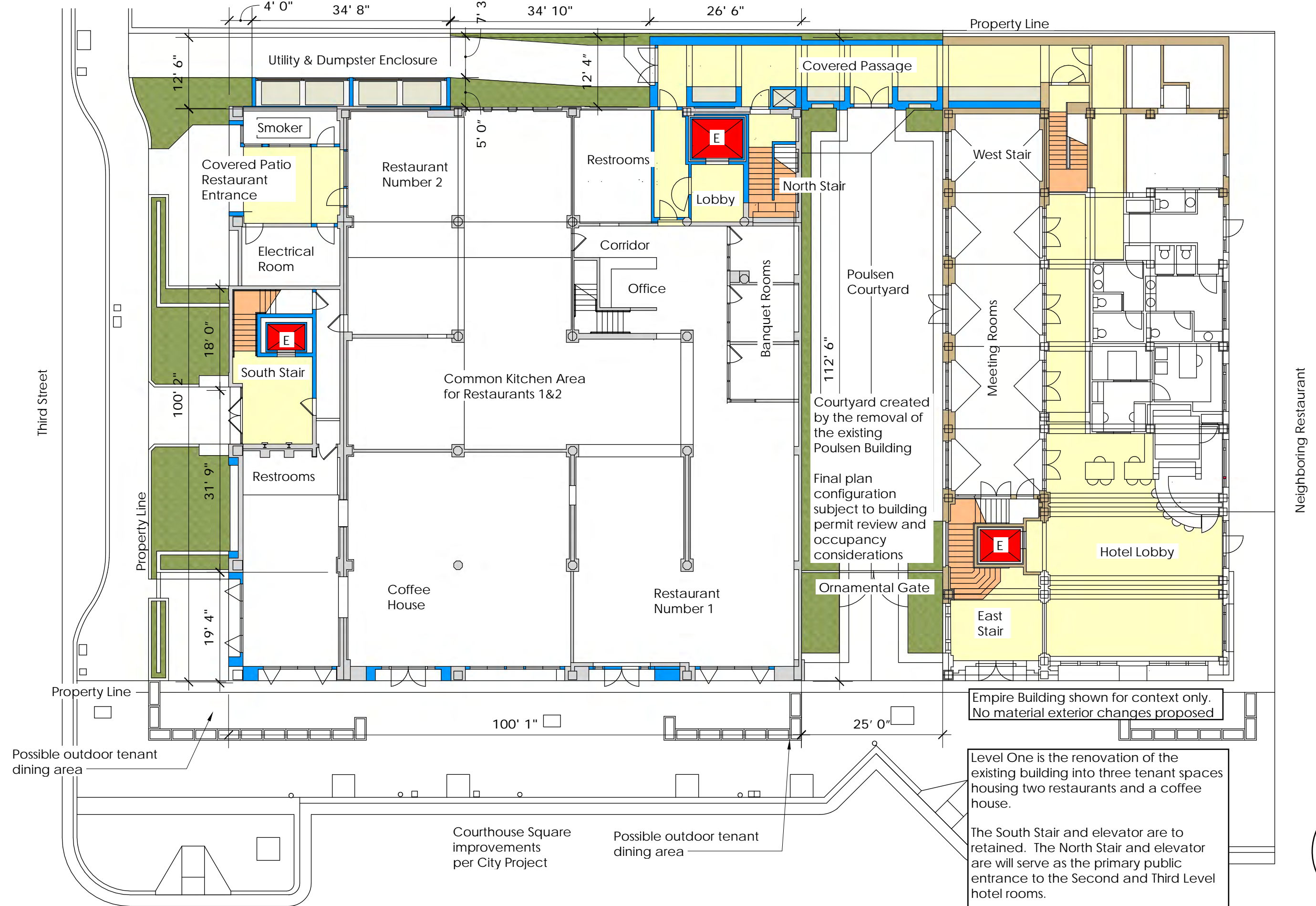
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Healdsburg, CA 95448

# OLD COURTHOUSE SQUARE HOTEL Santa Rosa, CA

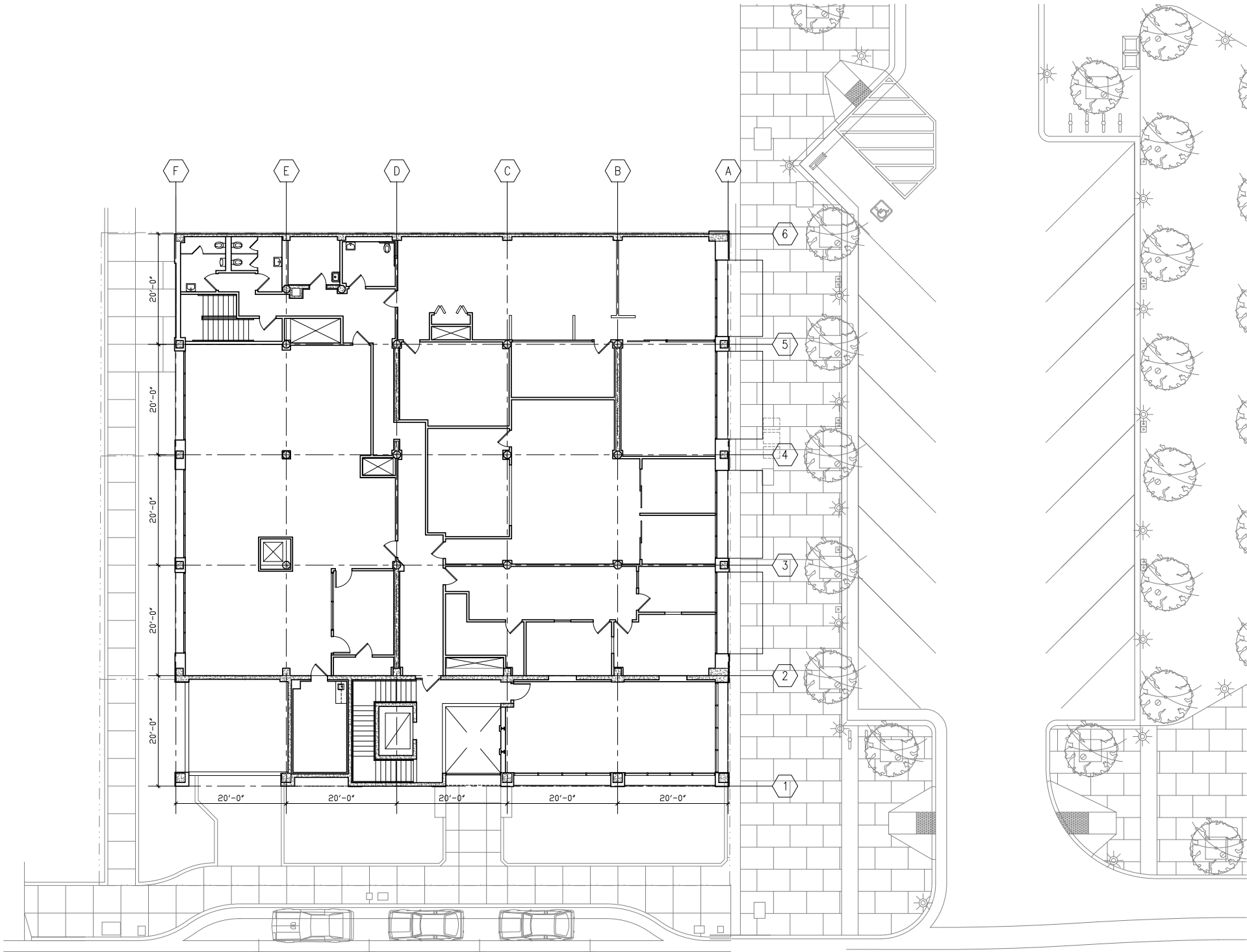
Level 1 Plan  
Tenant Spaces/ 1:16



A-5  
11/30/16  
Revised 5-21-17







1 EXISTING 2ND LEVEL FLOOR PLAN & SITE PLAN - SHOWING PROPOSED UNIFICATION OF SQUARE  
SCALE 1/8"=1'-0"

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Project No. 303-404  
Drawn By: CN  
Checked By: -

Owner Approval

Date

EXISTING CONDITIONS  
19 OLD COURTHOUSE SQUARE  
SANTA ROSA - CALIFORNIA

Sheet Title  
EXISTING  
2ND LEVEL  
&  
SITE PLAN

Scale: AS NOTED

APPROVALS

Revisions

No.	Date	Description
A	08-18-16	STRUCTURAL CLARIFICATION

Sheet No.

A0-E02

Date: 04-15-16

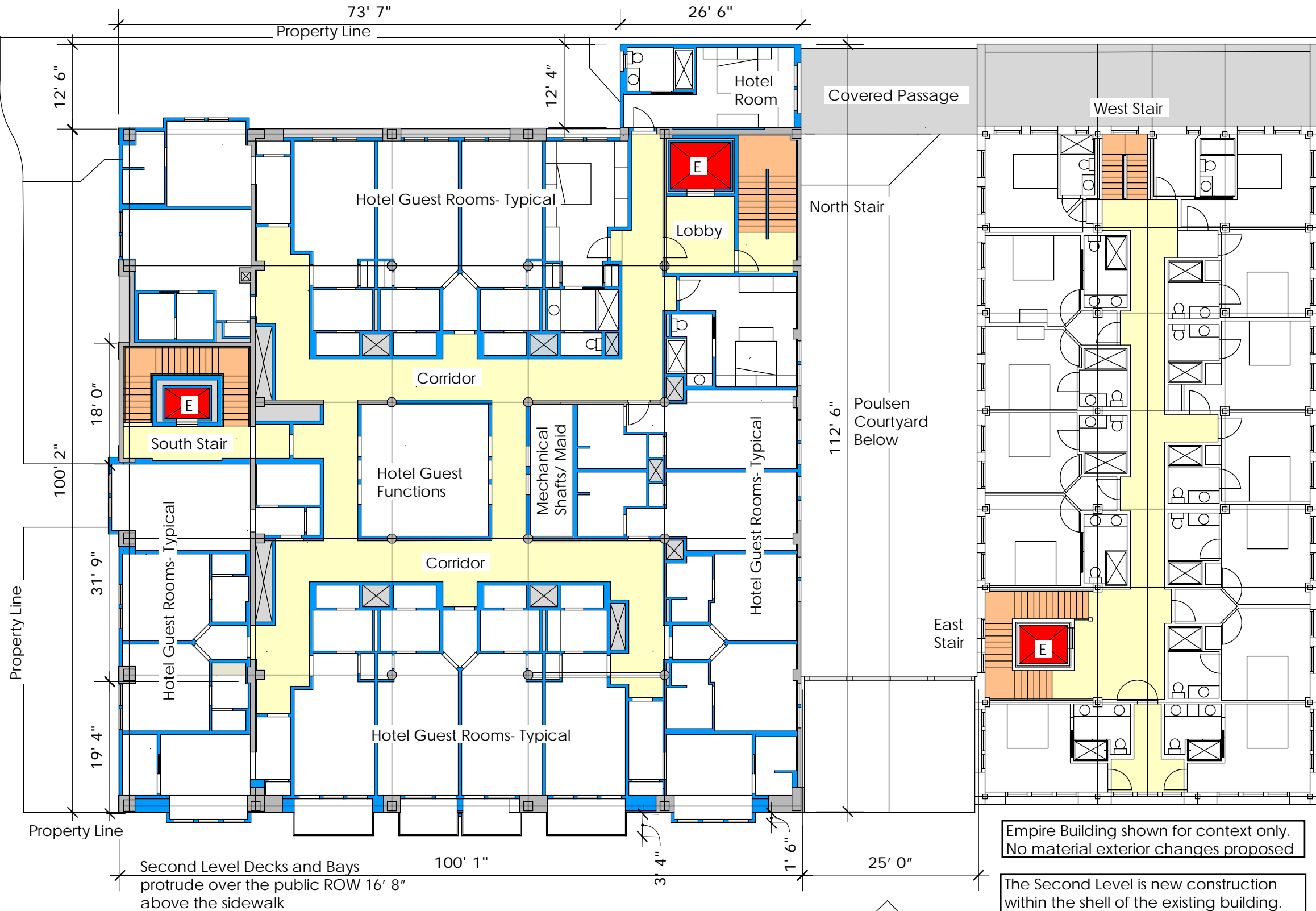
Note: OCHS  
Improvements  
(under construction)  
shown completed  
on this plan.



A-6  
11/30/16



Third Street



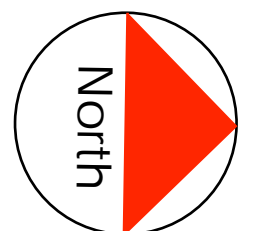
Neighboring Restaurant



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512 Matheson Street  
Healdsburg, CA 95448

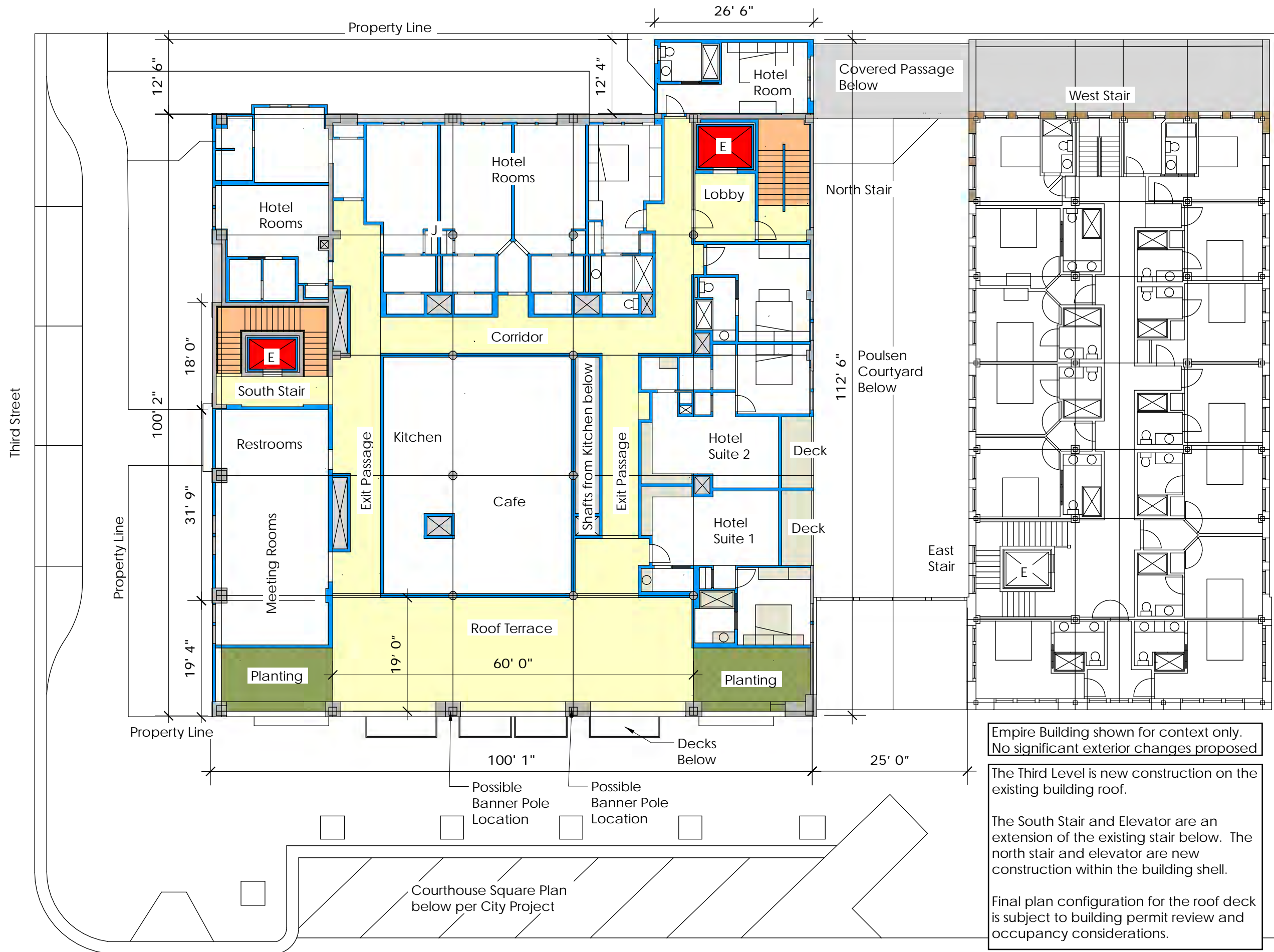
# OLD COURTHOUSE SQUARE HOTEL Santa Rosa, CA

Level 2 Plan  
Hotel Rooms/ 1:16



A-7  
11/30/16  
Revised 5-21-17

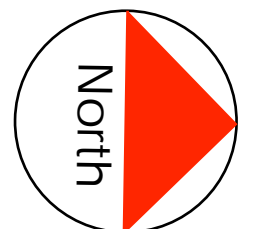




Jon Worden Architects  
512 Matheson Street  
Healdsburg, CA 95448

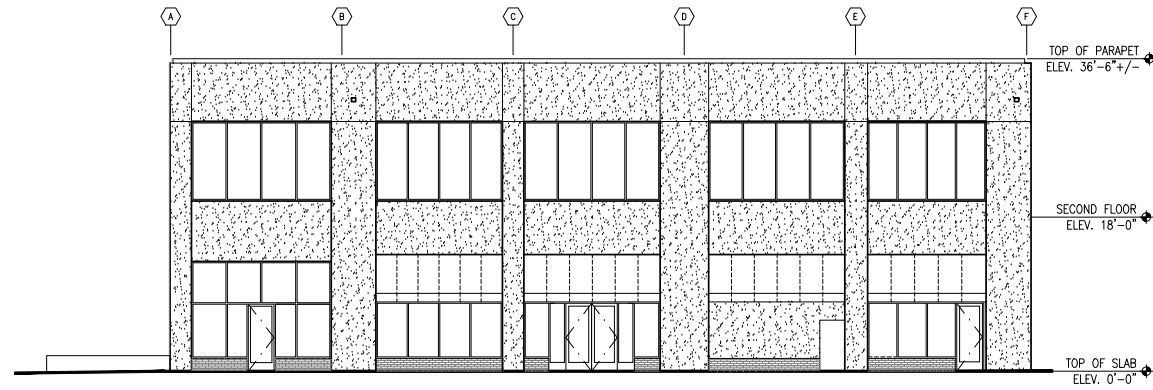
# OLD COURTHOUSE SQUARE HOTEL Santa Rosa, CA

Level 3 Plan  
Roof Deck/ 1:16

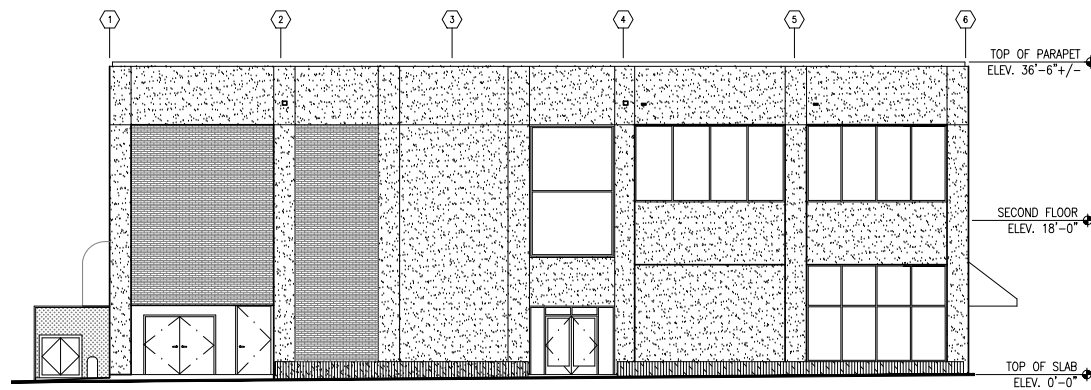
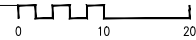


A-8  
11/30/16  
Revised 5-21-17

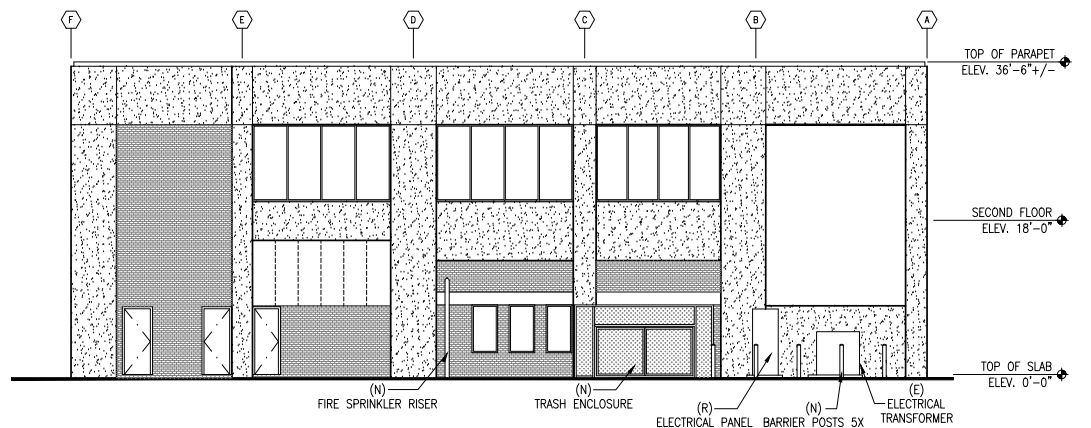
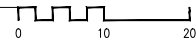




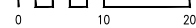
2 EXISTING EAST ELEVATION ELEVATION  
SCALE 1/8"=1'-0"



3 EXISTING SOUTH ELEVATION  
SCALE 1/8"=1'-0"



4 EXISTING WEST ELEVATION  
SCALE 1/8"=1'-0"



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Project No. 303-404  
Drawn By: CN  
Checked By: -

Owner Approval

Date

EXISTING CONDITIONS  
19 OLD COURTHOUSE SQUARE  
SANTA ROSA - CALIFORNIA

Sheet Title  
EXISTING EXTERIOR ELEVATIONS

Scale: AS NOTED

APPROVALS

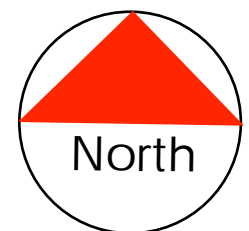
Revisions

No.	Date	Description
A	08-18-16	STRUCTURAL CLARIFICATION

Sheet No.

A0-E03

Date: 04-15-16



A-9  
11/30/16



OCHS Facade Composition

The proposed building renovation mirrors the formal symmetry of the Empire Building without trying to match its specific details and character.

The three recessed openings at the center of the building have perimeter trim "frames" and spandrel details that mirror in scale and color those on the Empire Building. Flanking bays, banners, tent pavilions and the higher roof structure at the third level reinforce the symmetry of the facade.

The proposed building wall colors contrast with the Empire Building color. Trim and bay colors however match in an attempt to reinforce the fact that the two structures form a single complex.



Poulsen Courtyard

The proposed courtyard between 19 OCHS and the Empire Building is bracketed by a covered walkway on the west and an ornamental gate of the east. The two elements both mirror the rusticated arches at the base of the Empire Building, but in contrasting materials: wrought iron and fused glass at the gate and an trellis covered wall at the covered walkway. See Sheet 21 for a more detailed views of these two elements.



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OLD COURTHOUSE SQUARE HOTEL  
Santa Rosa, CA

East Elevation  
OCHS/ 1:16

A-10  
11/30/16  
Revised 5-21-17





### North Facade Composition

The north wall of 19 OCHS is a concrete party wall that was never intended to be exposed. The structural limitations of the existing building required that openings at the lower level be minimized. Second Level openings to the new hotel rooms are trimmed in the same manner as the east facade and establish a rhythm of panels that extend to the wainscot and an adjacent vine filled planting strip at grade. The wall will be stuccoed to match the others in the building. The projecting cornice line at parapet height extends from the east to form the base for the the new structures at the roof terrace level. A new higher cornice wraps the Third Level North Stair & Elevator. The ornamental gate on the east and the covered walkway on the west along with the newly exposed south wall of the Empire Building form the other three sides of the Poulsen Courtyard.

### South Facade Composition

Unlike the East Elevation, the South Elevation does not lend itself to a formal symmetrical treatment due to several preexisting building features (lobby entrance, stair tower, shear walls, etc.) The proposed elevation uses the existing stair wall (and its new vertical extension to the roof terrace) as well as a recessed panel to the west to visually separate the southwest bay of the building (the entrance to Restaurant Number 2) reinforcing the separation with a vine covered trellis and a change in wall color. A wall mural forms an accent panel adjacent to the entrance and emphasizes the verticality of the stair. A projecting bay window provides cover for the lobby entrance. Vertical hotel signage at each corner provide hotel identity on Third Street while visually bracketing the complex asymmetrical composition.



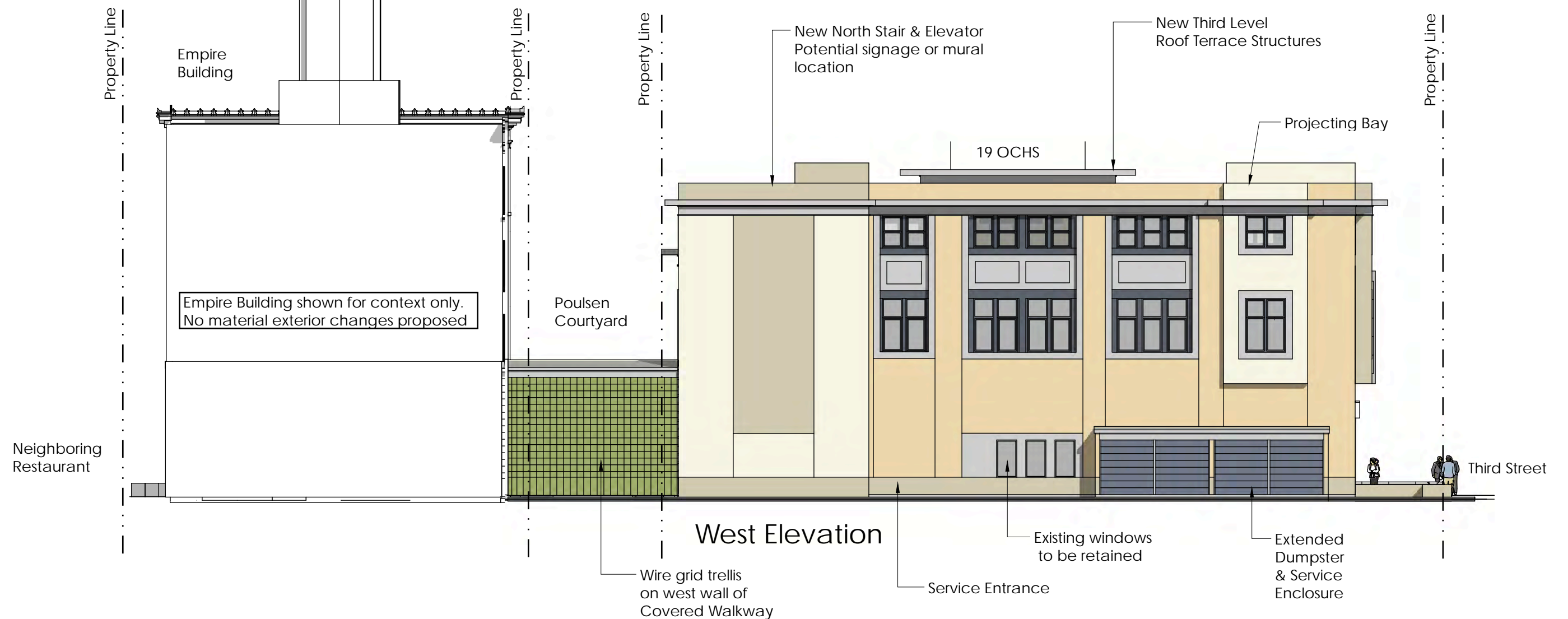
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OLD COURTHOUSE SQUARE HOTEL  
Santa Rosa, CA

North and South  
Elevations/ 1:16

A-11  
11/30/16  
Revised 5-21-17





### West Facade Composition

The west elevation is largely obscured by adjacent commercial buildings but is partially visible from B Street across a private parking lot. The west wall of the projecting hotel room adjacent to the North Stair is adjacent to the property line and therefore has no windows. It is a possible sign or mural location. The west wall of the covered walkway at the Poulsen Courtyard is recessed behind a small planting strip and is covered with a wire grid trellis to support vines. The existing dumpster enclosure is to be removed, enlarged and replaced to house additional hotel related dumpsters. The new dumpster enclosure is required to be of one hour construction as it adjacent to an exit pathway. The walls will be concrete block stuccoed to match the building with a standing seam metal roof and 1 Hour rated roll up doors.



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Healdsburg, CA 95448

## OLD COURTHOUSE SQUARE HOTEL Santa Rosa, CA

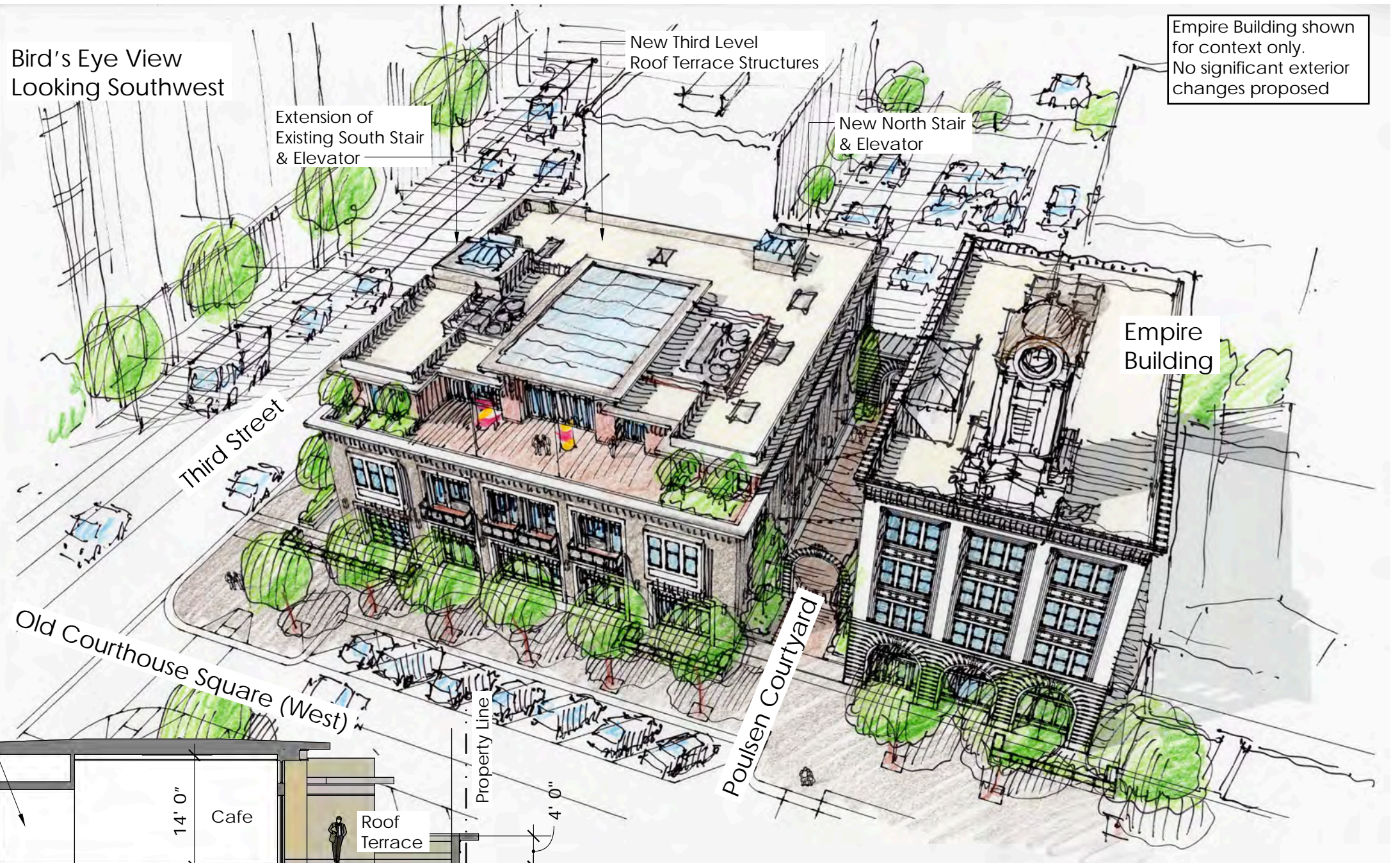
West Elevation  
Parking Lot/ 1:16

A-12  
11/30/16  
Revised 5-21-17

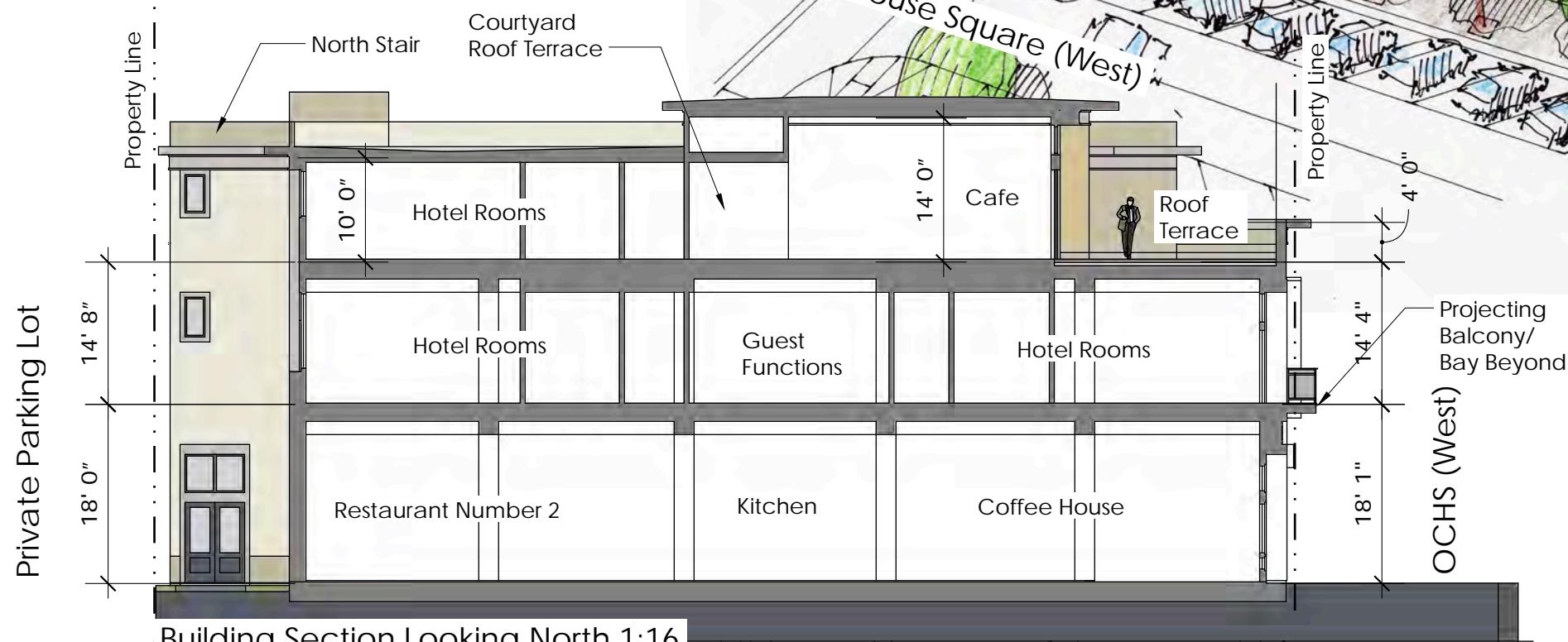




Bird's Eye View  
Looking Southwest



Empire Building shown for context only. No significant exterior changes proposed



Building Section Looking North 1:16

### OCHS Facade Composition

The proposed building renovation mirrors the formal symmetry of the Empire Building without trying to match its specific details and character.

The three recessed openings at the center of the building have perimeter trim "frames" and spandrel details that mirror in scale and color those on the Empire Building. Flanking bays, banners, tent pavilions and the higher roof structure at the third level reinforce the symmetry of the facade.

The proposed building wall colors contrast with the Empire Building color. Trim and bay colors however match in an attempt to reinforce the fact that the two structures form a single complex.



Jon Worden Architects  
512 Matheson Street  
Healdsburg, CA 95448

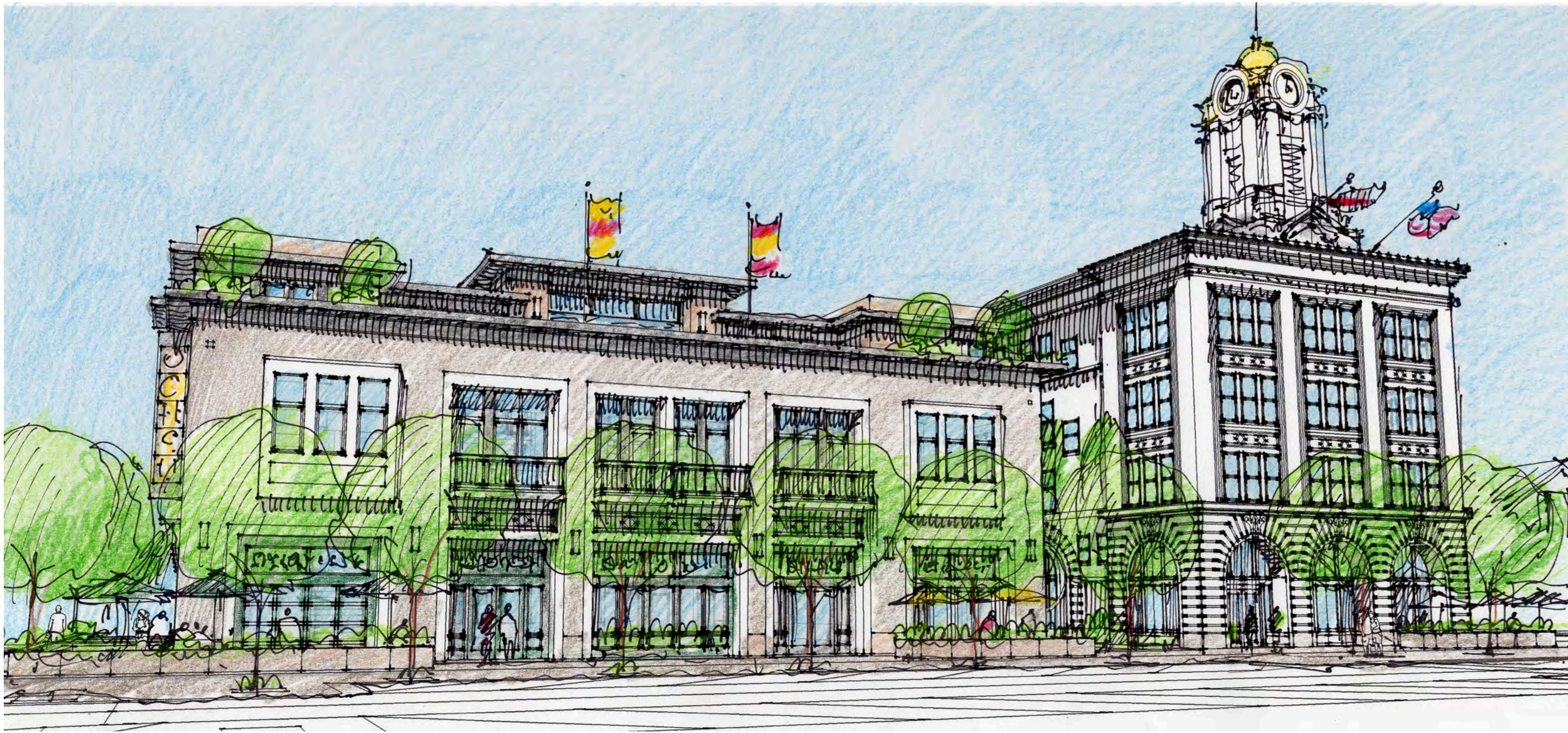
## OLD COURTHOUSE SQUARE HOTEL Santa Rosa, CA

Section/ Bird's Eye  
Looking Southwest

A-13  
11/30/16  
Revised 5-21-17



Empire Building shown for context only.  
No material exterior changes proposed



Exterior Materials List		Windows, Doors & Accessories		Poulsen Courtyard & Roof Terrace Accessories	
Walls:	3 Coat Cement Plaster with Integral Color	Windows:	Metal Clad Wood	Pavers:	Integral colored concrete system on raised pedestals
Trim:	3 Coat Cement Plaster over Shaped Foam	Doors:	Metal framed, fully glazed	Doors:	Metal framed, fully glazed
Roof:	Elastomeric Membrane	Storefront:	Wood/ glazed	Gate:	Custom Wrought Iron with Fused Glass Accents
Bays:	Fiber Cement Panels & Trim	Balconies:	Steel Frame	Covered Walkway:	Cement Plaster Walls with Applied Wood Lattice & Aluminum Frame Skylight in GSM Roof.
Soffit:	3 Coat Cement Plaster with Integral Color	Railings:	Tube Steel Pickets with Steel Flat Bar Top Rail	Corner Signs:	Steel Frame, GSM Clad with Translucent LED Lit Panels
Fascia:	GSM Painted	Lighting Sconce:	Cast Aluminum with Translucent White Glass		
		Soffit Lighting:	Recessed LED Can Lights		



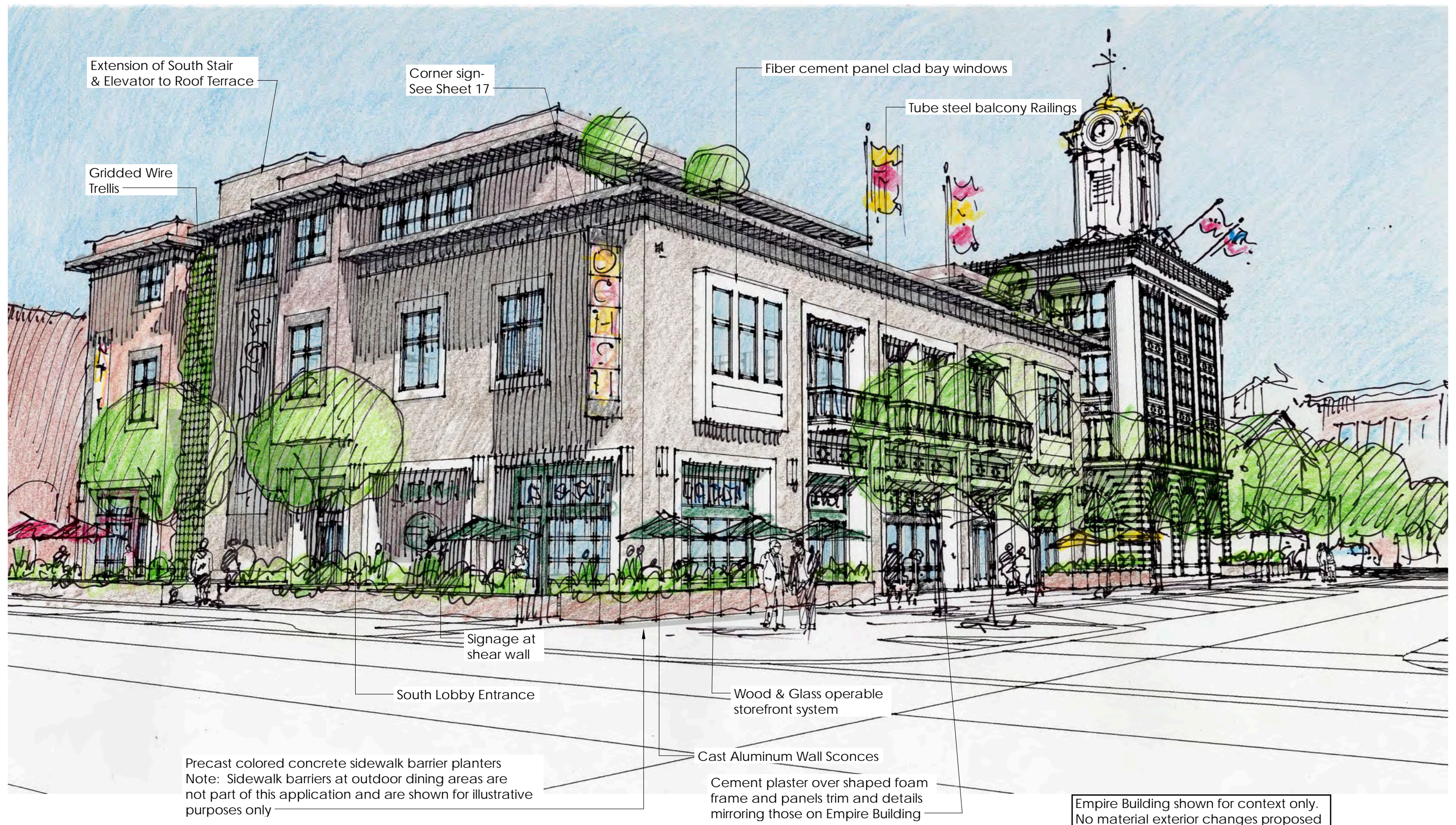
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Healdsburg, CA 95448

## OLD COURTHOUSE SQUARE HOTEL Santa Rosa, CA

Looking Northwest  
From OCHS

A-14  
11/30/16  
Revised 5-21-17





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# OLD COURTHOUSE SQUARE HOTEL Santa Rosa, CA

South East Corner  
Third & OCHSW

A-15  
11/30/16  
Revised 5-21-17





### South Facade Composition

Unlike the East Elevation, the South Elevation does not lend itself to a formal symmetrical treatment due to several preexisting building features (lobby entrance, stair tower, shear walls, etc.) The proposed elevation uses the existing stair wall (and its new vertical extension to the roof terrace) as well as a recessed panel to the west to visually separate the southwest bay of the building (the entrance to Restaurant Number 2) reinforcing the separation with a vine covered trellis and a change in wall color. A wall mural forms an accent panel adjacent to the entrance and emphasizes the verticality of the stair. A projecting bay window provides cover for the lobby entrance. Vertical hotel signage at each corner provide hotel identity on Third Street while visually bracketing the complex asymmetrical composition.



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## OLD COURTHOUSE SQUARE HOTEL Santa Rosa, CA

Third Street Facade  
Looking North Across Third

**A-16**  
11/30/16  
Revised 5-21-17



South Stair & Elevator  
Extension to Roof  
Terrace Level



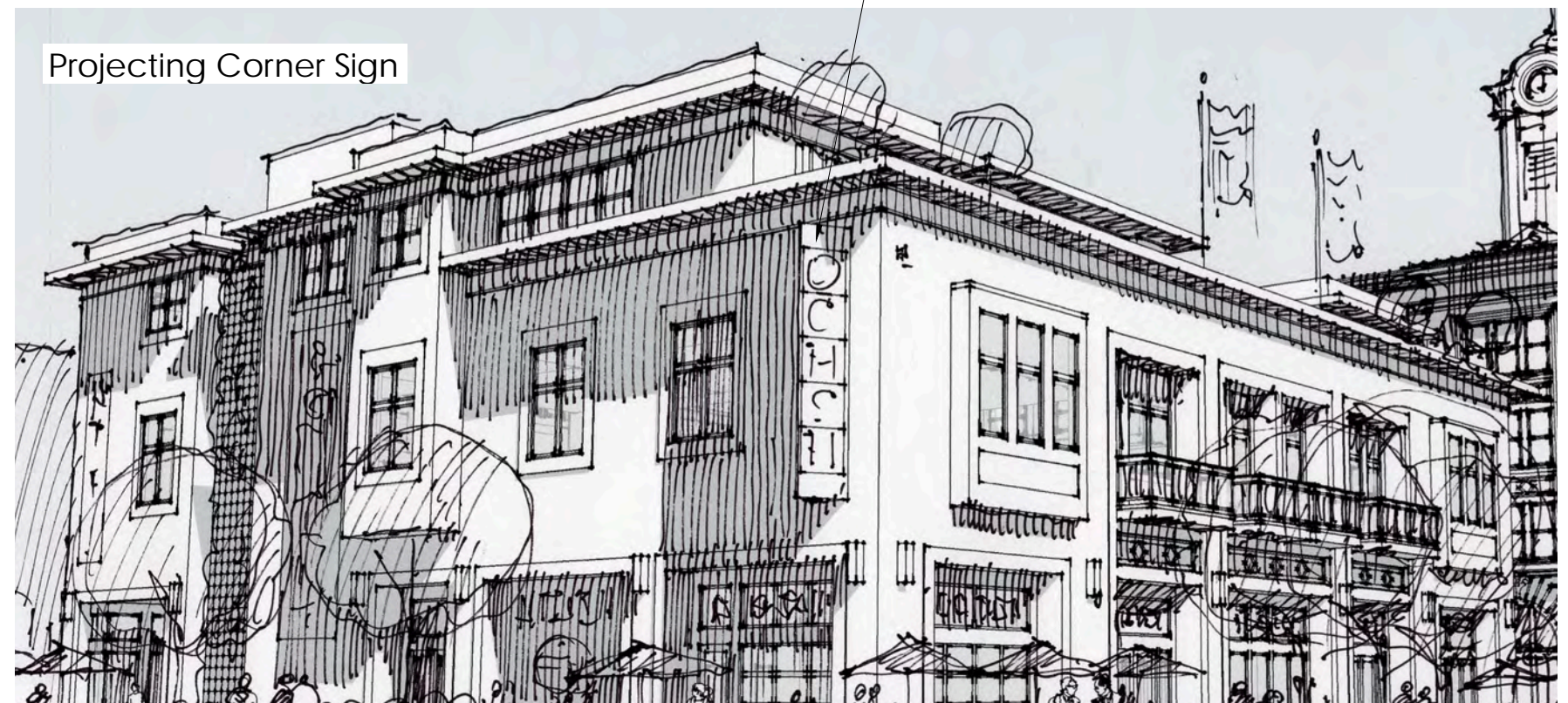
Mural at 7th & Humboldt



Cast Aluminum Wall Sconces



Historic Projecting Sign



Projecting Corner Sign

Steel frame sign with GSM cladding and internally LED lit inset translucent panels recalling historic sign type



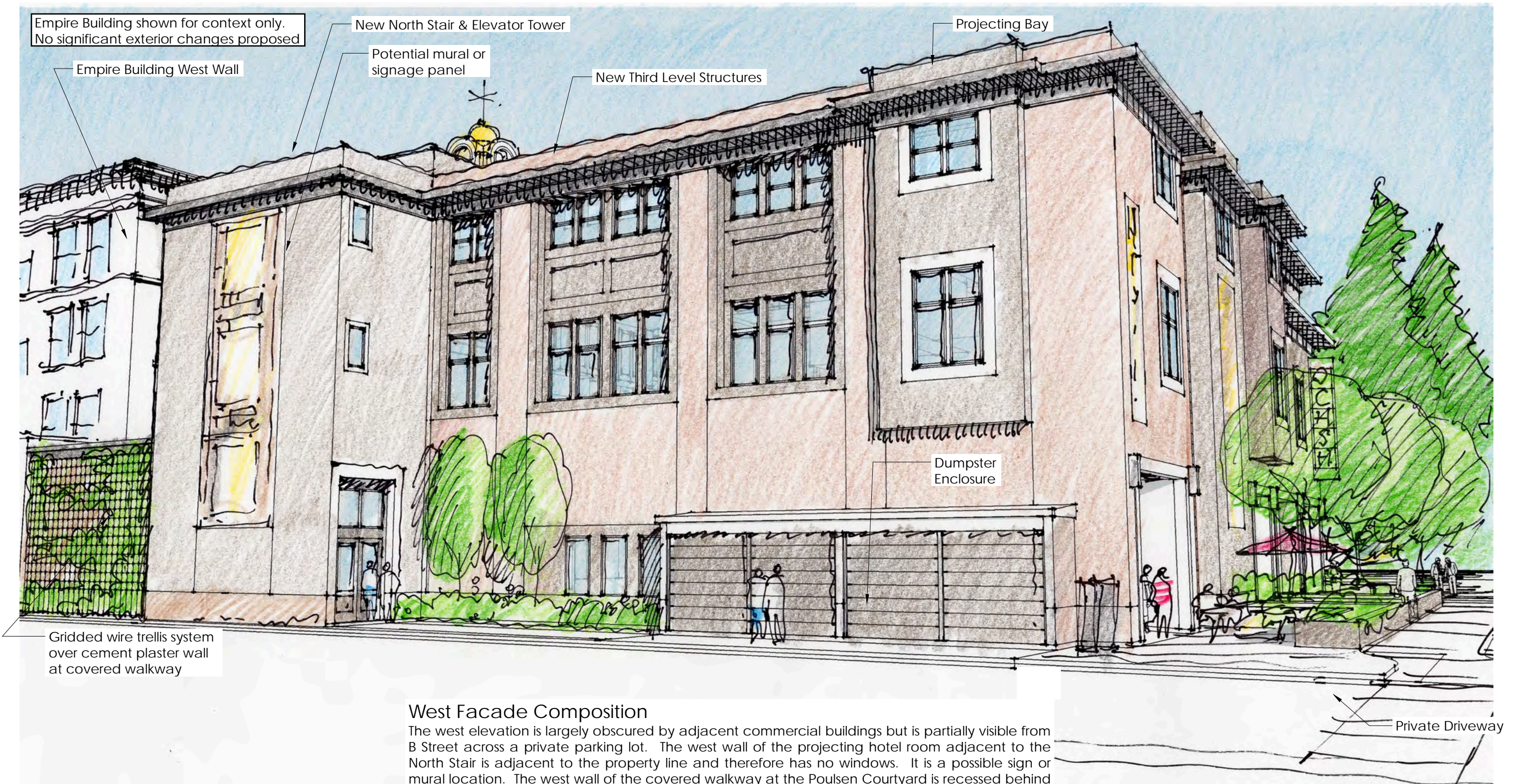
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# OLD COURTHOUSE SQUARE HOTEL Santa Rosa, CA

Third Street Details  
Mural & Sign

A-17  
11/30/16  
Revised 5-21-17





### West Facade Composition

The west elevation is largely obscured by adjacent commercial buildings but is partially visible from B Street across a private parking lot. The west wall of the projecting hotel room adjacent to the North Stair is adjacent to the property line and therefore has no windows. It is a possible sign or mural location. The west wall of the covered walkway at the Poulsen Courtyard is recessed behind a small planting strip and is covered with a wire grid trellis to support vines. The existing dumpster enclosure is to be removed, enlarged and replaced to house additional hotel related dumpsters. The new dumpster enclosure is required to be of one hour construction as it adjacent to an exit pathway. The walls will be concrete block stuccoed to match the building with a standing seam metal roof and 1 Hour rated roll up doors.



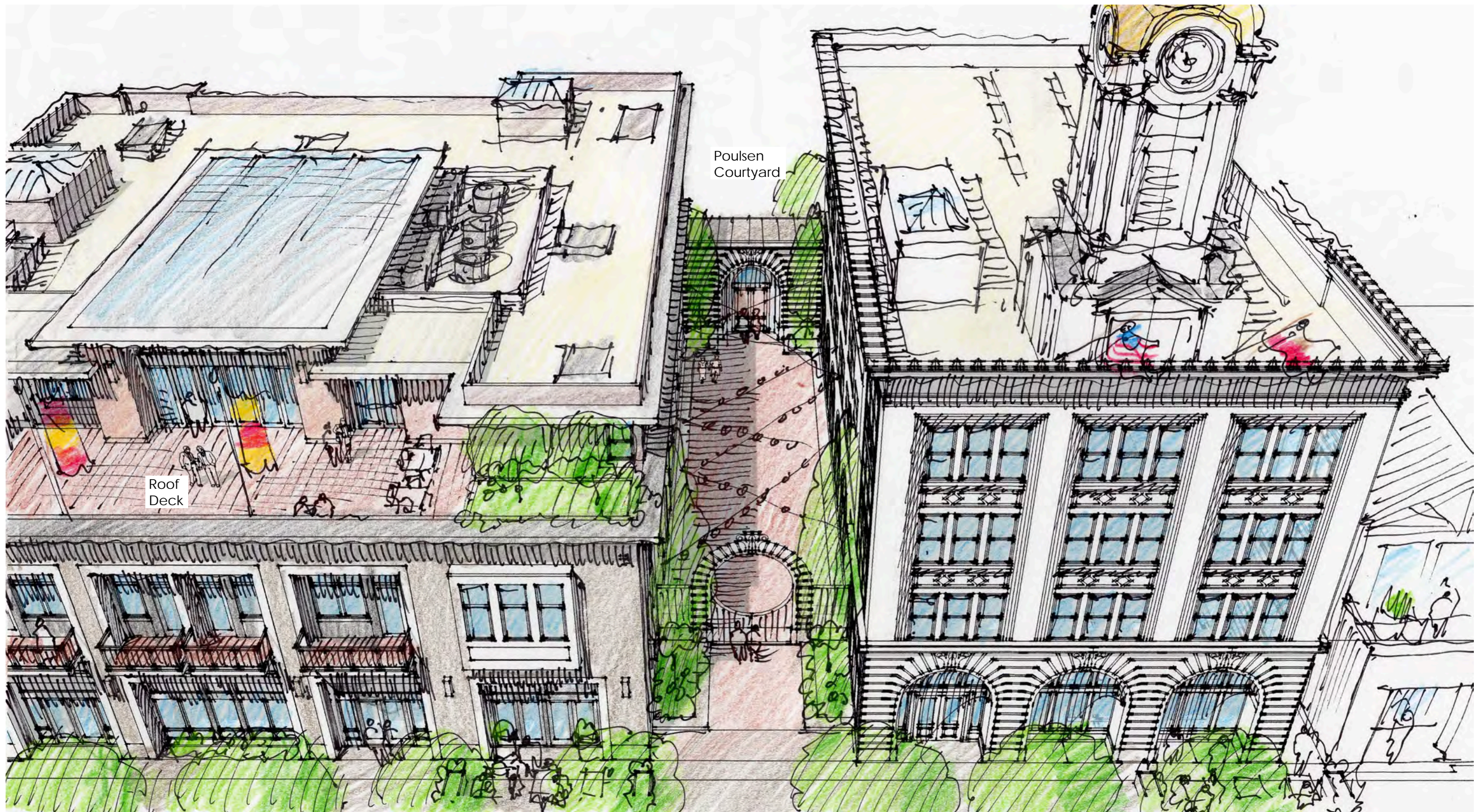
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Healdsburg, CA 95448

## OLD COURTHOUSE SQUARE HOTEL Santa Rosa, CA

West Elevation  
Looking Northeast

A-18  
11/30/16  
5-21-17





The Poulsen Courtyard is framed by covered walkway structure at its west end and an ornamental gateway at the east. Both echo the rusticated treatment of the arched openings at the base of the Empire Building but expressed in radically different materials.

Empire Building shown for context only.  
No material exterior changes proposed.

Final plans for the courtyard and roof deck  
are subject to building permit review and  
occupancy considerations



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## OLD COURTHOUSE SQUARE HOTEL Santa Rosa, CA

Poulsen Courtyard Bird's  
Eye Looking West

A-19

11/30/16

Revised 5-21-17





Covered Walkway: Both Visual Terminus and Stage



Lattice over Stucco Wall

### Covered Walkway

The covered walkway provides an all weather link between the hotel lobby in the Empire Building and the new North Stair and Elevator serving 19 OCHS. Like the gate, the structure echoes the rusticated arches in size and configuration, but expressed as a wood lattice over a cement plaster wall. The top of the covered walkway aligns with and matches the detail of the Empire Building string course.



Glass Accents in Gate



Rusticated Arches

### Ornamental Gateway

An ornamental gateway forms the eastern terminus of the Poulsen Courtyard. The gateway mirrors the lines, scale and configuration of the rusticated arches at the base of the Empire Building in wrought iron. Inset panels of fused colored glass accent the arch glowing within the courtyard in the morning and towards Old Courthouse Square in the afternoon.

The gate would be open during daylight hours except when special events are taking place within the courtyard.



Ornamental Gateway Looking East from the Poulsen Courtyard



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OLD COURTHOUSE SQUARE HOTEL  
Santa Rosa, CA

Courtyard Details  
Link & Gate

A-20  
11/30/16  
Revised 5-21-17





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# OLD COURTHOUSE SQUARE HOTEL Santa Rosa, CA

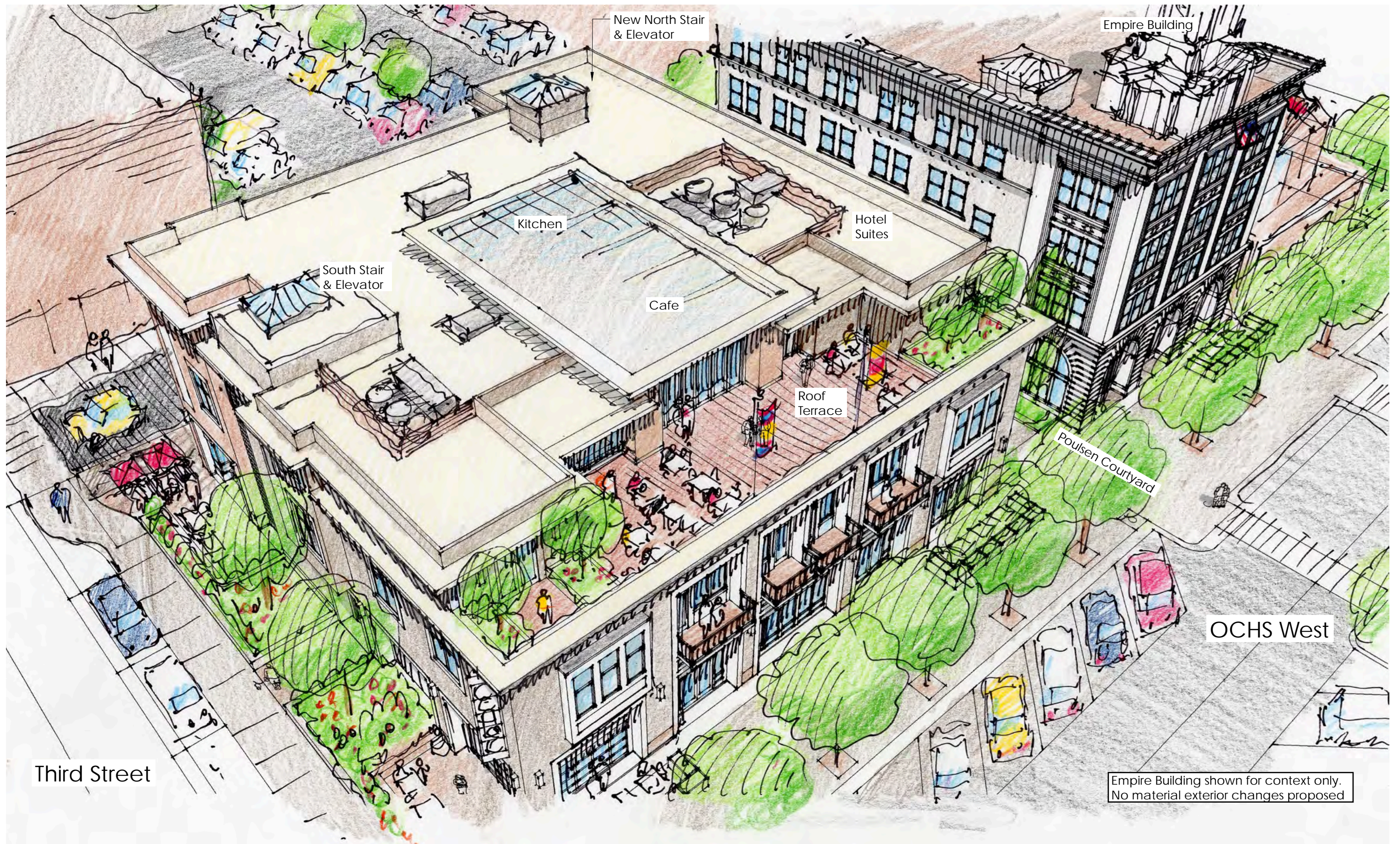
Courtyard Looking West  
Across OCHS (West)

A-21

11/30/16

Revised 5-21-19





Empire Building shown for context only.  
No material exterior changes proposed



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# OLD COURTHOUSE SQUARE HOTEL Santa Rosa, CA

Bird's Eye  
Looking Northwest

A-22  
11/30/16  
Revised 5-21-17





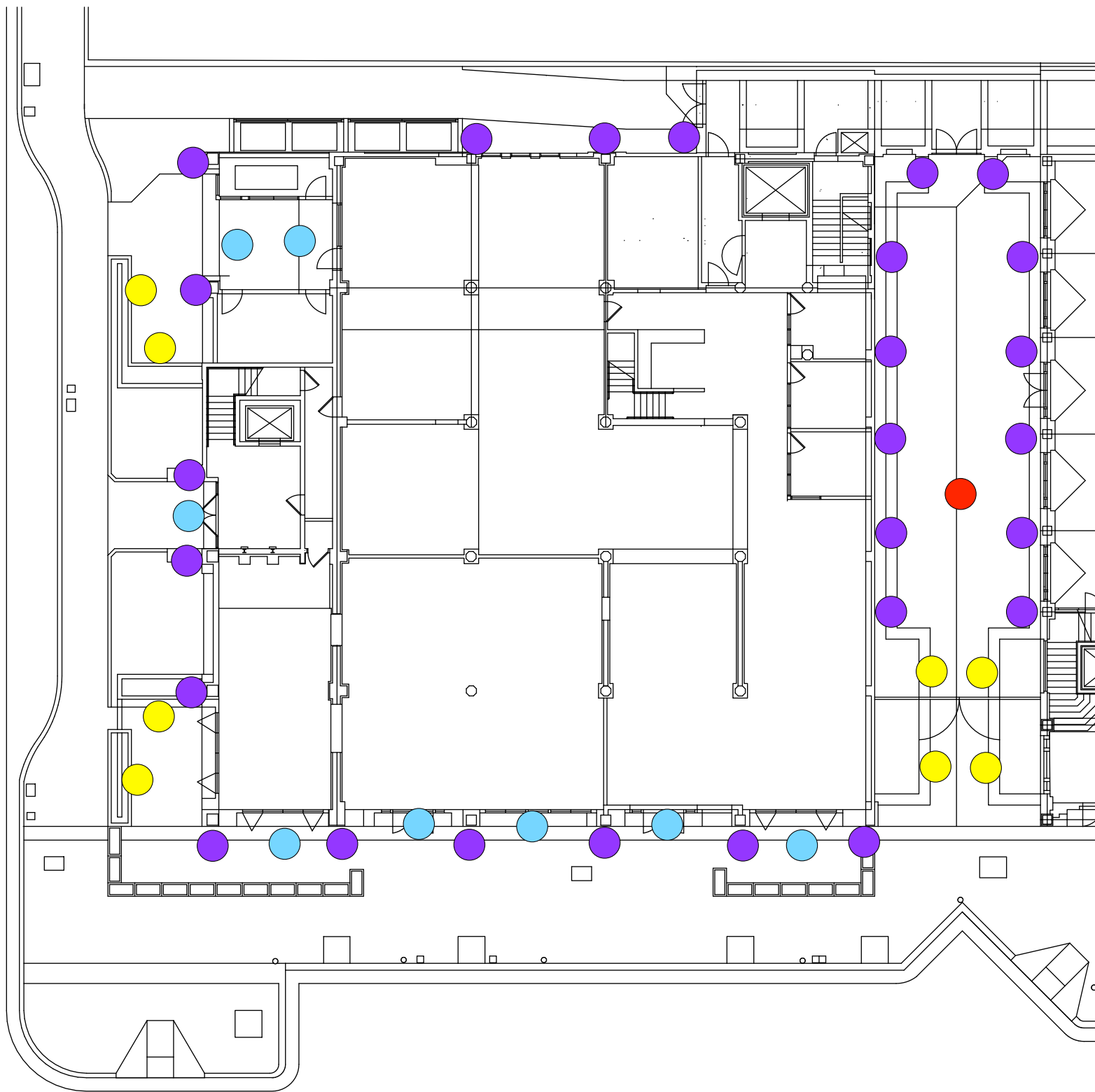
Jon Worden Architects  
512 Matheson Street  
Healdsburg, CA 95448






# OLD COURTHOUSE SQUARE HOTEL Santa Rosa, CA

Roof Deck  
Looking North

A-23  
11/30/16  
Revised 5-21-17





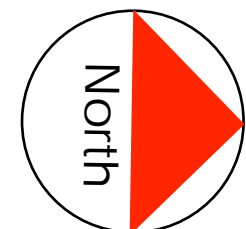
1.		Recessed Wall Light/ Step Light Brick LED recessed wall light (SLV) cast alum. flush frame w/ white lens
2.		Decorative Overhead string accent lights/ LED frosted Stretched from side to side at courtyard.
3.		Soffit Light Round low profile LED surface mounted cast aluminum rim/ translucent white lens
4.		Wall Mounted Sconce/ Street Level Bracketed cast aluminum cylindrical sconce/ LED/ down light only
5.		Illuminated Sign Metal framed translucent Poly-Gal clad with interior LED display.



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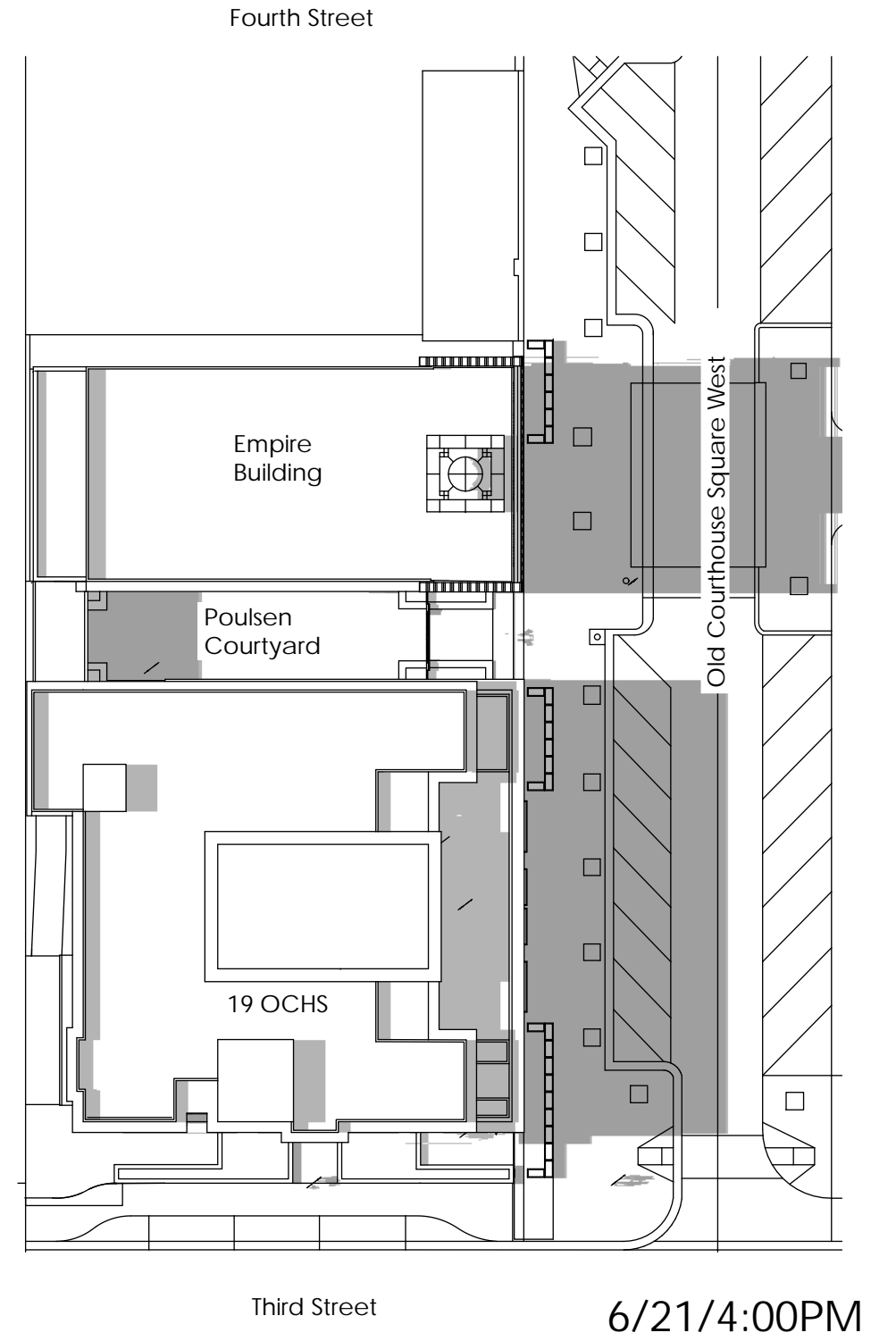
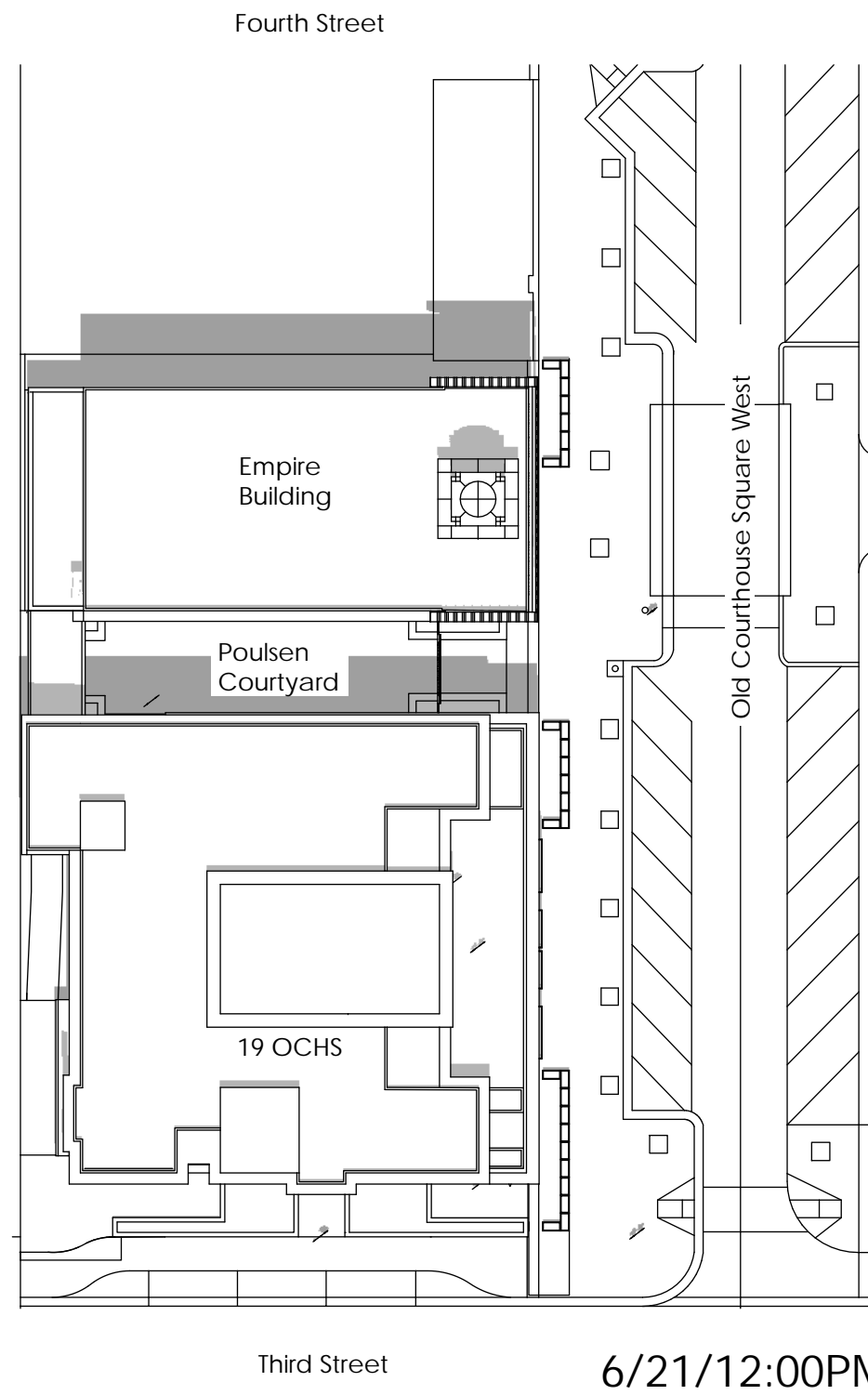
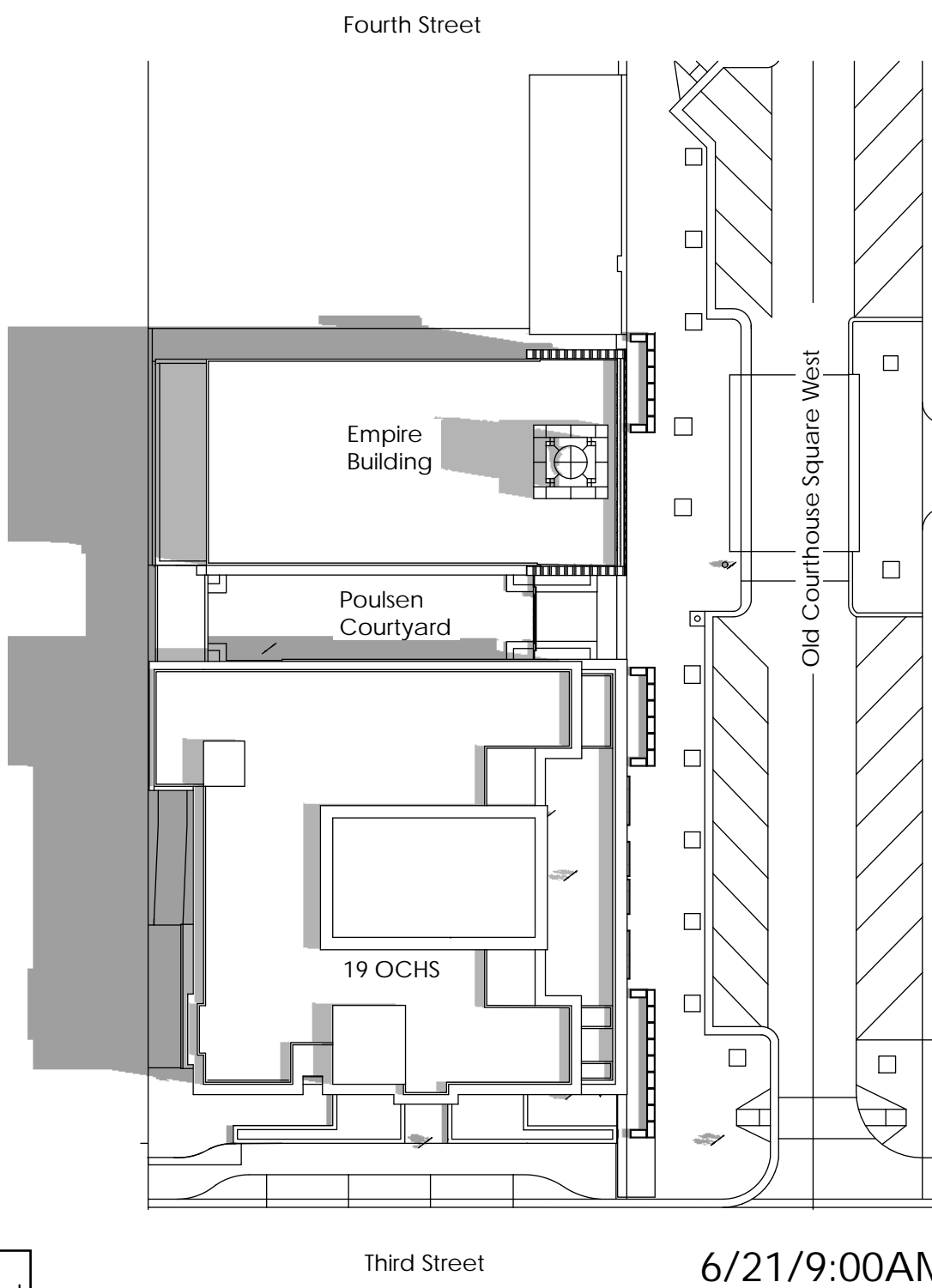
## OLD COURTHOUSE SQUARE HOTEL Santa Rosa, CA

Diagrammatic Lighting  
Plans/ 1:20



**A-24**  
11/30/16  
Revised 5-21-17





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512 Matheson Street  
Healdsburg, CA 95448

# OLD COURTHOUSE SQUARE HOTEL Santa Rosa, CA

Summer Solstice  
Shadow Studies  
1:40

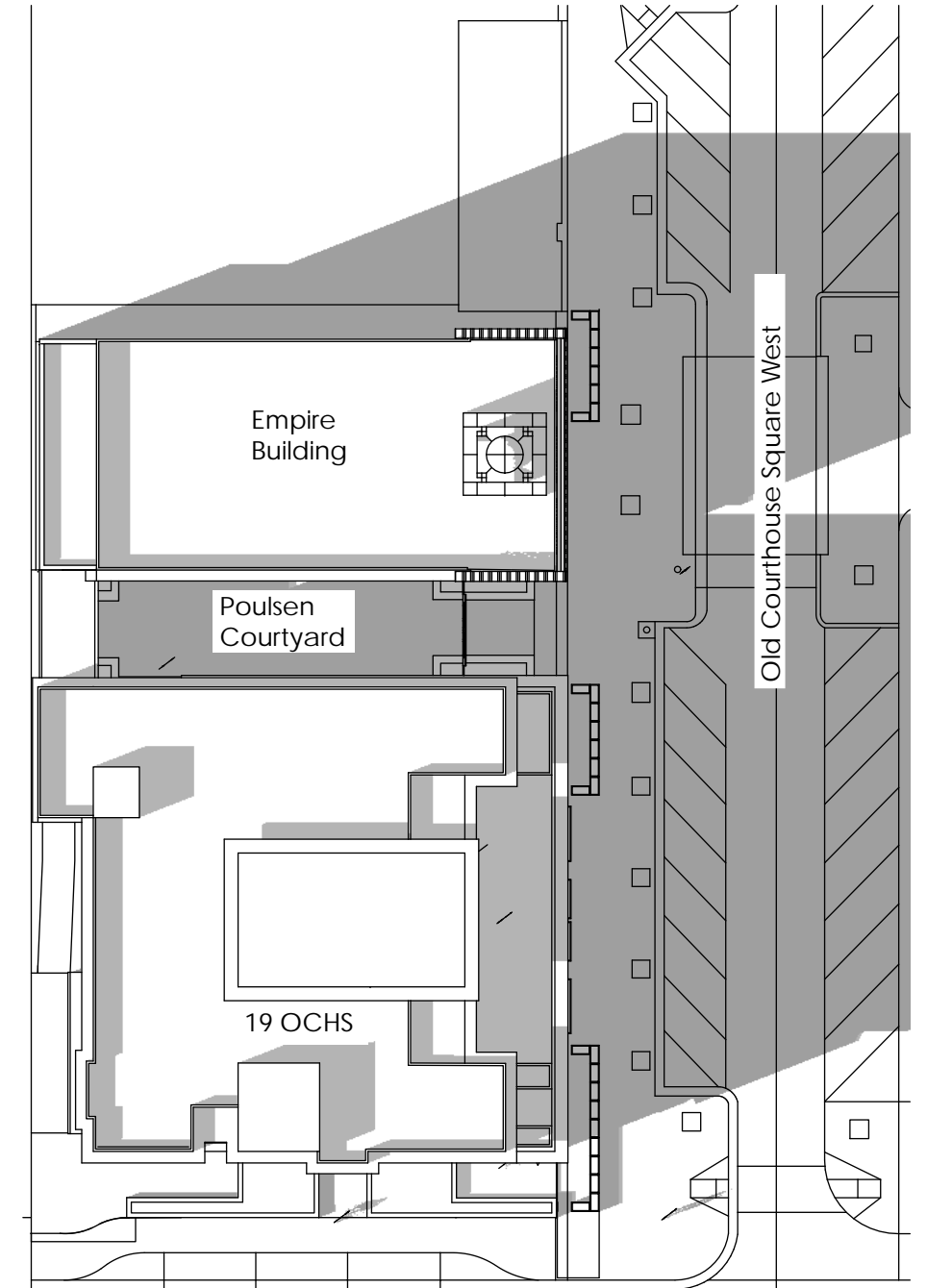
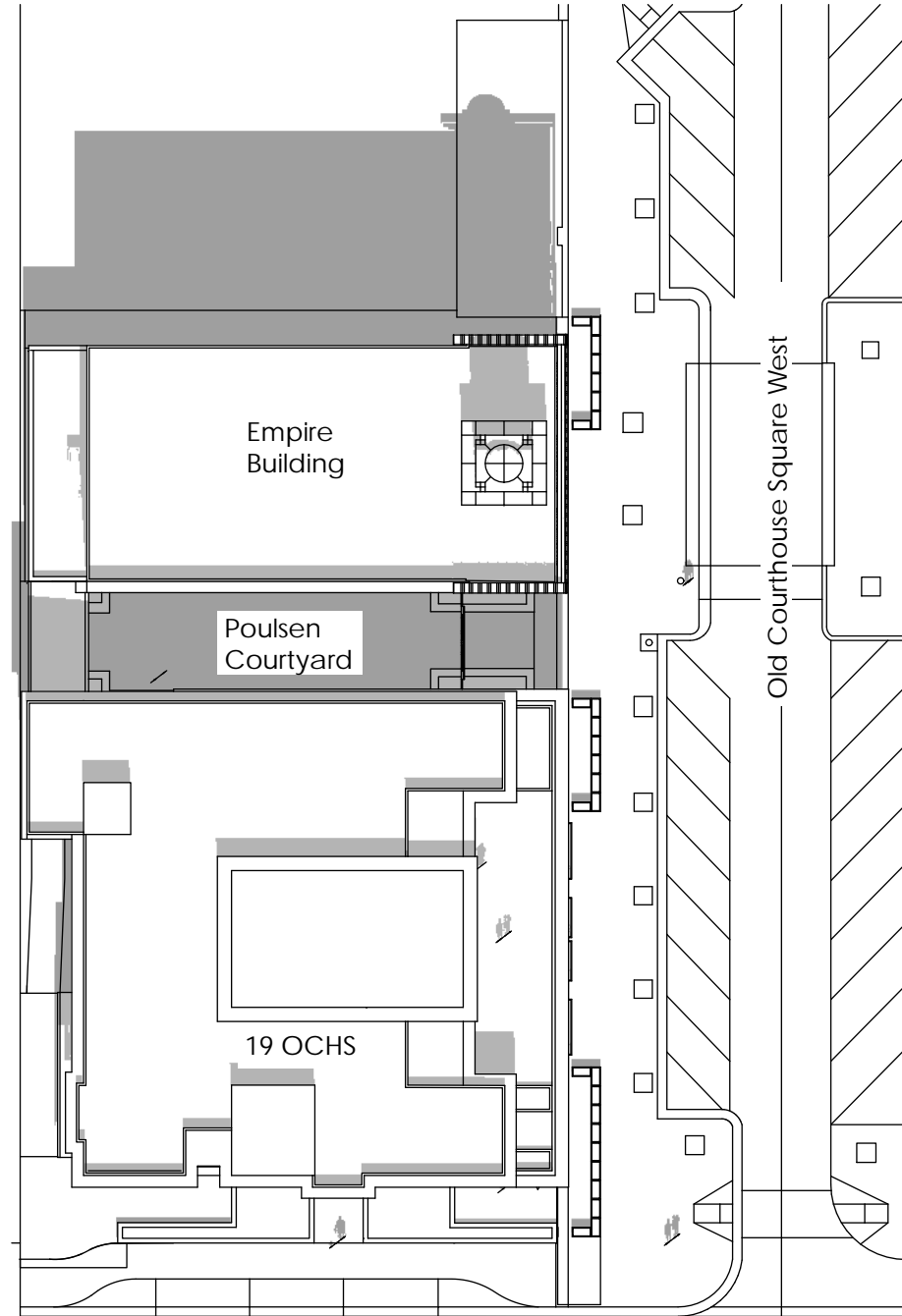
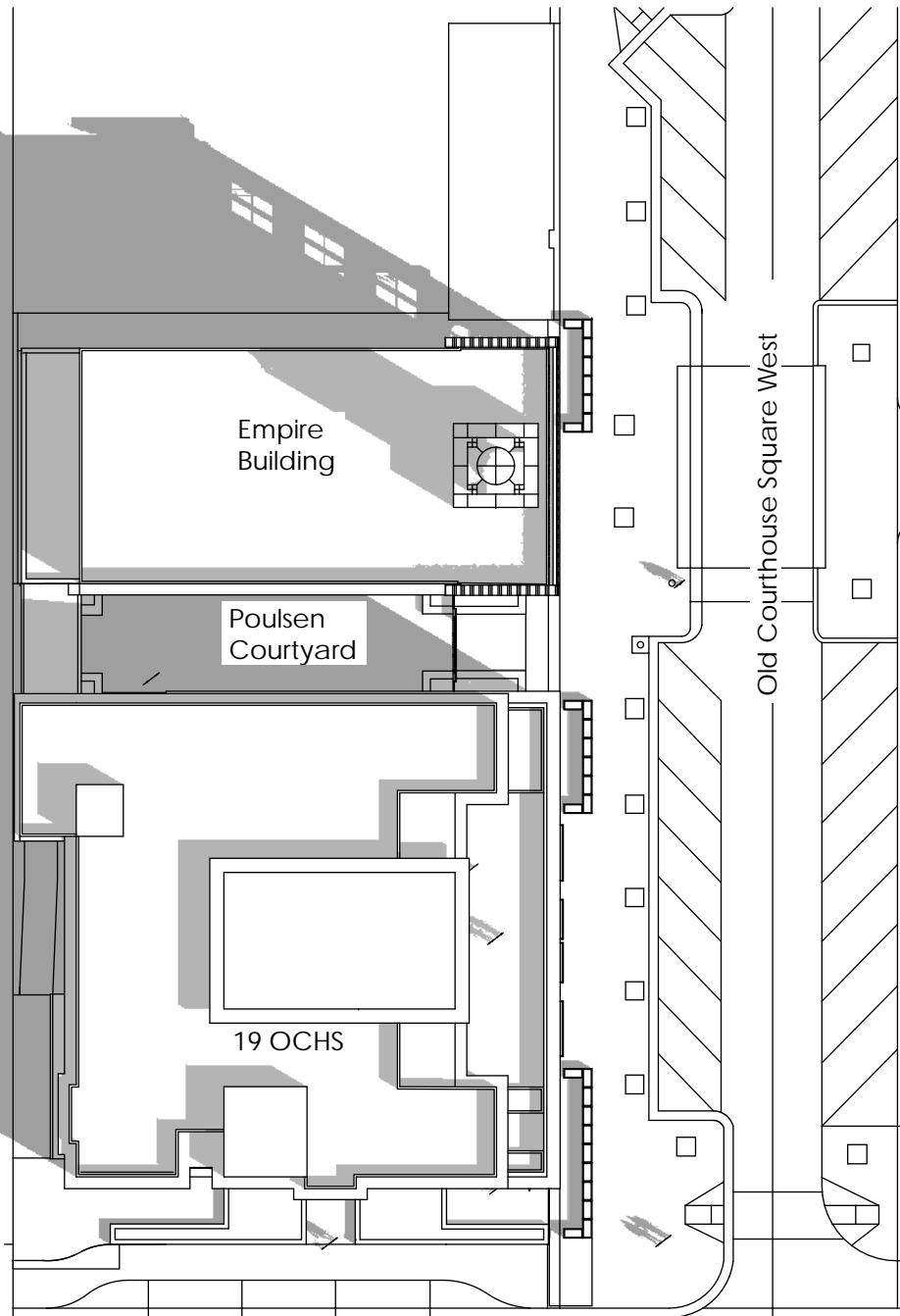
**A-25**  
11/30/16  
Revised 5-21-17



Fourth Street

Fourth Street

Fourth Street



Third Street

3/21/9:00AM

Third Street

3/21/12:00PM

Third Street

3/21/4:00PM



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Healdsburg, CA 95448

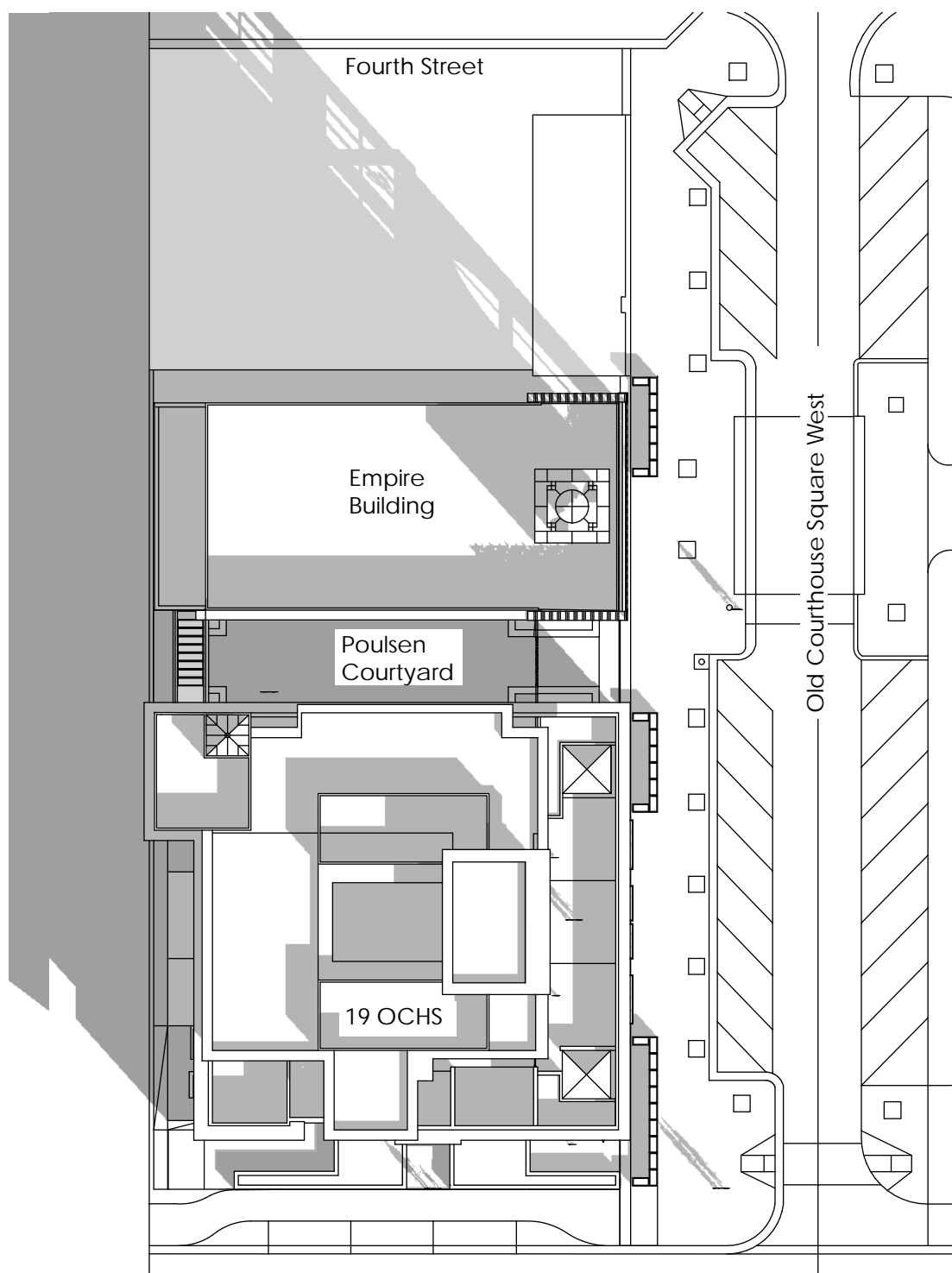
## OLD COURTHOUSE SQUARE HOTEL Santa Rosa, CA

Spring & Fall Equinox  
Shadow Studies  
1:40



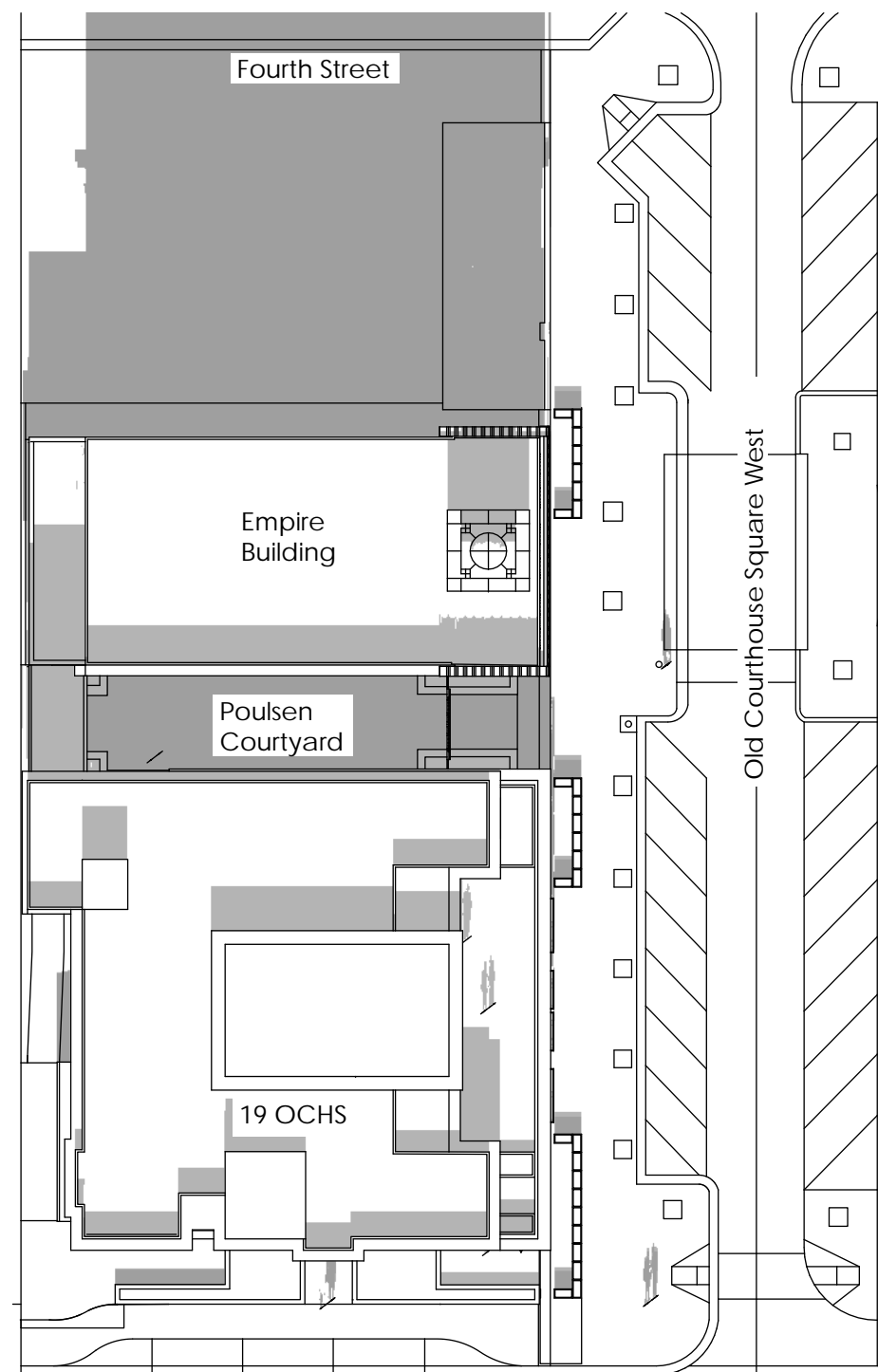
**A-26**  
11/30/16  
Revised 5-21-17





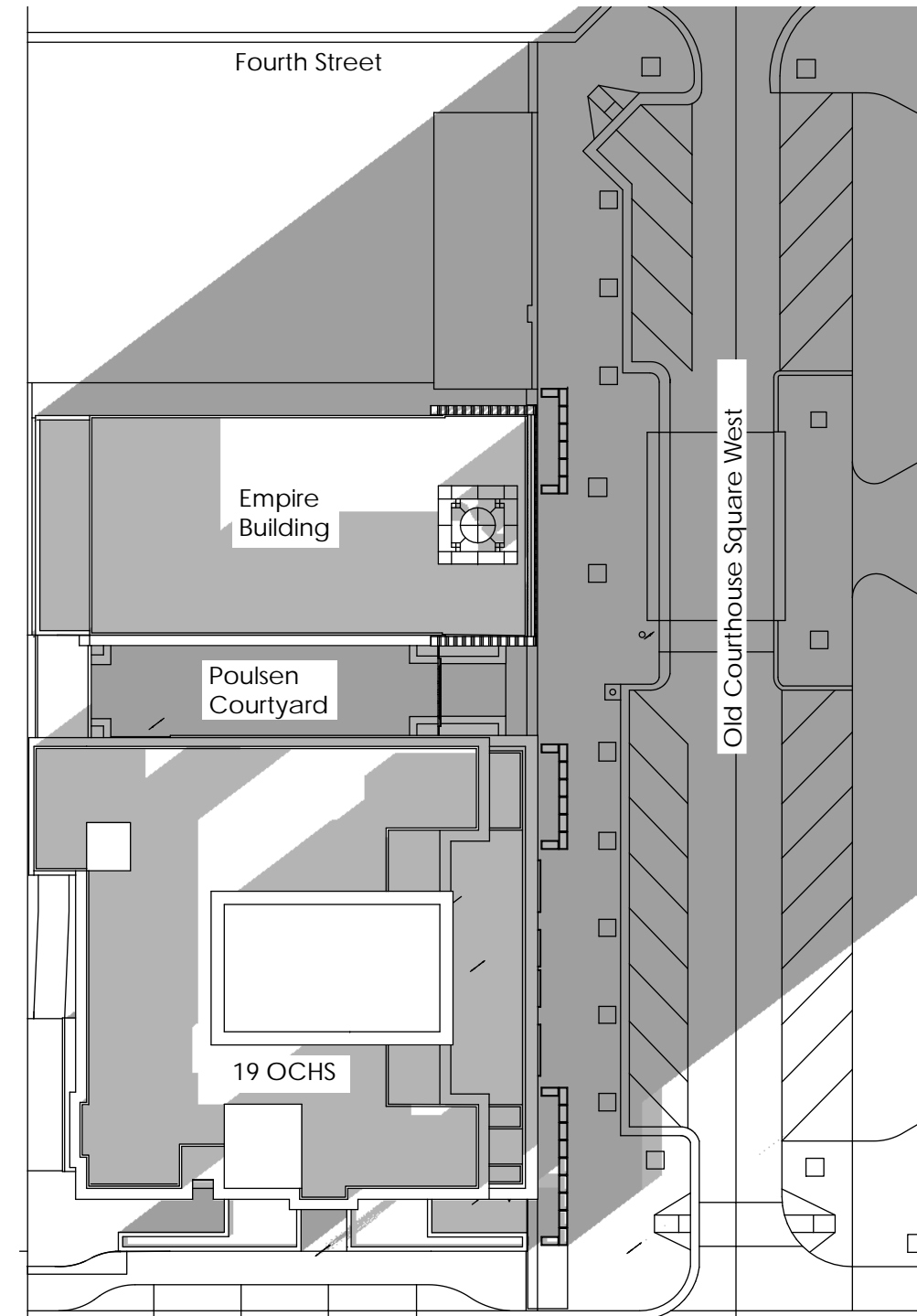
Third Street

12/21/9:00AM



Third Street

12/21/12:00PM



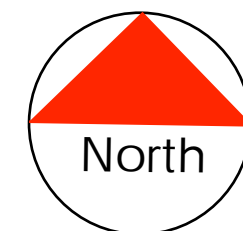
Third Street

12/21/4:00PM



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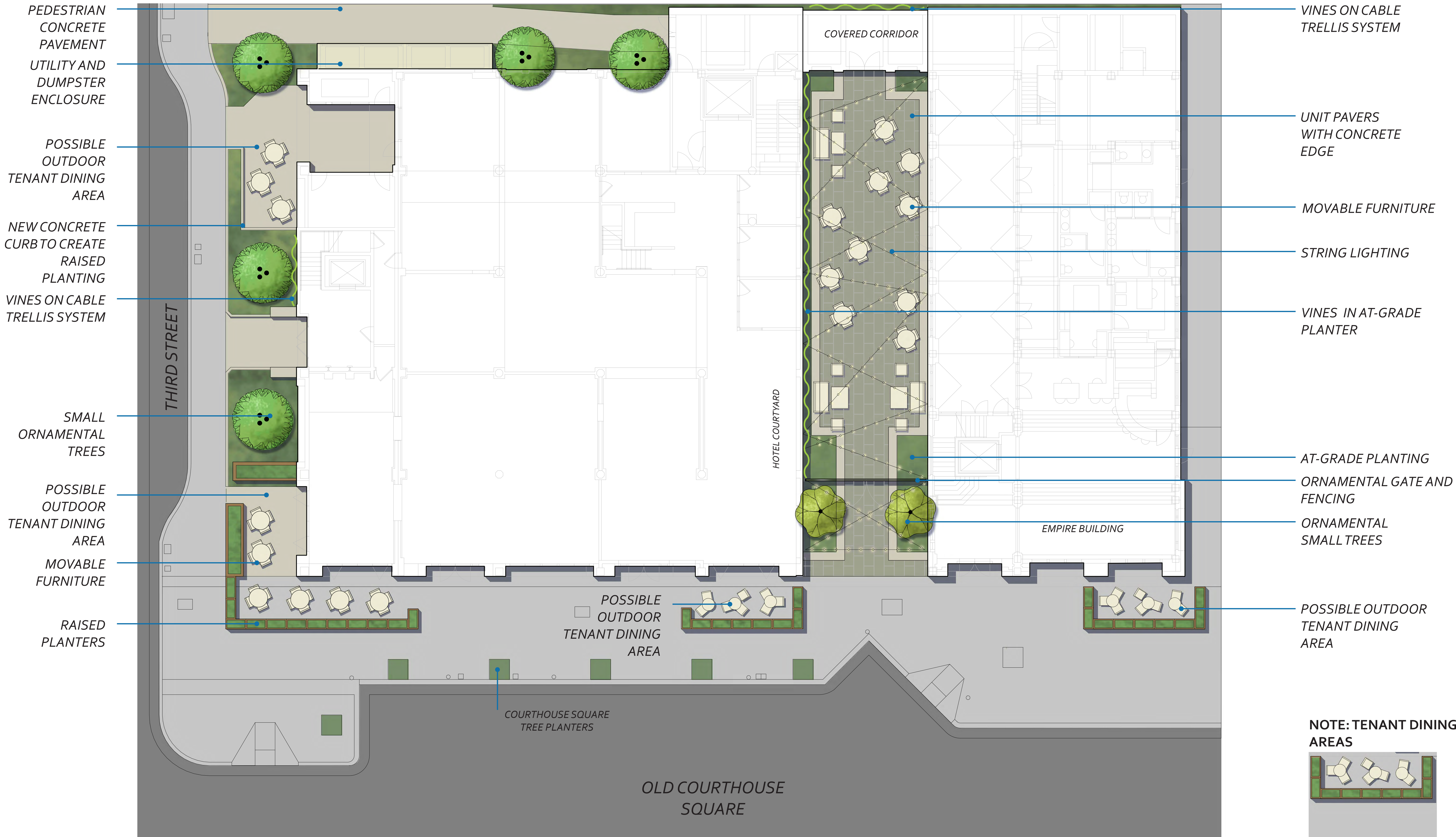
# OLD COURTHOUSE SQUARE HOTEL Santa Rosa, CA



Winter Solstice  
Shadow Studies  
1:40

**A-27**  
11/30/16  
Revised 5-21-17





NOTE:

1. EMPIRE BUILDING SHOWN FOR CONTEXT ONLY. NO EXTERIOR CHANGES PROPOSED.
2. REFER TO SHEET 4 & 5 FOR PLANTING PLANS.
3. COURTHOUSE SQUARE HARDSCAPE AND PLANTING PER CITY PROJECT.



THIRD STREET

SMALL TREES IN  
LARGE  
CONTAINERS  
TRAY-SYSTEM  
PLANTING, SOIL  
DEPTH &  
PLANT SPECIES  
VARY  
MOVABLE  
FURNITURE

CAFE

ROOF DECK

COURTYARD

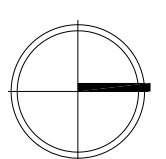
EMPIRE BUILDING

HOTEL ROOM DECKS

PEDESTAL SYSTEM  
PAVEMENT

OLD COURTHOUSE  
SQUARE

- NOTE:
1. EMPIRE BUILDING SHOWN FOR CONTEXT ONLY. NO EXTERIOR CHANGES PROPOSED.
  2. REFER TO SHEET 4 & 5 FOR PLANTING PLANS.
  3. COURTHOUSE SQUARE HARDSCAPE AND PLANTING PER CITY PROJECT.





ESTIMATED WATER USE

Estimated Total Water Use						
Equation: $ETW = ET_o \times 0.62 \times [((PF \times HA)/IE) + SLA]$ ; Considering precipitation $ETWA = (ET_o - Eppt) \times 0.62 \times [((PF \times HA)/IE) + SLA]$						
Enter values in Pale Blue Cells						
Tan Cells Show Results						
Messages and Warnings						
Irrigation Efficiency Default Value for overhead 0.75 and drip 0.81.						
Plant Water Use Type		Plant Factor				
Very Low		0 - 0.1				
Low		0.2 - 0.3				
Medium		0.4 - 0.6				
High		0.7 - 1.0				
SLA		1.0				

Hydrozone	Select System From the Dropdown List click on cell below	Plant Water Use Type (s) (low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft <sup>2</sup> ) Without SLA	Enter Irrigation Efficiency (IE)	(PF x HA (ft <sup>2</sup> ))/IE
Zone 1	Drip	Low	0.30	41	0.81	15
Zone 2	Drip	Medium	0.50	56	0.81	35
Zone 3	Drip	Low	0.20	1,134	0.81	280
Zone 4	Drip	Medium	0.50	455	0.81	281
Zone 5	Drip	Medium	0.50	22	0.81	14
Zone 6	Drip	Low	0.20	341	0.81	84
Zone 100						708
		SLA		0		0
		Sum		2,049		

Results		
MAWA = 19,580	ETW = 15,043 Gallons	ETW complies with MAWA
	2,011 Cubic Feet	
	20.11 HCF	
	0.05 Acre-feet	
	0.02 Millions of Gallons	

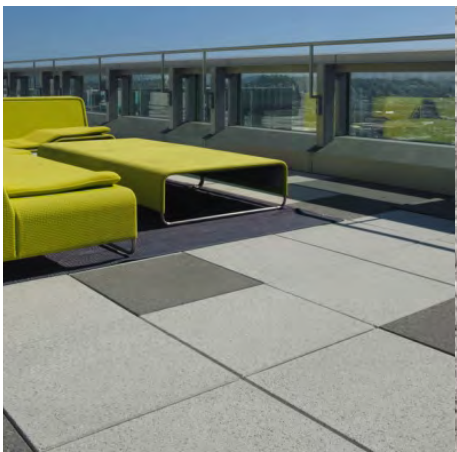
Click on the blue cell on right to Pick City Name ET <sub>o</sub> of City from Appendix A	Santa Rosa	Name of City
	42.00	ET <sub>o</sub> (inches/year)
	0	Overhead Landscape Area (ft <sup>2</sup> )
	2049	Drip Landscape Area (ft <sup>2</sup> )
	0	SLA (ft <sup>2</sup> )
	Total Landscape Area	2,049
	Results:	
	(ET <sub>o</sub> ) x (0.62) x [(0.45 x LA) + (1.0 - 0.45) X SLA]]	
	-	Gallons
	-	Cubic Feet
	-	HCF
	-	Acre-feet
	-	Millions of Gallons
	MAWA calculation incorporating Effective Precipitation (Optional)	
	Precipitation (Optional)	
ET <sub>o</sub> of City from Appendix A	42 ET <sub>o</sub> (inches/year)	
Total Landscape Area	2,049 LA (ft <sup>2</sup> )	
Special Landscape Area	0 SLA (ft <sup>2</sup> )	
	31 Total annual precipitation (inches/year)	
Enter Effective Precipitation	7.75 Eppt (in/yr)(25% of total annual precipitation)	
Results:		
MAWA = [(ET <sub>o</sub> - Eppt) x (0.62)] x [(0.45 x LA) + ((1.0 - 0.45) x SLA)]	19,580 Gallons	
	2,617.44 Cubic Feet	
	26.17 HCF	
	0.06 Acre-feet	
	0.02 Millions of Gallons	

ESTIMATED TOTAL WATER USE COMPLIES WITH MAXIMUM ALLOWED WATER USE ALLOWANCE FROM CURRENT STATE AND LOCAL WATER USE ORDINANCE

PAVEMENT MATERIALS



HOTEL COURTYARD UNIT PAVER  
Product: 4"x4" Carriage Stone  
Color: pewter/charcoal blend  
Manufacturer: Pavestone



ROOFTOP UNIT PAVER ON PEDESTAL SYSTEM  
Product: 24"x36" Expressions Paver  
Color: XP-50  
Manufacturer: Tectura Designs



PEDESTRIAN CONCRETE PAVE MENT  
Finish: Sand Blast (extra fine) - shown  
Color: "Outback 677", Davis Colors



SEDUM TRAY ROOF PLANTING



NANDINA DOMESTICA 'LEMON LIME'



PARTHENOCISSUS TRICUSPIDATA



FESTUCA MAIREI



PHLOMIS RUSSELIANA



VITEX AGNUS CASTUS



ASPIDISTRA ELATIOR

PLANT IMAGES

PRECEDENT IMAGES



STRING LIGHTS



RAISED PLANTERS



VINES ON CABLE SYSTEM



CONTAINER PLANTING



ROOF DECK



PEDESTAL SYSTEM PAVEMENT



MOVABLE FURNITURE



LOW WATER PLANTING

POSSIBLE COURTYARD CUSTOM GATE AND FENCE CONCEPT

COURTYARD GATE ELEVATION



SCALE: 1/4" = 1'-0"

PRECEDENT GATE IMAGES



NOTES

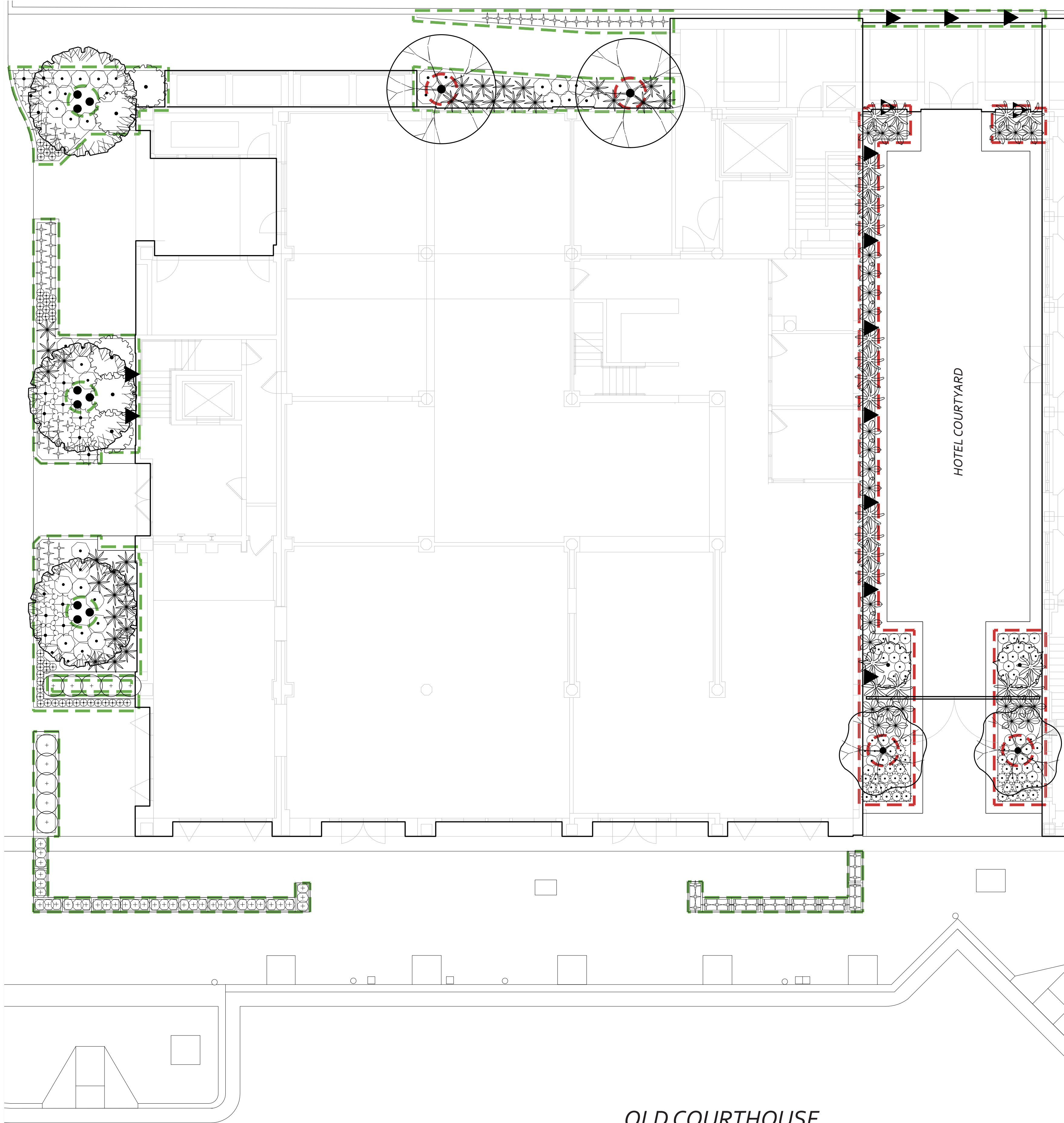
1. Should the applicant's ownership or other control of the parcel encompassing the Poulsen Courtyard cease in the future, then nothing in this design review approval will bar subsequent proposals for development of the parcel. Any such proposals will be subject to then-applicable policies, rules and regulations of the City.
2. Existing site soil is clay. Planting area soil is to be sampled and tested. Recommended soil amendment is to be fully incorporated prior to planting.

IRRIGATION STATEMENT

- All irrigation will be designed to meet Sonoma County Water Efficient Landscape Ordinance and will contain the following components:
- The irrigation system will be designed and installed to meet irrigation efficiency described in the maximum applied water allowance.
  - Weather based, self-adjusting irrigation controller with a rain sensor.
  - Emitters to include subsurface drip irrigation and tree bubblers.
  - No spray irrigation is to be used.
  - Trees to be placed on separate valves.
  - Container planting to be placed on separate valves.
  - Isolation valves to be installed at point of connection and before each valve or manifold.
  - Pressure regulation to be installed.
  - Separate valves to be installed to irrigate zones of med and low water use plantings. No high water plants are being installed in current design.
  - Check valves will be installed to prevent low point drainage.

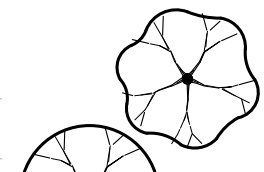
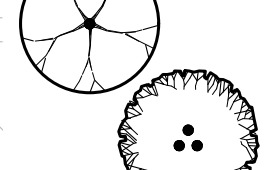
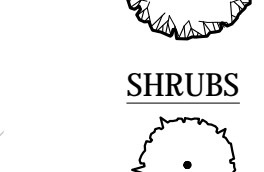
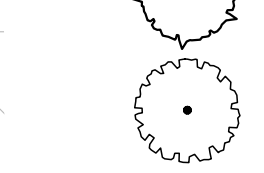
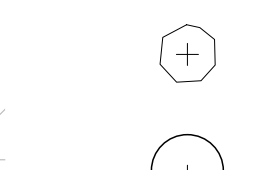
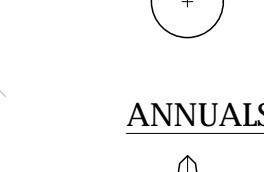
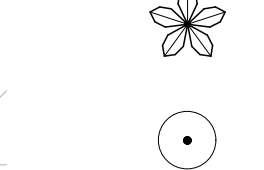
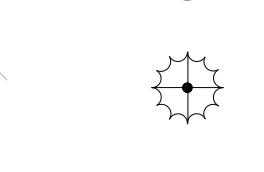
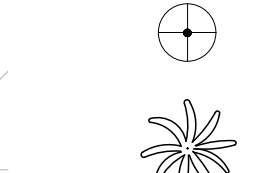
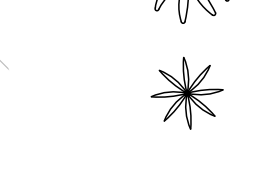

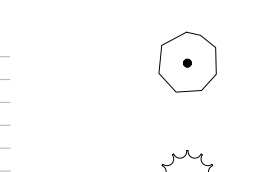
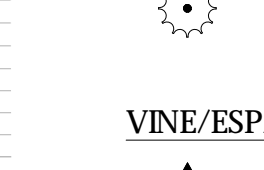
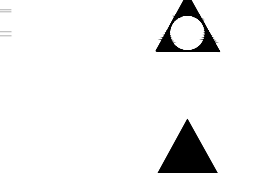
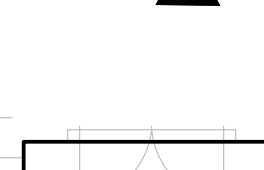


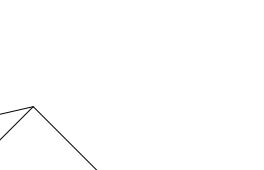


THIRD STREET

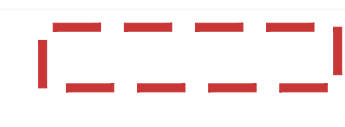





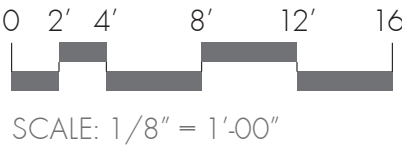
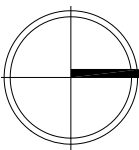
OLD COURTHOUSE  
SQUARE

PLANT SCHEDULE GROUND FLOOR

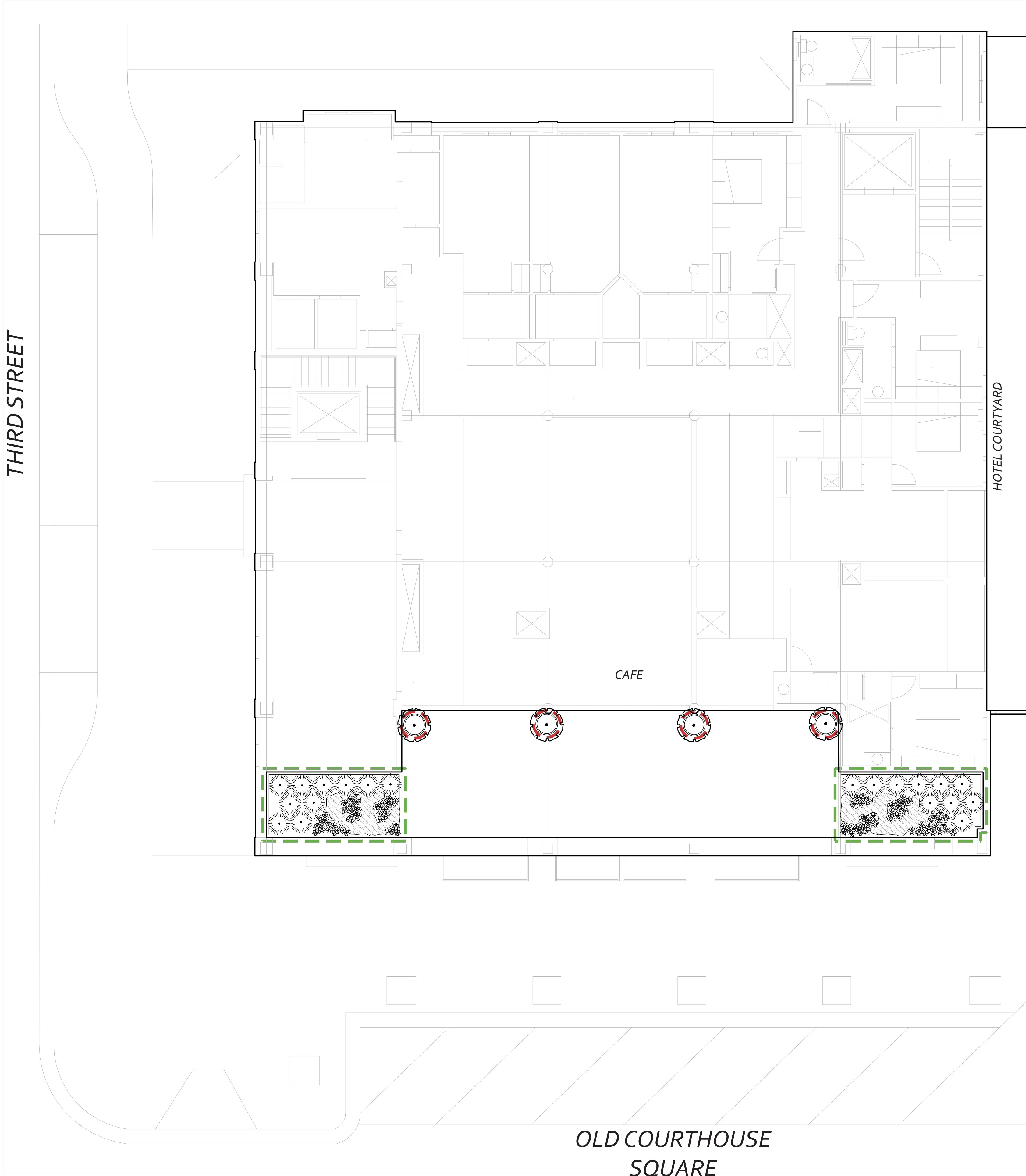
TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
	Acer macrophyllum	Big Leaf Maple	24"box	Medium	Per Plan
	Parrotia persica	Persian Parrotia	24"box	Medium	Per Plan
	Vitex agnus-castus	Chaste Tree	24"box	Low	Per Plan
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
	Abutilon striatum	Flowering Maple	1 gal	Medium	Per Plan
	Grevillea victoriae	Royal Grevillea	5 gal	Low	Per Plan
	Nandina domestica 'Lemon Lime'	Lemon Lime Nandina	2 gal	Low	Per Plan
	Olea europaea 'Little Ollie'™	Little Ollie Olive	5 gal	Very Low	Per Plan
ANNUALS/PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
	Aspidistra elatior	Cast Iron Plant	5 gal	Low	Per Plan
	Heuchera maxima	Island Alum Root	1 gal	Medium	Per Plan
	Phlomis russelliana	Jerusalem Sage	2 gal	Low	Per Plan
	Stachys x 'Bello Grigio'	Bello Grigio Lamb's Ear	1 gal	Low	Per Plan
	Woodwardia fimbriata	Giant Chain Fern	5 gal	Medium	Per Plan
	Yucca filamentosa	Adam's Needle	5 gal	Low	Per Plan
GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
	Aristea inaequalis	Aristea	1 gal	Low	Per Plan
	Festuca mairei	Atlas Fescue	5 gal	Low	Per Plan
	Hakonechloa macra 'All Gold'	Japanese Forest Grass	1 gal	Medium	Per Plan
VINE/ESPALIER	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
	Aristolochia californica	California Dutchman's Pipe	5 gal	Low	Per Plan
	Parthenocissus tricuspidata 'Green Showers'	Green Showers Boston Ivy	5 gal	Low	Per Plan

HYDROZONE SCHEDULE

	Moderate Water Use Hydrozone Drip	- 455 Square Feet
	Low Water Use Hydrozone Drip	-1,134 Square Feet
	Moderate Water Use Hydrozone RWZ Bubbler	- 56 Square Feet
	Low Water Use Hydrozone RWZ Bubbler	- 41 Square Feet









PLANT SCHEDULE ROOF TOP

TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING	
	Citrus x limon 'Dwarf Meyer'	Meyer Lemon	25 gal	Medium	Per Plan	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING	
	Acacia cognata `Cousin Itt`	River Wattle	5 gal	Low	Per Plan	
ANNUALS/PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING	
	Graptopveria x `Fred Ives`	Fred Ives Graptopveria	1 gal	Low	Per Plan	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING	SPACING
	Sedum reflexum `Blue Spruce`	Blue Stonecrop	flat	Low	8" O.C.	

HYDROZONE SCHEDULE

	Low Water Use Hydrozone Drip	-341 Square Feet
	Moderate Water Use Hydrozone Bubbler	- 22 Square Feet