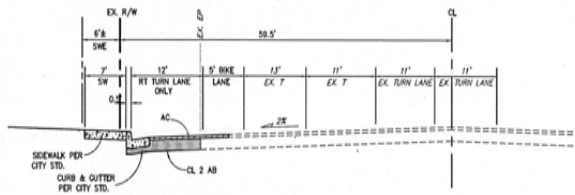
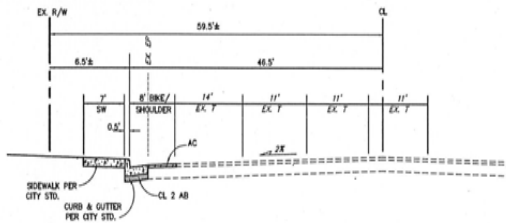


# THE SHOPS AT AUSTIN CREEK

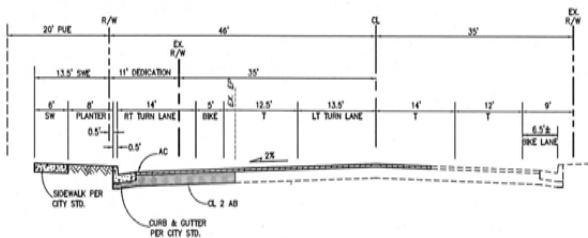
## TENTATIVE PARCEL MAP



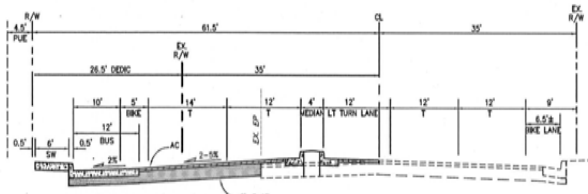
SONOMA HIGHWAY - PUBLIC  
**EXISTING HIGHWAY**  
FROM DRIVEWAY ENTRANCE TO 270' EAST



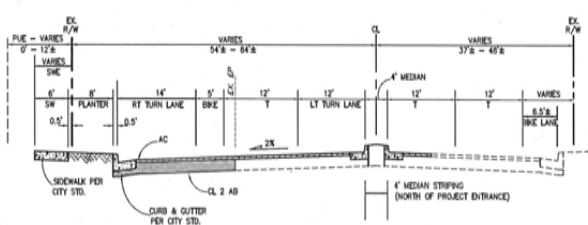
SONOMA HIGHWAY - PUBLIC  
**EXISTING HIGHWAY**  
FROM CALISTOGA ROAD TO 140' WEST



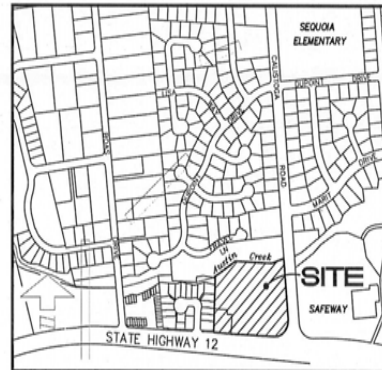
CALISTOGA ROAD - PUBLIC  
**EXISTING BOULEVARD**  
NORTH OF PROJECT ENTRANCE



CALISTOGA ROAD - PUBLIC  
**EXISTING BOULEVARD**  
SOUTH OF PROJECT ENTRANCE



CALISTOGA ROAD - PUBLIC  
**EXISTING BOULEVARD**  
CALISTOGA ROAD AT INTERSECTION WITH SONOMA HIGHWAY



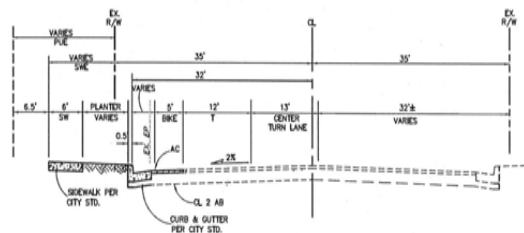
**LOCATION MAP**

### BENCHMARK

FOUND 1/2" IRON PIN SET IN CONCRETE IN MONUMENT WELL AT CALISTOGA ROAD AND MARIT DRIVE, 35 FEET EAST OF THE CENTERLINE INTERSECTION. SANTA ROSA BENCH MARK # 8210, ELEVATION 294.52 NAVD 1929.

### INDEX OF DRAWINGS

- C1 COVER SHEET
- C2 TENTATIVE MAP SITE DIMENSION PLAN
- C3 TENTATIVE MAP GRADING AND DRAINAGE PLAN
- C4 TENTATIVE MAP UTILITY PLAN
- C5 SONOMA HIGHWAY / CALISTOGA ROAD STRIPPING PLAN
- C6 PLAN AND PROFILE - SONOMA HIGHWAY ACCESS DRIVEWAY
- C7 SLOPE ANALYSIS



CALISTOGA ROAD - PUBLIC  
**EXISTING BOULEVARD**  
HALF SECTION NORTH END OF PROJECT

### OWNERS

ONE CALISTOGA ROAD ASSOCIATES, LLC & PRICKETT'S GARDEN VILLAGE, LLC  
ATTN: BRUCE CODDING  
3575 ALTURA HEIGHTS  
SANTA ROSA, CA 95403  
(707) 548-7626

### DEVELOPER

ONE CALISTOGA ROAD ASSOCIATES, LLC  
ATTN: BRUCE CODDING  
3575 ALTURA HEIGHTS  
SANTA ROSA, CA 95403  
(707) 548-7626

### ENGINEER

CIVIL DESIGN CONSULTANTS, INC.  
2200 RANGE AVENUE, SUITE 204  
SANTA ROSA, CA 95403  
(707) 542-4820

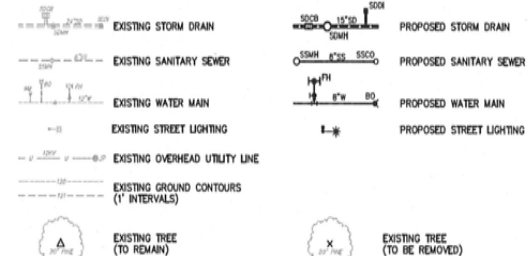
### SURVEYOR

CINQUINI & PASSARINO, INC.  
1360 NORTH DUTTON AVE., STE 150  
SANTA ROSA, CA 95401  
(707) 542-6268

### GENERAL NOTES

1. PRESENT & PROPOSED ZONING: CG GENERAL COMMERCIAL DISTRICT
2. WATER AND SEWER TO BE PROVIDED AND MAINTAINED BY THE CITY OF SANTA ROSA.
3. PROPOSED SETBACKS SHALL BE NO LESS THAN THOSE PRESCRIBED BY SECTION 20-23.030 - CG (GENERAL COMMERCIAL) DISTRICT, OF THE CURRENT CITY OF SANTA ROSA ZONING CODE.
4. 4 COMMERCIAL LOTS:  
SMALLEST 30,388 SF  
LARGEST 86,903 SF  
AVERAGE 56,450 SF
5. ALL GRADING TO BE IN CONFORMANCE WITH CHAPTER 18 AND APPENDIX J OF THE CURRENT CALIFORNIA BUILDING CODE.
6. NO AREAS OF THIS SITE ARE SUBJECT TO INUNDATION BEYOND THE BANKS OF AUSTIN CREEK. NO HAZARDOUS MATERIALS ARE KNOWN TO EXIST ON THIS SITE.
7. SITE SOILS APPEAR SUITABLE FOR COMMERCIAL DEVELOPMENT.
8. STREET TREES SHALL BE PLANTED IN ACCORDANCE WITH THE CITY OF SANTA ROSA REQUIREMENTS WITHIN PLANTER STRIPS AND/OR PLANTING WELLS.
9. STREET LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SANTA ROSA STANDARDS.
10. SEWER LINE TO WHICH THE DEVELOPMENT IS TRIBUTARY = RINCON VALLEY TRUNK SEWER  
EXISTING SEWAGE GENERATION = 0.000 GALLONS PER DAY  
PROJECTED SEWAGE GENERATION = 0.0088 MG/D.
11. ALL EXISTING STRUCTURES TO BE REMOVED.
12. SITE IS NOT IN A HIGH FIRE SEVERITY ZONE
13. LOT DIMENSIONS AND LOT AREAS ARE APPROXIMATE AND FOR PLANNING PURPOSES ONLY.

### LEGEND



### ABBREVIATIONS

|                |                             |          |                                  |        |
|----------------|-----------------------------|----------|----------------------------------|--------|
| B              | BLDG                        | BUILDING | R                                | RADIUS |
| BSW            | BACK OF SIDEWALK            | RPBP     | REDUCED PRESSURE BACKFLOW DEVICE |        |
| BO             | BLOWOFF                     | RT       | RIGHT                            |        |
| CONC.          | CONCRETE                    | RW       | RIGHT OF WAY                     |        |
| (C)/EX./EXIST. | EXISTING                    | SD       | STORM DRAIN                      |        |
| DDC/V          | DOUBLE DETECTOR CHECK VALVE | SDCB     | STORM DRAIN CATCH BASIN          |        |
| FDC            | FIRE DEPARTMENT CONNECTION  | SODI     | STORM DRAIN DROP INLET           |        |
| FD             | FIELD DRAIN                 | SDE      | PUBLIC STORM DRAIN EASEMENT      |        |
| FF             | FINISHED FLOOR ELEVATION    | SDMH     | STORM DRAIN MANHOLE              |        |
| FG             | FINISHED GRADE ELEVATION    | SF       | SQUARE FEET                      |        |
| PH             | FINE HYDRANT                | SS       | SANITARY SEWER                   |        |
| GB             | GRADE BREAK                 | SSE      | SANITARY SEWER CLEANOUT          |        |
| HP             | HIGH POINT                  | SW       | PUBLIC SANITARY SEWER EASEMENT   |        |
| IG             | INVERT GRADE                | SWH      | SANITARY SEWER MANHOLE           |        |
| IRR            | IRRIGATION                  | SW       | SIDEWALK                         |        |
| LAT            | LATERAL                     | SWE      | SIDEWALK EASEMENT                |        |
| LT             | LEFT                        | T        | TRAVEL LANE                      |        |
| LUH            | OVERHEAD UTILITY            | TC       | TOP OF CURB                      |        |
| P              | PARKING LANE                | TYP      | TYPICAL                          |        |
| PDE            | PRIVATE DRAINAGE EASEMENT   | TW       | TOP OF WALL                      |        |
| PL             | PROPERTY LINE               | VERT     | VERTICAL                         |        |
| PLNTR          | PLANTER                     | W        | WATER                            |        |
| PUE            | PUBLIC UTILITY EASEMENT     | WLE      | PUBLIC WATER LINE EASEMENT       |        |
|                |                             | WM       | WATER METER                      |        |

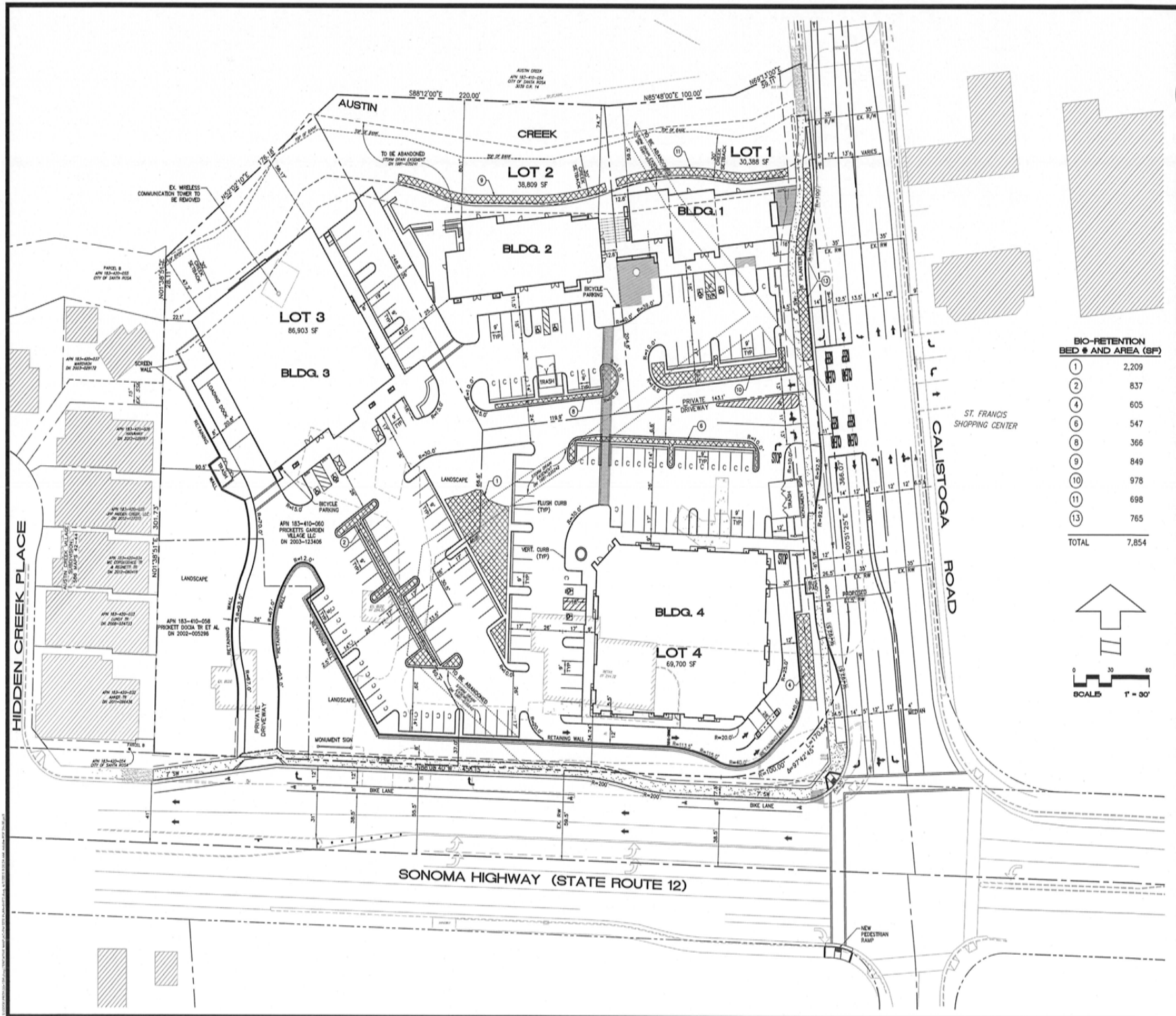


CIVIL DESIGN CONSULTANTS, INC.

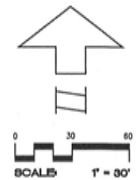
2200 Range Avenue, Suite 204  
Santa Rosa, CA 95403  
(707) 542-4820

TENTATIVE MAP COVER SHEET  
**THE SHOPS AT AUSTIN CREEK**  
4 COMMERCIAL LOTS  
971 AND 973 SONOMA HIGHWAY  
SANTA ROSA, CALIFORNIA  
APRIL 2015

JOB NO.  
10-104  
SHEET NO.  
**C1**  
OF 7 SHEETS



| BIO-RETENTION<br>BED # AND AREA (SF) |       |
|--------------------------------------|-------|
| 1                                    | 2,209 |
| 2                                    | 837   |
| 4                                    | 605   |
| 6                                    | 547   |
| 8                                    | 366   |
| 9                                    | 849   |
| 10                                   | 978   |
| 11                                   | 698   |
| 13                                   | 765   |
| TOTAL                                | 7,854 |



**CIVIL DESIGN CONSULTANTS, INC.**  
2500 Ruffalo Avenue, Suite 204  
San Jose, CA 95128  
(408) 298-8800  
FAX (408) 298-8801

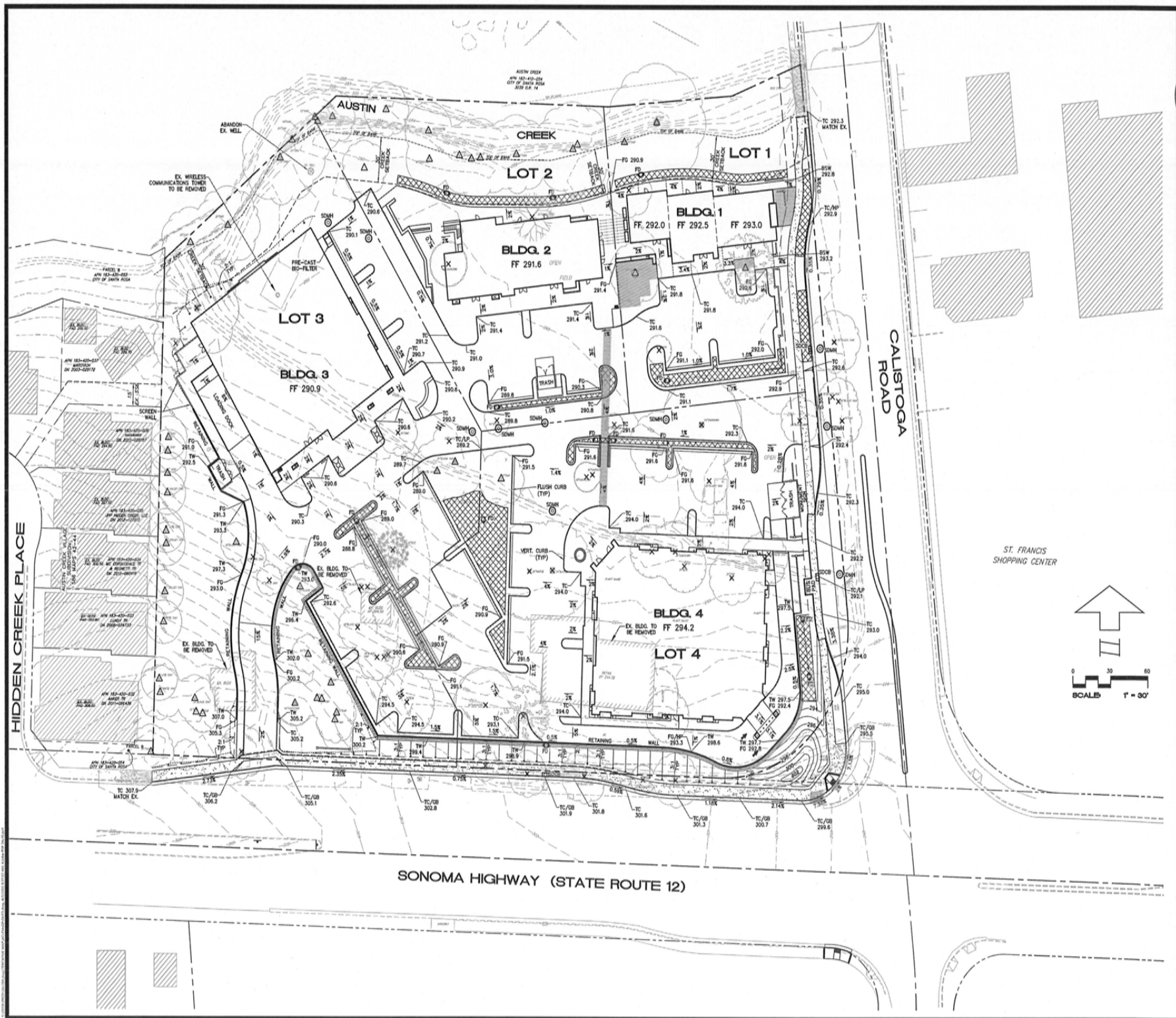
DATE: 02-20-2005  
PROJECT: THE SHOPS AT AUSTIN CREEK  
SHEET NO. 10-104

**TENTATIVE MAP SITE DIMENSION PLAN**  
**THE SHOPS AT AUSTIN CREEK**  
4 COMMERCIAL LOTS  
6.92 ACRES  
APRIL 2005

APR 183-410-058, 060, 062  
APR 183-410-059, 061, 063  
SANTA ROSA, CALIFORNIA  
DOC NO 2005007653

JOB NO. 10-104  
SHEET NO. 10-104

**C2**  
OF 7 SHEETS



**CIVIL DESIGN CONSULTANTS, INC.**  
 2800 Ridge Road, Suite 204  
 San Jose, CA 95128  
 (408) 261-1800

DATE: 04/11/2015  
 PROJECT: THE SHOPS AT AUSTIN CREEK  
 SHEET: 03 OF 7

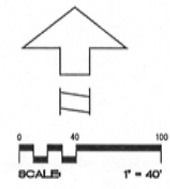
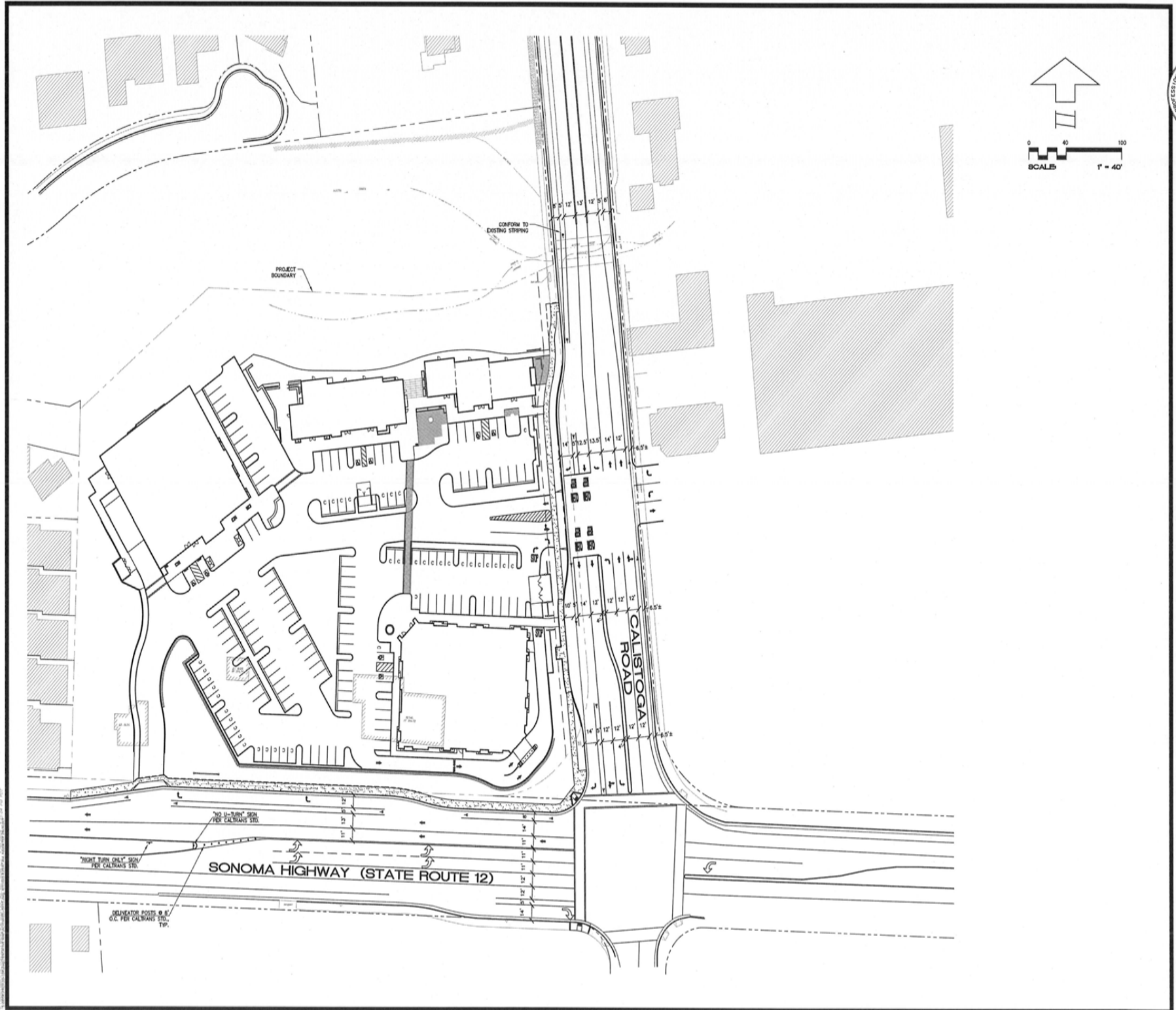
**TENTATIVE MAP GRADING AND DRAINAGE PLAN**  
**THE SHOPS AT AUSTIN CREEK**  
 4 COMMERCIAL LOTS  
 6.02 ACRES  
 APRIL 2015

APN 003-00-008, 009, 010  
 8971 AND 8973 SONOMA HIGHWAY  
 SANTA ROSA, CALIFORNIA  
 DOG NO 201000765

JOB NO. 10-104  
 SHEET NO. 03  
 OF 7 SHEETS

APPROVED: [Signature]  
 ARCHITECT: [Signature]  
 CIVIL ENGINEER: [Signature]





**THE SHOPS AT AUSTIN CREEK**  
 4 COMMERCIAL LOTS  
 6.02 ACRES  
 APRIL 2005

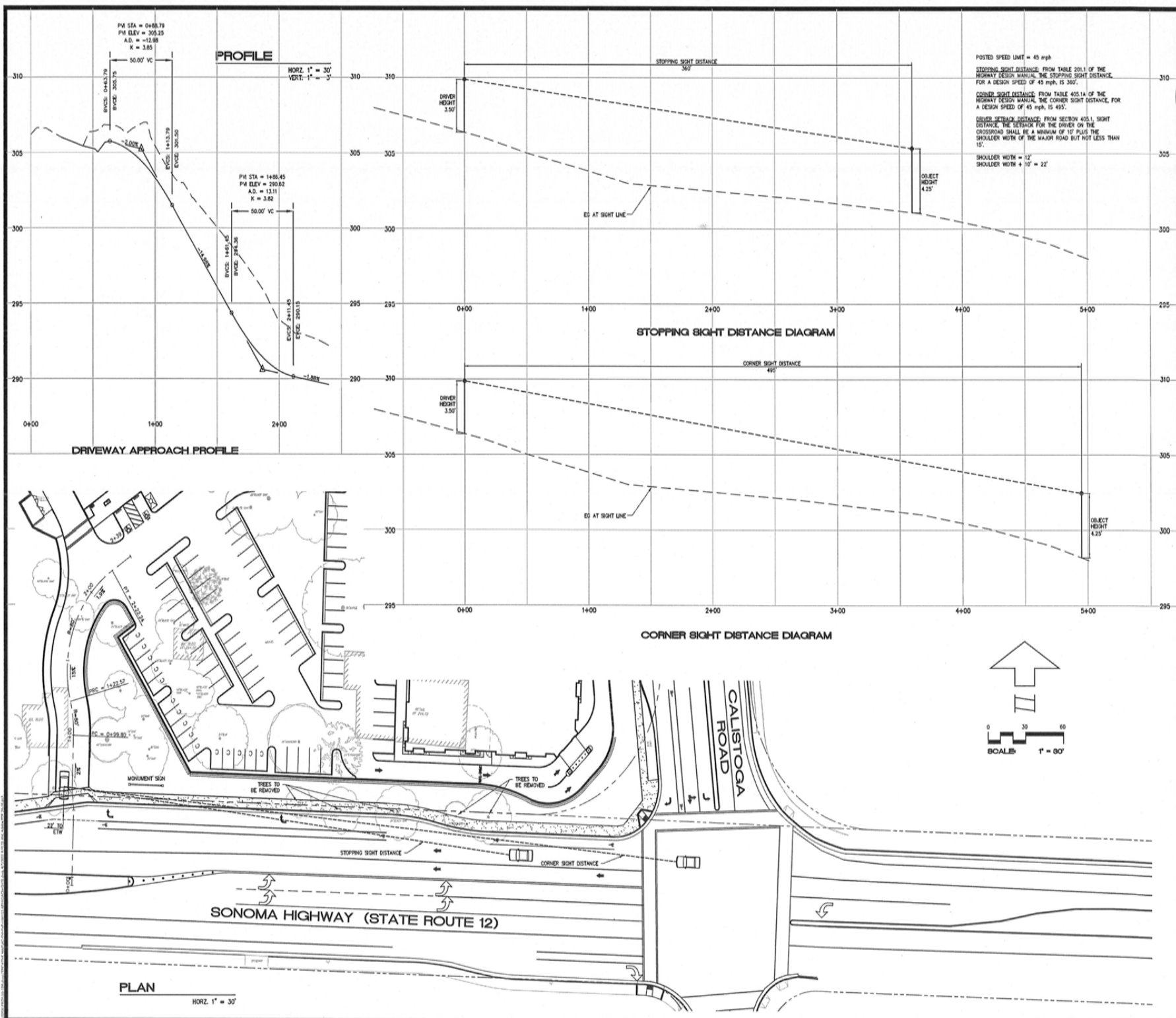
SONOMA HIGHWAY / CALISTOGA ROAD STRIPING PLAN

**CIVIL DESIGN CONSULTANTS, INC.**  
 22000 Ridge Avenue, Suite 204  
 San Jose, CA 95130  
 (408) 542-7820

APN 85-40-058, 059  
 971 AND 973 SONOMA HIGHWAY  
 SANTA ROSA, CALIFORNIA  
 DOC NO 20000763

JOB NO. 10-104  
 SHEET NO. **C5**  
 OF 7 SHEETS

REGISTERED PROFESSIONAL ENGINEER  
 No. 31368  
 CIVIL  
 ANDREW SONGORA  
 P.E. 00000000



**CIVIL DESIGN CONSULTANTS, INC.**  
2200 Range Avenue, Suite 204  
San Jose, CA 95128  
(408) 251-4600  
(408) 251-4601

**PLAN AND PROFILE - SONOMA HIGHWAY APPROACH  
THE SHOPS AT AUSTIN CREEK**  
4 CORNER LOTS  
6.52 ACRES  
APRIL 2016

**PROJECT LOCATION**  
571 AND 673 SONOMA HIGHWAY  
SANTA ROSA, CALIFORNIA

**APPROVED**  
ANDREW BOCKHEIM  
REGISTERED PROFESSIONAL ENGINEER  
No. 24568  
Exp. 12/31/2016

**DATE**  
10-104

**JOB NO.**  
10-104

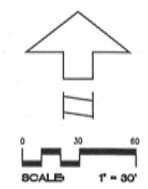
**SHEET NO.**  
C6

OF 7 SHEETS



**EXISTING GROUND SLOPES**

|  |           |
|--|-----------|
|  | 0-9.99%   |
|  | 10-24.99% |
|  | 25% +     |



**CIVIL DESIGN CONSULTANTS, INC.**  
 2200 Ridge Circle, Suite 204  
 San Jose, CA 95128  
 (408) 542-1820

**SLOPE ANALYSIS**  
**THE SHOPS AT AUSTIN CREEK**  
 4 COMMERCIAL LOTS  
 871 AND 873 SONOMA HIGHWAY  
 SANTA ROSA, CALIFORNIA  
 APRIL 2015

JOB NO.  
10-104

SHEET NO.

**C7**  
 OF 7 SHEETS