

# SHOPS at AUSTIN CREEK

## PRELIMINARY / FINAL DESIGN REVIEW

5173 SONOMA HIGHWAY  
SANTA ROSA, CALIFORNIA

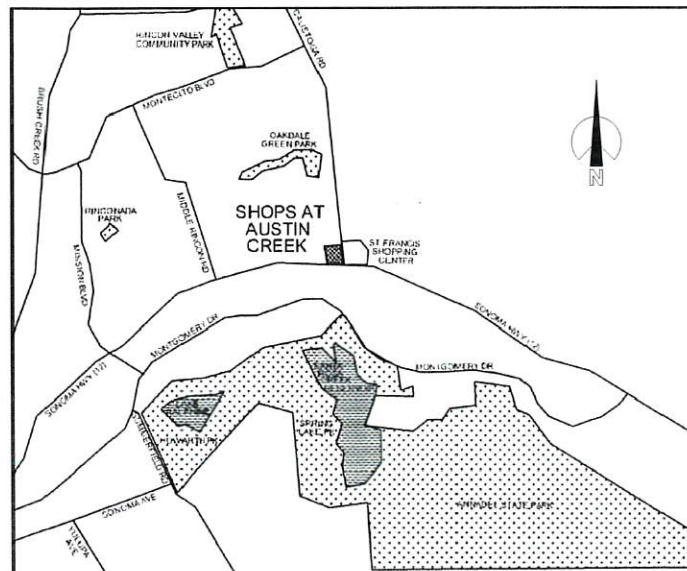
CITY OF SANTA ROSA  
100 SANTA ROSA AVENUE RM 3  
SANTA ROSA, CA 95404  
MAY 09 2016  
COMMUNITY DEVELOPMENT  
DEPARTMENT

WARREN  
Hedgpeth  
ARCHITECTS  
2321 Bethards Drive  
Santa Rosa,  
California  
95405  
Phone 707 523  
7010  
Fax 707 542 2328



**APPROVED**  
DATE: 7-7-2016  
PROJ. #: MJP13-006  
PLANNER: Streeter  
ORD/RESO #: PC: 11731, 11732, 11770  
BAB: 16-924, 16-931

### LOCATION MAP



### PROJECT INFORMATION

ZONING:	CG - General Commercial	OCCUPANCIES:	Building #1	B / Commercial & M / Mercantile
ASSESSORS PARCEL #:	183-410-058 & 183-410-060		Building #2	B / Commercial & M / Mercantile
EXISTING SITE AREA:	+/- 5.32 AC. (231,894 S.F.)		Building #3	B / Commercial & M / Mercantile
SITE AREA AFTER ROW DEDICATION:	+/- 5.24 AC. (228,072 S.F.)		Building #4	M / Mercantile
MAXIMUM LOT COVERAGE:	19%	CONSTRUCTION :	Type V-B non-rated construction with Fire Suppression System	
MAXIMUM BUILDING HEIGHT:	35 Feet	FLOOR AREAS:	Building #1	4,216 Sq Ft
REQUIRED PARKING :	1 space / 250 Sq Ft x 43,206 Sq Ft 173 spaces required		Building #2	8,424 Sq Ft
PARKING PROVIDED:			Building #3	13,782 Sq Ft
STANDARD SPACES:	106		Building #4	16,645 Sq Ft
COMPACT SPACES:	39		Grand Total	43,067 Sq Ft
ACCESSIBLE SPACES:	8	APPLICABLE CODES:	2013 California Building Code 2013 Plumbing Code 2013 California Mechanical Code 2013 California Electrical Code 2013 California Fire Code 2013 California Energy Code 2013 California Green Building Standards	
TOTAL	155			
REQUIRES A PARKING REDUCTION OF 9%				
SETBACKS:				
PARKING LOT SETBACK	15' FROM BACK OF SIDEWALK			
CREEK SETBACK	30' FROM TOP OF BANK			
RESIDENTIAL SETBACK	10' FROM PROPERTY LINE			

### PROJECT TEAM

<b>ARCHITECT:</b> Hedgpeth Architects 3883 Airway Drive, Suite 210 Santa Rosa, CA 95403 707-523-7010 office 707-542-4820 office 707-542-2328 fax Warren Hedgpeth warren@hedgpetharchitects.com Robert Beall bob@hedgpetharchitects.com	<b>CIVIL ENGINEER:</b> Civil Design Consultants, Inc. 2200 Range Avenue, Suite 204 Santa Rosa, CA 95403 707-542-4820 office 707-542-4535 fax Andy Bordessa Andy@CivilDesignConsultants.com
<b>LANDSCAPE ARCHITECT</b> Tangram Landscape Architecture 944 Ripley Street Santa Rosa, CA 95401 (707) 527-7920 office Rob Cox robcox@tangramla.com	<b>PLANNING CONSULTANT</b> Jean Kapolchok & Associates 843 2nd Street Santa Rosa, CA 95404 (707) 526-8939 office Jean Kapolchok jkapolchok@sbcglobal.net

### SHEET INDEX

<b>Architectural Drawings</b> AG.1 COVER SHEET - SHEET INDEX, VICINITY MAP, BUILDING & SITE DATA AG.2 EXISTING SITE IMAGES AG.3 EXISTING SITE IMAGES AG.4 3D RENDERINGS AG.5 3D RENDERINGS AG.6 3D RENDERINGS AG.7 3D RENDERINGS A1.1 SITE PLAN - PEDESTRIAN PATH - OF - TRAVEL A1.2 NOT USED A1.3 SITE FUTURE & MATERIALS IMAGES A1.4 MONUMENT SIGNS & SITE WALLS Bldg 1a SHOPS BUILDING 1 FLOOR PLAN & ELEVATIONS Bldg 2a SHOPS BUILDING 2 FLOOR PLAN & ELEVATIONS Bldg 3a RETAIL AND OFFICES 1st FLOOR PLAN Bldg 3b RETAIL AND OFFICES 2nd FLOOR PLAN Bldg 3c RETAIL AND OFFICES ELEVATIONS Bldg 3d RETAIL AND OFFICES ELEVATIONS	Bldg 4a CVS / PHARMACY BUILDING 4 FLOOR PLAN Bldg 4b CVS / PHARMACY BUILDING 4 ROOF PLAN Bldg 4c CVS / PHARMACY BUILDING ELEVATIONS Bldg 4d CVS / PHARMACY BUILDING 4 ELEVATIONS <b>Landscape Drawings</b> L1 CONCEPT and ANALYSIS L2 LANDSCAPE PLAN L3 ARBORIST REPORT PLAN L4 ARBORIST DATA L5 ARBORIST DATA L6 SITE SECTIONS <b>Civil Drawing</b> C1 COVER SHEET C2 TENTATIVE MAP SITE DIMENSION PLAN C3 TENTATIVE MAP GRADING & DRAINAGE PLAN C4 TENTATIVE MAP UTILITY PLAN C5 SONOMA HIGHWAY/CALISTOGA ROAD STRIPING PLAN C6 PLAN AND PROFILE-SONOMA HIGHWAY ACCESS DRIVEWAY C7 SLOPE ANALYSIS
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THE SHOPS at AUSTIN CREEK

SHEET INDEX, PROJECT TEAM,  
VICINITY MAP & PROJECT DATA



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AG.1  
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Looking West from Calistoga Road ①



Looking southeast from Calistoga Road ②



looking northeast from hwy 12 ③

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WARREN  
Hedgpeth  
ARCHITECTS

2321 Bethards Drive  
Santa Rosa,  
California  
95405  
Phone: 707 523  
7010  
Fax: 707 542 2328

THE SHOPS at AUSTIN CREEK

ONE CALISTOGA ROAD ASSOCIATES  
5173 SONOMA HIGHWAY  
SANTA ROSA, CALIFORNIA

EXISTING STREET VIEWS



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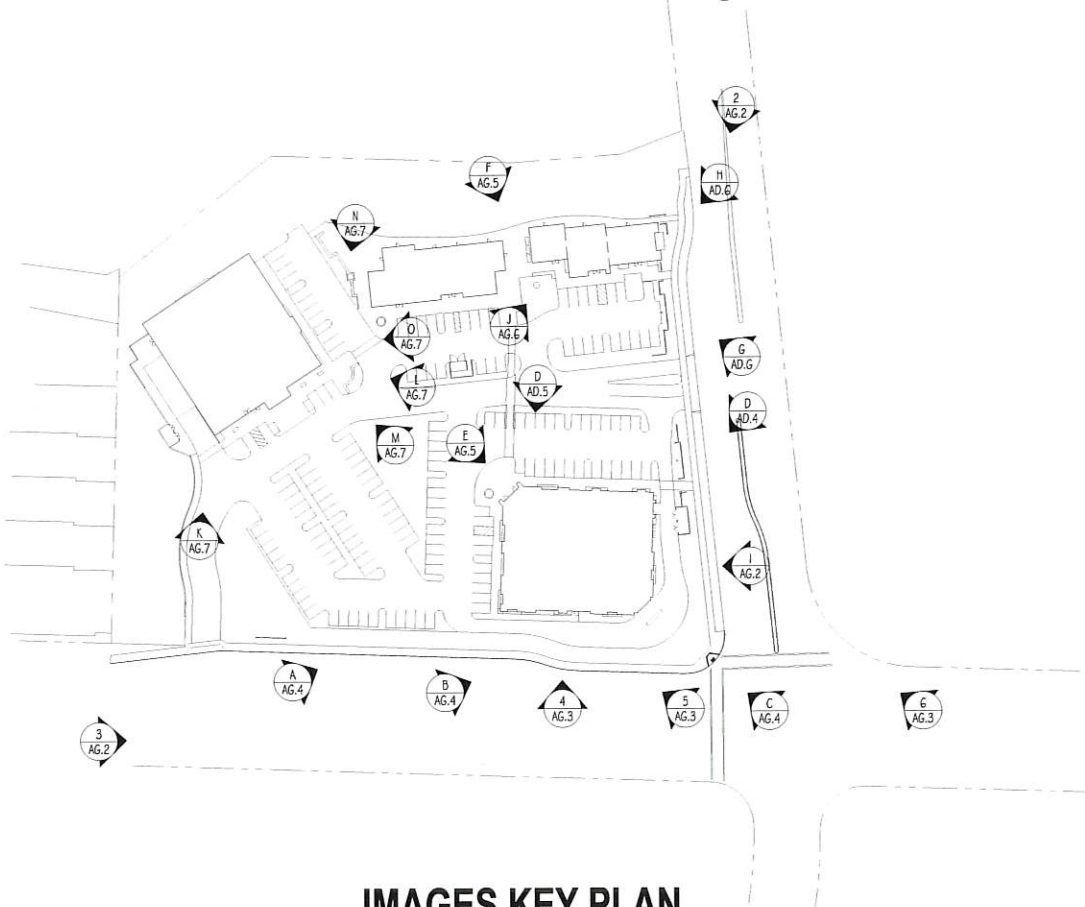
looking west from hwy 12 ④



looking northwest from hwy 12 ⑤

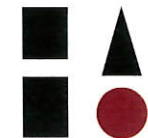


looking northwest from hwy 12 intersection ⑥



IMAGES KEY PLAN

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WARREN  
Hedgpeth  
ARCHITECTS

2321 Bethards Drive  
Santa Rosa,  
California  
95405  
Phone: 707 523  
7010  
Fax: 707 542 2328

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ONE CALISTOGA ROAD ASSOCIATES  
573 SONOMA HIGHWAY  
SANTA ROSA, CALIFORNIA

EXISTING STREET VIEWS



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west elevation of Building #4 (A)



southeast corner of building #4 looking towards intersection (B)



northeast corner of building #4 , and pedestrian entry and monument sign (C)



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north elevation of building #4 (D)



northwest corner (main entry) of building #4 (E)



gathering area between buildings #1 & #2 (F)

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Hedgpeth  
ARCHITECTS

2321 Bethards Drive  
Santa Rosa,  
California  
95405  
Phone: 707 523  
7010  
Fax: 707 542 2328

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ONE CALISTOGA ROAD ASSOCIATES  
572 SONOMA HIGHWAY  
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3D SITE & BUILDING IMAGES



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southeast corner of building #1 and pedestrian entry ⑥



northeast corner of building #1 and pedestrian entry ⑦



southwest corner of building #1 ⑧

WARREN  
Hedgpeth  
ARCHITECTS

2321 Bethards Drive  
Santa Rosa,  
California  
95405  
Phone 707 523  
7010  
Fax 707 542 2328

THE SHOPS at AUSTIN CREEK

ONE CALISTOGA ROAD ASSOCIATES  
5111 SONOMA HIGHWAY  
SANTA ROSA, CALIFORNIA

3D SITE & BUILDING IMAGES

LICENSED ARCHITECT  
WARREN J. HEDGPETH  
No. C 14601  
REN. 10-17  
STATE OF CALIFORNIA

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south corner of building #3 (K)



west corner of building #3 (L)

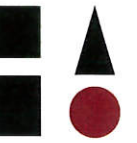


west corner of building #3 aerial (M)



north corner of building #3 (N)

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WARREN  
Hedgpeth  
ARCHITECTS

2321 Bethards Drive  
Santa Rosa,  
California  
95405  
Phone: 707 523  
7010  
Fax 707 542 2328

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ONE CALISTOGA ROAD ASSOCIATES  
572 SONOMA HIGHWAY  
SANTA ROSA, CALIFORNIA

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# SITE PLAN - PEDESTRIAN PATH OF TRAVEL

DRAWING SCALE 1" = 30'-0"

0'	30'	60'	90'	120'	150'
15'	45'	75'			

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2321 Bethards Drive  
Santa Rosa,  
California  
95405  
Phone 707 523  
7010  
Fax 707 542 2328

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ONE CALISTOGA ROAD ASSOCIATES  
573 SONOMA HIGHWAY  
SANTA ROSA, CALIFORNIA

SITE PLAN  
PEDESTRIAN PATH OF TRAVEL



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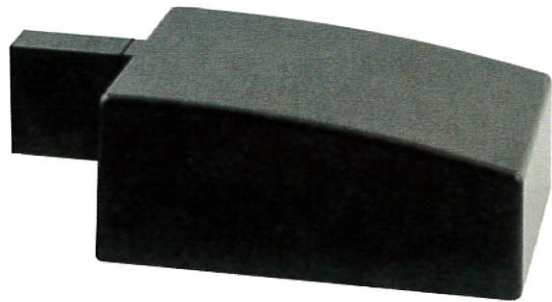
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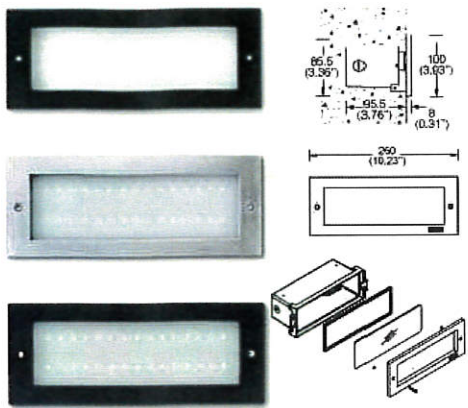
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A, A2, A3 and A4  
POLE MOUNTED AREA LIGHTING



B and C  
WALL MOUNTED AREA LIGHTING



D  
RECESSED LOW LEVEL LIGHTING

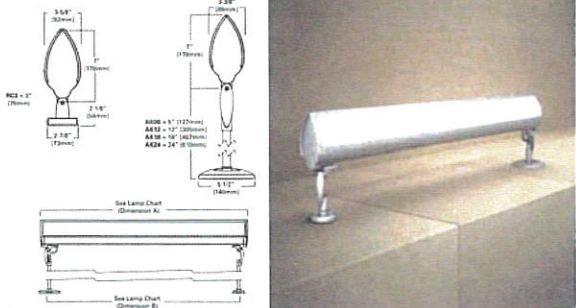
SITE LIGHTING FIXTURE SCHEDULE								
SYM	MANUFACTURER	CAT. NO.	TYPE	COLOR	LAMP TYPE	MOUNTING	LOCATION	REMARKS
A	RAB	AJ H150PSQ 1 HEAD	PARKING AREAS	BRONZE	150 W M H	12' POLE	EXTERIOR U/L APPROVED	DARK SKY APPROVED
A2	RAB	AJ H150PSQ 2 HEADS	PARKING AREAS	BRONZE	150 W M H	12' POLE	EXTERIOR U/L APPROVED	DARK SKY APPROVED
A3	RAB	AJ H150PSQ 3 HEADS	PARKING AREAS	BRONZE	150 W M H	12' POLE	EXTERIOR U/L APPROVED	DARK SKY APPROVED
A4	RAB	AJ H150PSQ 4 HEADS	PARKING AREAS	BRONZE	150 W M H	12' POLE	EXTERIOR U/L APPROVED	DARK SKY APPROVED
B	RAB	WPLED26	BUILDING MOUNTED	BRONZE	26W LED 3000K	8' MTG HEIGHT	EXTERIOR U/L APPROVED	DARK SKY APPROVED
C	RAB	WPLED20	BUILDING MOUNTED	BRONZE	20 W LED 3000K	8' MTG HEIGHT	EXTERIOR U/L APPROVED	DARK SKY APPROVED
D	LIGMAN	U40020-A	LOW WALL	BRONZE	LED 6W	RECESSED IN CMU WALL	EXTERIOR U/L APPROVED	RECESED STEP LIGHTS IN LOW CMU WALL
E	RAB	NDLED6S-50YY-M-B	UNDER CANOPY	BLACK	LED 2700K	RECESSED IN SOFFIT	EXTERIOR U/L APPROVED	BLACK TRIM WITH MATTE SILVER CONE
F	RAB	ALED SERIES	PARKING AREAS	BRONZE	18 W LED 3000K	12' POLE	EXTERIOR U/L APPROVED	DARK SKY APPROVED
G	AMERITRIX COOPER LTG	ARROWLINEAR SERIES	MONUMENT SIGN LTG	BRONZE	LED 3000K	GROUND	EXTERIOR U/L APPROVED	



E  
RECESSED CANOPY LIGHTING



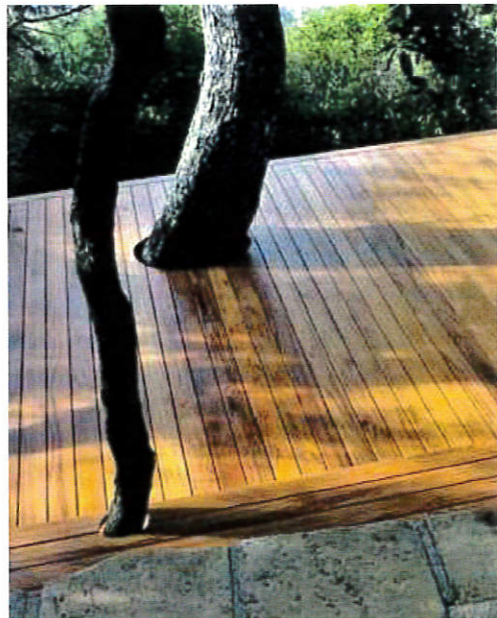
F  
POLE MOUNTED AREA LIGHTING



G  
GROUND MOUNTED MONUMENT SIGN LIGHTING



STRING LIGHTING  
BETWEEN BUILDINGS #1 and BUILDING #2



TREE at WOOD DECK



SIGN LETTERING ON CANOPY EDGE



POSSIBLE SITE ART

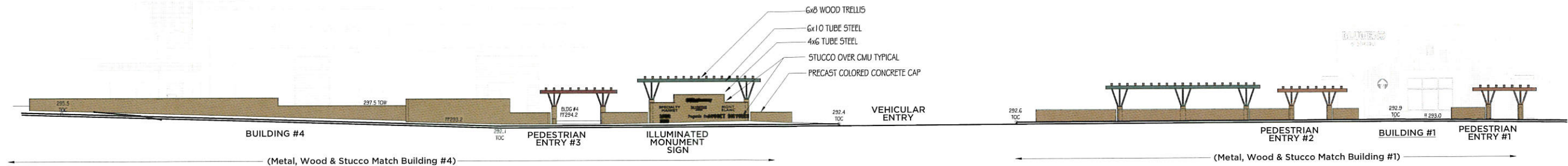


TREE GRATE



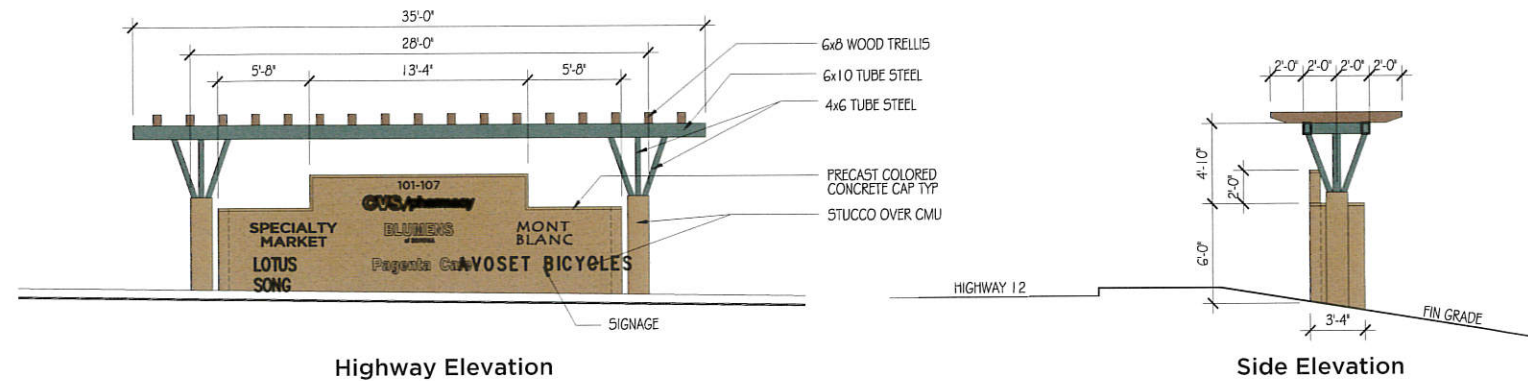
VINE COVERD LOW WALLS





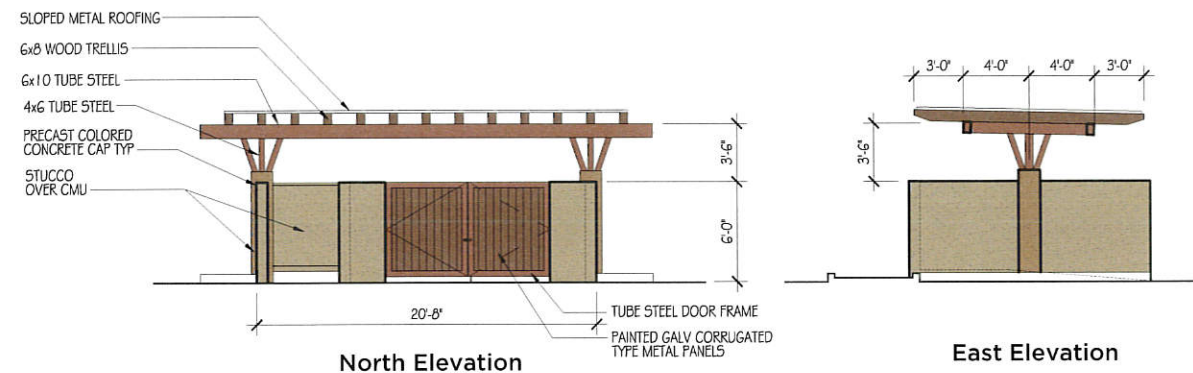
## MONUMENT and SITE WALLS ALONG CALISTOGA ROAD

DRAWING SCALE: NTS



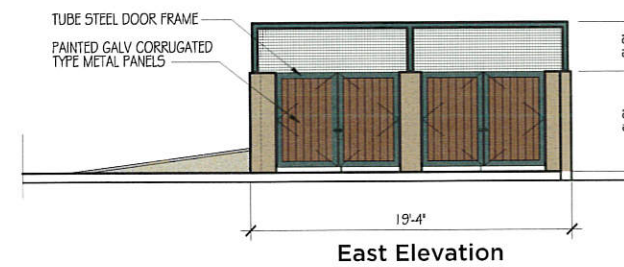
## ILLUMINATED MONUMENT SIGN ALONG HIGHWAY 12

DRAWING SCALE:  $\frac{3}{16}" = 1'-0"$



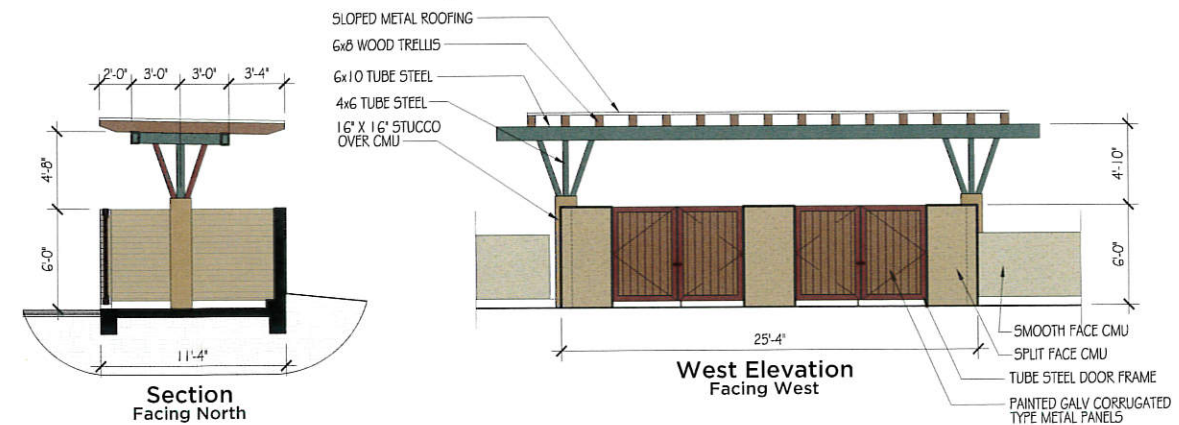
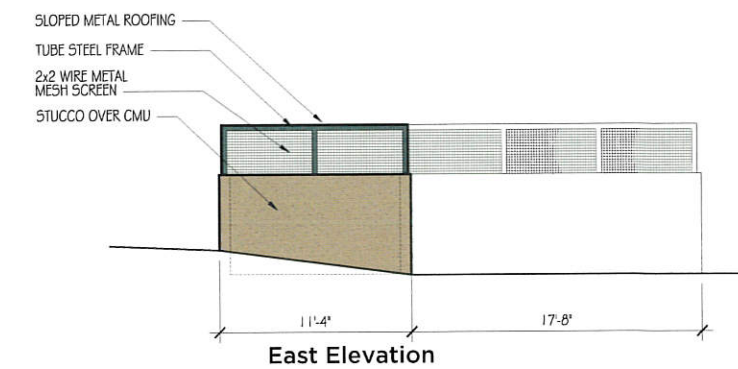
## TRASH ENCLOSURE #1 - at Building #2

DRAWING SCALE:  $\frac{3}{16}" = 1'-0"$



## TRASH ENCLOSURE #2 - at Market Building #3

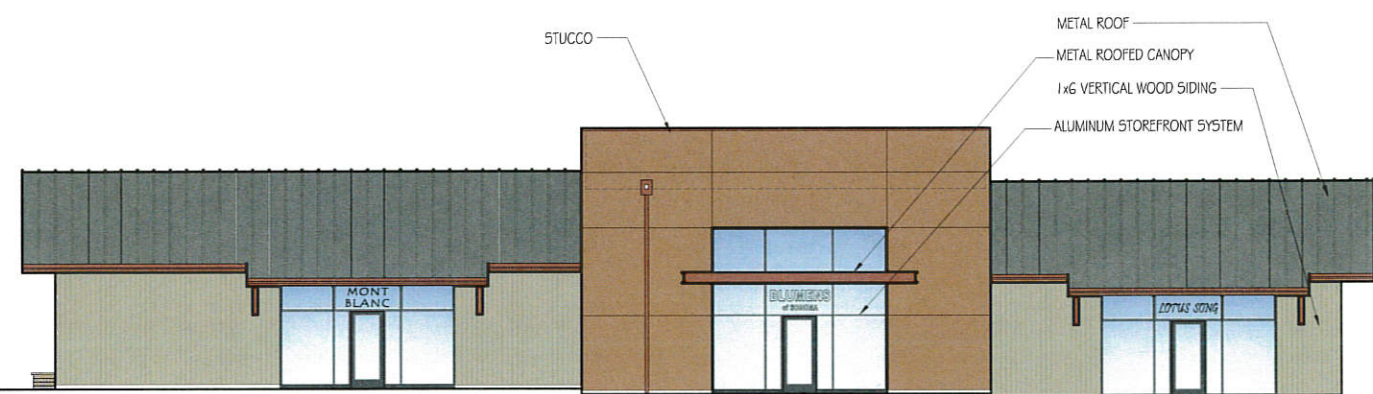
DRAWING SCALE:  $\frac{3}{16}" = 1'-0"$



## TRASH ENCLOSURE #3 - at CVS Building #4

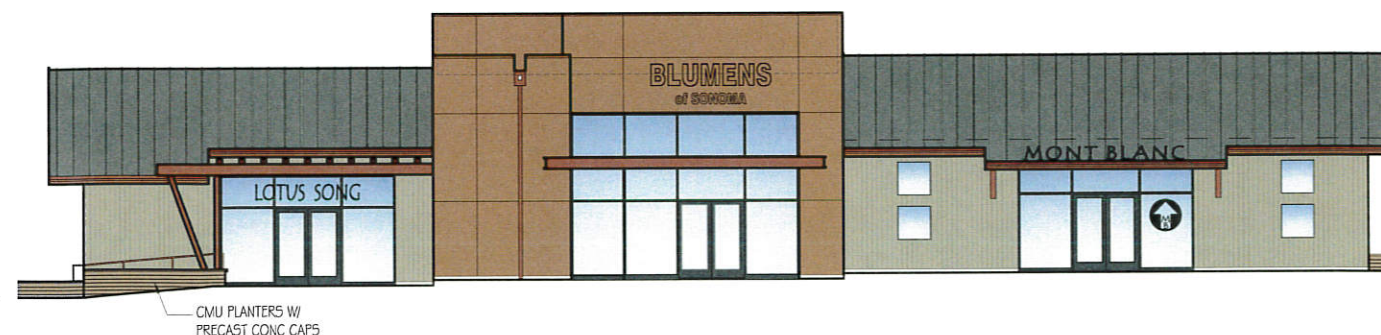
DRAWING SCALE:  $\frac{3}{16}" = 1'-0"$





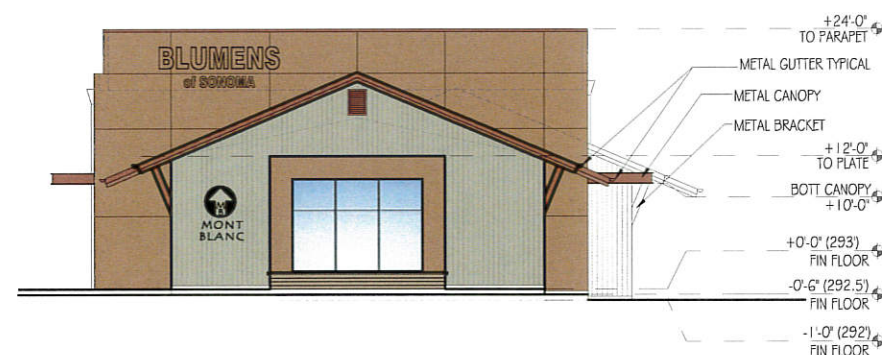
NORTH ELEVATION

SCALE 1/8" = 1'-0"



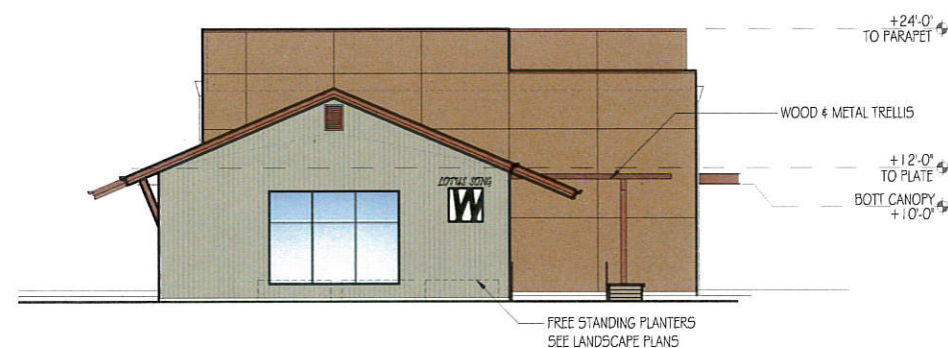
SOUTH ELEVATION

SCALE 1/8" = 1'-0"



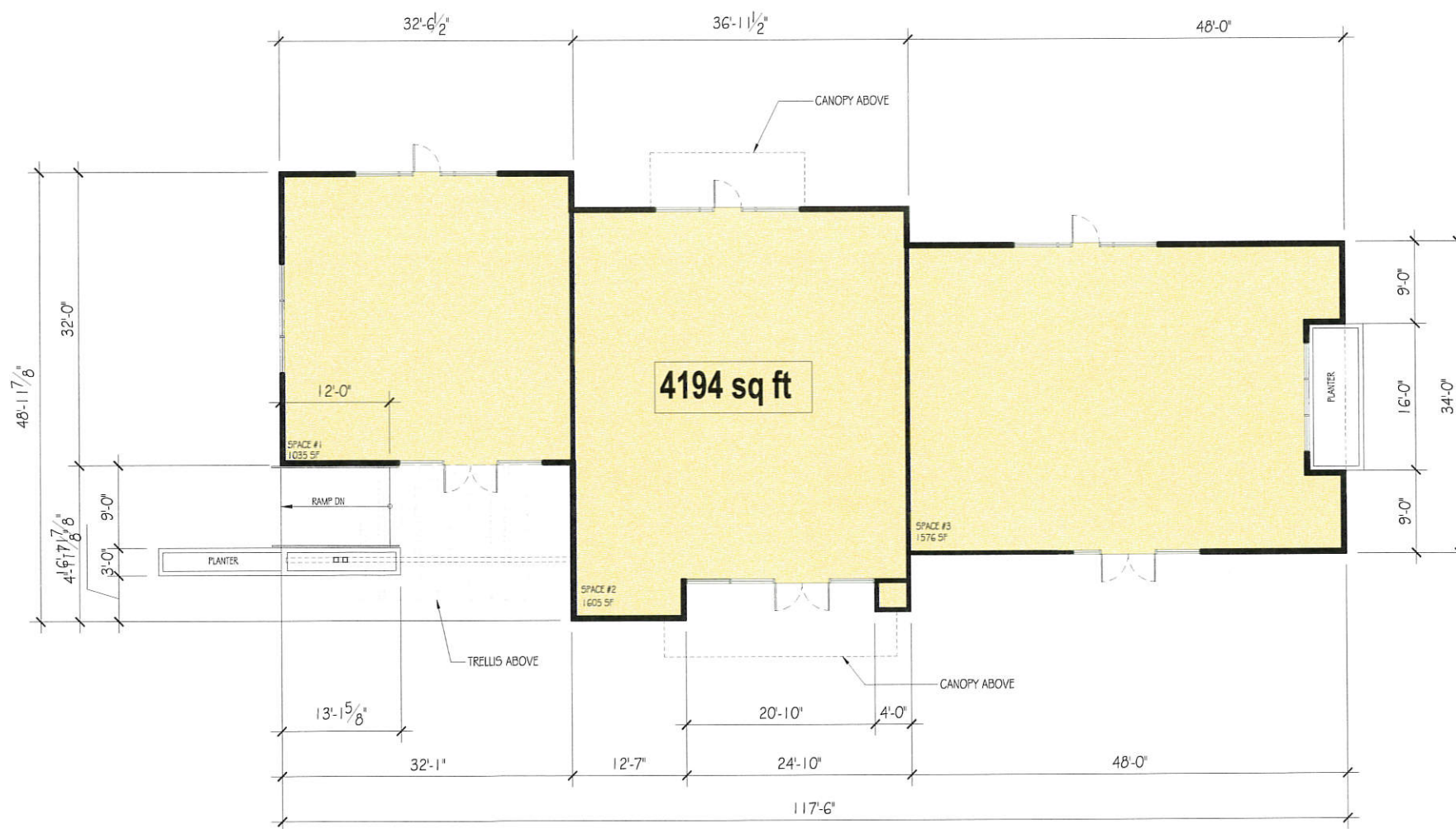
EAST ELEVATION

SCALE 1/8" = 1'-0"



WEST ELEVATION

SCALE 1/8" = 1'-0"

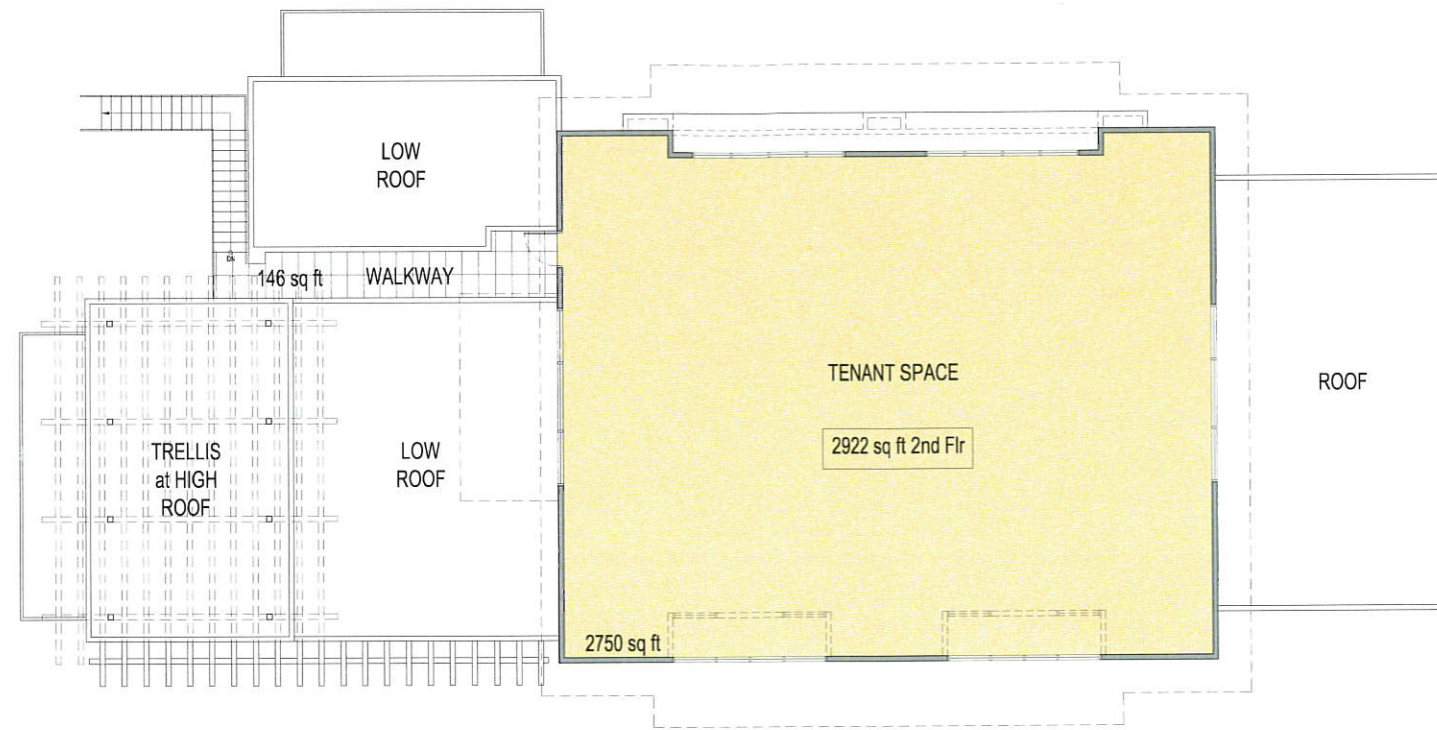


AUSTIN CREEK  
FLOOR PLAN - BUILDING #1

DRAWING SCALE 1/8" = 1'-0"

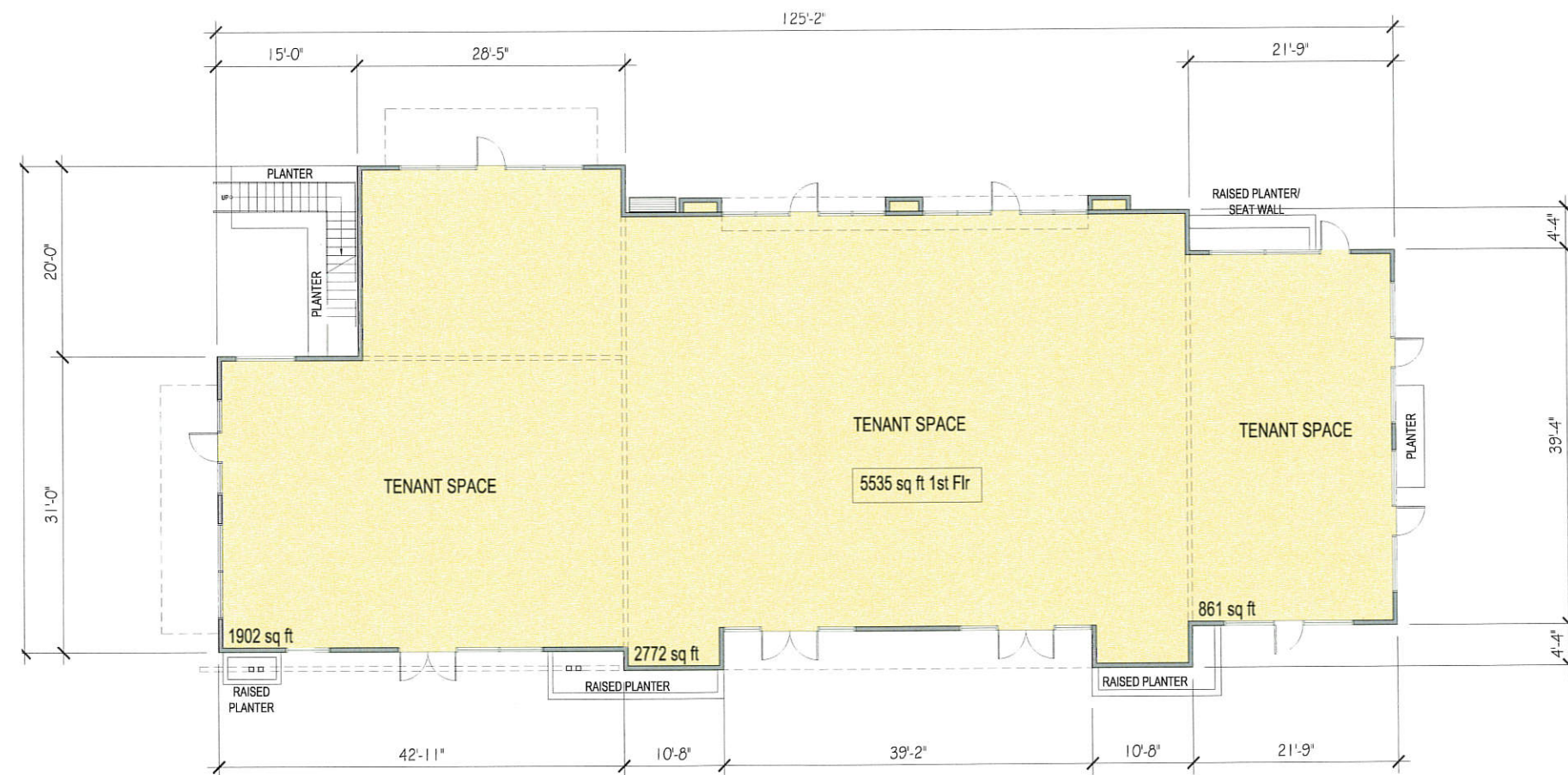
0' 8' 16' 24' 32' 40'





**SECOND FLOOR PLAN**

SCALE 1/8" = 1'-0"



**FIRST FLOOR PLAN**

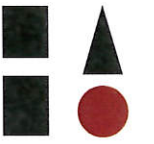
SCALE 1/8" = 1'-0"



**AUSTIN CREEK  
FLOOR PLANS - BUILDING #2**

DRAWING SCALE 1/8" = 1'-0"

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Hedgpeth  
ARCHITECTS

2321 Belthards Drive  
Santa Rosa,  
California  
95405  
Phone 707 523  
7010  
Fax 707 542 2328

THE SHOPS at AUSTIN CREEK

ONE CALISTOGA ROAD ASSOCIATES  
5173 SONOMA HIGHWAY  
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BUILDING 2  
1st AND 2nd FLOOR PLANS



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WARREN  
Hedgpeth  
ARCHITECTS

2321 Bethards Drive  
Santa Rosa,  
California  
95405  
Phone 707 523  
7010  
Fax 707 542 2328

THE SHOPS at AUSTIN CREEK

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SANTA ROSA, CALIFORNIA

BUILDING 2  
EXTERIOR ELEVATIONS



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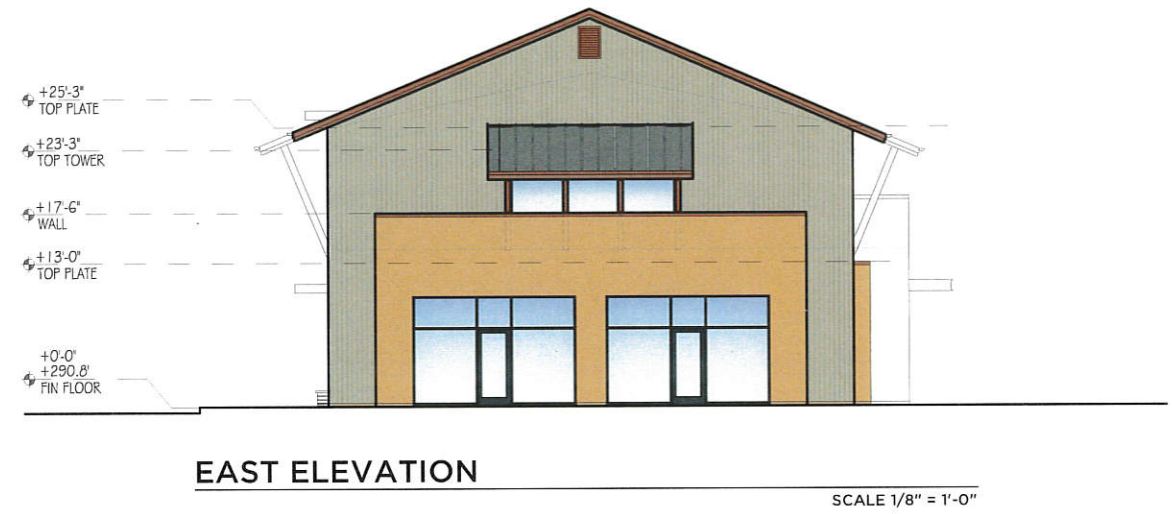
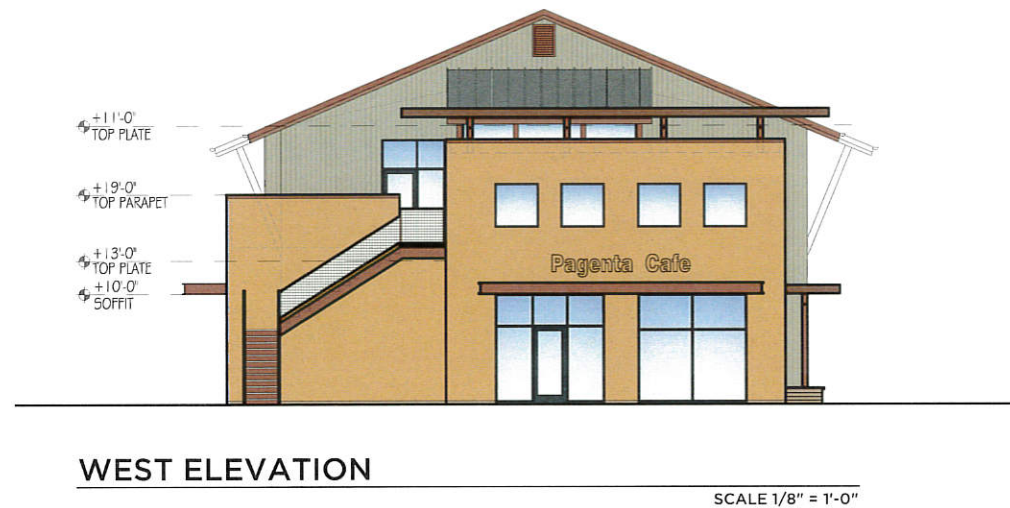
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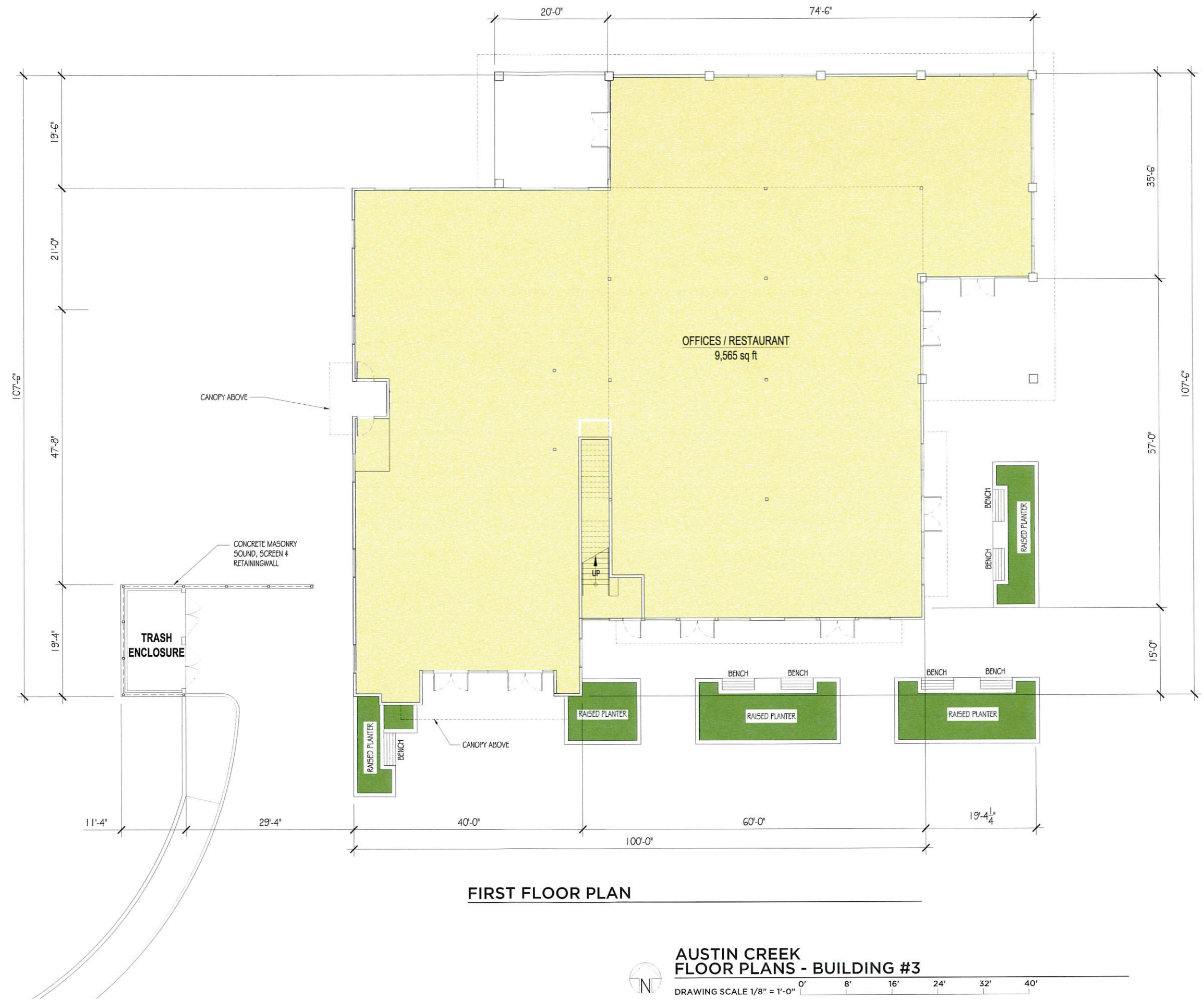


AUSTIN CREEK  
EXTERIOR ELEVATIONS - BUILDING #2

DRAWING SCALE 1/8" = 1'-0"

0' 8' 16' 24' 32' 40'





FIRST FLOOR PLAN

AUSTIN CREEK  
FLOOR PLANS - BUILDING #3

DRAWING SCALE 1/8" = 1'-0" 0' 8' 16' 24' 32' 40'

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WARREN  
Hedgpeth  
ARCHITECTS

2321 Bethards Drive  
Santa Rosa,  
California  
95405  
Phone 707 523  
7010  
Fax 707 542 2328

THE SHOPS at AUSTIN CREEK  
  
ONE CALISTOGA ROAD ASSOCIATES  
5173 SONOMA HIGHWAY  
SANTA ROSA, CALIFORNIA

BUILDING 3  
FIRST FLOOR PLAN



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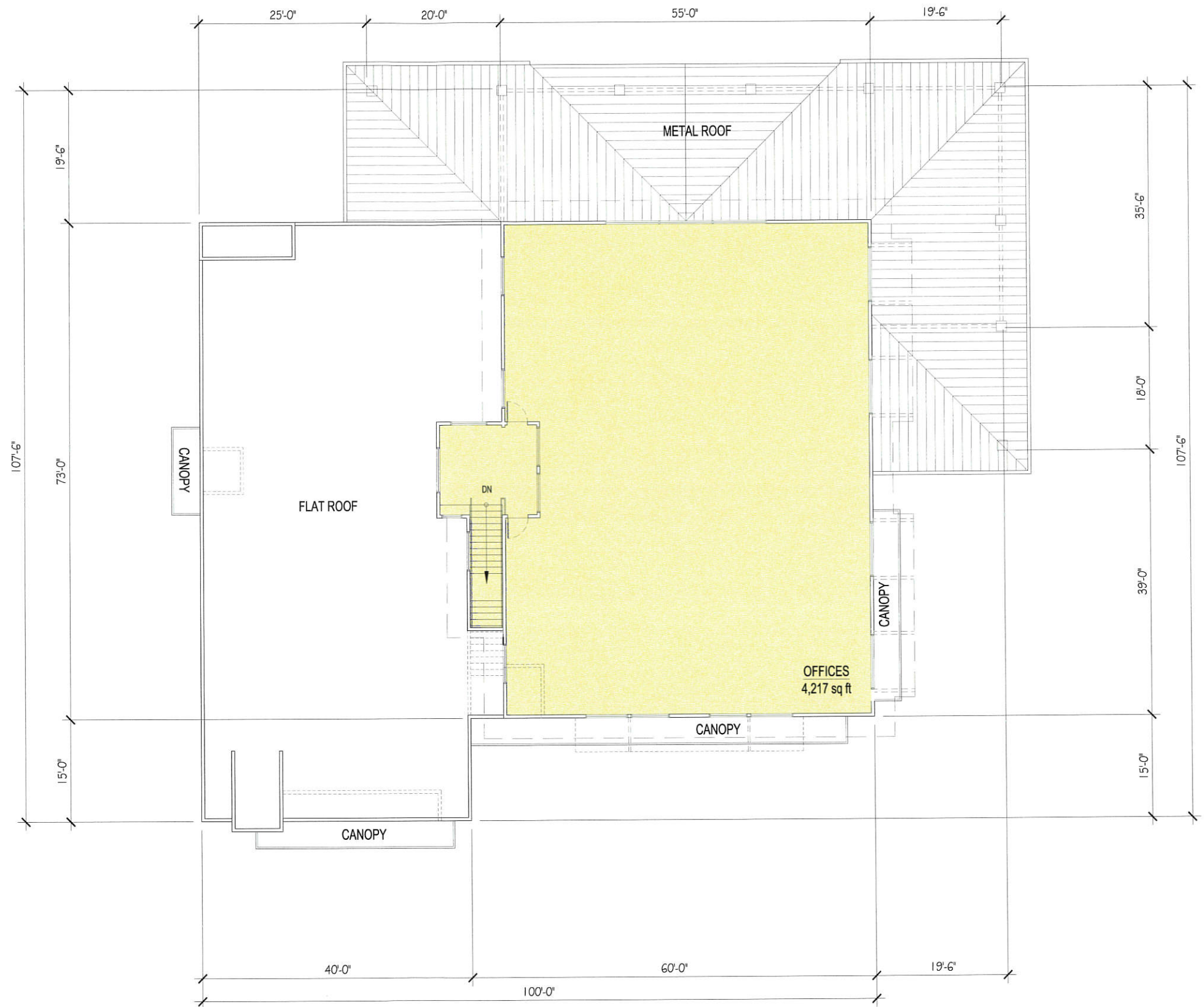
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SECOND FLOOR PLAN



**AUSTIN CREEK  
FLOOR PLANS - BUILDING #3**

DRAWING SCALE 1/8" = 1'-0"

0'


8'

16'

24'

32'

40'



WARREN  
Hedgpeth  
ARCHITECTS

2321 Bethards Drive  
Santa Rosa,  
California  
95405  
Phone 707 523  
7010  
Fax 707 542 2328

THE SHOPS at AUSTIN CREEK

ONE CALISTOGA ROAD ASSOCIATES  
5723 SONOMA HIGHWAY  
SANTA ROSA, CALIFORNIA

BUILDING 3  
SECOND FLOOR PLAN



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SOUTH ELEVATION

SCALE 1/8" = 1'-0"



WEST ELEVATION

SCALE 1/8" = 1'-0"

AUSTIN CREEK  
EXTERIOR ELEVATIONS - BUILDING #3

DRAWING SCALE 1/8" = 1'-0" 0' 8' 16' 24' 32' 40'

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Hedgpeth  
ARCHITECTS

2321 Belthards Drive  
Santa Rosa, California  
95405  
Phone 707 523 7010  
Fax 707 542 2328

THE SHOPS AT AUSTIN CREEK

ONE CALISTOGA ROAD ASSOCIATES  
5173 SONOMA HIGHWAY  
SANTA ROSA, CALIFORNIA

BUILDING 3  
EXTERIOR ELEVATIONS

Revisions

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**NORTH ELEVATION**

SCALE 1/8" = 1'-0"



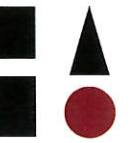
**EAST ELEVATION**

SCALE 1/8" = 1'-0"

**AUSTIN CREEK  
EXTERIOR ELEVATIONS - BUILDING #3**

DRAWING SCALE 1/8" = 1'-0" 0' 8' 16' 24' 32' 40'

Hedgpeth Architects



**Hedgpeth**  
ARCHITECTS

2321 Belthards Drive  
Santa Rosa, California  
95405  
Phone 707 523 7010  
Fax 707 542 2328

THE SHOPS AT AUSTIN CREEK

ONE CALISTOGA ROAD ASSOCIATES  
5173 SONOMA HIGHWAY  
SANTA ROSA, CALIFORNIA

**BUILDING #3**  
EXTERIOR ELEVATIONS

Revisions

Job Number  
1223

Project Architect  
RGB

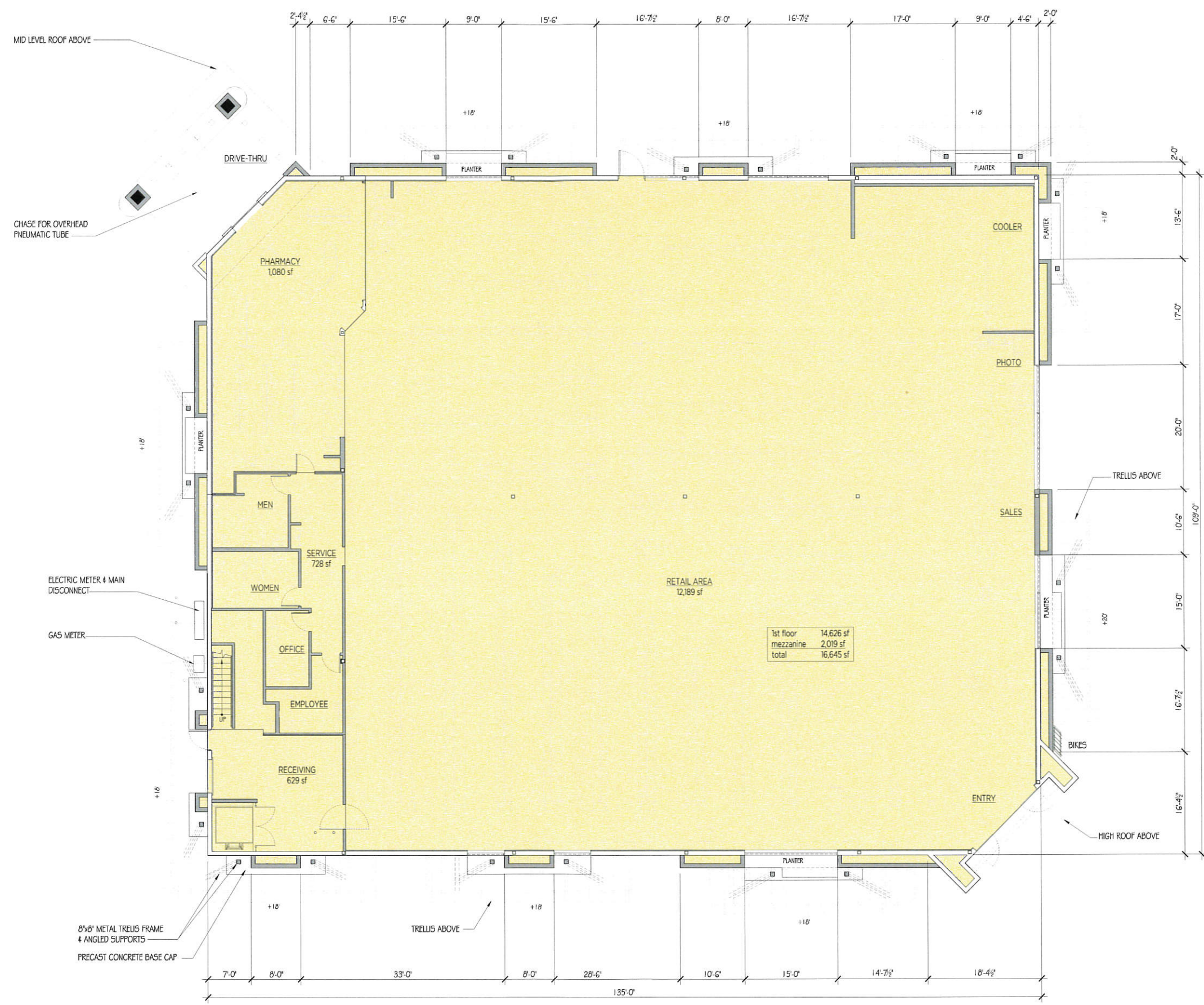
Drawn By  
RGB

Date  
APRIL 16, 2015

Sheet

**Bldg3d**  
of -





**AUSTIN CREEK  
FLOOR PLAN - BUILDING #4**

DRAWING SCALE 1/8" = 1'-0"



Revisions

Job Number  
1212

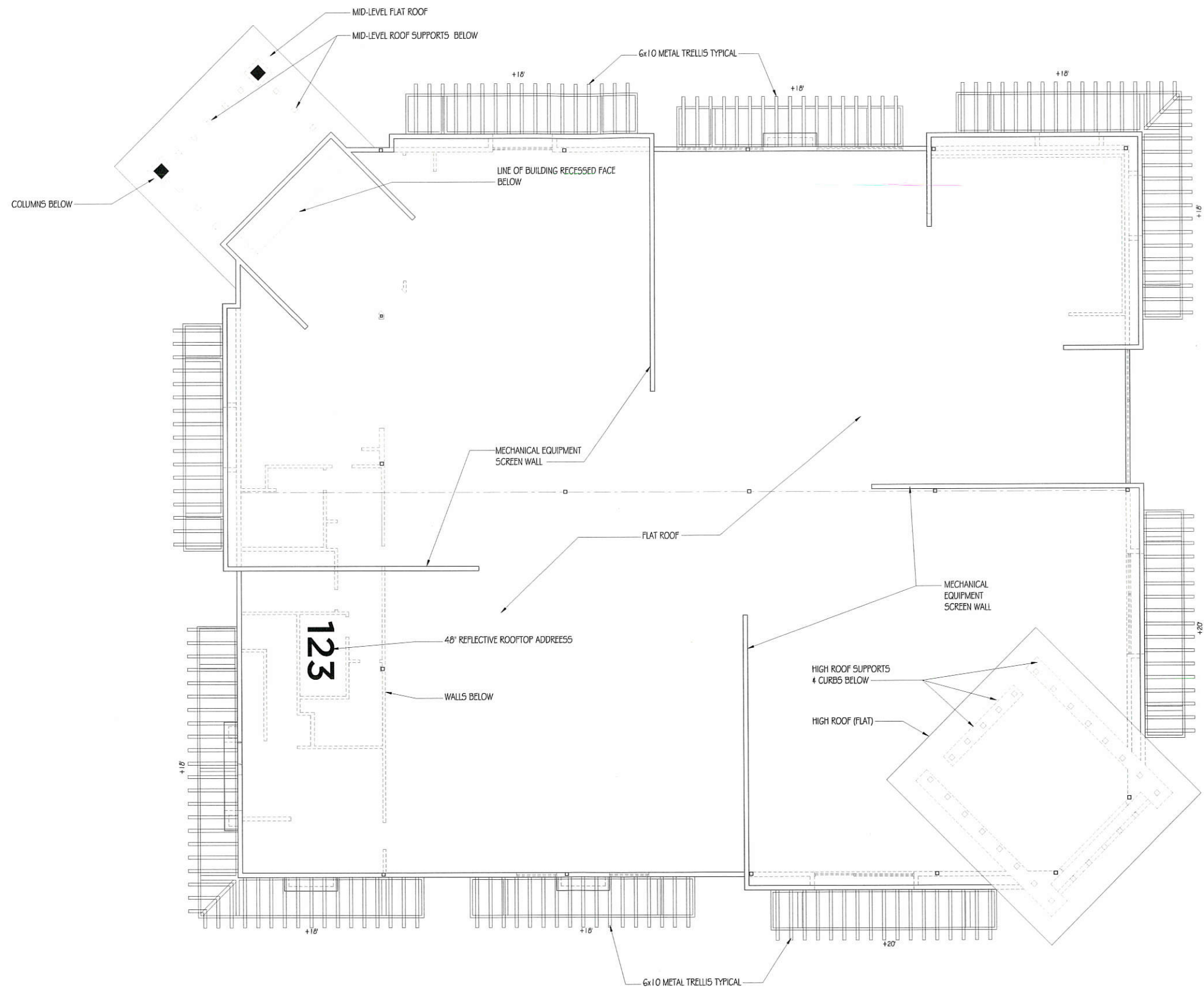
Project Architect  
RGB

Drawn By  
RGB

Date  
May 1, 2013

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of

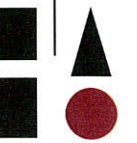




**AUSTIN CREEK  
ROOF PLAN - BUILDING #4**

DRAWING SCALE 1/8" = 1'-0" 0' 8' 16' 24' 32' 40'

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WARREN  
**Hedgpeth**  
ARCHITECTS

2321 Bethards Drive  
Santa Rosa,  
California  
95405  
Phone 707 523  
7010  
Fax 707 542 2328

THE SHOPS at AUSTIN CREEK

ONE CALISTOGA ROAD ASSOCIATES  
573 SONOMA HIGHWAY  
SANTA ROSA, CALIFORNIA

BUILDING #4  
CVS / PHARMACY  
ROOF PLAN



Revisions

Job Number  
1212

Project Architect  
RGB

Drawn By  
RGB

Date  
May 1, 2013

Sheet

**Bldg4b**  
of



## CANDIDATE PLANT LEGEND

SYMBOL BOTANICAL NAME COMMON NAME

### TREES

Existing Trees to Remain	SEE ARBORIST REPORT
<i>Acer rubrum</i>	RED MAPLE
<i>Quercus</i> sp.	NATIVE OAK
<i>Ulmus parvifolia</i>	CHINESE ELM
<i>Olea europea</i> 'Majestic Beauty'	FRUITLESS OLIVE
<i>Acer x freemanii</i> (Street Tree)	ARMSTRONG MAPLE GROUP
<i>Quercus lobata</i>	VALLEY OAK
<i>Quercus agrifolia</i>	COAST LIVE OAK
<i>Lagerstroemia indica</i> 'Glendora White'	CRAPE MYRTLE
<i>Podocarpus gracilior</i>	FERN PODOCARPUS

### SHRUBS AND GROUND COVER

#### NATURAL AND BUFFER PLANTING

PLANTING ALONG THE SOUTH AND WEST PERIMETER OF THE PROJECT CONSISTING OF NATIVE SPECIES

<i>Garrya elliptica</i>	SILK TASSEL
<i>Arctostaphylos d. 'Sentinel'</i>	MANZANITA
<i>Cercis occidentalis</i>	WESTERN REDBUD
<i>Rhamnus californica</i>	CALIFORNIA COFFEEBERRY
<i>Ceanothus 'Dark Star'</i>	CALIFORNIA LILAC
<i>Muhlenbergia rigens</i>	DEER GRASS
<i>Salvia leucophylla</i>	COASTAL WHITE SAGE

#### PHARMACY DRIVE THROUGH BUFFER PLANTING

DENSER PLANTINGS TO HELP SCREEN VIEWS OF DRIVE THROUGH

<i>Arctostaphylos d. 'Howard McMinn'</i>	MANZANITA
<i>Leptospermum laevigatus 'Compaculum'</i>	AUSTRALIAN TEA TREE
<i>Pittosporum tobira 'Wheeler's Dwarf'</i>	WHEELER'S DWARF TOBIRA
<i>Cistus x cyprus var. ellipticus f. bicolor</i>	ROCKROSE
<i>Cistus ladanifer maculatus</i>	ROCKROSE
<i>Phormium 'Chocolate'</i>	NEW ZEALAND FLAX
<i>Erigeron karvinskianus</i>	MEXICAN DAISY
<i>Santolina virens</i>	GREEN SANTOLINA

#### CORNER ENTRY PLANTINGS

A MIX OF SEASONAL AND PERMANENT PLANTINGS TO CREATE A UNIQUE SENSE PROJECT IDENTIFICATION

<i>Ceanothus 'Dark Star'</i>	CALIFORNIA LILAC
<i>Leptospermum laevigatus</i>	DWARF AUSTRALIAN TEA TREE
<i>Berberis thunbergii 'Atropurpurea'</i>	JAPANESE BARBERRY
<i>Berberis thunbergii 'Royal Cloak'</i>	JAPANESE BARBERRY
<i>Phormium 'Sunset'</i>	NEW ZEALAND FLAX
<i>Pennisetum setaceum 'Purpureum'</i>	PURPLE FOUNTAIN GRASS
<i>Erigeron karvinskianus</i>	MEXICAN DAISY
<i>Festuca glauca 'Elijah Blue'</i>	ELIJAH BLUE FESCUE

#### ORNAMENTAL PLANTINGS

ORNAMENTAL PLANTINGS IN INTERIOR PEDESTRIAN AREAS

<i>Carpenteria californica</i>	BUSH ANEMONE
<i>Artemisia 'Powis Castle'</i>	WORMWOOD
<i>Leucophyllum</i> sp.	TEXAS RANGER
<i>Heliotrichon sempervirens</i>	BLUE OAT GRASS
<i>Muhlenbergia rigida</i>	PURPLE MUHLY
<i>Panicum 'Heavy Metal'</i>	MEXICAN SWITCH GRASS
<i>Polygonum aubertii</i>	SILVER LACE VINE
<i>Solanum jasminoides</i>	POTATO VINE
<i>Santolina charaeypanissus</i>	LA VANDAR COTTON
<i>Baccharis pilularis 'Twin Peaks'</i>	COYOTE BRUSH

#### STREETSCAPE PLANTINGS

LOW GROUNDCOVERS ADJACENT TO SIDEWALKS

<i>Cistus x cyprus var. ellipticus f. bicolor</i>	ROCKROSE
<i>Cistus ladanifer maculatus</i>	ROCKROSE
<i>Pittosporum tobira 'Wheeler's Dwarf'</i>	WHEELER'S DWARF TOBIRA
<i>Festuca glauca 'Elijah Blue'</i>	BLUE FESCUE
<i>Nassella cernua</i>	NODDING NEEDLE GRASS

#### PARKING ISLAND PLANTING

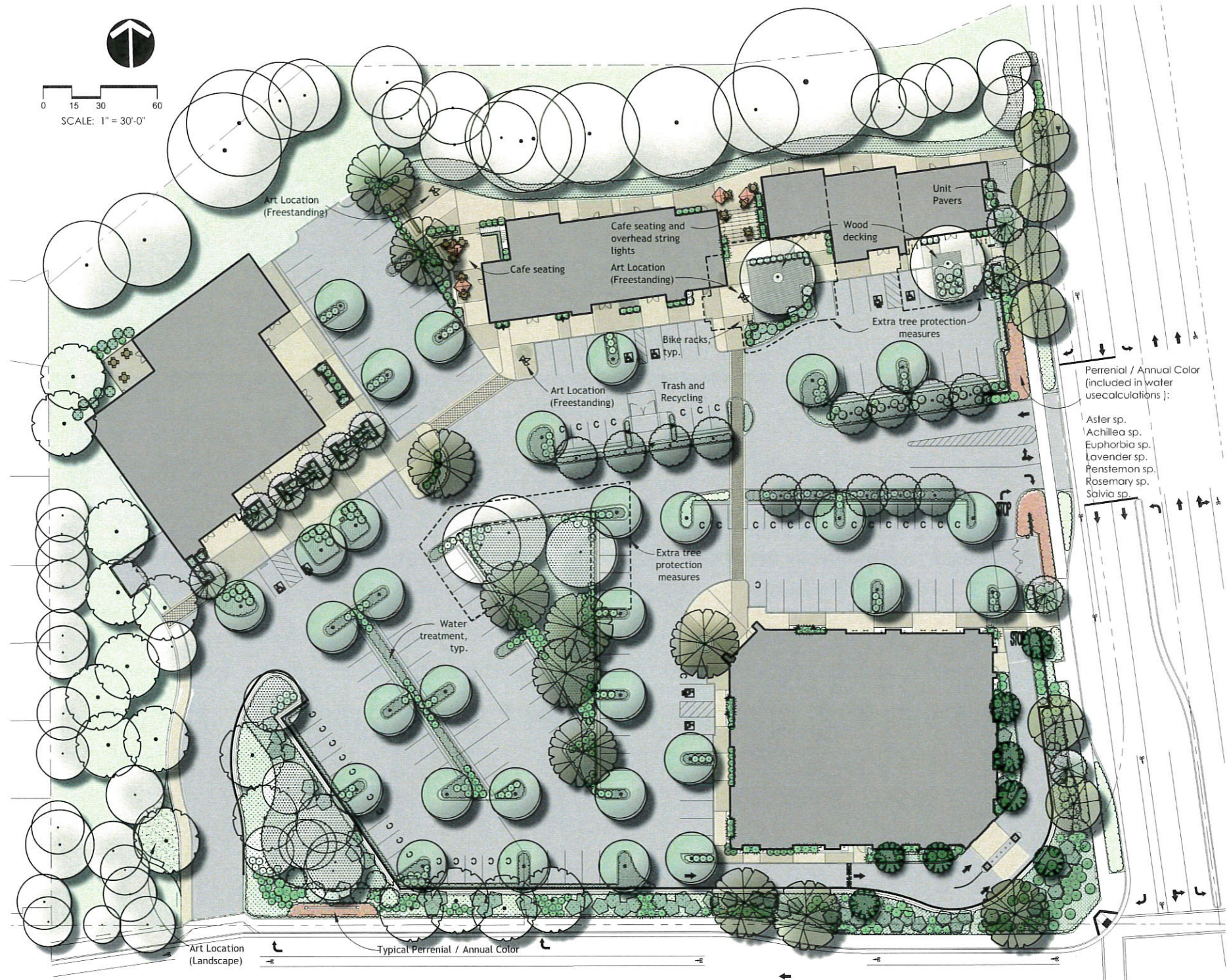
LOW GROUNDCOVERS IN PARKING FINGERS

<i>Muhlenbergia rigens</i>	DEER GRASS
<i>Salvia</i> spp.	SAGE
<i>Achillea millefolium</i>	YARROW
<i>Leymus condensatus</i>	BLUE RYE
<i>Myoporum parvifolium 'Prostratum'</i>	MYOPORUM
<i>Festuca rubra 'Molate'</i>	RED FESCUE

#### NATURALIZED PLANTING

OVERSEED AREAS OF EXISTING NATIVE VEGETATION TO REMAIN FOR MITIGATION, ENHANCEMENT, AND REPAIR OF LANDSCAPE.

<i>Festuca californica</i>	CALIFORNIA FESCUE
<i>Sisyrinchium bellum</i>	BLUE EYED GRASS



## LANDSCAPE DESIGN CRITERIA

PLANTING AREAS SHALL CONSIST OF A MIXTURE OF TREES, SHRUBS, AND GROUND COVER SUITABLE TO LOCAL SITE CONDITIONS INCLUDING CLIMATE, SOILS, AND HYDROLOGY.

PLANTINGS SHALL BE APPLIED IN SINGLE LAYERS WITH ATTENTION GIVEN TO TEXTURE, COLOR, AND FORM IN ORDER TO MAXIMIZE THE EFFECT OF AVAILABLE PLANTING AREAS.

PLANTS SHALL BE SELECTED SUITED TO THE SIZE AND LOCATION OF THE SPACES THEY WILL OCCUPY. NO TREES SHALL BE PLANTED UNDER ANY POWER LINES.

PLANTERS HAVE BEEN INCORPORATED INTO THE PARKING AREAS TO SOFTEN THE HARDSCAPE EFFECT. THIS PLAN REFLECTS THE CITY OF SANTA ROSA'S ORCHARD PARKING RECOMMENDATIONS.

ORNAMENTAL PLANTINGS SHALL BE CONCENTRATED AROUND THE PEDESTRIAN AND VEHICULAR ENTRANCES, AS WELL AS OTHER AREAS WHERE THEY WILL HAVE THE GREATEST VISUAL IMPACT.

DENSE PLANTINGS SHALL BE USED TO HELP SCREEN UTILITIES AND OTHER UNDESIRABLE VISUAL ELEMENTS.

THE OVERALL PLANTING SCHEME SHALL FOLLOW THE CITY OF SANTA ROSA'S ESTABLISHED LANDSCAPE DESIGN STANDARDS, AS WELL AS OTHER COMMONLY ACCEPTED LANDSCAPE DESIGN PRACTICES NOT SPECIFICALLY LISTED IN ORDER TO CREATE A HEALTHY, VIABLE, AND CONTEXT SENSITIVE PROJECT.

ALL PLANTING AND IRRIGATION WILL ADHERE TO SANTA ROSA'S WATER EFFICIENT LANDSCAPE ORDINANCE (WELO).

## PEDESTRIAN PAVING

CONCRETE SIDEWALKS AND PAVING THROUGHOUT, ALTERNATING COLORS OF "SAN DIEGO BUFF" AND "YOSEMITE BROWN" (DAVIS COLORS, [www.daviscolors.com](http://www.daviscolors.com)) OR SIMILAR COLORS.

TRAFFIC RATED PERMEABLE PAVERS.  
BASALITE CONCRETE PRODUCTS "TAN CHARCOAL" SF RIMA  
[www.basalite.com](http://www.basalite.com)

## CONCEPT LANDSCAPE PLAN THE SHOPS AT AUSTIN CREEK

5171 AND 7173 Sonoma Highway  
Santa Rosa, CA 95402  
APN 183-410-058, 060



#### VICINITY MAP

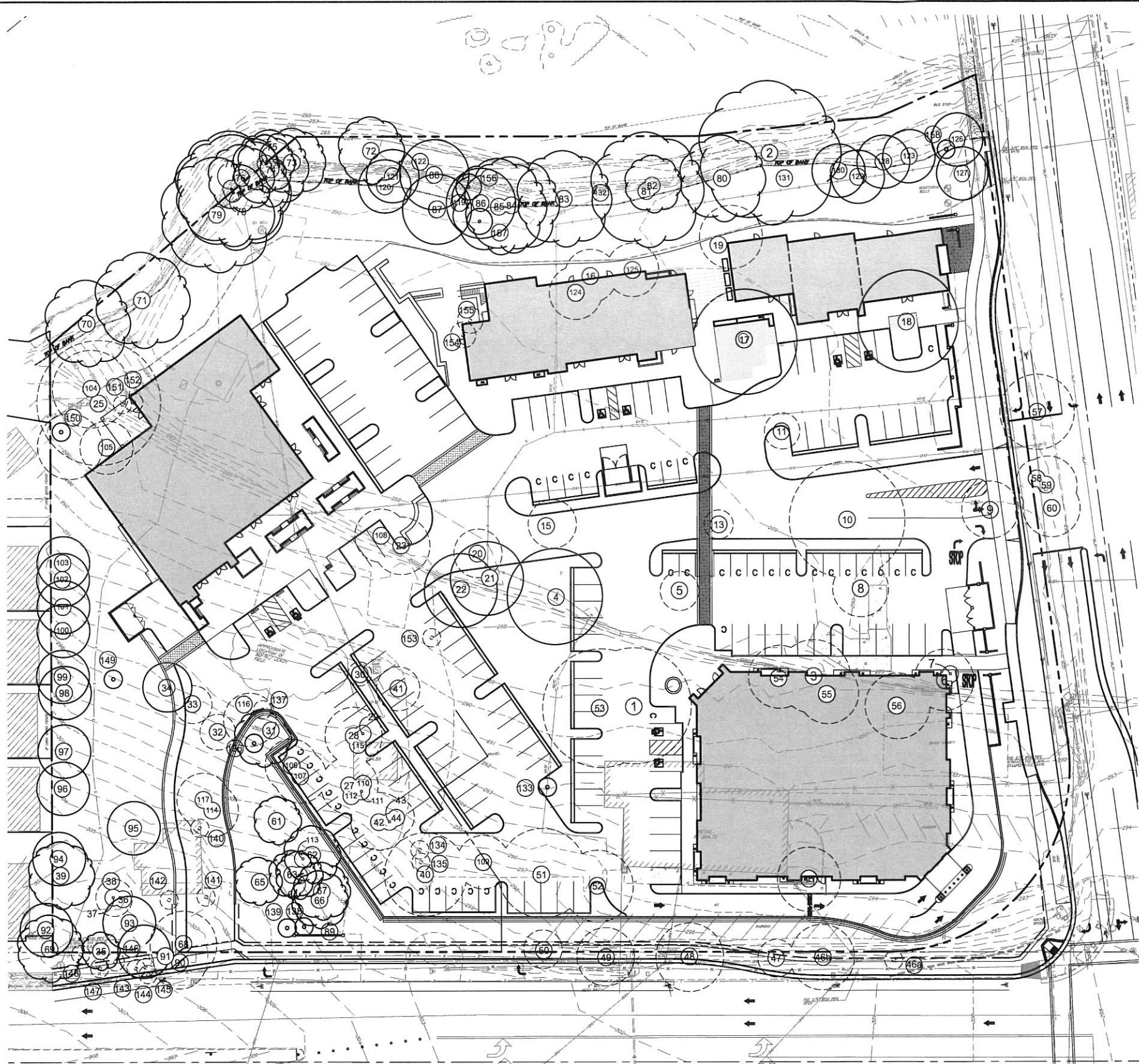
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DRAWN BY	RLC
SCALE	1" = 30' - 0"
DATE	APRIL 2015
PHASE	SCHEMATIC DESIGN
SHEET TITLE	

#### LANDSCAPE PLAN

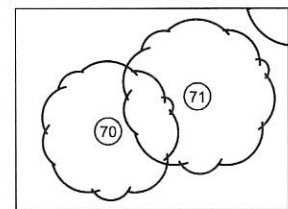
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L2

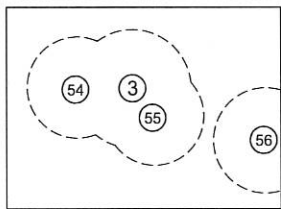




KEY



EXISTING TREE TO BE RETAINED  
SEE FOLLOWING SHEET FOR  
INFORMATION PERTAINING TO  
SPECIFIC TREES



EXISTING TREE TO BE REMOVED  
SEE FOLLOWING SHEET FOR  
INFORMATION PERTAINING TO  
SPECIFIC TREES

TREE PROTECTION NOTES

PREPARED BY D. KELLY  
CERTIFIED ARBORIST  
WE #1469-A, RCA 477

A. DEMOLITION AND SITE CLEARING

1. Provide pre-construction meeting with landscape architect, project arborist, developer and equipment operators to review work procedures, access and haul routes, and tree protection measures.
2. Provide all tree protection zones with 6' tall chain link fence sections that are securely fastened together with posts driven into the ground. Fence must be in place prior to delivery of equipment and any demolition or grading of the site. Project arborist to check location of fencing prior to start of work.
3. Identify trees to be removed and verify in the field with project arborist/ landscape architect. Trees to be removed at this site are numbered and numbers correspond to graphic field plan. Only specifically tagged trees are to be removed.
4. Trees to be removed that have branches extending into the canopy of trees to remain must be removed by a qualified arborist and not by demolition or construction contractors. The qualified arborist must remove the tree in a manner that causes no damage to the trees to remain.
5. Stump grinding is mandatory to reduce impacts to adjacent trees remaining on the site. Tree, root, or stump pulling is not allowed adjacent to preserved trees. Root pruning to be performed by hand, with a carbide-tipped chain saw, sharp-bladed trencher or rock saw.
6. Trees to be removed shall be felled away from tree protection zones; avoid pulling and breaking of roots of trees to remain.
7. Trees removed within the protection zones shall be removed by a certified arborist or certified tree worker. The trees shall be cut near ground level and the stumps ground out.
8. Any brush clearing required within the protected zone shall be accomplished with hand-operated equipment. Heavy equipment operating from outside the protected zone is not allowed.
9. Project arborist to work with selected tree service to provide safety clearance pruning on preserved trees. Clearance pruning may involve ground clearance trimming or directional pruning of side branches to avoid damage to trees by equipment and reduce the potential obstruction hazard to equipment operators. Trees must be pruned in accordance with the provided pruning specifications (section b).
10. Provide 8-inch layer of chipped site-generated mulch or purchased mulch for the tree protection zones.
11. Underground features, structures, paving, etc. removed within the tree protection zone shall use the smallest equipment possible and operate from outside the tree protection zone. Project arborist to monitor demolition activity.
12. Any damage to trees due to demolition activities shall be reported to the project arborist within 4 hours so that timely remedial action can be taken.
13. If temporary access is required over the root area of trees, a roadbed of 8 inches of mulch or gravel (underlain with filter fabric) shall be created to protect the roots and soil. The mulch shall be replenished as necessary to maintain an 8-inch depth.

B. PRUNING SPECIFICATIONS

1. Preserved trees within the project area shall be pruned to clear the crown of diseased, crossing, weak, or dead branches; minimum size of 1.5 inches in diameter, maximum size of 3 inches in diameter. Interior branches shall not be stripped out.
2. If temporary access is required near conifers, branches may be carefully tied back to hold them out of the clearance zone.
3. All pruning shall be performed by an isa-certified arborist or certified tree worker. All pruning shall be in accordance with most recent isa tree pruning guidelines and the ansi pruning standard.
4. Pruning cuts larger than 2 inches in diameter, except for dead branches, shall be avoided. Flush cuts (cuts that expose heartwood) are forbidden.
5. No more than 20% of live foliage in a given tree shall be removed.
6. Brush shall be chipped on site and spread underneath the tree protection zone to a maximum depth of 6 inches, leaving the trunk clear of mulch.

C. CONSTRUCTION SPECIFICATIONS ADJACENT TO PRESERVED TREES

1. Fences erected to define protection zones for trees may not be removed until all site work has been completed. Fences may not be relocated or removed without written permission from the landscape architect.
2. Construction trailers, trucks, equipment, and storage areas must remain outside of protection zones at all times.
3. All underground utilities, drains, and irrigation lines shall be routed outside of the tree protection zones. If lines must traverse the protection area, they shall be tunneled or bored under the tree, not trenched.
4. No materials, spoils, waste or washout water may be deposited, stored or parked within the tree protection zone.
5. Additional tree pruning, if required, must be performed by a certified arborist and not by construction personnel.
6. Any herbicides placed under paving materials must be safe for use around trees, and labeled for that use.
7. Any grading, construction, demolition, or other work expected to encounter tree roots must be monitored by the project arborist.
8. All impacted trees shall be watered on a two-week schedule. Each irrigation event shall wet the soil within the protection zone to a depth of 30 inches. Water and cover exposed roots daily until trenches are backfilled or hardscape has been constructed and backfilled.
9. If necessary, erosion control devices such as silt fencing or debris basins shall be installed to prevent siltation or water diversion within the tree protection zone.
10. Before grading, pad preparation, or excavation for foundations, footings, walls or trenching, trees shall be root pruned one foot outside the tree protection zone by cutting all roots cleanly to the indicated depth. Roots shall be cut by exposing with an air spade (or manually digging a trench) and cutting exposed roots with a saw, rock saw, narrow trencher with sharp blades, or carbide-tipped chain saw.
11. Any roots damaged during grading or construction shall be exposed to sound tissue and cut cleanly with a saw.
12. Spoils from trenches and other excavations shall not be placed within the tree protection zone, either temporarily or permanently.
13. No burn piles, trash or debris shall be located within the tree protection zone.
14. No smoking or heat sources allowed near mulch of trees.
15. Fill soil adjacent to existing trees must be of similar texture (percentage of sand, silt, and clay). No fill soils allowed within driplines of preserved trees (except as shown on plans). No alteration of grade or hydrology within or impacting tree protection zones without specifically designed mitigation measures.
16. All trees designated for removal shall be clearly marked with surveyor's flagging and reviewed prior to removal.



944 RIPLEY STREET  
SANTA ROSA, CA 95401  
P 707.527.7920  
E robcox@tangramla.com

CONCEPT LANDSCAPE PLAN  
THE SHOPS AT AUSTIN CREEK

5171 AND 7173 Sonoma Highway  
Santa Rosa, CA 95402  
APN 183-410-058, 060



VICINITY MAP

PROJECT NO.	1404
DRAWN BY	RLC
SCALE	AS SHOWN
DATE	APRIL 2015
PHASE	SCHEMATIC DESIGN

SHEET TITLE

ARBORIST REPORT  
PLAN

SHEET NO.

L3



Prickett's Family Shopping Center  
5173 Sonoma Highway Santa Rosa, CA

TREE #	SPECIES	TRUNK DIAMETER (in.) @ 4.5' above grade	HEALTH & VIGOR	STRUCTURAL INTEGRITY	COMMENTS	RECOMMENDATION
1	silver maple / <i>Acer saccharinum</i>	56"	fair-good	poor	Over-mature	Shown as within development footprint
2	Oregon white oak / <i>Quercus garryana</i>	92" (5 trunks)	fair-good	fair	Radius 40' S into proposed project; over-mature	Within creek setback
3	London plane / <i>Platanus x acerifolia</i>	26"	good	fair-good		Shown as within development footprint
4	valley oak / <i>Quercus lobata</i>	19"	fair	very good	Several dead brs & twigs; galls	20' radius canopy. Cut till must be minimal or long term stability will be compromised. See report
5	sweet gum / <i>Liquidambar styraciflua</i>	21"	good	fair		Shown as within development footprint
6	coast live oak / <i>Quercus agrifolia</i>	19"	good	fair	Co-dominant trunks @ 15'	Shown as within development footprint
7	coast live oak / <i>Quercus agrifolia</i>	14"	good	fair	Co-dominant trunks @ 6'	Shown as within development footprint
8	silver maple / <i>Acer saccharinum</i>	43"	good	poor	Over-mature	Shown as within development footprint
9	coast live oak / <i>Quercus agrifolia</i>	27" @ 3	very good	poor	Borer frass near 16" pruning cut E side, co-dom trks	Shown as within development footprint
10	silver maple / <i>Acer saccharinum</i>	53"	good	very poor	Over-mature	Remove.
11	honey locust / <i>Gleditsia triacanthos</i>	15"	fair	poor-fair		Remove.
12	missing					Not found
13	sweet gum / <i>Liquidambar styraciflua</i>	19"	good	fair		Shown as within development footprint
14	missing					Not found
15	coast live oak / <i>Quercus agrifolia</i>	16" (2 trunks)	excellent	excellent		Shown as within development footprint
16	honey locust / <i>Gleditsia triacanthos</i>	17"	poor	poor		Shown as within development footprint
17	Oregon white oak / <i>Quercus garryana</i>	24"	excellent	fair	Co-dom. trunks @ 7' w/ ind bark, prune to 1 leader	30' radius canopy. Cut till must be minimal or long term stability will be compromised. See report
18	London plane / <i>Platanus x acerifolia</i>	23"	excellent	excellent		25' radius canopy. Cut till must be minimal or long term stability will be compromised. See report
19	coast live oak / <i>Quercus agrifolia</i>	26"	excellent	very poor	Co-dominant trunks @ 6', soil at base, needs ext	Shown as within development footprint
20	valley oak / <i>Quercus lobata</i>	25" (2 trunks)	dead	dead	Long crack from base & borers	Remove.
21	Oregon white oak / <i>Quercus garryana</i>	22"	good	fair	Himalayan blackberries, no tag	Engineered fill and aeration system to be used over root zones where fill is required, prune tree
22	coast live oak / <i>Quercus agrifolia</i>	24"	excellent	good	Co-dominant trunks @ 12"	Engineered fill and aeration system to be used over root zones where fill is required, prune tree
23	coast live oak / <i>Quercus agrifolia</i>	23" (2 trunks)	good	fair	Poor pruning cuts	Shown as within development footprint
24	Oregon ash / <i>Fraxinus latifolia</i>	10"	good	good	Small valley oaks w/ this tree	Shown as within development footprint
25	Oregon white oak / <i>Quercus garryana</i>	46" @ 2	fair	fair		Shown as within development footprint

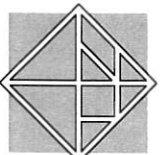
TREE #	SPECIES	TRUNK DIAMETER (in.) @ 4.5' above grade	HEALTH & VIGOR	STRUCTURAL INTEGRITY	COMMENTS	RECOMMENDATION
26	coast live oak / <i>Quercus agrifolia</i>	16"	excellent	very good		Shown as within development footprint
27	Oregon white oak / <i>Quercus garryana</i>	13"	good	fair	No tag, poison oak	Shown as within development footprint
28	Oregon white oak / <i>Quercus garryana</i>	16"	fair	good		Shown as within development footprint
29	coast live oak / <i>Quercus agrifolia</i>	9"	good	fair	Suppressed by close trees	Shown as within development footprint
30	coast live oak / <i>Quercus agrifolia</i>	6" cluster	good	good	Several small oaks here	Shown as within development footprint
31	valley oak / <i>Quercus lobata</i>	9"	good	good		Preserve, no grading or planting within dripline, mulch only.
32	valley oak / <i>Quercus lobata</i>	n/a -poison oak	good	good		Shown as within development footprint
33	Oregon white oak / <i>Quercus garryana</i>	19"	good	good	Ivy up trunk	Shown as within development footprint
34	Oregon white oak / <i>Quercus garryana</i>	21"	good	good	Nice tree, poison oak	No grading or planting within dripline, mulch only.
35	Oregon white oak / <i>Quercus garryana</i>	14"	good	good	Poison oak	No grading or planting within dripline, mulch only.
36	London plane / <i>Platanus x acerifolia</i>	14"	very poor	very poor		Remove.
37	Japanese privet / <i>Ligustrum japonicum</i>	15" (3 trunks)	poor	poor	Weedy species	Remove.
38	mayten / <i>Maytenus boaria</i>	23" (2 trunks)	poor	poor		Remove.
39	coast live oak / <i>Quercus agrifolia</i>	36" (3 trunks)	good	fair	Co-dom. trunks, R=10' E.S, N	No grading or planting within dripline, mulch only.
40	London plane / <i>Platanus x acerifolia</i>	24"	very good	fair		Shown as within development footprint
41	red ironbark / <i>Eucalyptus sideroxylon</i>	22"	very poor	very poor	Poor pruning cuts, topping	Shown as within development footprint
42	Oregon white oak / <i>Quercus garryana</i>	18" (2 trunks)	fair	fair	Co-dominant trunks @ 2'	Shown as within development footprint
43	coast live oak / <i>Quercus agrifolia</i>	16" (2 trunks)	good	fair	Co-dominant trunks @ 4'	Shown as within development footprint
44	valley oak / <i>Quercus lobata</i>	9"	good	fair		Shown as within development footprint
45	sweet gum / <i>Liquidambar styraciflua</i>	15"	good	poor	1.5' from curb, surface roots	Shown as within development footprint
46A	madrone / <i>Arbutus menziesii</i>	6"	good	good		Remove to provide turn lane and sidewalk
46B	Oregon white oak / <i>Quercus garryana</i>	19"	very good	very good		Remove to provide turn lane and sidewalk
47	madrone / <i>Arbutus menziesii</i>	21" (3 trunks)	very good	very good	OH lines	Remove to provide turn lane and sidewalk
48	Oregon white oak / <i>Quercus garryana</i>	30"	good	good	OH lines	Remove to provide turn lane and sidewalk

TREE #	SPECIES	TRUNK DIAMETER (in.) @ 4.5' above grade	HEALTH & VIGOR	STRUCTURAL INTEGRITY	COMMENTS	RECOMMENDATION
49	coast live oak / <i>Quercus agrifolia</i>	43" (4 trunks)	good	fair	OH power lines, co-dom. trnk	Remove to provide turn lane and sidewalk
50	coast live oak / <i>Quercus agrifolia</i>	23" (2 trunks)	good	fair	Co-dominant trunks @ 1'	Remove to provide turn lane and sidewalk
51	Chinese elm / <i>Ulmus parvifolia</i>	21"	fair	poor-fair		Shown as within development footprint
52	London plane / <i>Platanus x acerifolia</i>	23"	good	good		Shown as within development footprint
53	silver maple / <i>Acer saccharinum</i>	37"	good	poor	Over-mature	Shown as within development footprint
54	London plane / <i>Platanus x acerifolia</i>	27"	good	fair-good		Shown as within development footprint
55	London plane / <i>Platanus x acerifolia</i>	26"	good	fair-good		Shown as within development footprint
56	coast live oak / <i>Quercus agrifolia</i>	48" (3 trunks)	fair	poor	18" pruning cut N side	Shown as within development footprint
57	Oregon white oak / <i>Quercus garryana</i>	44" (3 trunks)	good	fair-good	OH power lines	Remove to provide turn lane and sidewalk
58	coast live oak / <i>Quercus agrifolia</i>	15"	good	fair	OH power lines	Remove to provide turn lane and sidewalk
59	coast live oak / <i>Quercus agrifolia</i>	11"	good	fair-good	OH power lines, co-dom. trnk	Remove to provide turn lane and sidewalk
60	coast live oak / <i>Quercus agrifolia</i>	17"	good	good	OH power lines	Remove to provide turn lane and sidewalk
61	Oregon white oak / <i>Quercus garryana</i>	17"	good	fair	J' trunk shape	eserve, no grading/planting within dripline, mulch c
62	Oregon white oak / <i>Quercus garryana</i>	9"	good	good	Forked @ 12"	eserve, no grading/planting within dripline, mulch c
63	coast live oak / <i>Quercus agrifolia</i>	17"	good	fair-poor	Co-dominant trunks @ base	eserve, no grading/planting within dripline, mulch c
64	coast live oak / <i>Quercus agrifolia</i>	13"	good	good		No grading or planting within dripline, mulch only.
65	California pepper tree / <i>Schinus molle</i>	40"	fair	ext poor		Remove.
66	coast live oak / <i>Quercus agrifolia</i>	27" (3 trunks)	good	fair	Co-dominant trunks @ 1' & 4'	eserve, no grading/planting within dripline, mulch c
67	Oregon white oak / <i>Quercus garryana</i>	14"	good	fair	Co-dominant trunks @ 5' & 8'	eserve, no grading/planting within dripline, mulch c
68	coast live oak / <i>Quercus agrifolia</i>	20"	very good	very poor	Co-dominant trunks	Shown as within development footprint
69	coast live oak / <i>Quercus agrifolia</i>	15"	good	good		No grading or planting within dripline, mulch only.
70	valley oak / <i>Quercus lobata</i>	60"+	poor	poor	Over-mature, R=60-70'E	Within creek setback
71	valley oak / <i>Quercus lobata</i>	30"	poor	v poor	broken apart	Within creek setback
72	Oregon white oak / <i>Quercus garryana</i>	16" + 14"	good	good	R= 30' S into project	Within creek setback

TREE #	SPECIES	TRUNK DIAMETER (in.) @ 4.5' above grade	HEALTH & VIGOR	STRUCTURAL INTEGRITY	COMMENTS	RECOMMENDATION
73	Oregon white oak / <i>Quercus garryana</i>	13"	good	good	Co-dom. trunks @ 8'; R= 25' S	Within creek setback
74	Oregon white oak / <i>Quercus garryana</i>	12"	good	good	R=30' S into project	Within creek setback
75	Oregon white oak / <i>Quercus garryana</i>	9"	fair	fair	Poison oak	Within creek setback
76	valley oak / <i>Quercus lobata</i>	12"	fair	fair	Leaning 40' S into project	Within creek setback
77	valley oak / <i>Quercus lobata</i>	15"	good	good	Upright crown	Within creek setback
78	valley oak / <i>Quercus lobata</i>	13"	fair-good	fair-good	R= 30' S into project	Within creek setback
79	valley oak / <i>Quercus lobata</i>	26"	fair-good	fair-good	Over-mature, debris @ base	Within creek setback
80	red ironbark / <i>Eucalyptus sideroxylon</i>	14"	poor	very poor	Sprout from dead base	Remove.
81	cherry plum / <i>Prunus cerasifera</i>	19" (4 trunks)	fair	poor	Weedy, escaped species	Remove.
82	Oregon ash / <i>Fraxinus latifolia</i>	70" (7 trunks)	good	fair-good	R= 10' S into project	Within creek setback
83	bay laurel / <i>Umbellularia californica</i>	41" (7 stems)	good	fair	On creek bank	Within creek setback
84	valley oak / <i>Quercus lobata</i>	20"	good	fair	On creek bank	Within creek setback
85	valley oak / <i>Quercus lobata</i>	19"	good	fair	Entangled w/ #85, poison oak	Within creek setback
86	valley oak / <i>Quercus lobata</i>	19"	good	fair		Within creek setback
87	valley oak / <i>Quercus lobata</i>	18"	good	fair		Within creek setback
88	valley oak / <i>Quercus lobata</i>	17"	good	fair	Poison oak, untagged	Within creek setback
89	Lombardy poplar / <i>Populus nigra 'Italica'</i>	12" @ 1'	Ext poor	Ext poor	Dead	Remove.
90	London plane / <i>Platanus x acerifolia</i>	16"	good	fair		Remove to provide turn lane and sidewalk
91	coast live oak / <i>Quercus agrifolia</i>	13" (2 trunks)	fair	fair	Grading over rootzone shown	Shown as within development footprint
92	valley oak / <i>Quercus lobata</i>	7"	good	good		No grading or planting within dripline, mulch only.
93	incense cedar / <i>Calocedrus decurrens</i>	29"	fair	good		No grading or planting within dripline, mulch only.
94	coast live oak / <i>Quercus agrifolia</i>	11"	good	fair		No grading or planting within dripline, mulch only.
95	Oregon white oak / <i>Quercus garryana</i>	15"	good	very good	Poison oak, untagged	No grading or planting within dripline, mulch only.
96	Oregon white oak / <i>Quercus garryana</i>	7"	good	fair-good		No grading or planting within dripline, mulch only.

Performance of Services - Arborist's Disclosure:

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of the trees and attempt to reduce the risk of living near trees. Arborists cannot detect every condition that could possibly lead to the structural or root failure of a tree. Since trees are living organisms, conditions are often hidden within the tree and below ground. Arborists cannot guarantee that a tree will be healthy and safe under all circumstance, or for a specific period of time. Likewise, remedial treatments cannot be guaranteed. Trees can be managed but they cannot be controlled. To live near trees is to accept some degree of risk and the only way to eliminate all risk associated with trees is to eliminate all of the trees. Trees were visually evaluated only; no aerial inspections or soil excavations were performed as part of this inspection. Only trees designated for removal were evaluated. No warranty, shall perform services in a manner consistent with the standard of care and skill ordinarily exercised by members of the profession practicing under similar circumstances in the geographic vicinity and at the time the services are performed, and use reasonable efforts to comply with all laws, rules and regulations of any governmental or regulatory agency applicable to the Services. No warranty, representation of guarantee, express or implied, is intended by this Agreement. Arborist is not responsible for the completion or quality of work that is dependent upon or performed by Client or third parties not under the direct control of Arborist or for their acts or omissions or for any damages resulting therefrom.



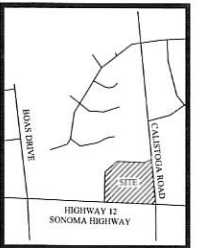
tangram  
LANDSCAPE ARCHITECTURE

944 RIPLEY STREET  
SANTA ROSA, CA 95401

P 707.527.7920  
E robcox@tangramia.com

CONCEPT LANDSCAPE PLAN  
THE SHOPS AT AUSTIN CREEK

5171 AND 7173 Sonoma Highway  
Santa Rosa, CA 95402  
APN 183-410-058, 060



VICINITY MAP

PROJECT NO. 1404

DRAWN BY RLC

SCALE AS SHOWN

DATE APRIL 2015

PHASE SCHEMATIC DESIGN

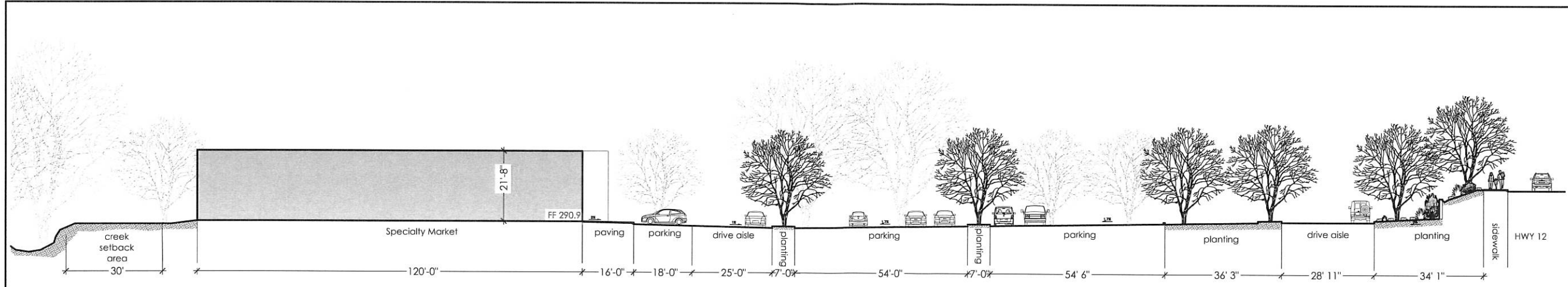
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ARBORIST DATA

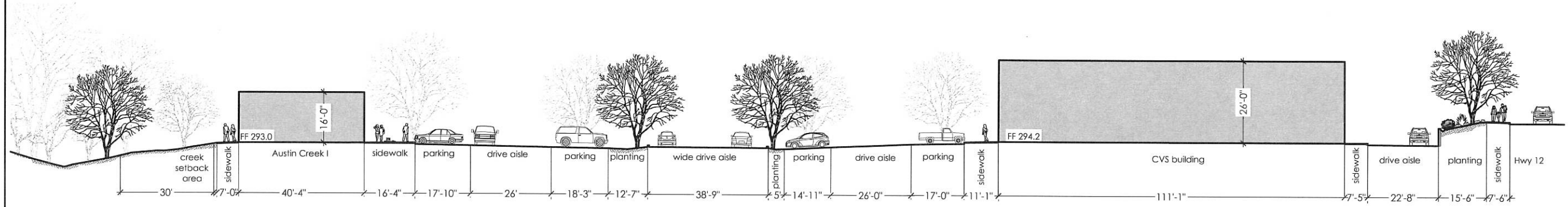
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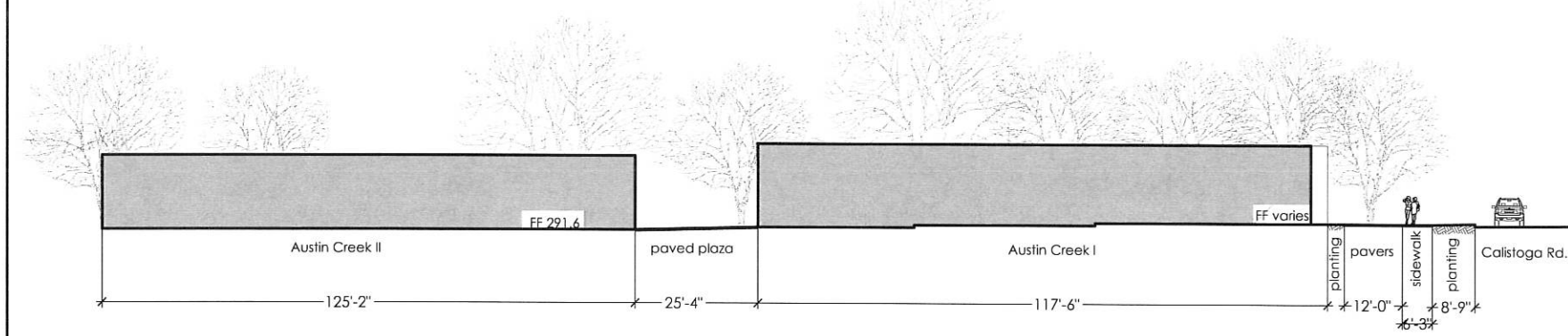




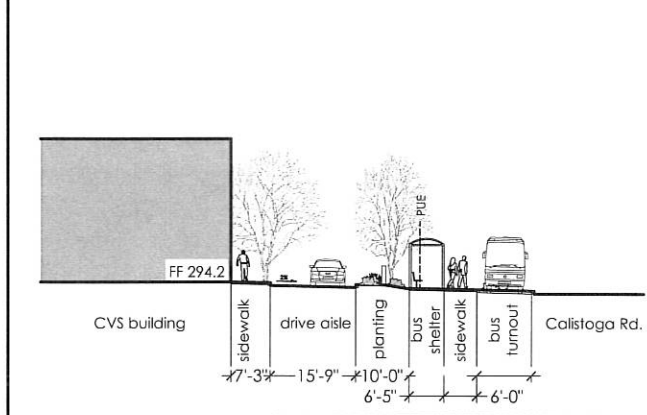
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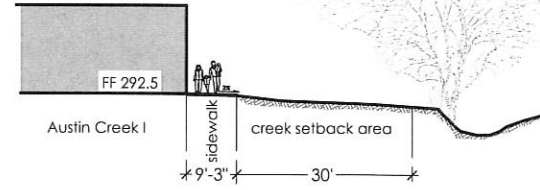
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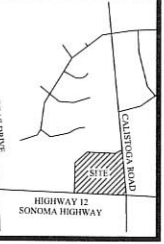
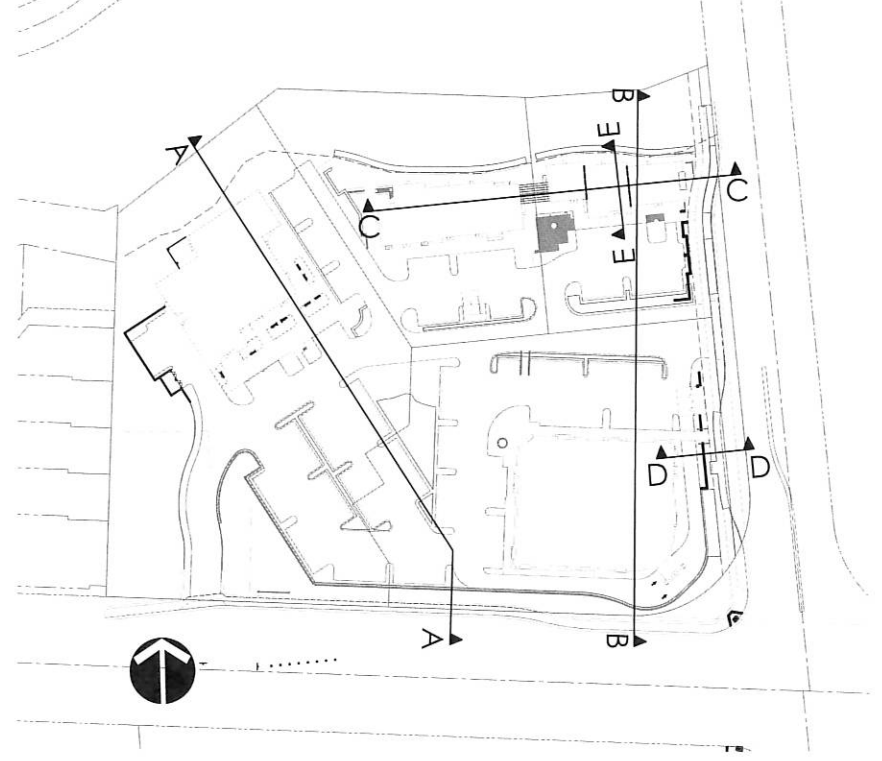
Section CC



Section DD



Section EE



VICINITY MAP

PROJECT NO.	1404
DRAWN BY	RLC
SCALE	AS SHOWN
DATE	APRIL 2015
PHASE	SCHEMATIC DESIGN

SHEET TITLE

SITE SECTIONS

SHEET NO.