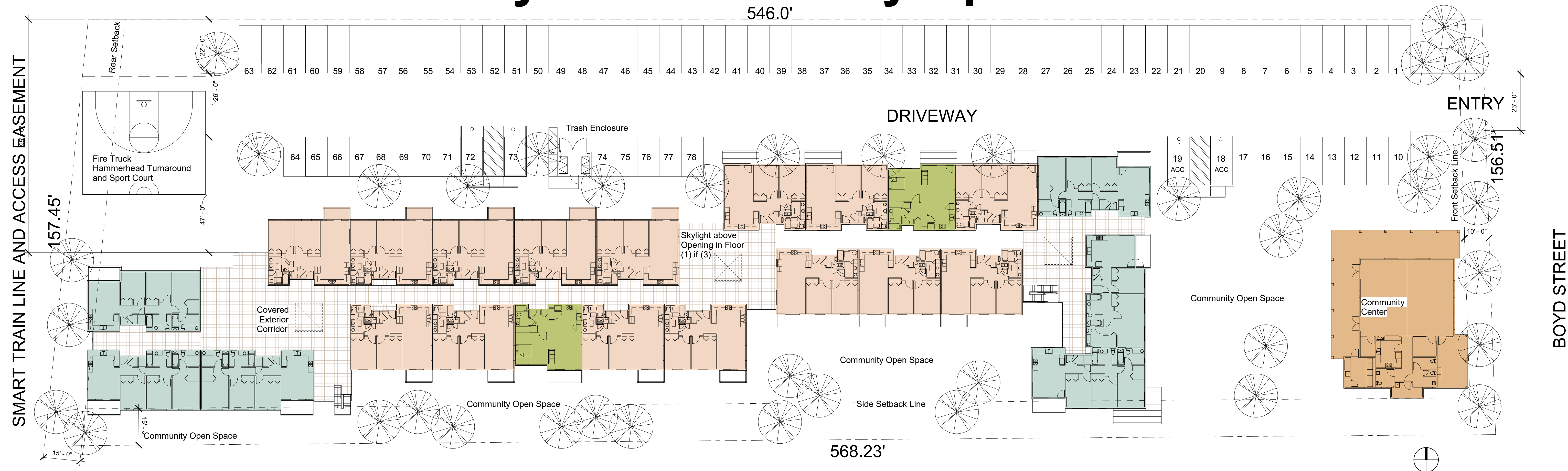


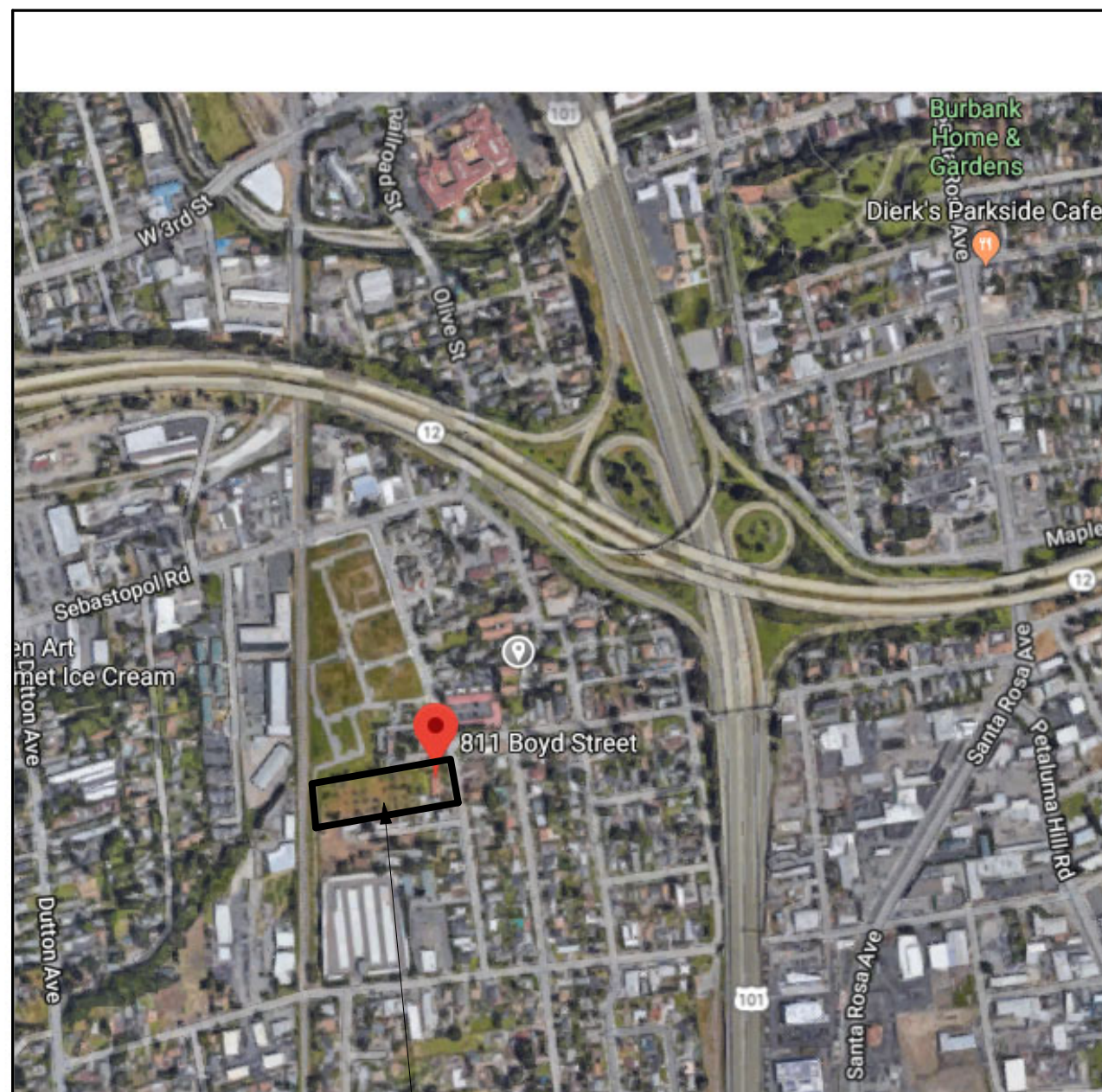
# 811 Boyd Street Family Apartments



Site Plan with Existing Neighborhood Context

Scale: 1" = 20'-0"

## VICINITY MAP



PROJECT SITE  
811 Boyd Street

## PROJECT INFORMATION

Project Address:	811 Boyd Street Santa Rosa, CA 95407
Assessor's Parcel #:	037-101-003
General Plan:	Medium Residential 18 units/acre
Proposed Density:	18 units/acre + 35% density increase allowed for 100% affordable project = 24 units/acre 1.91 acres x 24 = 46 units maximum allowed
Lot Size:	1.91 acres (83,199 square feet)
Lot Coverage:	40%
Building Height:	35' maximum allowed, 24'-6" proposed
Parking Required:	(12) 3 bedroom units x 2 stalls/unit = 24 stalls (30) 2 bedroom units x 2 stalls/unit = 60 stalls (4) 1 bedroom units x 1 stall/unit = 4 stalls Total Parking Stalls Required = 88 stalls Bicycles- 1 space per 4 units = 12 Bicycle Storage Spaces
Parking Provided:	78 Automobile Stalls -3% EV charging (3) are accessible, (1) is van accessible (46) bicycle stalls/storage lockers
Project Description:	811 Boyd Apartments is a 100% affordable family apartment project with two buildings, a residential apartment building and a Community Center. The residences are R2 occupancy. The Community Center is A3 and B occupancies. Both buildings are Type V, 1 hour rated, fully sprinkled. The residential building contains 46 apartment dwellings in a two story building. The unit types are 26% (12) three bedroom units, 65% (30) two bedroom units, and 9% (4) one bedroom units. An accessible route to all facilities and residential entrances is provided at the ground floor. 10% of the units on the ground floor are fully accessible. All the units on both floors are designed to be fully adaptable. 20,254 square feet of common and recreational open space at the ground level is proposed. 2,760 square feet of the open space is designated for fruit and vegetable growing (60 square feet/unit x 46 units = 2,760 sf). The adjacent 2,100 square foot Community Center is a one story building with a Leasing Office, Meeting Room, Fitness Room, Kitchen, and Common Laundry Room, Mailbox Area, Rest Rooms, Janitor and Storage Closets, and a 1,300 square foot covered porch at its north and east elevations.

## BUILDING AREA TABLE

Community Building:	2,100 sf Heated Building Area
TOTAL Area	1,300 sf Covered Porch 3,400 sf
Apartment Building:	
Level 1-	(6) three bedroom units 1,060 sf / unit 6,360 sf (15) two bedroom units 875 sf / unit 13,125 sf (2) one bedroom units 710 sf / unit 1,420 sf 23 units- heated space Level 1 20,905 sf
Level 1-	(23) Patios 80 sf / unit 1,840 sf
Level 2-	(6) three bedroom units 1,060 sf / unit 6,360 sf (15) two bedroom units 875 sf / unit 13,125 sf (2) one bedroom units 710 sf / unit 1,420 sf 23 units- heated space Level 1 20,905 sf
Level 2-	(23) Balconies 80 sf / unit 1,840 sf
TOTAL Heated Building Area:	41,810 sf
TOTAL Building Area with Patios and Balconies:	45,490 sf
Level 1- Common Covered Exterior Corridor and Stairways:	6,900 sf
Level 2- Common Covered Exterior Corridor:	6,700 sf
TOTAL Common Circulation:	13,600 sf
TOTAL Building Area at Level 1:	29,645 sf
TOTAL Building Area at Level 2:	29,445 sf
TOTAL Building Area:	59,090 sf
TOTAL Project Area:	62,490 sf

## SHEET INDEX

A1	Project Information
A2	Site Plan, Community Center Floor Plan
A3	Unit Type Floor Plans
A4	Apartment Building Massing Study, Existing Site Conditions
A5	Neighborhood Context and Site Analysis
A6	Perspective View
A7	Apartment Building Elevations
A8	Deck Section, Materials and Colors
A9	Community Center Perspective
A10	Community Center Perspective
A11	Community Center Perspective
A12	Community Center Elevations
L1	Landscape Plan

## PROJECT TEAM

Owner: Danco Communities	Architect: Hedgpeth Architects
Agent: Chris Dart, President	Warren Hedgpeth
5251 Ericson Way Arcata, CA 95521 ph. 707-825-1531 fax. 707-825-1918	2321 Bethards Drive Santa Rosa, CA 95405 ph. 707-523-7010 fax. 707-543-2328
cdart@danco-group.com mdibble@danco-group.com	warren@hedgpetharchitects.com ingrid@hedgpetharchitects.com

## Project Information Site Plan

March 1, 2019

811 Boyd Street Family Apartments  
Enter address here

A1



Hedgpeth Architects

707.523.7010 | www.hedgpetharchitects.com



Site Area Analysis:

Parcel Size: 83,199 square feet

Ground Floor Open Area:

Driveway and Parking: 29,900 square feet  
Common Open Recreational Space: 20,254 square feet  
(2,760 square feet of which is designated for Food Growing Garden)

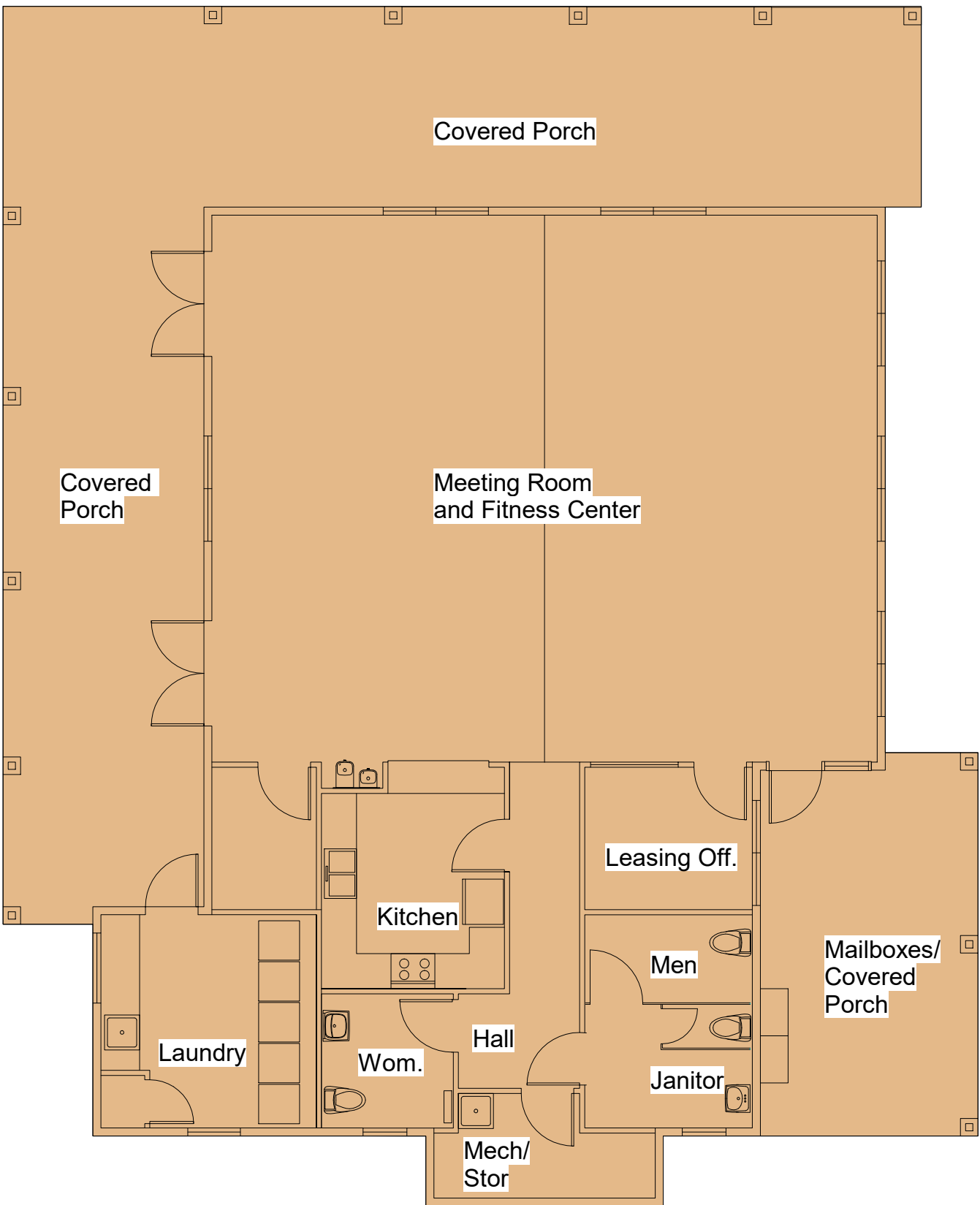
Ground Floor Building Coverage:

Apartment Units (with patios) 22,745 square feet  
Covered Exterior Corridor and Stairs 6,900 square feet  
Community Building 3,400 square feet  
Total Building Coverage at Ground Floor: 33, 045 square feet

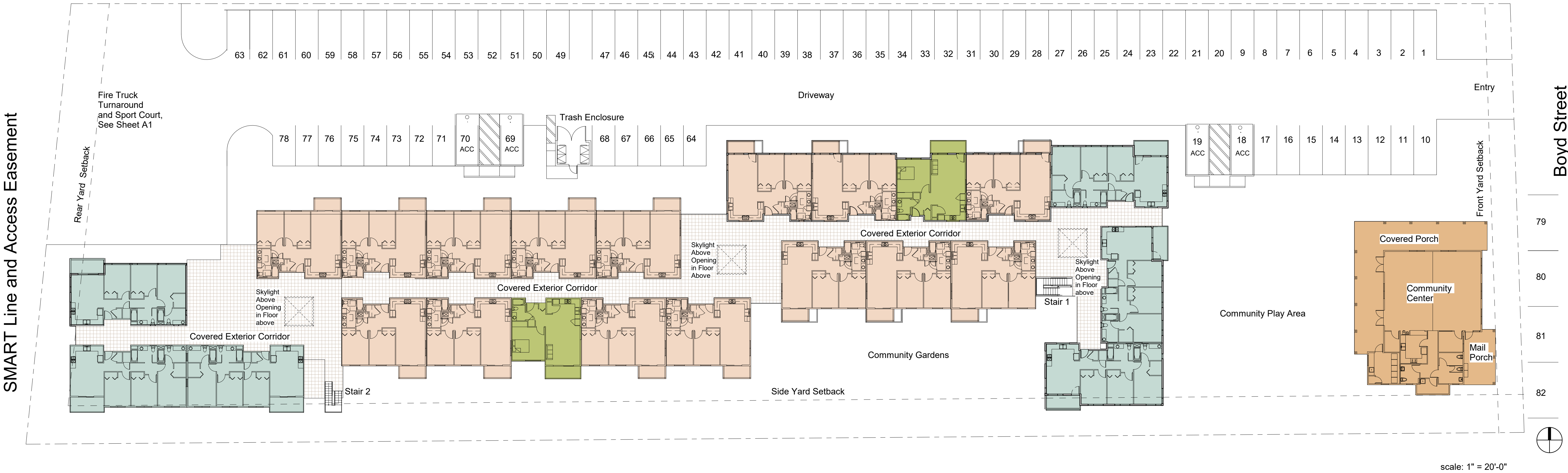
Lot Coverage: 40%

Community Center

2,100 square feet interior  
1,300 square feet covered porches

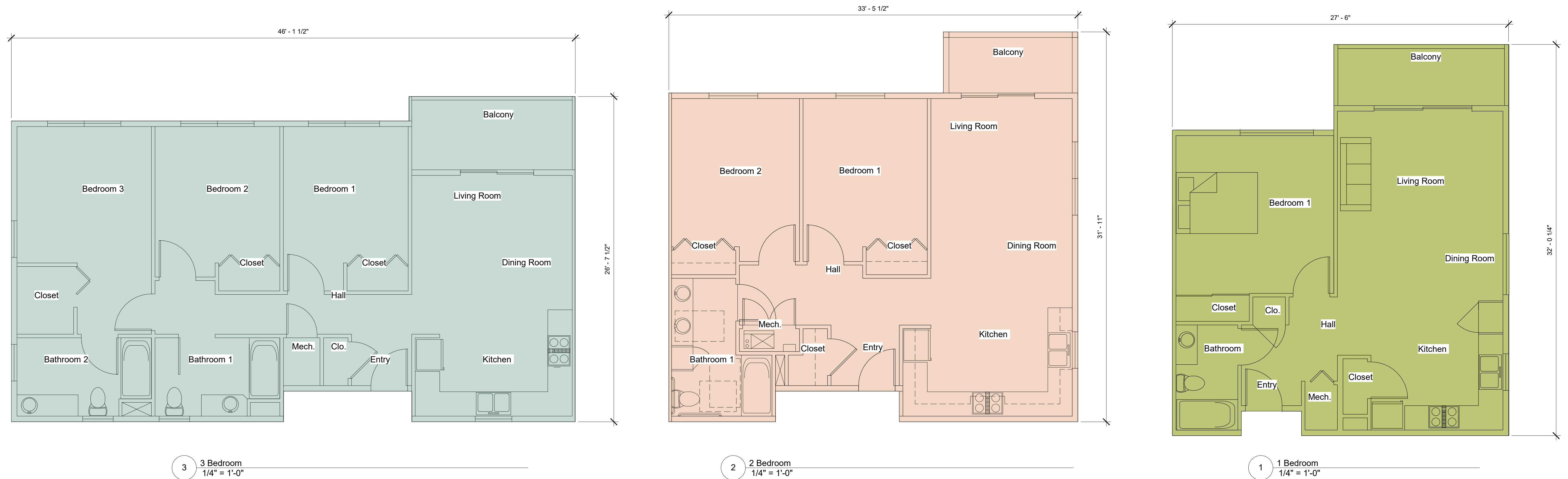


2 Community Center  
1/8" = 1'-0"



Ground Floor Plan





## APARTMENT UNIT TYPES

**3 Bedroom / 2 Bathroom Apartment**  
1,060 square feet interior  
80 square feet patio

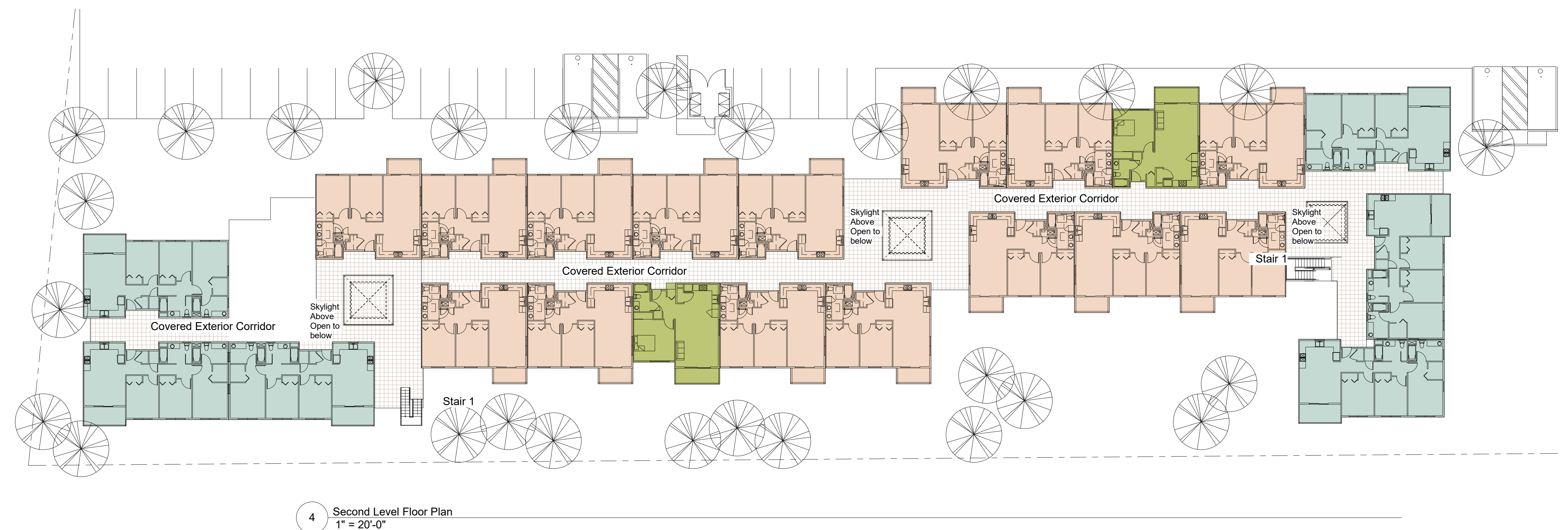
Ground Floor- 6 three bedroom units  
Second Floor- 6 three bedroom units

**2 Bedroom / 1 Bathroom Apartment**  
875 square feet interior  
80 square feet patio

Ground Floor - 15 two bedroom units  
Second Floor - 15 two bedroom units

**1 Bedroom / 1 Bathroom Apartment**  
710 square feet interior  
80 square feet patio

Ground Floor - 2 one bedroom units  
Second Floor - 2 one bedroom units



## Unit Type Floor Plans and Second Level Apartment Building Floor Plan



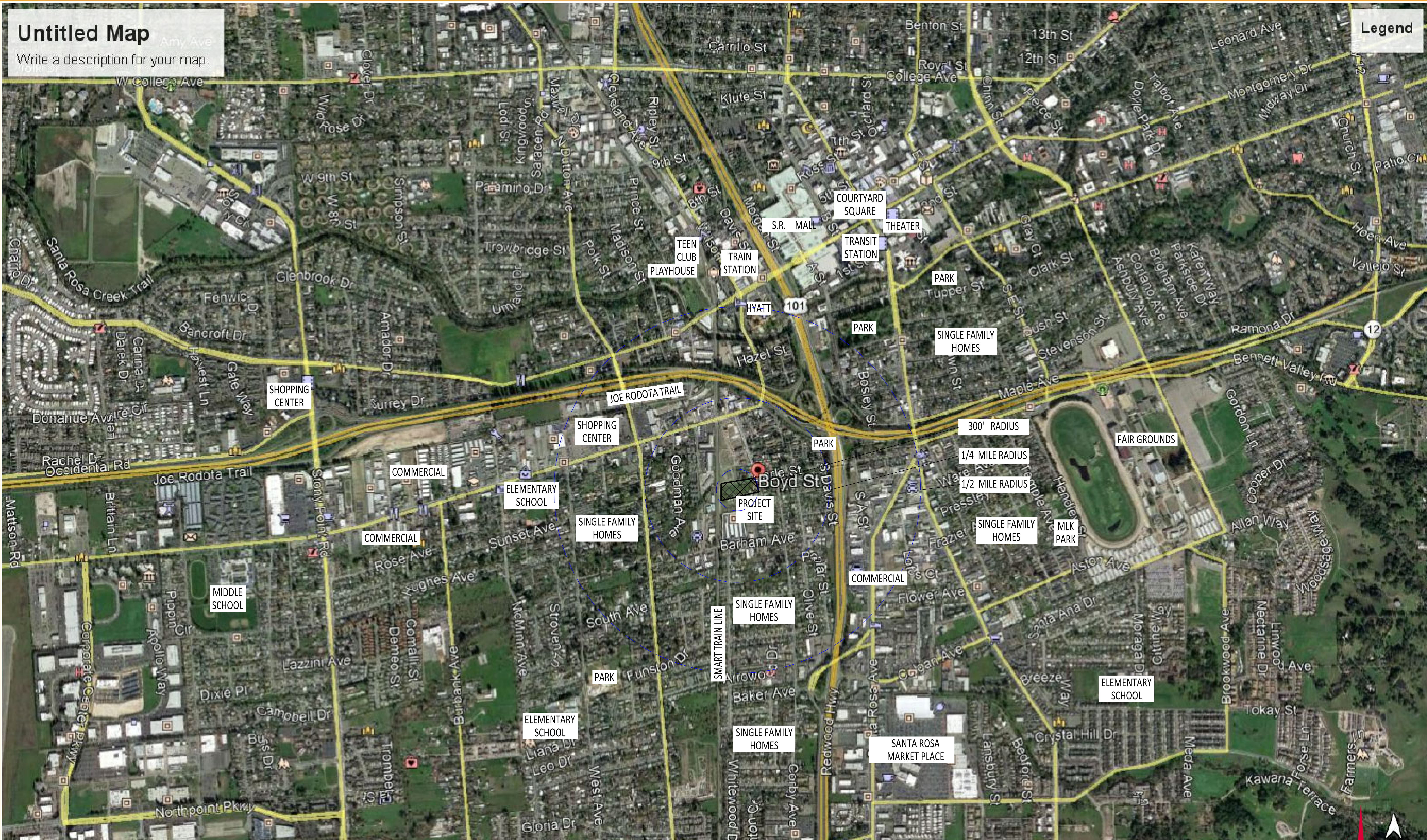
**Hedgpeth Architects**  
707.523.7010 | [www.hedgpetharchitects.com](http://www.hedgpetharchitects.com)

March 1, 2019

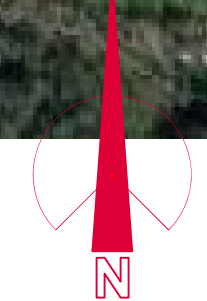
811 Boyd Street Family Apartments  
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**A3**





Site Context Map







West Boundary (rear) of site looking north



Boyd Street at Site looking south



West Boundary (rear) of site looking east



East- Boyd Street view of site looking north



1 Perspective View from Driveway Entrance

## Apartment Building Massing Study, Existing Site Conditions





Perspective View Apartment Building







WEST ELEVATION



SOUTH ELEVATION

## Apartment Building Elevations



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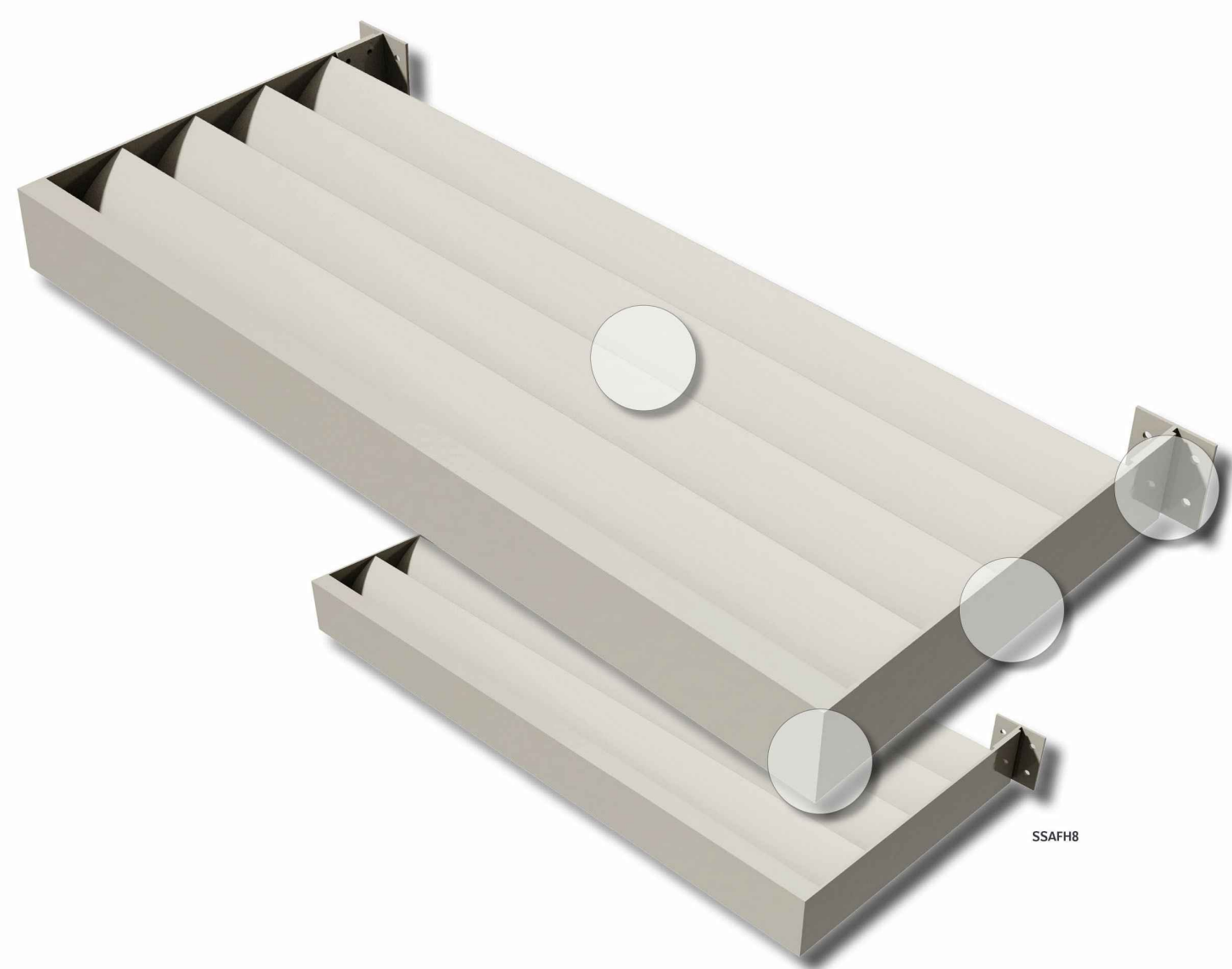
March 1, 2019

811 Boyd Street Family Apartments  
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**A7**



SUN CONTROL SUNSHADES



MODEL	MIN. DIM.	MAX. DIM.	DEPTH	BLADE ANGLE	BLADE STYLE	BLADE ORIENTATION
SSAFH	12" x 12"	CONSULT FACTORY	VARIABLE	VARIABLE	ARROW	HORIZONTAL
SSEGH	12" x 12"	CONSULT FACTORY	VARIABLE	90°	EGG CARTON	HORIZONTAL
PHB637HEDD	12" x 12"	CONSULT FACTORY	VARIABLE	VARIABLE	RECTANGULAR TUBE	HORIZONTAL
PHM	12" x 12"	CONSULT FACTORY	VARIABLE	45°	Z-SHAPE	HORIZONTAL

\*For the most current catalog information please visit [www.ruskin.com](http://www.ruskin.com), or use the Ruskin® Online Louver Selection Tool.

**RUSKIN® LOUVER COLORS**

STANDARD COLORS

BONE WHITE, PORTLAND STONE, LIGHT STONE, FINE GREEN, MARRON, CONCRETE, CHARCOAL, BLACK, MEDIUM BRONZE, PURP

PERMANENT COLORS

DARK BRONZE, MEDIUM BRONZE, CHAMPAGNE BRONZE, MISTY BLUE, WHITE, CREAM, BEIGE, BROWN, RED, BLUE, GREEN, PURP

\*More can match any color!

**SUNSHADE BLADE STYLES**

ARROW, Z-SHAPE, RECTANGULAR TUBE, EGG CARTON

**FASCIA STYLES**

CHANNEL, ROUND

\*More shapes at [www.ruskin.com](http://www.ruskin.com)

Sun Control Device

HardiePlank® Lap Siding  
**SMOOTH**

You can't go wrong with this simple, clean look. Try it on ranches or breezy coastal homes

Iron Gray 23 finishes

More ColorPlus® Technology colors are available near you...

THICKNESS: 0.312"

LENGTHS: 144" boards

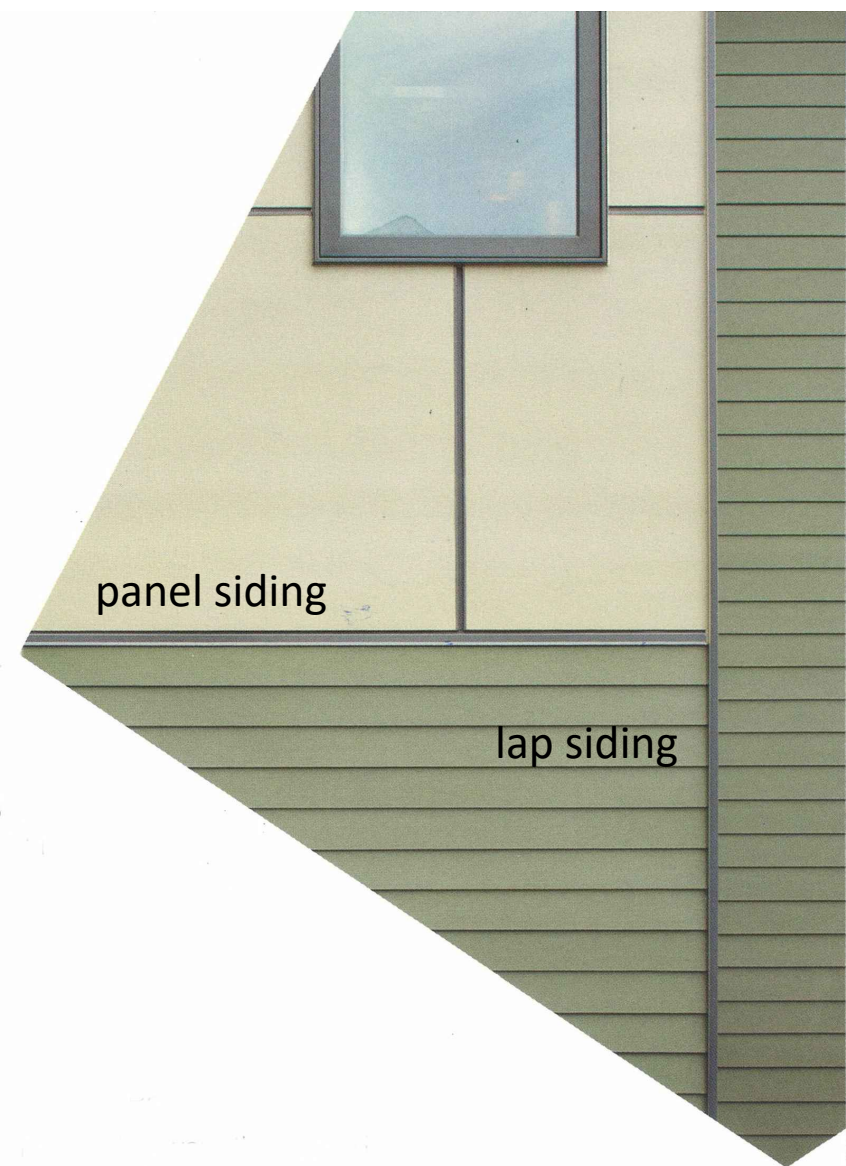
WIDTHS: 12"\*, 6.25", 7.25", 8.25", 9.25"\*

EXPOSURES: 10.75", 5", 6", 7", 8"

\*Sizes/exposures not available in ColorPlus® Technology, only primed.



Smooth Lap Siding



HardiePanel® Vertical Siding  
**SMOOTH**

You can't go wrong with this simple, versatile look. Use to emphasize height (on low porch walls or in gables, for example) or lend drama to an entryway.

Pearl Gray 23 finishes

More ColorPlus® Technology colors are available near you...

THICKNESS: 0.312"

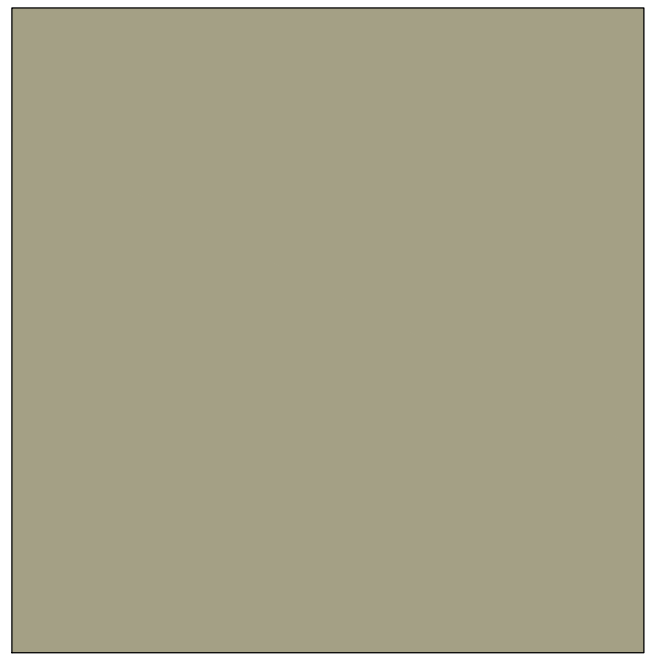
LENGTHS: 108"\*, 120", 96"

WIDTHS: 48", 48", 48"

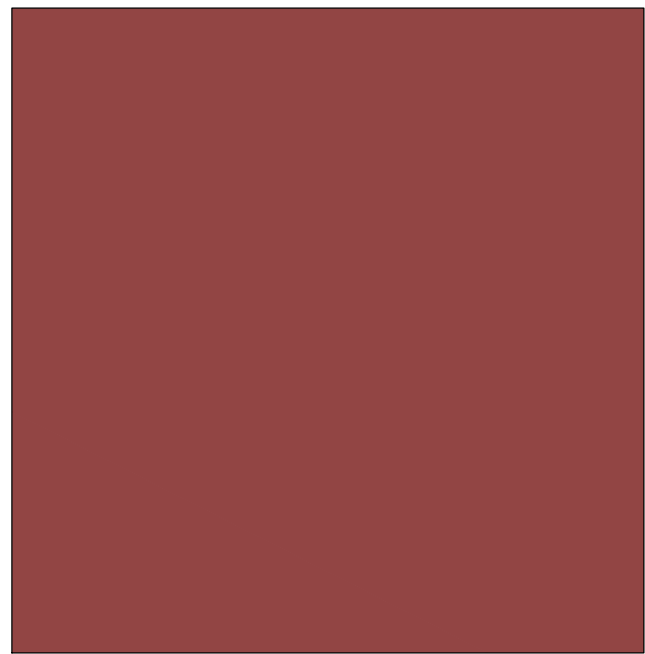
\*Sizes/exposures not available in ColorPlus® Technology, only primed.



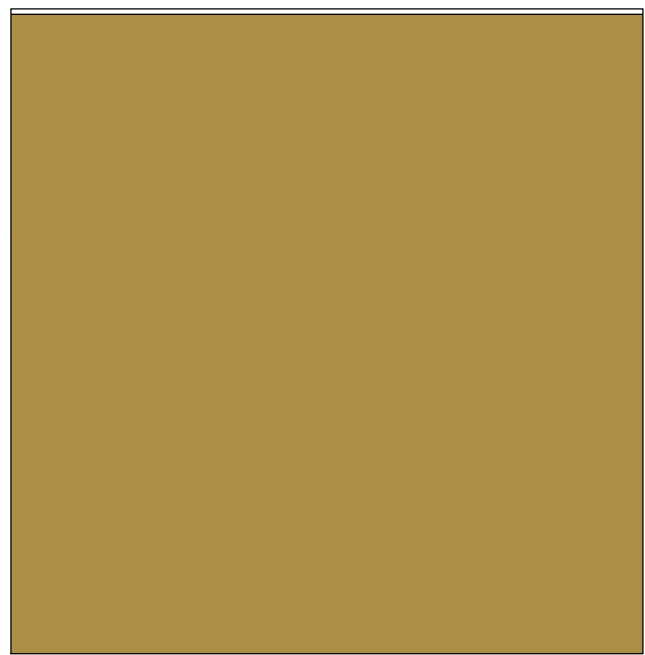
Smooth Siding



Body  
Benjamin Moore #2142-40  
Dry Sage



Metal  
Benjamin Moore #2084-20  
Maple Leaf Red



Pop-outs  
Benjamin Moore #2151-20  
Golden Chalice



Formal Reference Point "Y" House - Steven Holl, Architect

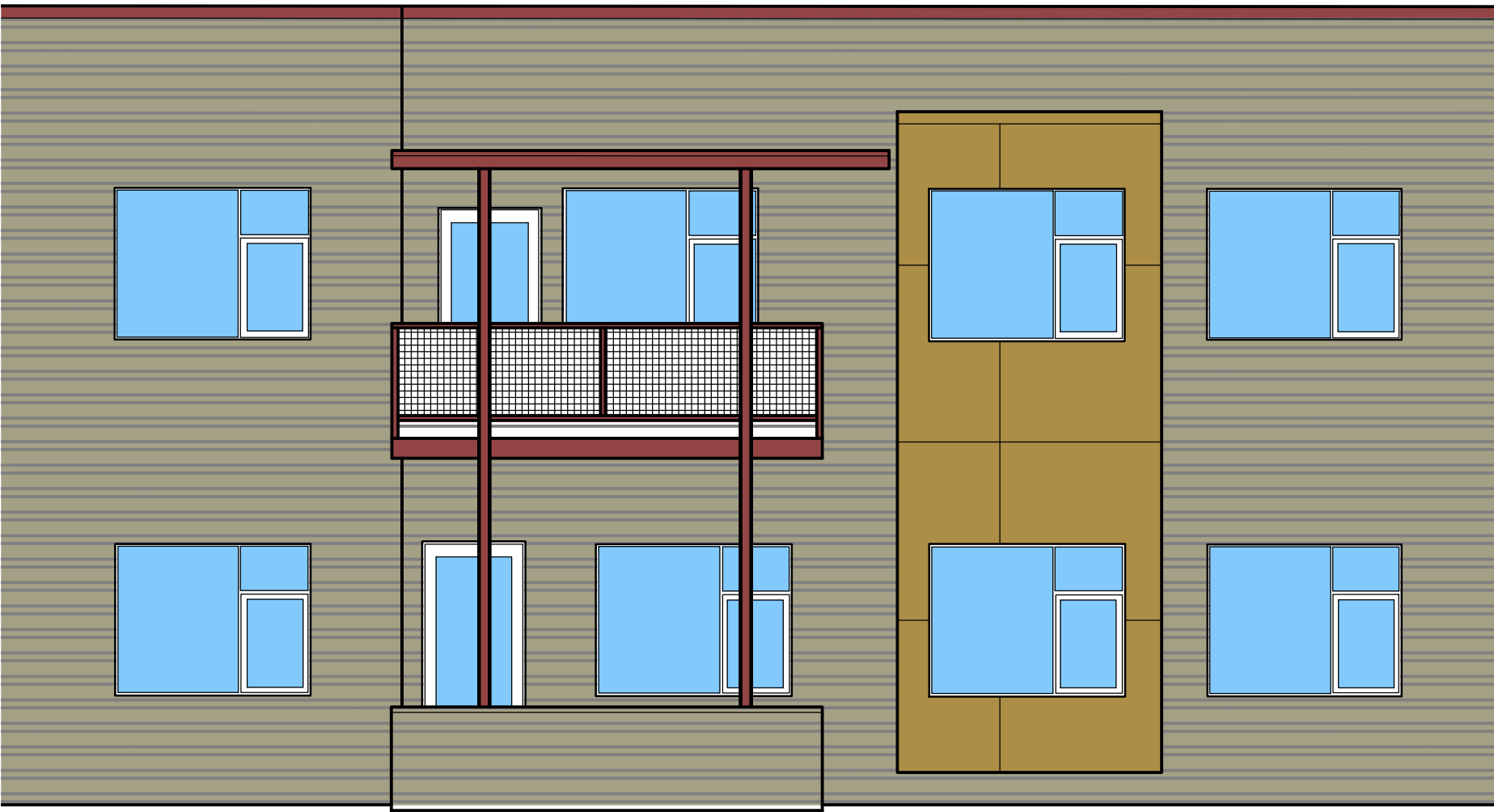


Tuscany

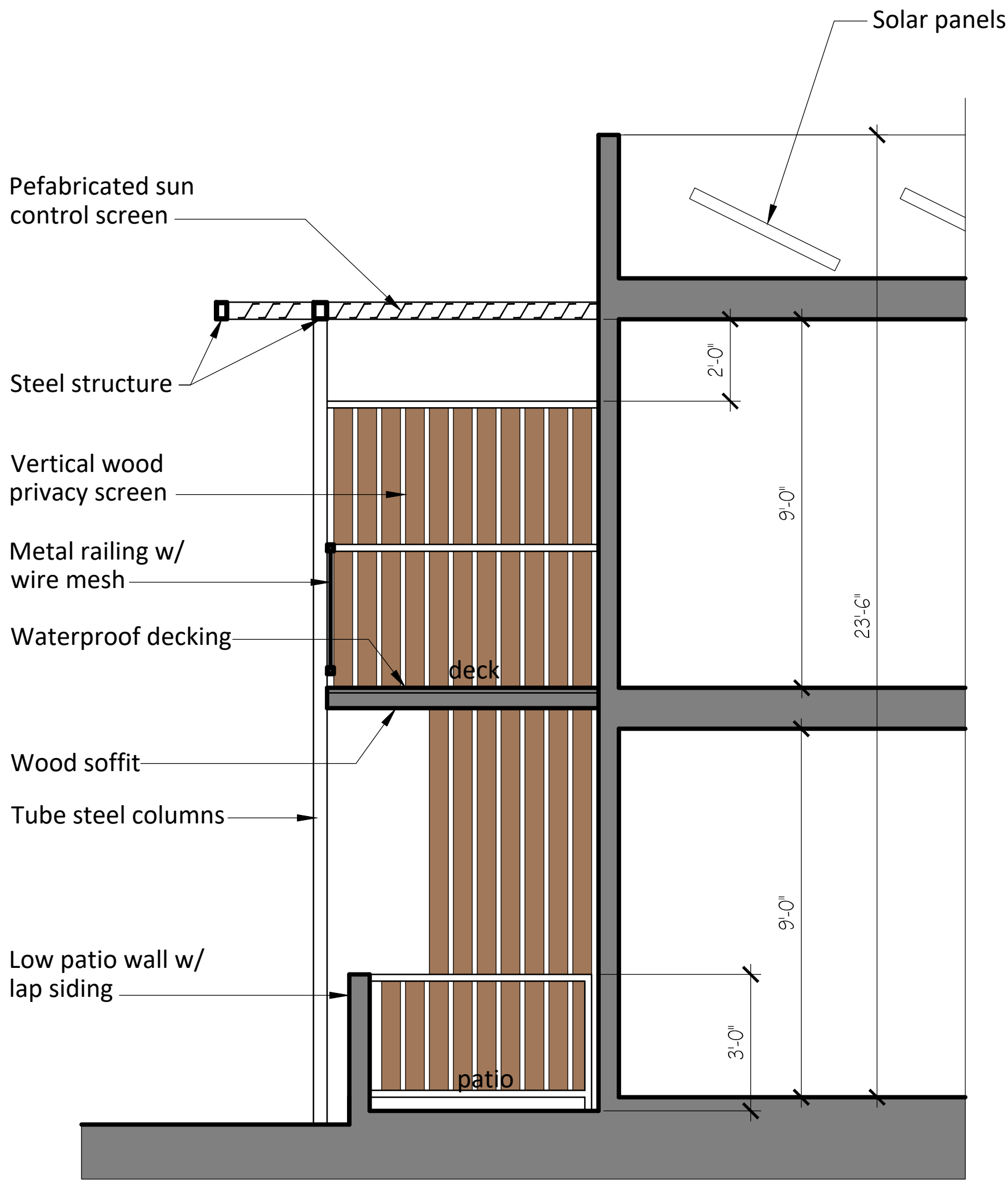


Luxor

Exterior Wall Sconces



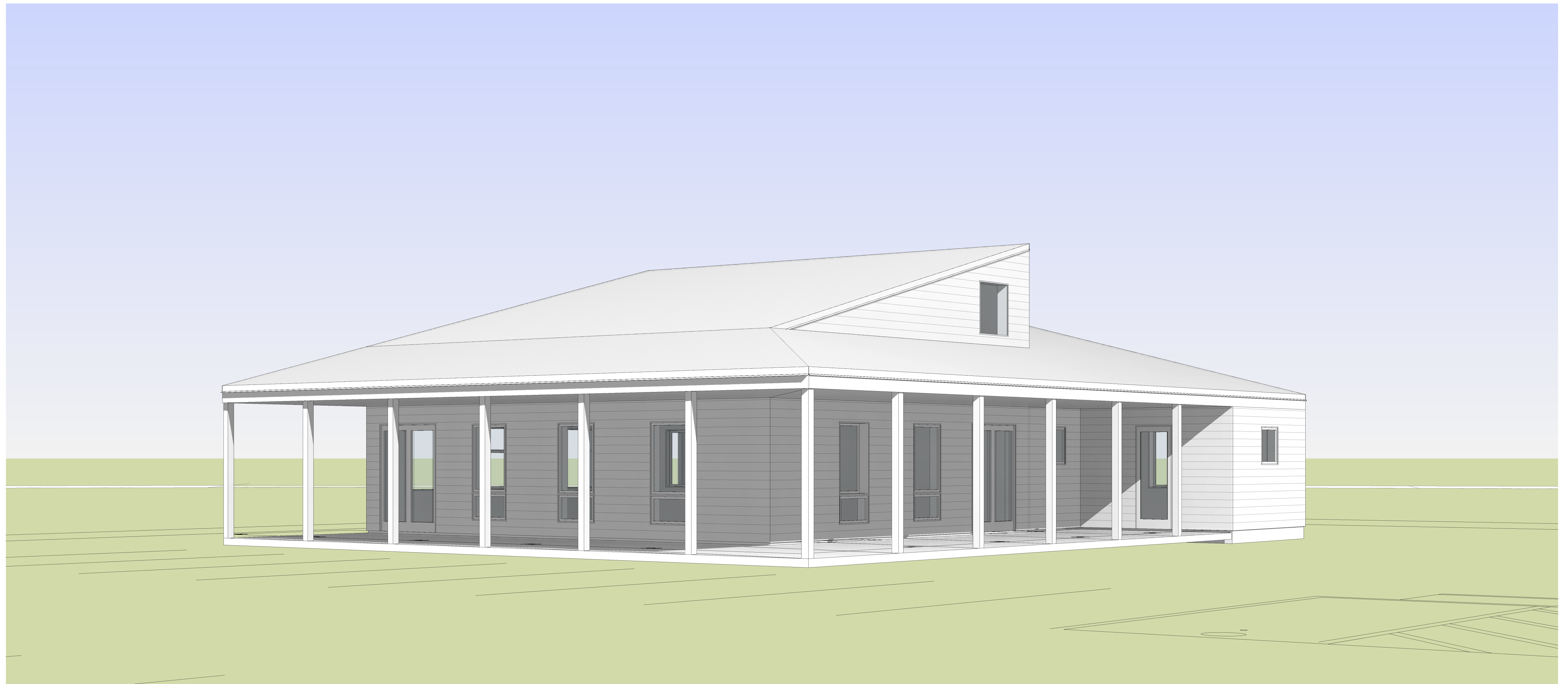
Deck Elevation



Deck Section

Materials, Colors and Deck Section

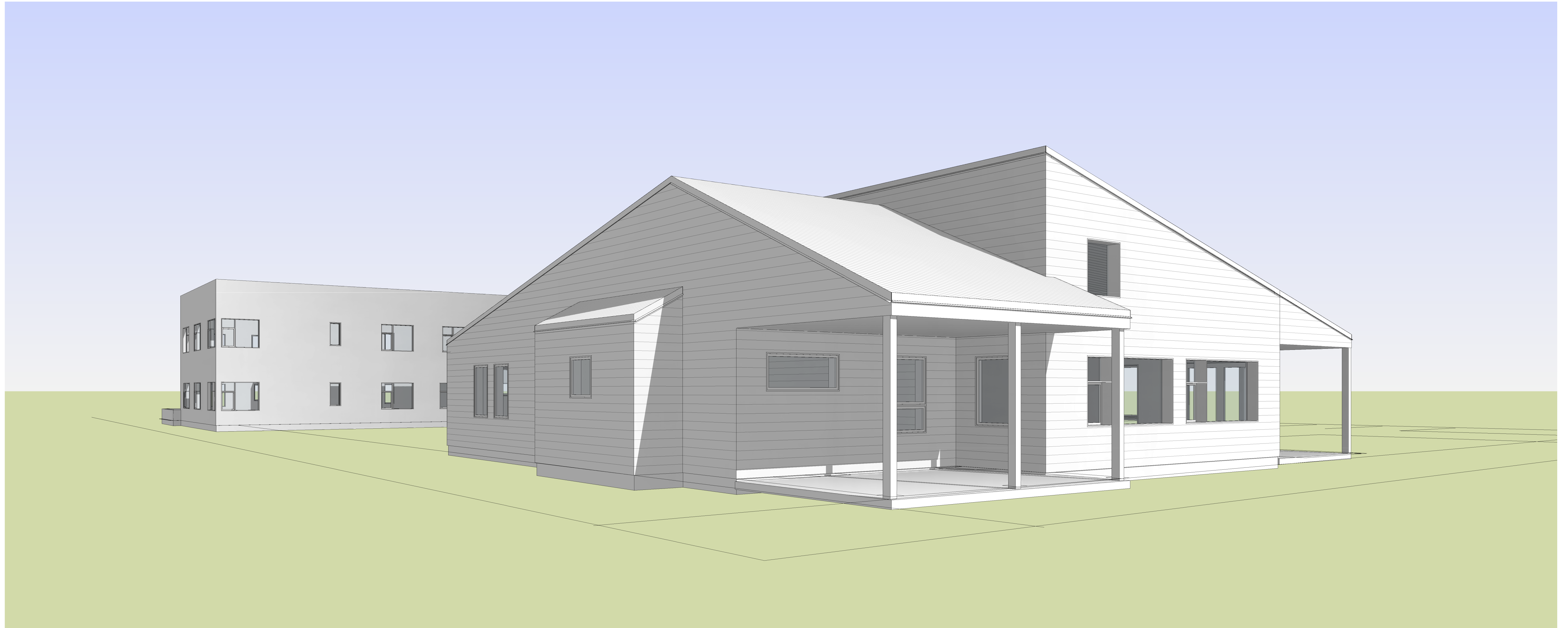




Community Center - Perspective View from Apartment Building







Community Center - Perspective View from Boyd Street



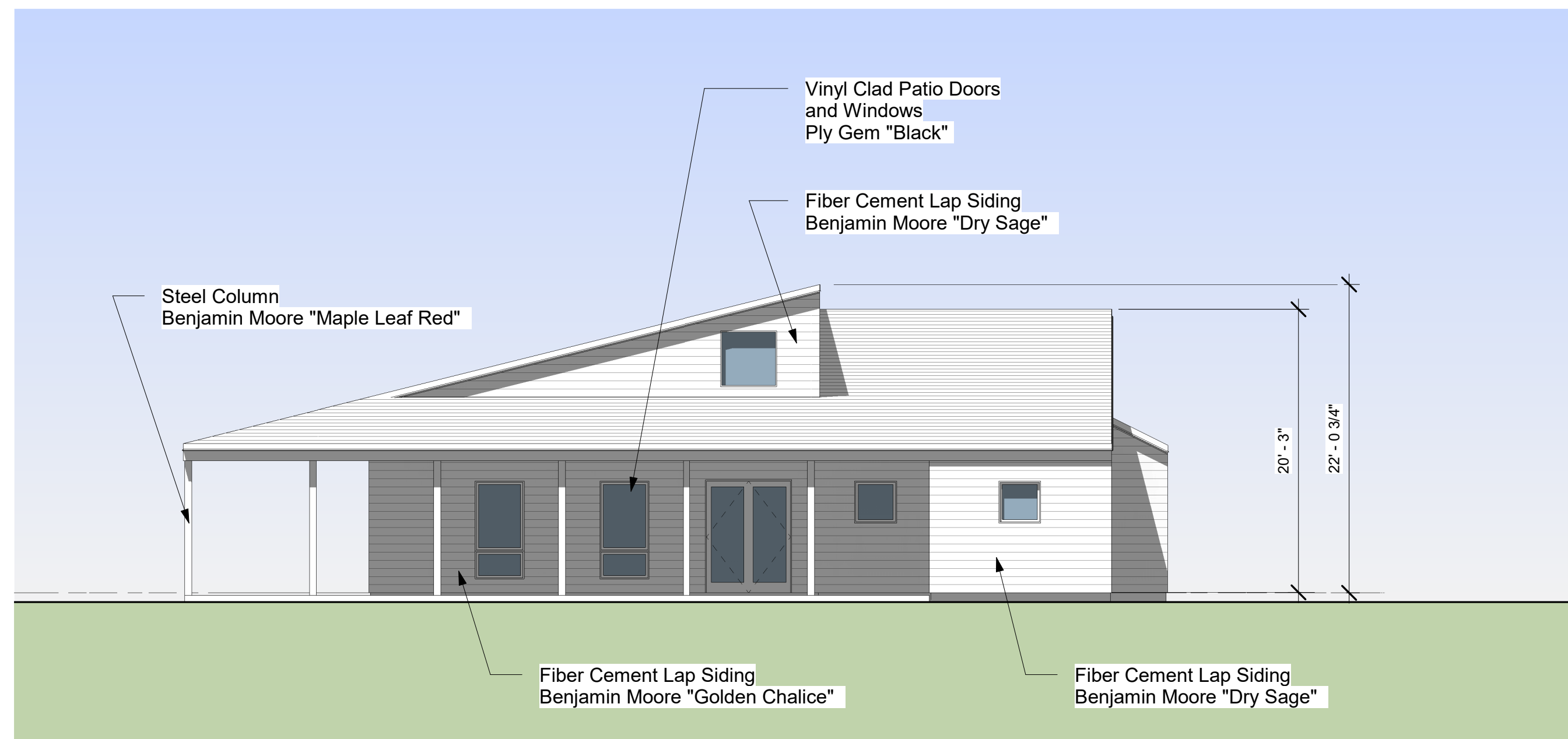




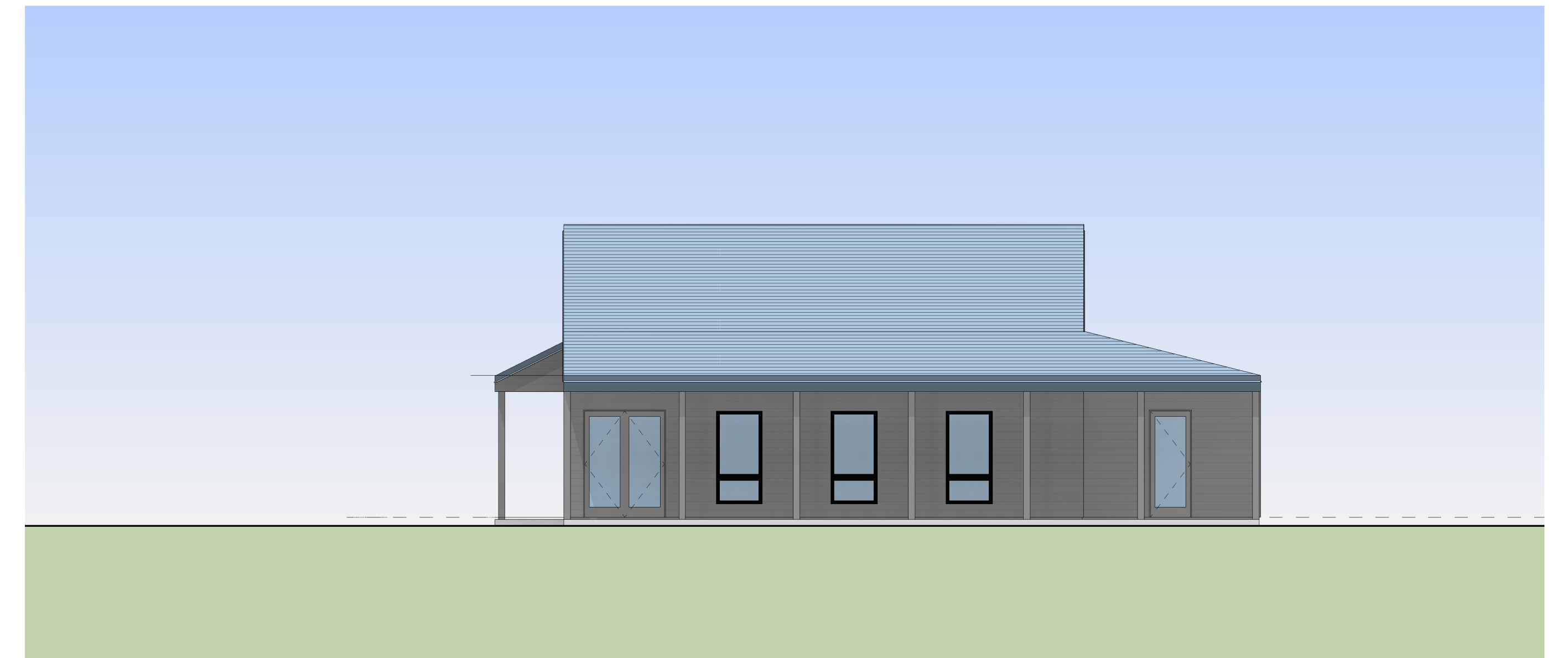
Community Center - Perspective View from Driveway Entrance



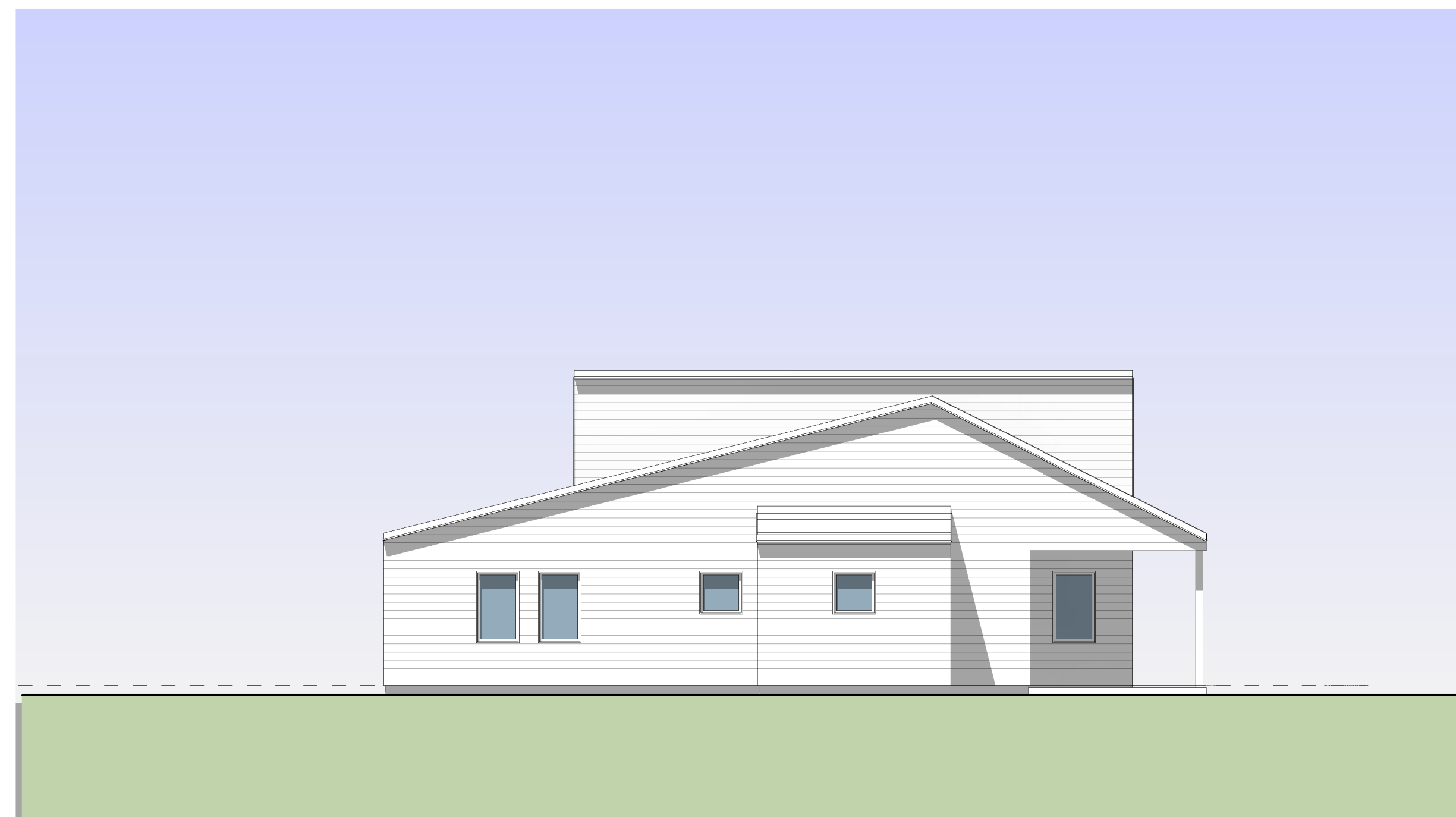




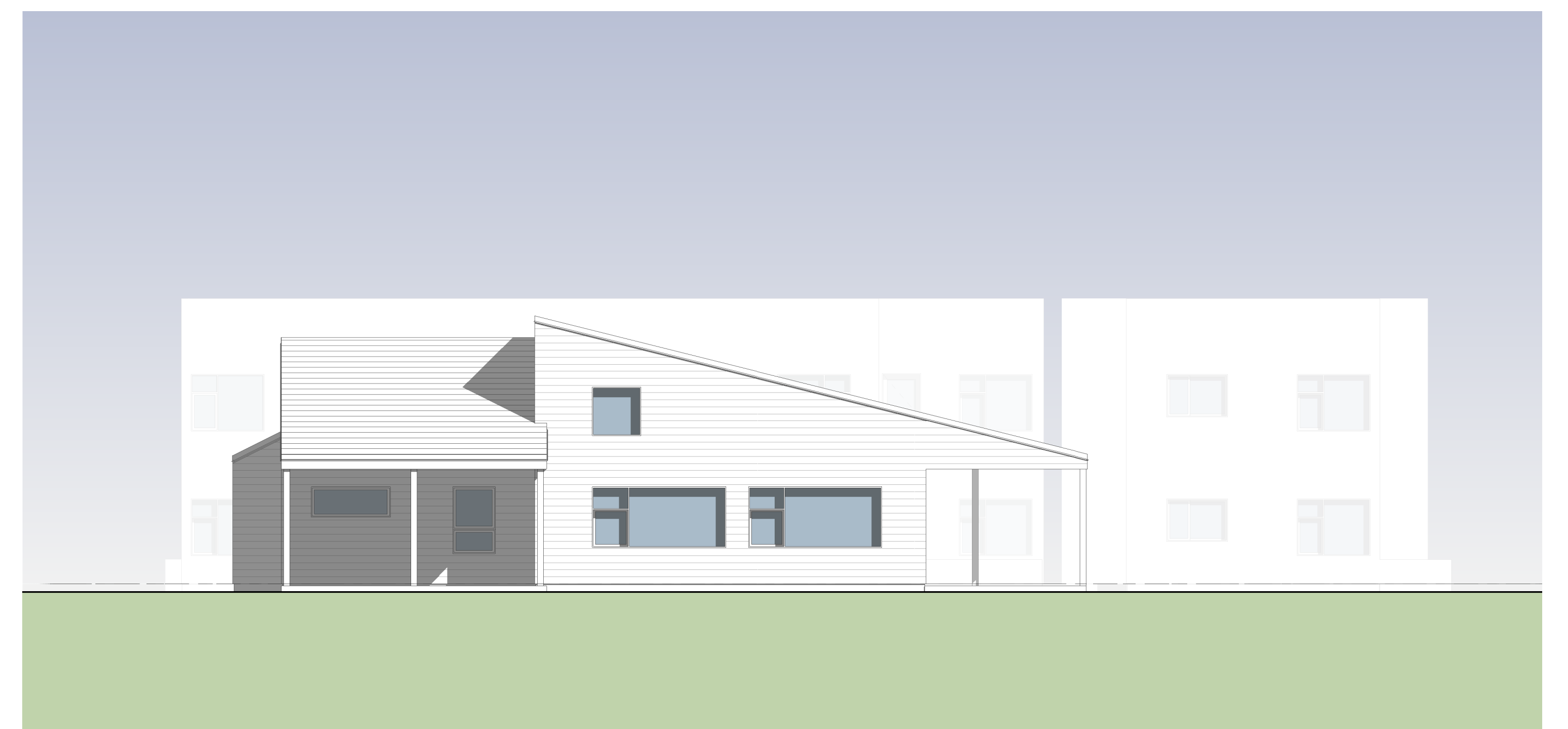
4 Community Building West  
1/8" = 1'-0"



2 Community Building North  
1/8" = 1'-0"



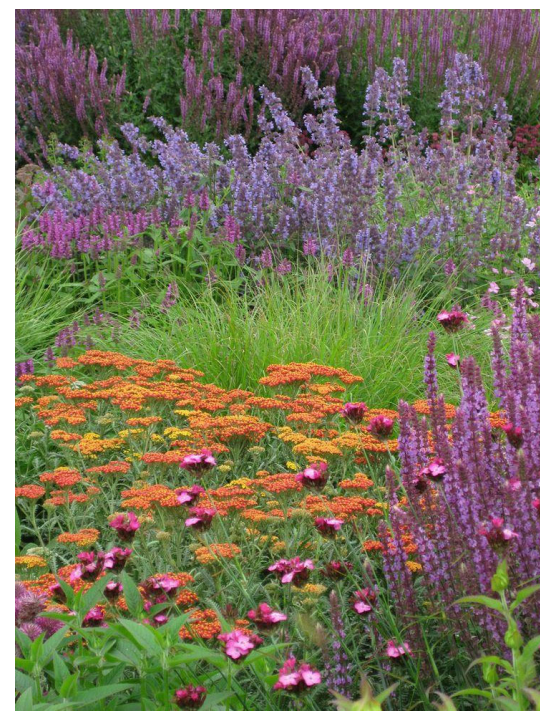
3 Community Building South  
1/8" = 1'-0"



1 Community Building East  
1/8" = 1'-0"

## Community Center Elevations





Low Water Perennials



Low water perennials



Mahonia aquifolium  
Dry Shade Shrub



Acorus gramineus variegatus "Ogon"  
Dry Shade Groundcover



Vitis Californica - visual buffer



Low-water landscape



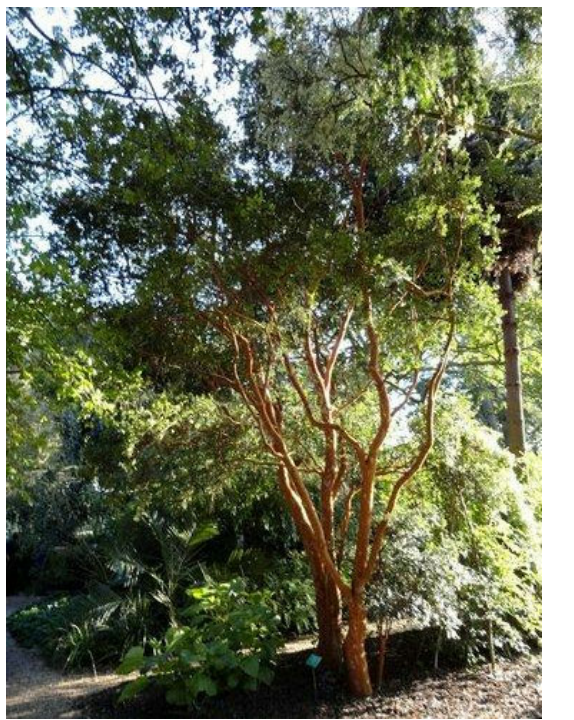
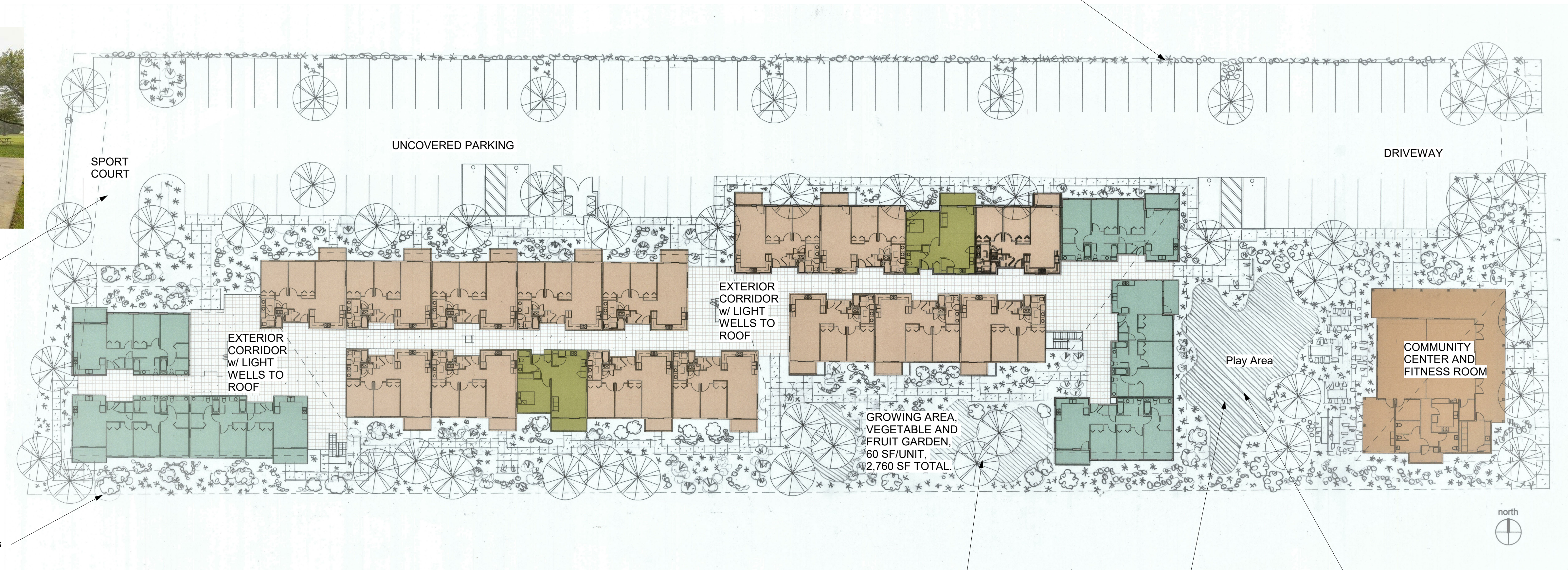
Carex "Prairie Fire"  
low water use groundcover



Basketball Half Court  
at Firetruck Turnaround



Horizontal Board Privacy  
Fence - 6' high at north,  
west, and south boundaries



Luma Apiculata -  
30' high evergreen flowering tree



Cotinus -  
15' high evergreen shrub/tree



Low Water Perennials



Low Water Perennials



Community Growing Garden



Play Structures on artificial turf



Play Structure artificial turf

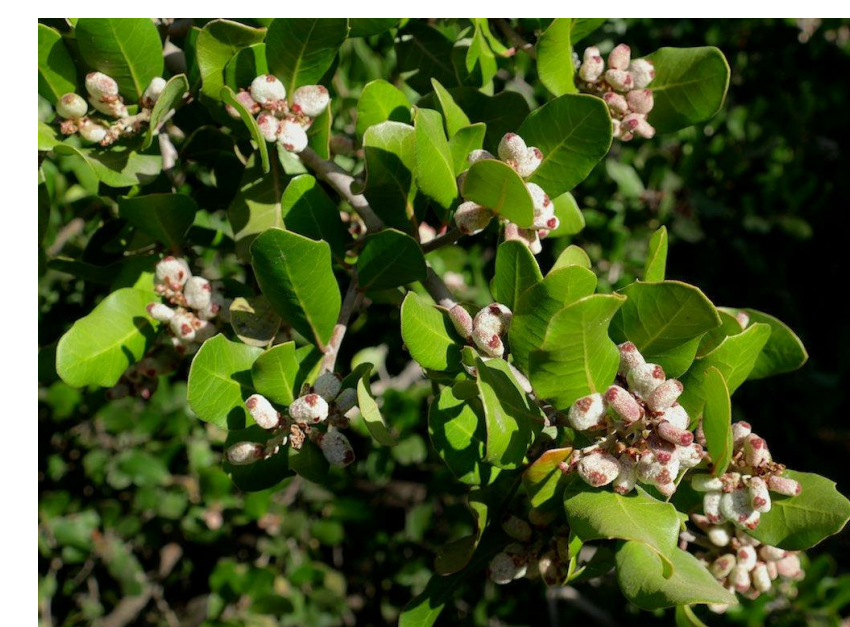


Low Water Perennials

#### VERY LOW WATER USE PERENNIALS -

Acanthus mollis  
Achillea  
Artemisia  
Calamagrostis x acutiflora 'Karl Foerster'  
(feather reed grass)  
Ceratostigma plumbagino  
Euphorbia  
Eschscholzia californica  
Festuca Glauca (blue fescue)  
Helictotrichon sempervirens (blue oat grass)  
Helleborus  
Iris

Kniphofia  
Leonitis  
Miscanthus Sinensis (maiden grass)  
Monardella  
Muhlenbergia rigens (deergrass)  
Origanum  
Penisetum Orientale (fountain grass)  
Santolina  
Salvia  
Schizachrium scoparium (little bluestem)  
Senecio



Rhus Integrifolia  
Low Water Evergreen Shrub



Arctostaphylos Emerald Carpet  
Low Water Evergreen Groundcover

## Landscape Plan

March 1, 2019



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L1