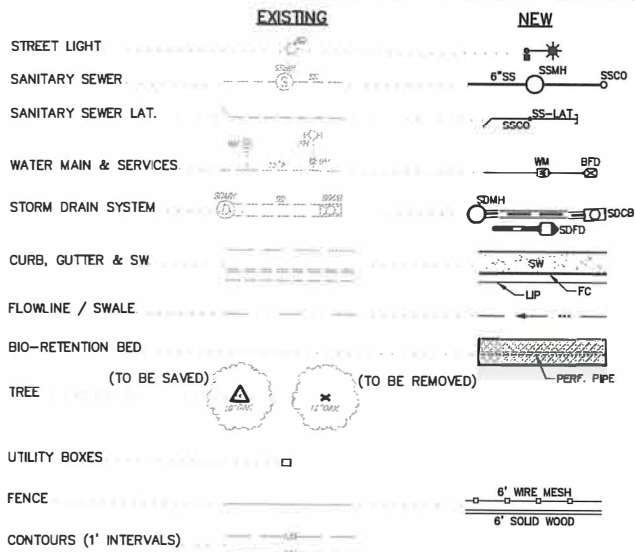


BAGGETT COTTAGES

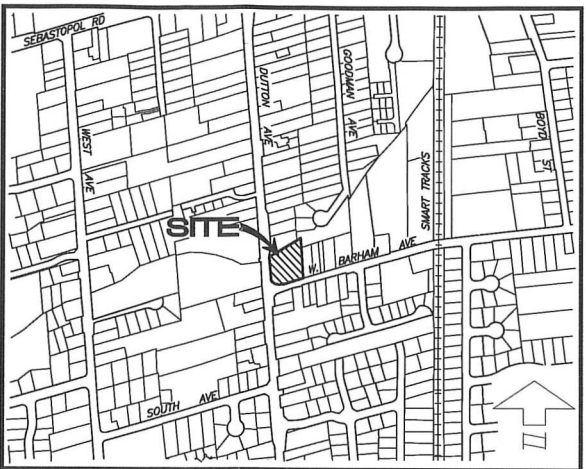
TENTATIVE MAP

LEGEND



ABBREVIATIONS

AB	AGGREGATE BASE	NO	NUMBER
AC	ASPHALT CONCETE	P	PARKING
ADU	ACCESSORY DWELLING UNIT	PAE	PRIVATE ACCESS EASEMENT
APN	ASSESSOR'S PARCEL NUMBER	PDE	PRIVATE DRAINAGE EASEMENT
BFD	BACK FLOW DEVICE	PL	PROPERTY LINE
BLDG	BUILDING	PME	PUBLIC MAINTENANCE ESMT.
BO	BLOWOFF	PLNTR	PLANTER
BSL	BUILDING SETBACK LINE	PUE	PUBLIC UTILITY EASEMENT
CL	CENTERLINE	PVT	PRIVATE
CONC	CONCRETE	R	RADIUS
C&G	CURB AND GUTTER	R/W	RIGHT OF WAY
DN	DOCUMENT NUMBER	SD	STORM DRAIN
EX	EXISTING	SDCB	STORM DRAIN CATCH BASIN
EG	EXISTING GRADE	SDMH	STORM DRAIN MANHOLE
ESMT	EASEMENT	SS	SANITARY SEWER
FC	FACE OF CURB	SSCO	SANITARY SEWER CLEAN OUT
FD	FIELD DRAIN	SSMH	SANITARY SEWER MANHOLE
FG	FINISHED GRADE	ST	STREET
FH	FIRE HYDRANT	STD	STANDARD
FL	FLOWLINE	SW	SIDEWALK
GB	GRADE BREAK	SWE	SIDEWALK EASEMENT
GV	GATE VALVE	T	TRAVEL WAY
HP	HIGH POINT	TC	TOP OF CURB
IFO	IN FAVOR OF	TYP	TYPICAL
IG	INVERT GRADE	UE	PRIVATE UTILITY EASEMENT
L	LENGTH	VERT	VERTICAL
LAT	LATERAL	W	WATER MAIN
LL	LOT LINE	WM	WATER METER
LP	LOW POINT	WS	WATER SERVICE
LT	LIGHT	WV	WATER VALVE



LOCATION MAP

NO SCALE

BENCHMARK

CITY OF SANTA ROSA BENCHMARK 0372, BEING A FOUND 2-1/2" COUNTY DISK IN WELL MONUMENT ON THE CENTERLINE OF DUTTON AVENUE, APPROXIMATELY 100' SOUTH OF THE CENTERLINE OF BARHAM AVENUE. ELEVATION 138.342

SHEET INDEX

- 1 COVER SHEET
- 2 PRELIMINARY SITE PLAN
- 3 PROPOSED EASEMENTS
- 4 PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN
- 5 ROSELAND CREEK CROSS SECTIONS

OWNER / DEVELOPER

ROD BAGGETT
BAGGETT BUILDING ENTERPRISES
P.O. BOX 9338
SANTA ROSA, CA 95405
(707) 495-3477

ENGINEER

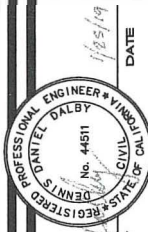
CIVIL DESIGN CONSULTANTS, INC.
2200 RANGE AVENUE, SUITE 204
SANTA ROSA, CA 95403
(707) 542-4820

SURVEYOR

DELTA SURVEYING
1016 CHIQUITA ROAD
HEALDSBURG, CA 95448
(707) 433-9109

GENERAL NOTES

1. EXISTING ZONING IS PD 96-002. PROPOSED ZONING IS R-1-6 SMALL LOT
2. WATER AND SEWER TO BE PROVIDED AND MAINTAINED BY THE CITY OF SANTA ROSA.
3. PROPOSED SETBACKS ARE AS SHOWN ON THE DEVELOPMENT PLAN.
4. RESIDENTIAL LOT AREAS:
SMALLEST 2,804 SF (LOT 5)
LARGEST 12,323 SF (LOT 2)
AVERAGE 5,804 SF
5. ALL GRADING TO BE IN CONFORMANCE WITH CHAPTER 33 AND A33 OF THE CURRENT CALIFORNIA BUILDING CODE.
6. REMOVE ALL ON-SITE EXISTING FEATURES, INCLUDING STRUCTURES, CONCRETE AND FENCING, UNLESS OTHERWISE NOTED. EXISTING HOMES SHALL REMAIN (TO BE RELOCATED ON-SITE).
7. THERE ARE NO KNOWN EXISTING LEACHFIELDS ON-SITE. IF THEY ARE FOUND, THEY SHALL BE ABANDONED PER SONOMA COUNTY ENVIRONMENTAL HEALTH STANDARDS.
8. THERE IS ONE EXISTING WELL ON-SITE, TO BE ABANDONED.
9. ALL PROPOSED UTILITIES WITHIN THE DUTTON AVENUE AND BARHAM AVENUE RIGHT-OF-WAY SHALL BE PUBLIC
10. UTILITIES WITHIN THE PRIVATE DRIVEWAY SHALL BE PRIVATELY OWNED AND MAINTAINED.
11. A HOMEOWNER'S ASSOCIATION IS NOT PROPOSED FOR THIS SUBDIVISION. COMMON DRIVEWAYS WILL BE MAINTAINED THROUGH A DRIVEWAY MAINTENANCE AGREEMENT AS PART OF THE CC&R'S
12. ALL SUSMP FEATURES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNER
13. PORTIONS OF THIS SITE ARE SUBJECT TO INUNDATION. THE 100-YEAR FLOOD ELEVATIONS SHOWN ARE BASED ON FIRM PANEL NO. 06097C0736F, EFFECTIVE 10/16/2012 (NAVD 88 DATUM). THE 100-YEAR FLOOD ELEVATIONS SHOWN ON THIS TENTATIVE MAP HAVE BEEN ADJUSTED BY -2.81' TO MATCH THE CITY OF SANTA ROSA'S NGVD 29 DATUM. NO HAZARDOUS MATERIALS ARE KNOWN TO EXIST ON THIS SITE.
14. SITE SOILS APPEAR SUITABLE FOR RESIDENTIAL DEVELOPMENT.
15. STREET TREES SHALL BE PLANTED IN ACCORDANCE WITH THE CITY OF SANTA ROSA REQUIREMENTS WITHIN THE PLANTER STRIPS.
16. STREET LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SANTA ROSA STANDARDS.
17. SEWER LINE THAT DEVELOPMENT IS TRIBUTARY =
SOUTH PARK TRUNK LINE
EXISTING SEWAGE GENERATION - 813 GALLONS PER DAY
PROJECTED SEWAGE GENERATION - 2,844 GALLONS PER DAY
18. THE PROJECT SITE IS NOT IN A HIGH FIRE SEVERITY ZONE
19. BUILDING PAD SHOWN INCLUDES PORCH AREA.



CIVIL DESIGN CONSULTANTS, INC.

2200 Range Avenue, Suite 204
Santa Rosa, CA 95403
(707) 542-4820

TENTATIVE MAP - COVER SHEET
BAGGETT COTTAGES
106 ACRES
6 LOTS
JANUARY 2019
1084 AND 1086 DUTTON AVENUE
SANTA ROSA, CALIFORNIA
APN 125-281-045
DOC. NO. 2019-025665

City of Santa Rosa

FEB 27 2019

Planning & Economic

Development Department

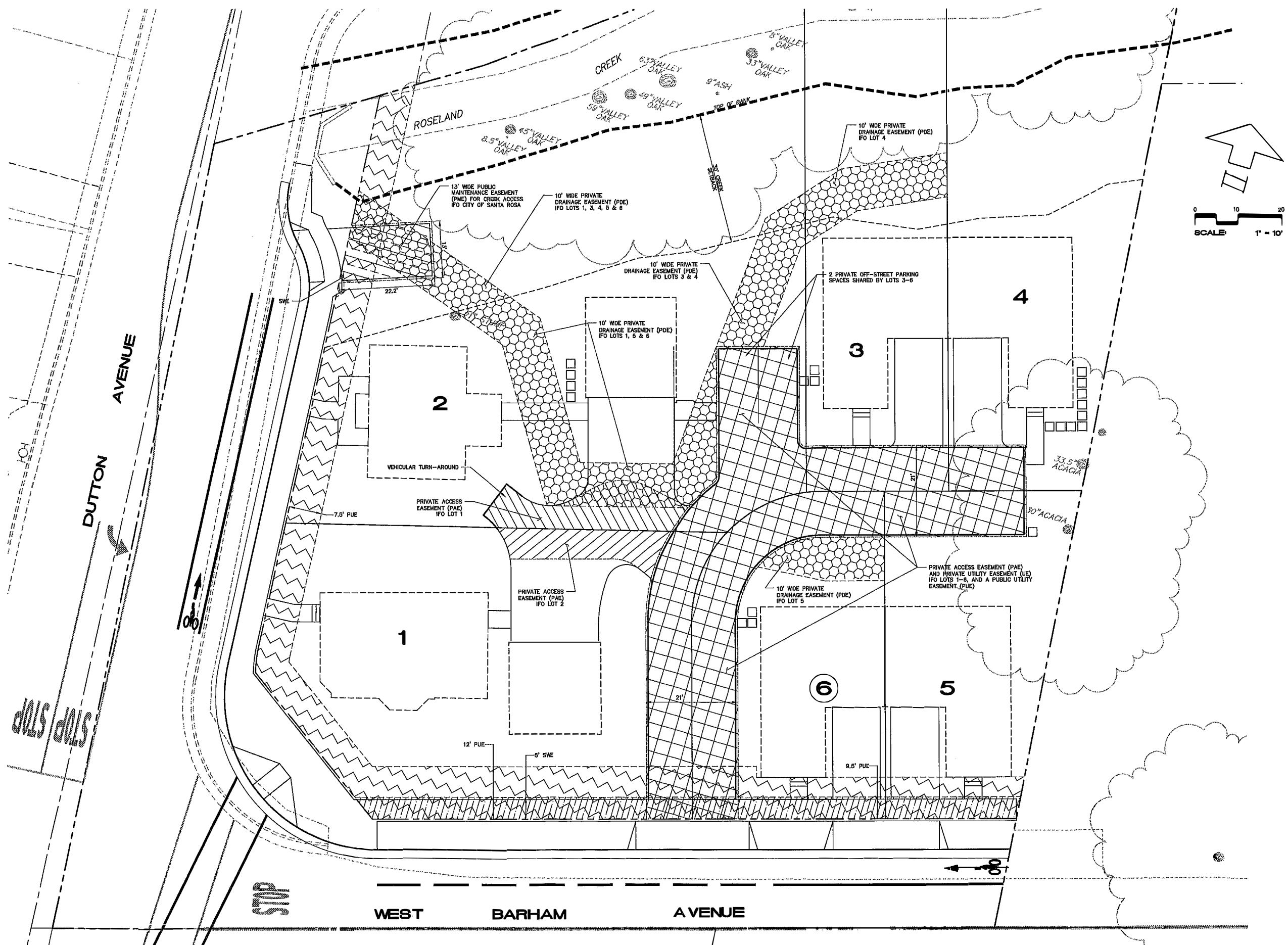
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17-116

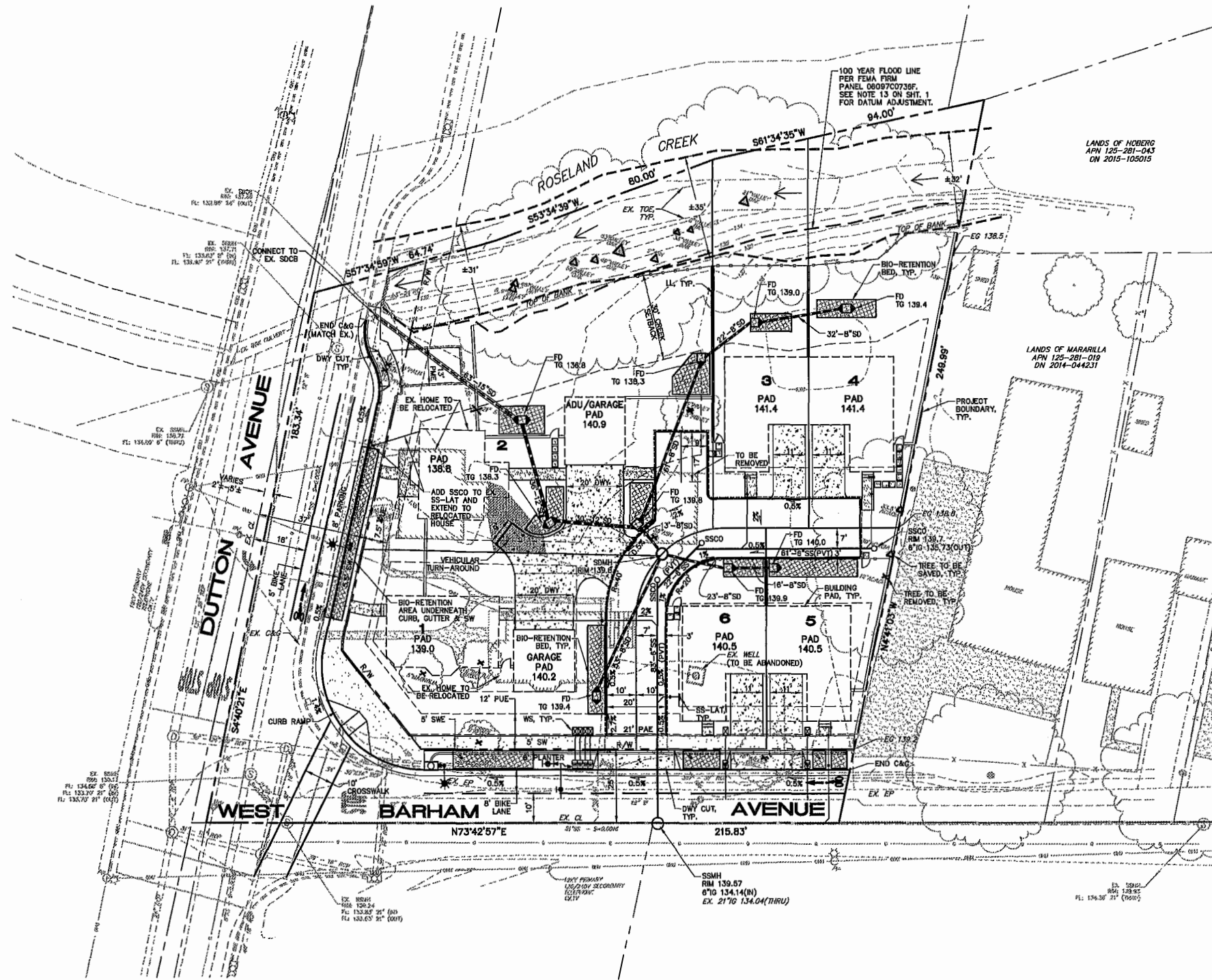
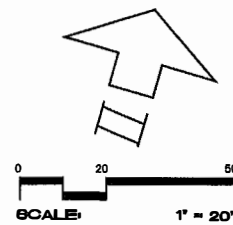
SHEET NO.

1

OF 5 SHEETS



PROPOSED EASEMENTS BAGGETT COTTAGES 1.08 ACRES 6 LOTS JANUARY 2019		PROFESSIONAL ENGINEER DANIEL DALBY No. 4461 CIVIL STATE OF CALIFORNIA
JOB NO. 17-116		CIVIL DESIGN CONSULTANTS, INC. 2200 Rango Avenue, Suite 204 Santa Rosa, CA 95403 (707) 542-4820
SHEET NO. 3 OF 5 SHEETS		DATE 1/25/19 DANIEL DALBY PCE 4461

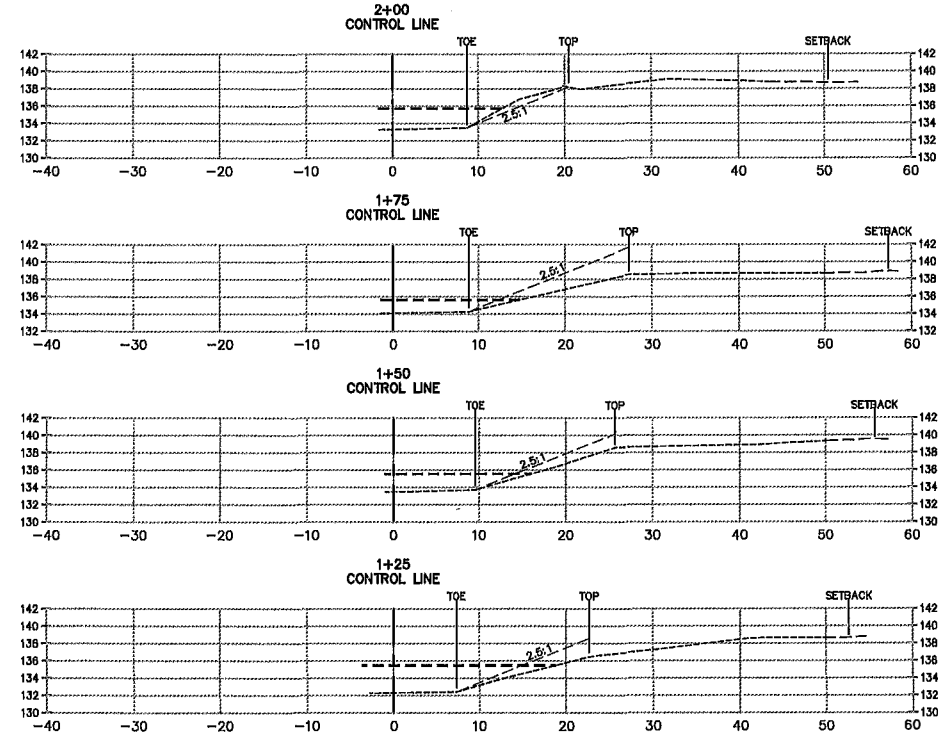
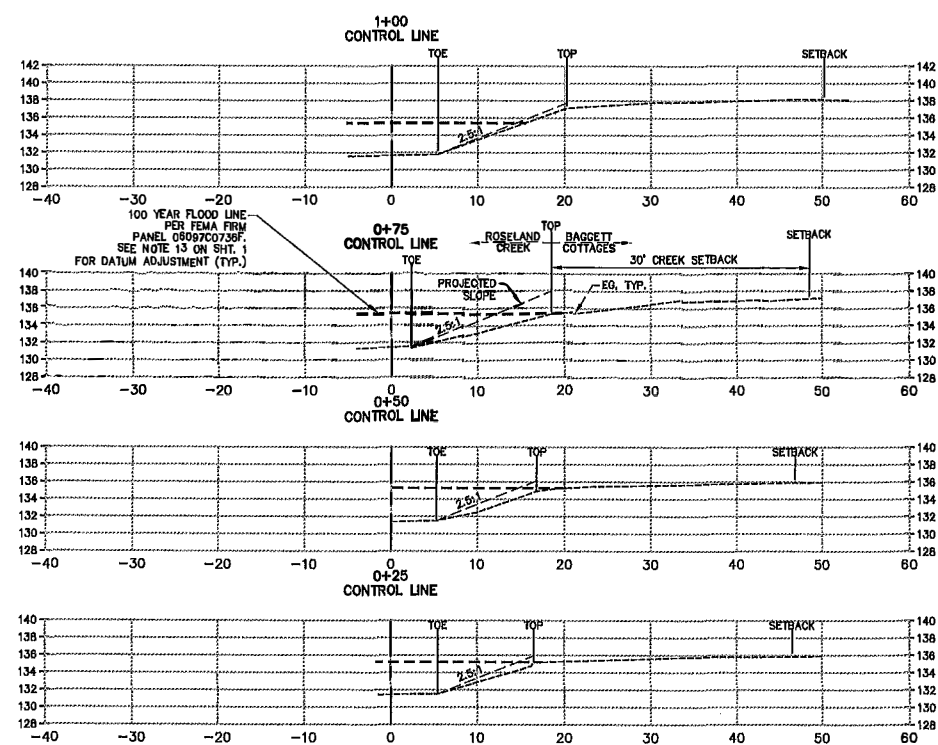
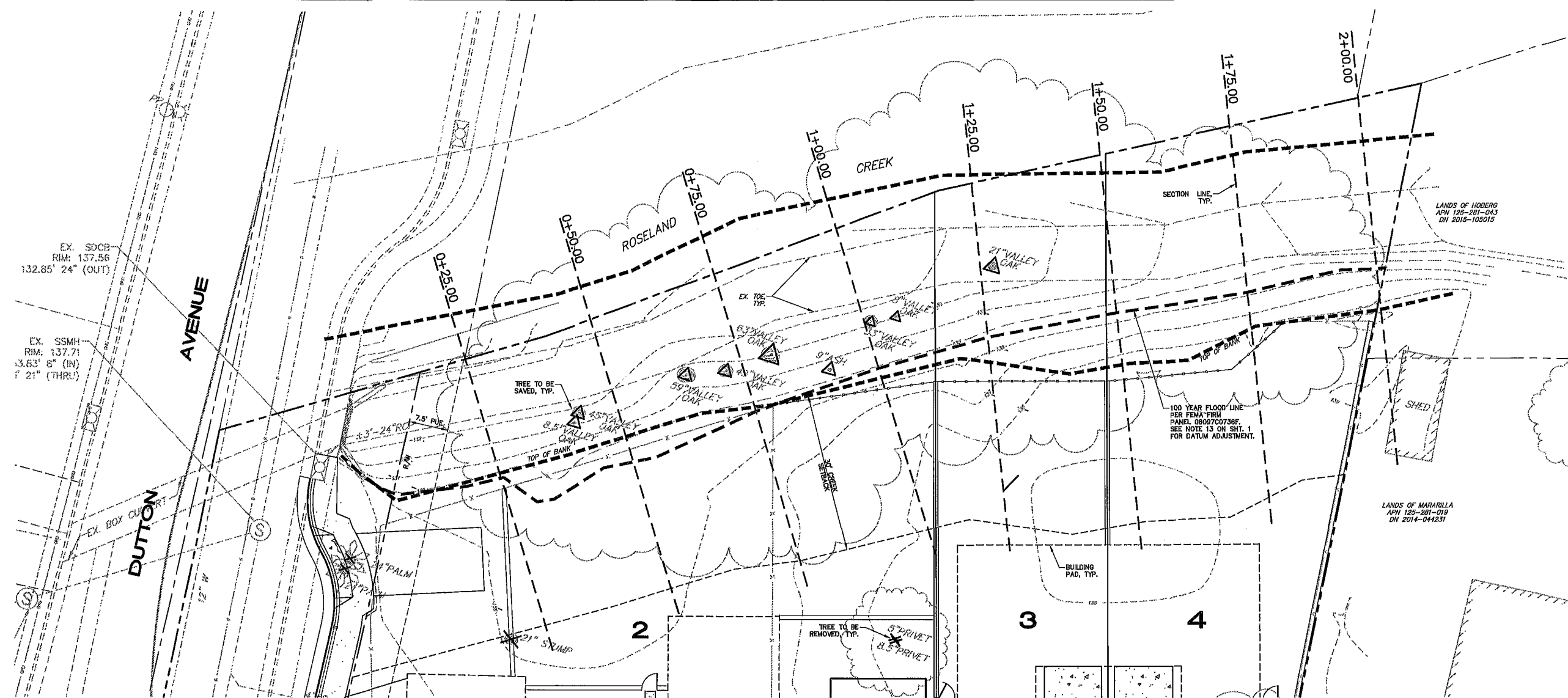


PROFESSIONAL ENGINEER
DANIEL DALBY
No. 4481
State of California
Civil Engineering
1/8/19
DATE

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2200 Range Avenue, Suite 204
Santa Rosa, CA 95403
(707) 542-4820

PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN
BAGGETT COTTAGES
106 ACRES
6 LOTS
JANUARY 2019
JOB NO. 17-118
SHEET NO. 4
OF 5 SHEETS

1084 AND 1086 DUTTON AVENUE
SANTA ROSA, CALIFORNIA
APN 125-281-045
DOC. NO. 2015-025658



DATE _____

PROFESSIONAL ENGINEER * VINCENT L. OF CALIF. STATE OF CALIF. REGISTERED
ANDREW BORDESSA
No. 34368

CIVIL DESIGN CONSULTANTS, INC.

2200 Range Avenue, Suite 204
Santa Rosa, CA 95403
(707) 542-4820

ROSELAND CREEK CROSS SECTIONS
BAGGETT COTTAGES

106 ACRES
6 LOTS
JANUARY 2019

APN 125-281-045
DOC. NO. 2015-025658

JOB NO.
17-116

SHEET NO.

5

OF 5 SHEETS