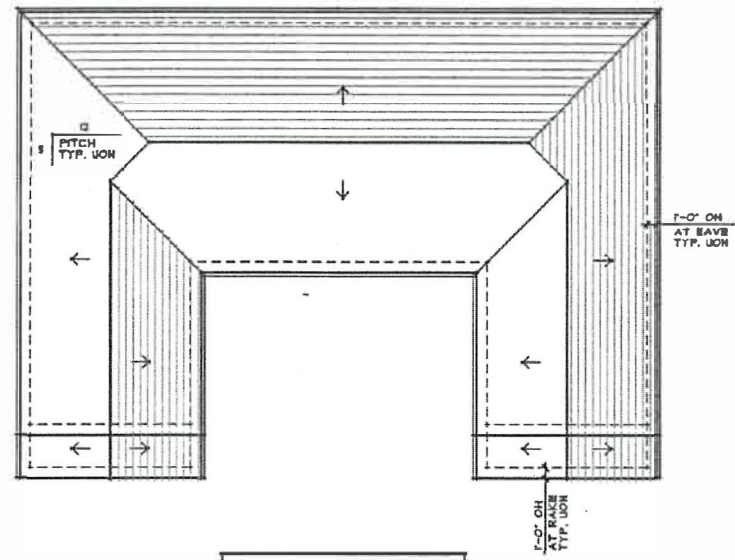
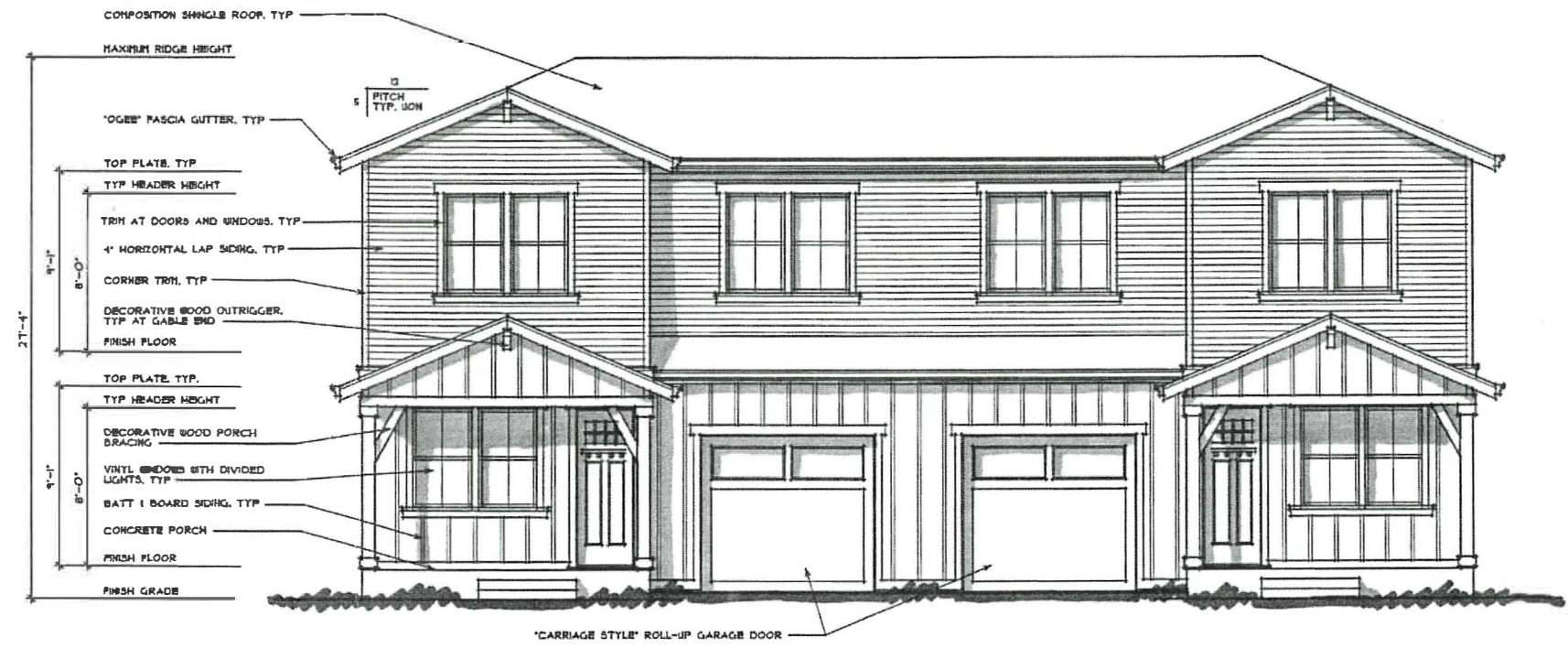




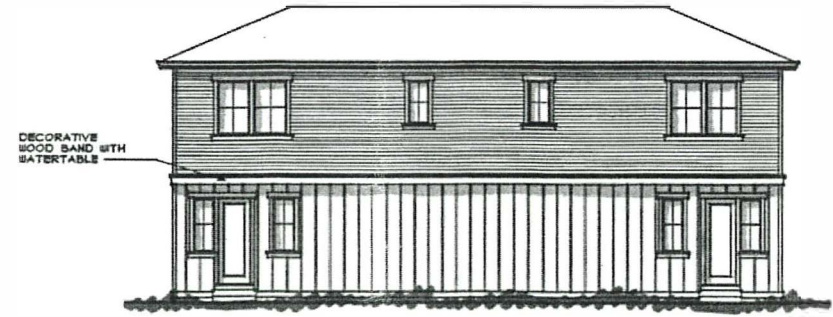
ROOF PLAN
 SCALE: 1/8" = 1'-0"



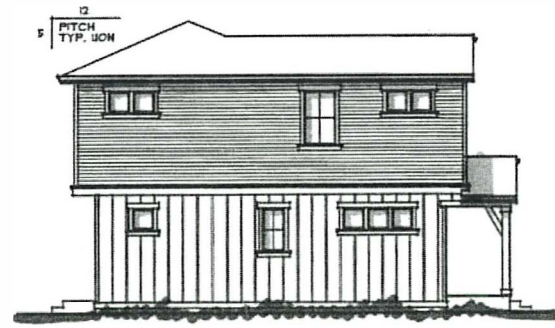
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



REAR ELEVATION
 SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

City of Santa Rosa
 FEB 27 2019
 Planning & Economic
 Development Department



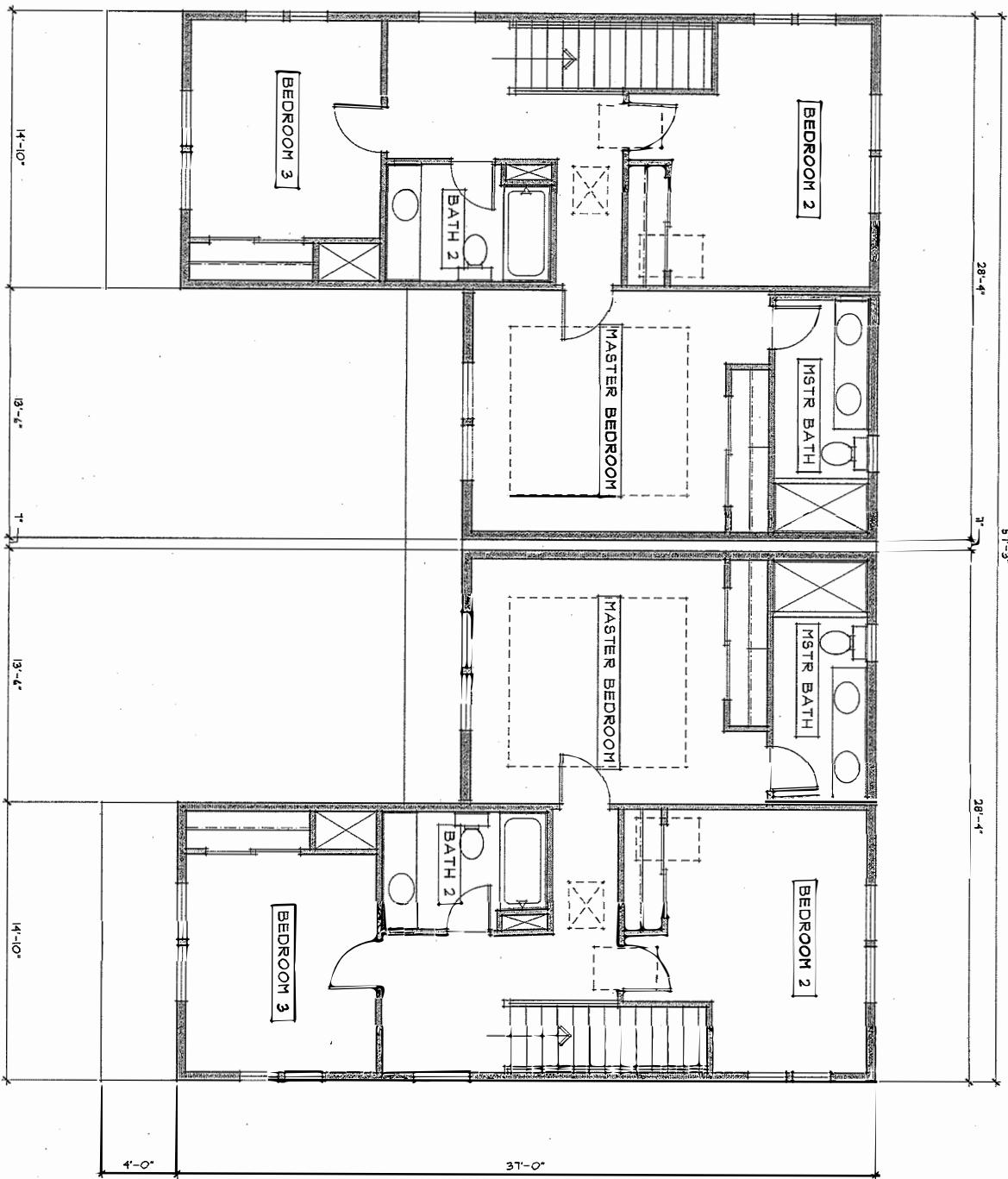
LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"

UNIT "A"	
LOWER FLOOR LIVING AREA =	APPROX 490 SQ FT
UPPER FLOOR LIVING AREA =	APPROX 805 SQ FT
TOTAL LIVING AREA =	APPROX 1295 SQ FT
TOTAL PORCH AREA =	APPROX 310 SQ FT

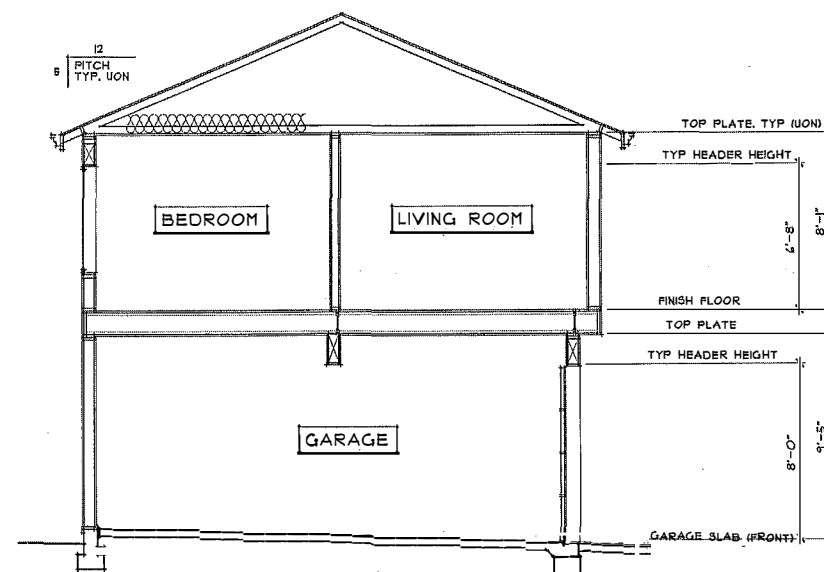
UNIT "B"	
LOWER FLOOR LIVING AREA =	APPROX 490 SQ FT
UPPER FLOOR LIVING AREA =	APPROX 805 SQ FT
TOTAL LIVING AREA =	APPROX 1295 SQ FT
TOTAL PORCH AREA =	APPROX 310 SQ FT

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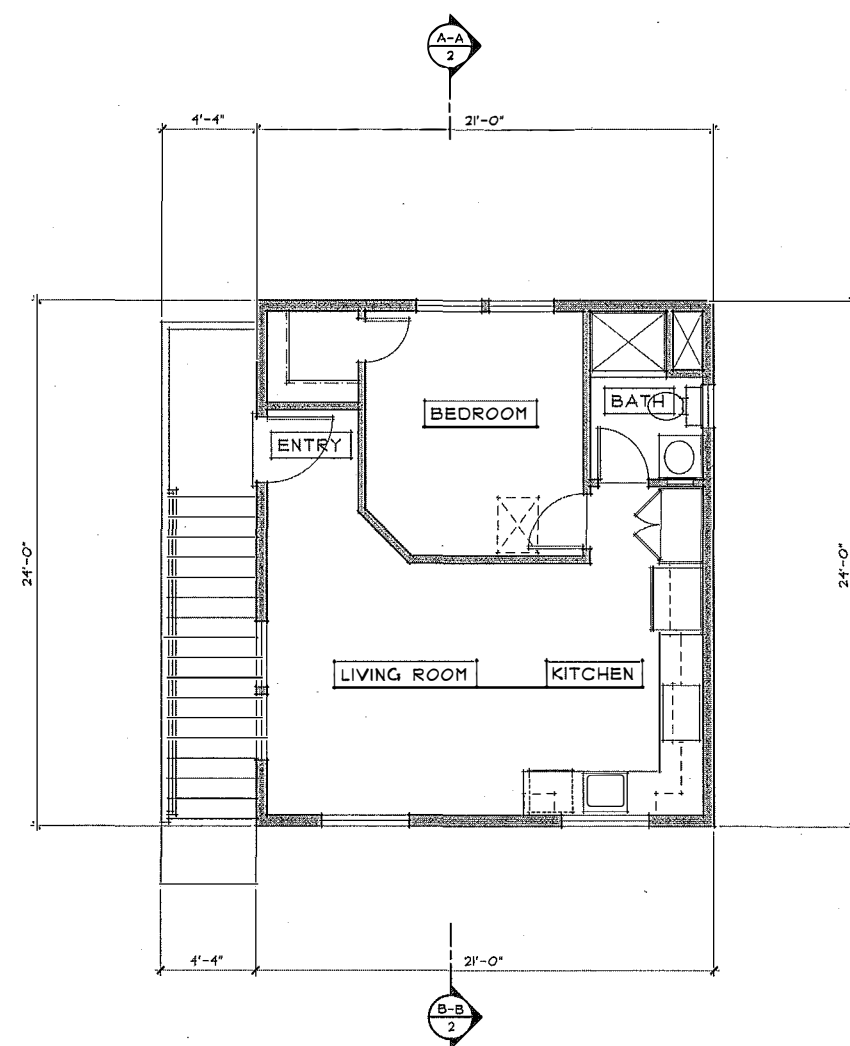
UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECTION A-A

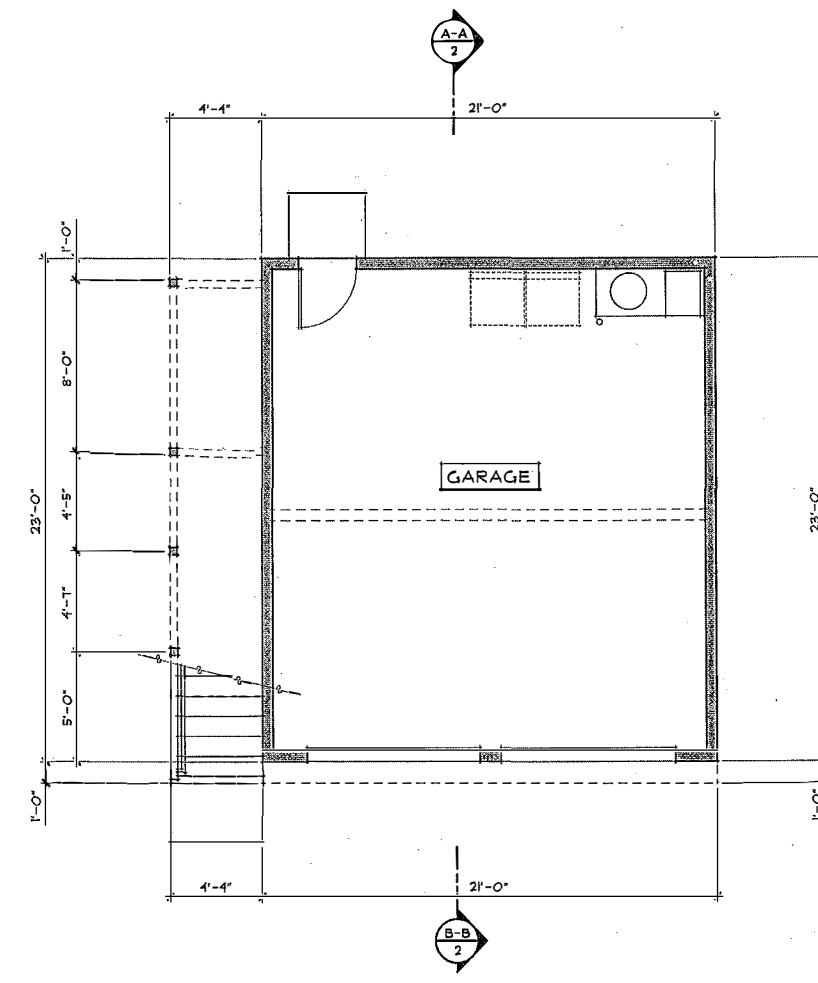
SCALE: 1/4" = 1'-0"



UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

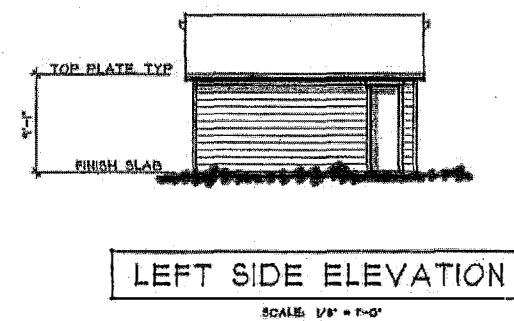
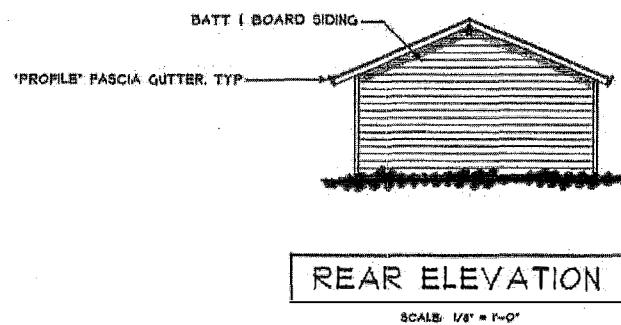
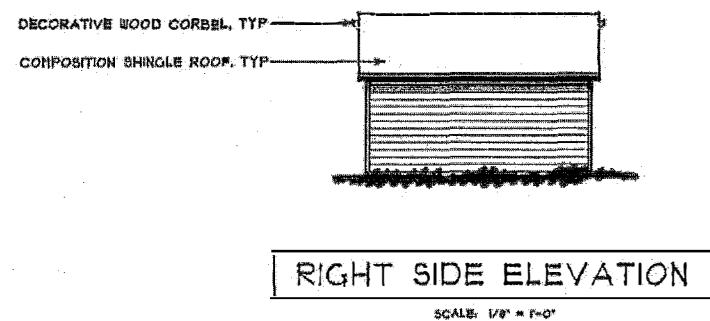
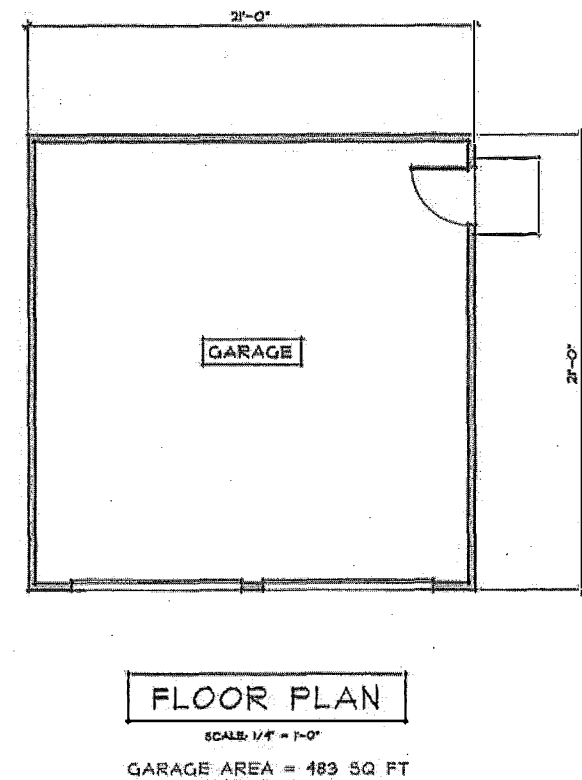
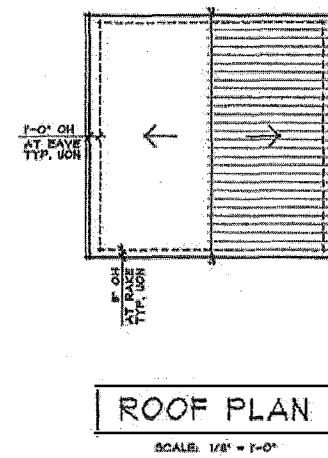
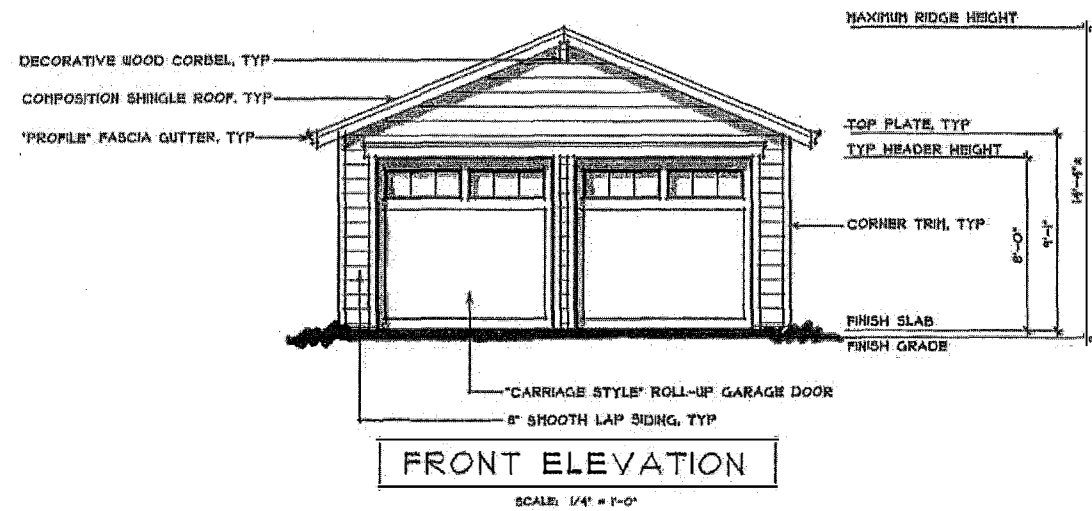
LIVING AREA = 504 SQ FT



LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"

GARAGE AREA = 483 SQ FT



GARAGE

DATE 12/17

DESIGNED BY: DATE: 12/17

CHECKED BY: DATE: 12/17

NOTES

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TEL: 707.579.3811
FAX: 707.579.2846
www.farrellfaber.com

FARRELL-FABER

ASSOCIATES IN C.

ARCHITECTURE - PLANNING

ROD BAGGETT

1086 DUTTON AVENUE
SANTA ROSA, CALIFORNIA

DESIGN FOR

17064

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12/3/2018 1:50 AM H:\301TV\1014\CHD UNIT - GARAGE.dwg