

Thomas Landmark Alteration Permit

Cultural Heritage Board

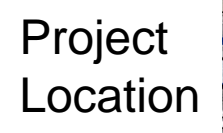
124 W. 6th St.

August 21, 2019

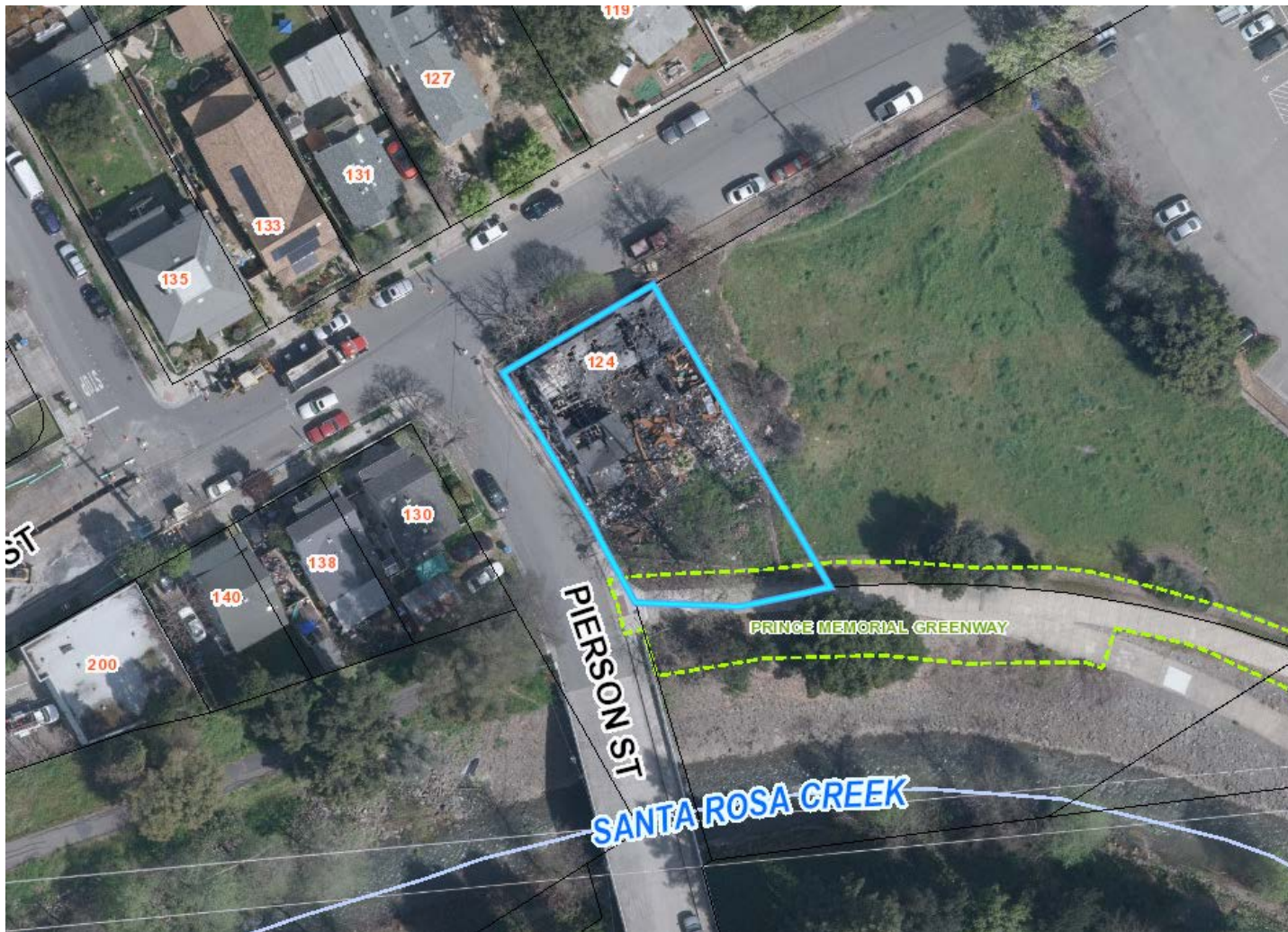
Adam Ross
City Planner
Planning and Economic Development

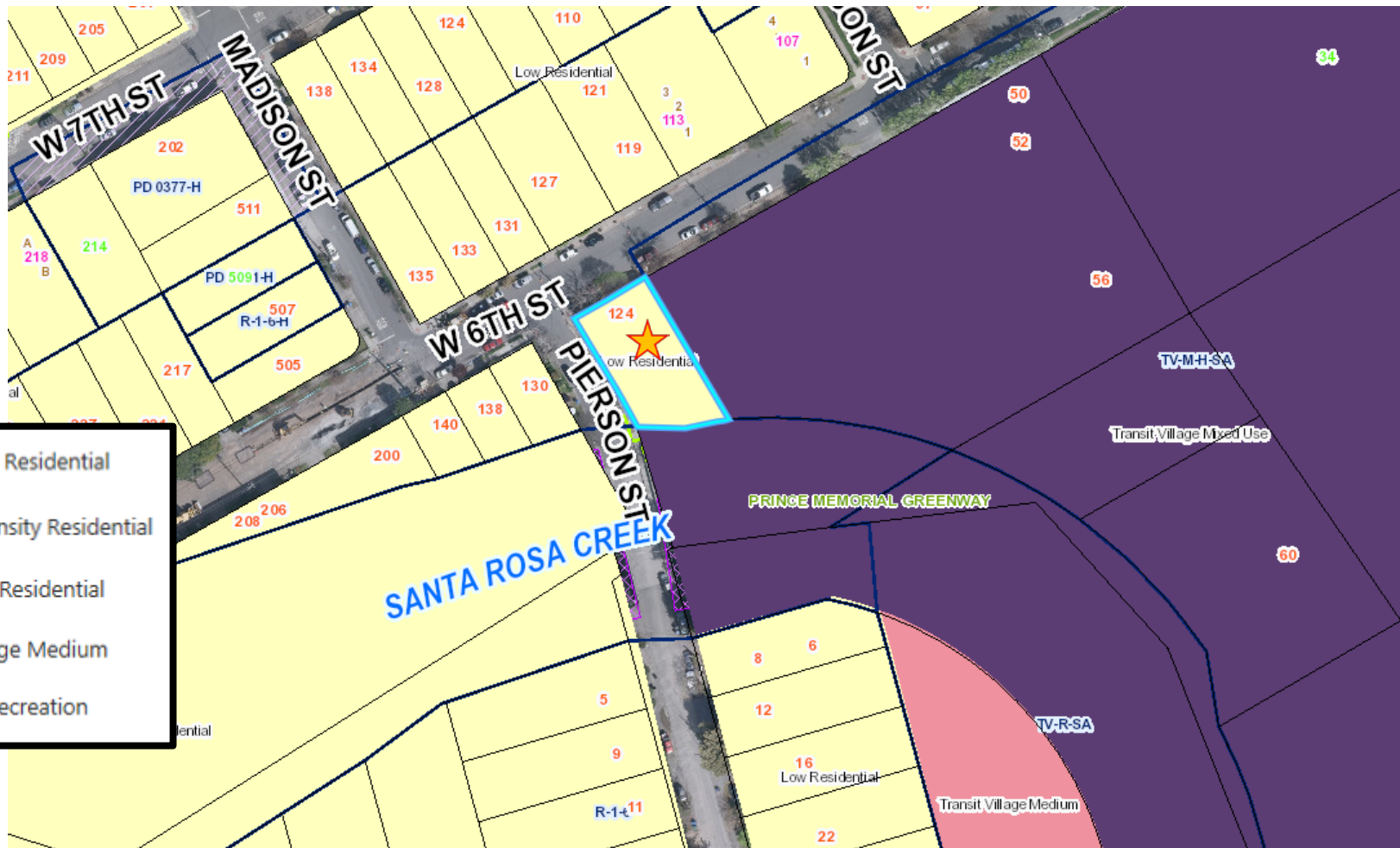
Major Landmark Alteration Permit for:

- Construction of a new two-story single-family dwelling with detached garage with a second story Accessory Dwelling Unit (ADU) in the West End Preservation District to replace a two-story single-family dwelling unit destroyed by a house fire in October, 2017.



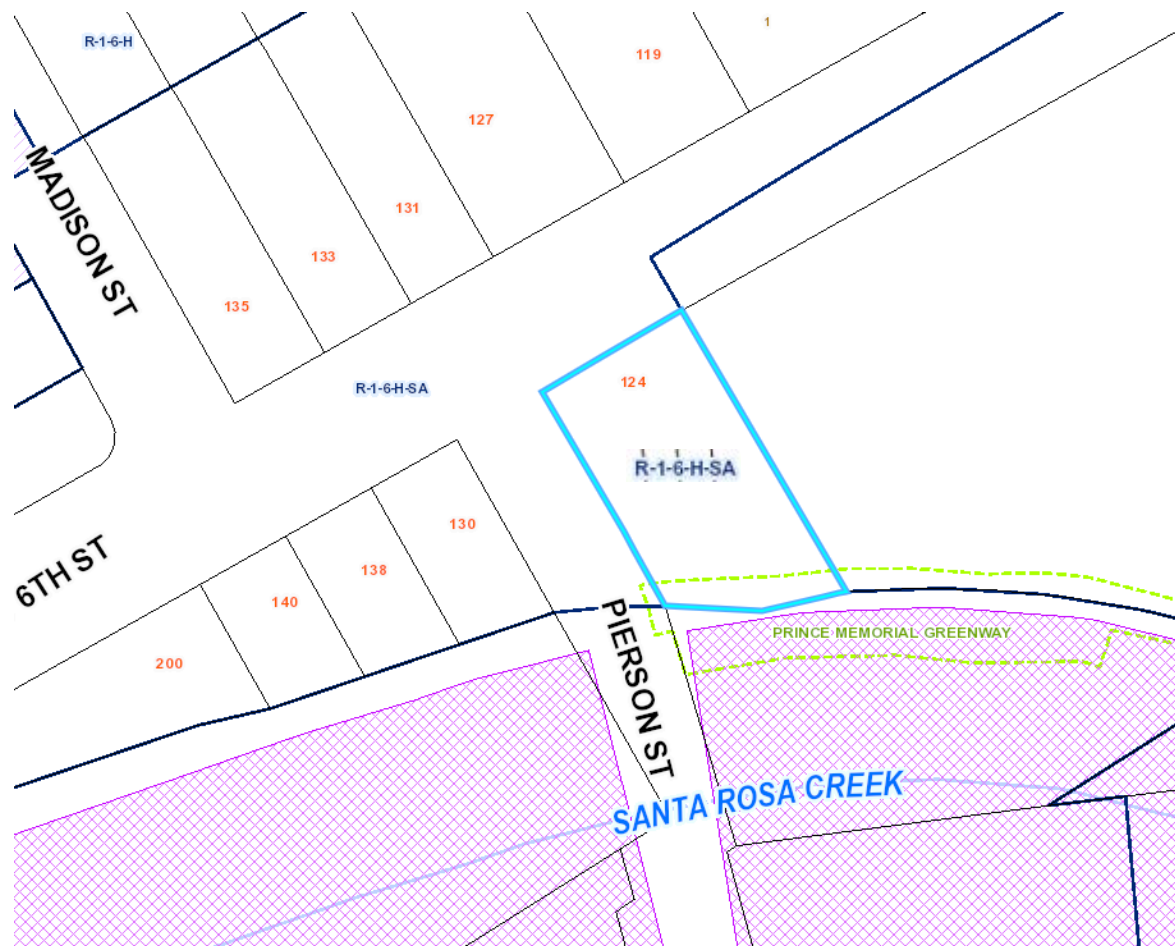
124 W. 6th Street



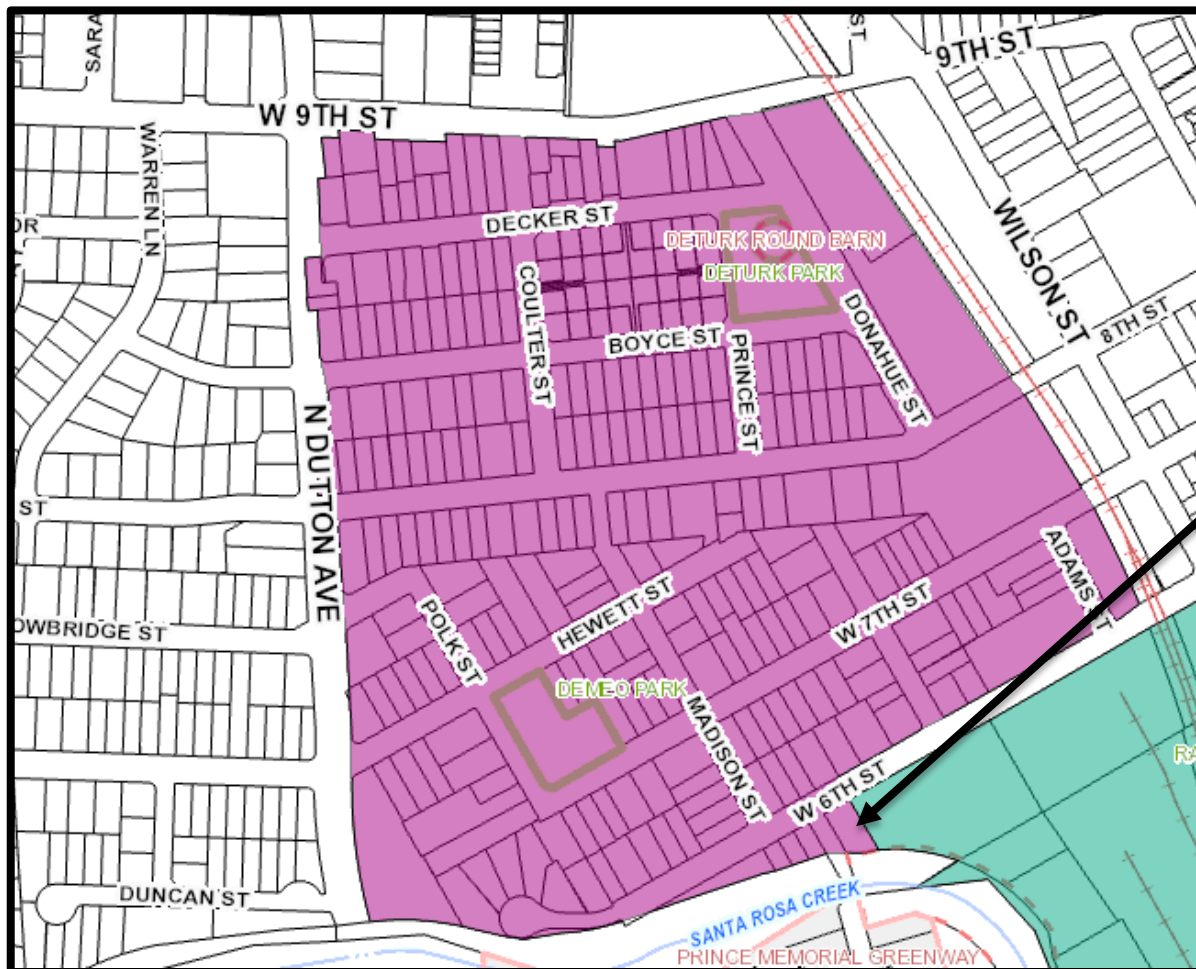


Denotes project site

R-1-6-SA (Residential within the Historic and Station Area combining districts)

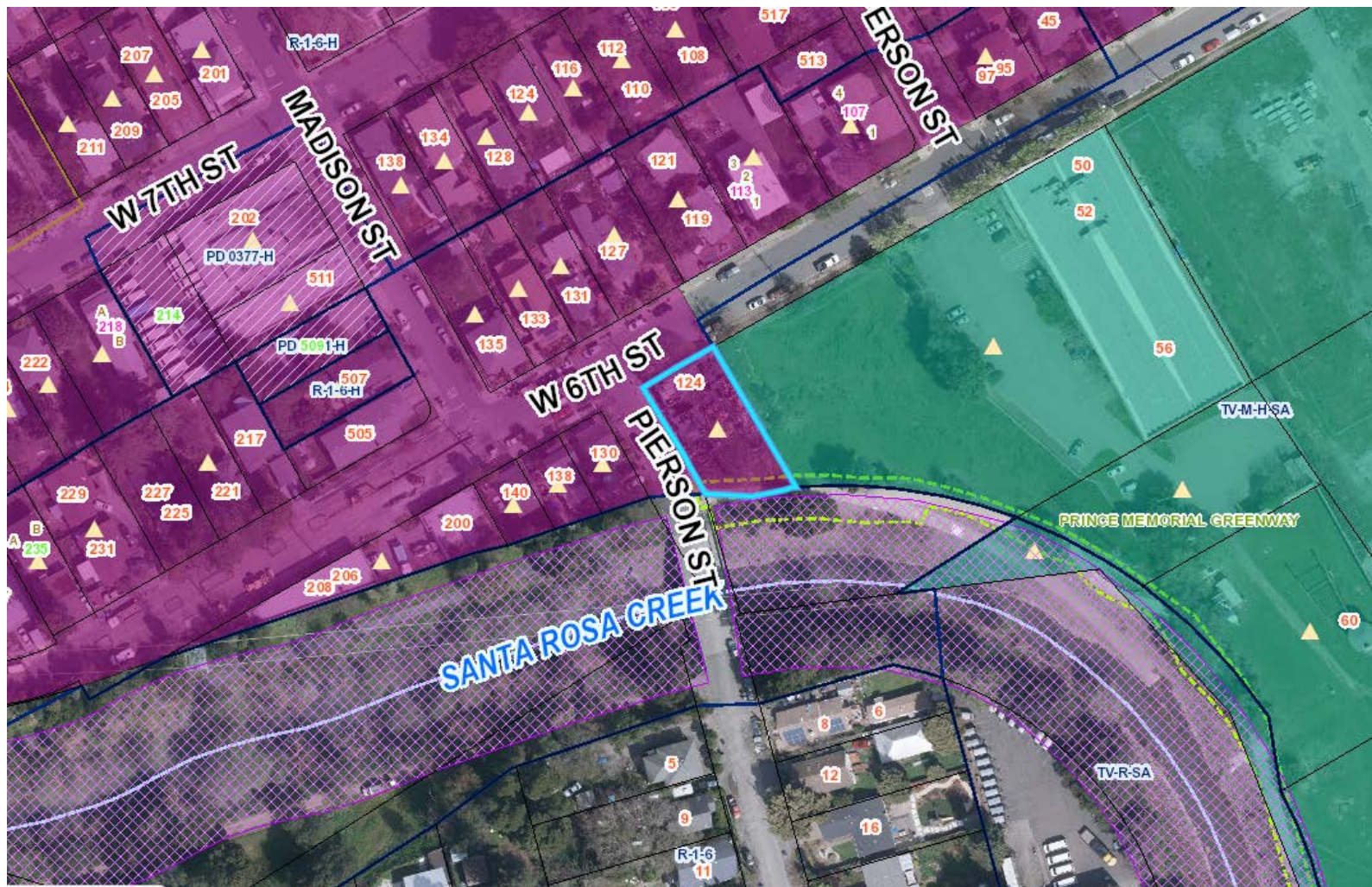


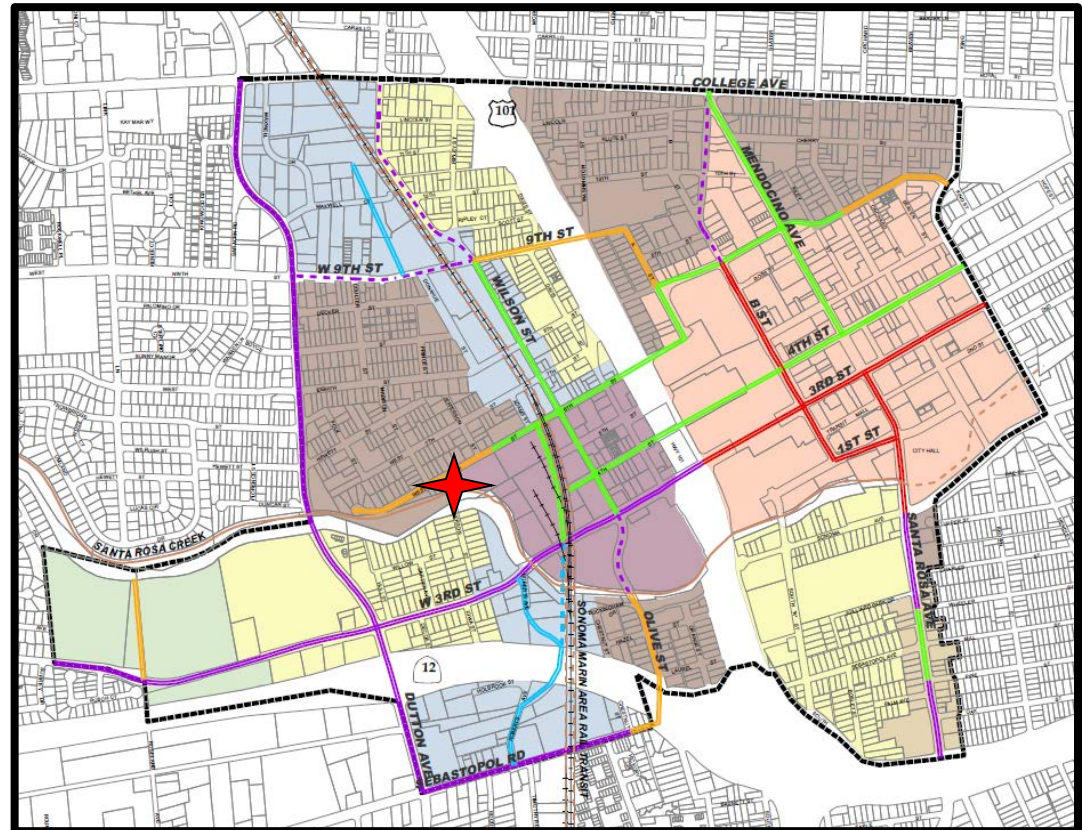
West End Preservation District



Project
Location

Contributor Analysis





9

Elevations



Original West 6th Street Elevation



Original 6th & Pierson St Elevation

Concept Elevations



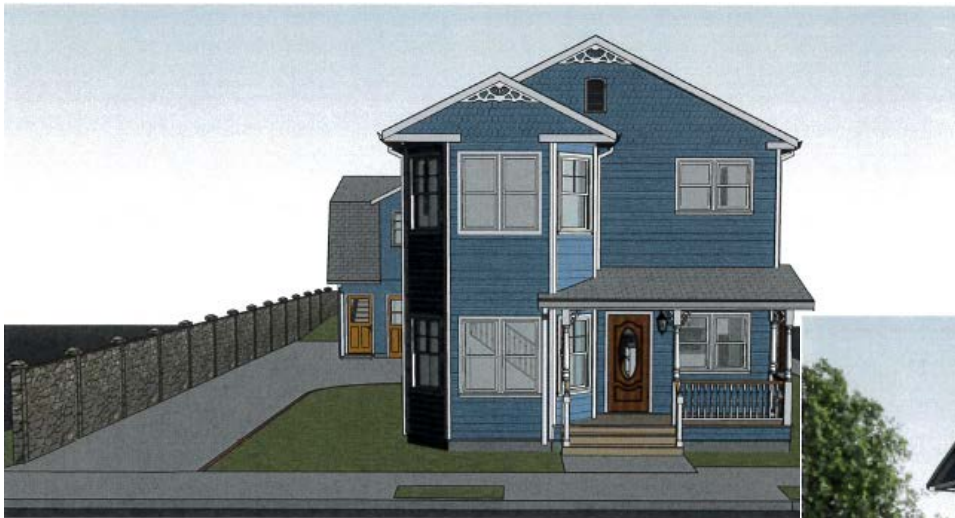
Proposed West 6th Street Elevation

EXISTING TREES NOT SHOWN FOR CLARITY



Proposed 6th & Pierson St Elevation

EXISTING WALNUT TREE NOT SHOWN FOR CLARITY



Proposed West 6th Street Elevation

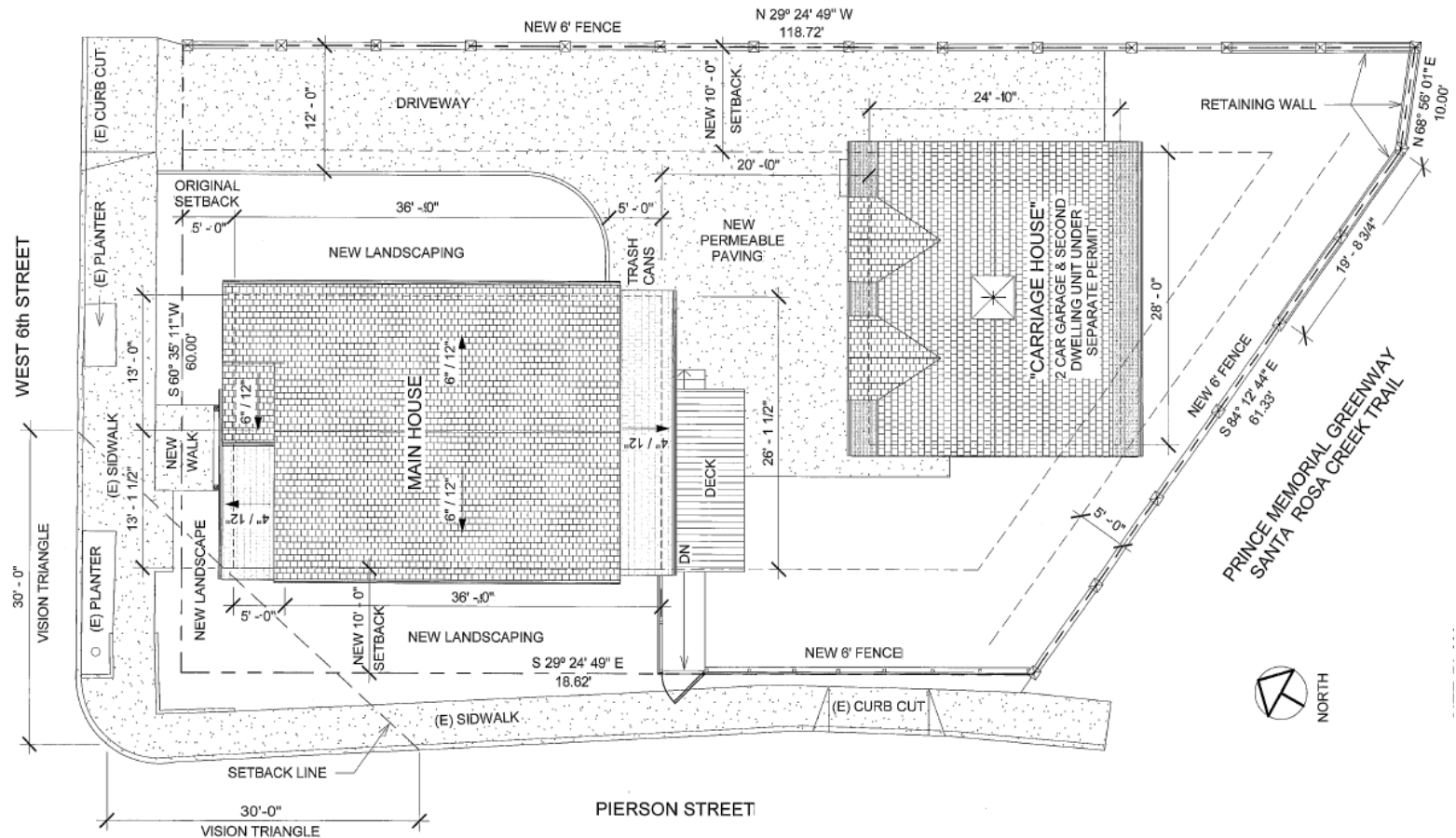
EXISTING TREES NOT SHOWN FOR CLARITY



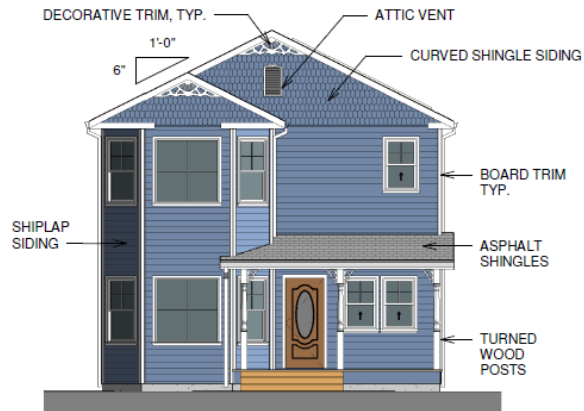
Proposed 6th & Pierson St Elevation

EXISTING WALNUT TREE NOT SHOWN FOR CLARITY

Proposed Site Plan



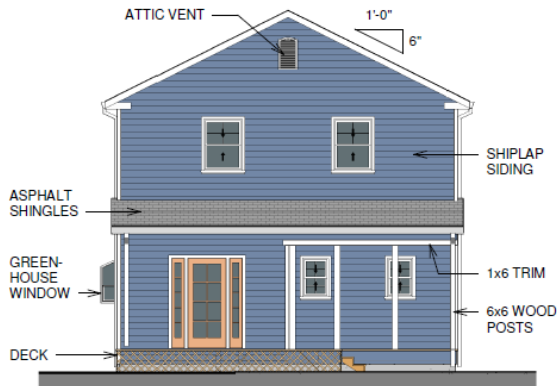
Concept Elevations



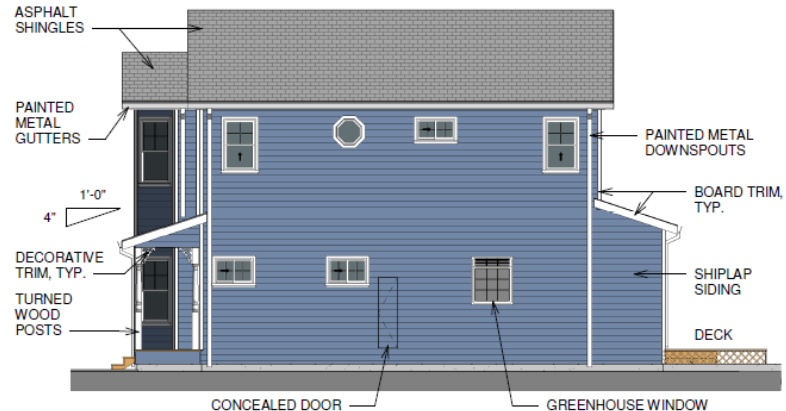
① HOUSE NORTH
1/8" = 1'-0"



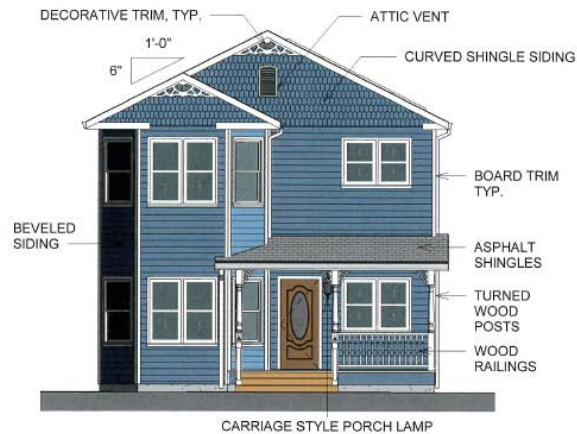
② HOUSE EAST
1/8" = 1'-0"



③ HOUSE SOUTH
1/8" = 1'-0"



④ HOUSE WEST
1/8" = 1'-0"



① HOUSE NORTH - REVISED WINDOWS
 1/8" = 1'-0"



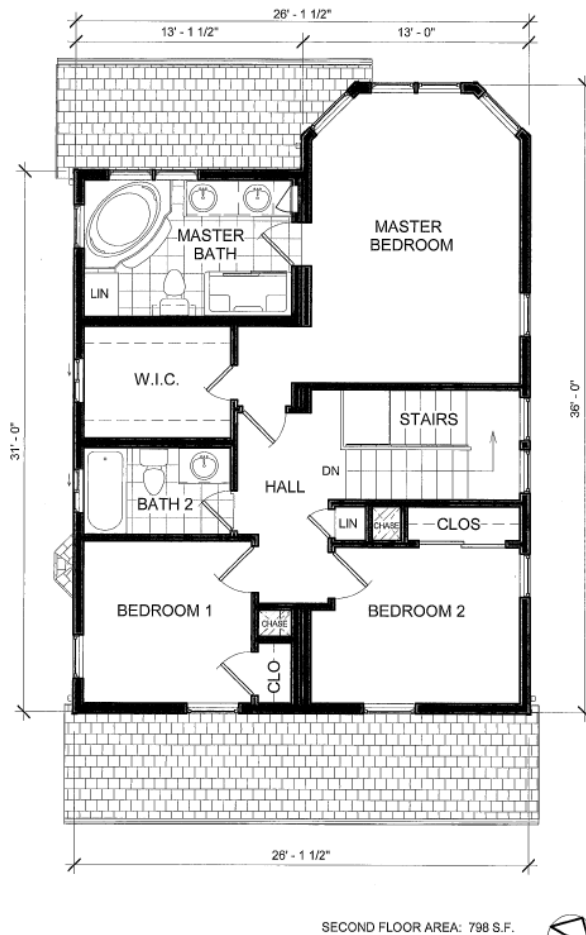
② HOUSE EAST - REVISED WINDOWS
 1/8" = 1'-0"



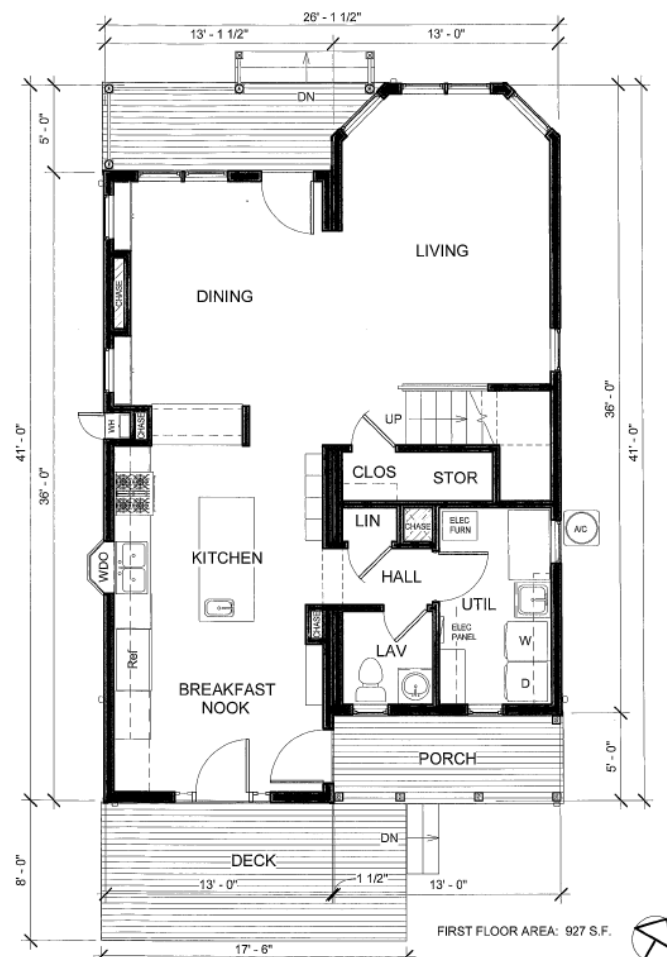
③ HOUSE SOUTH
 1/8" = 1'-0"



④ HOUSE WEST - REVISED WINDOWS
 1/8" = 1'-0"

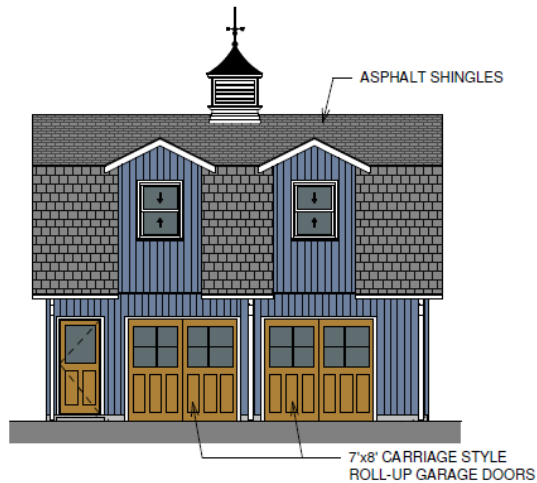


② 2ND FLOOR PRESENTATION
3/16" = 1'-0"

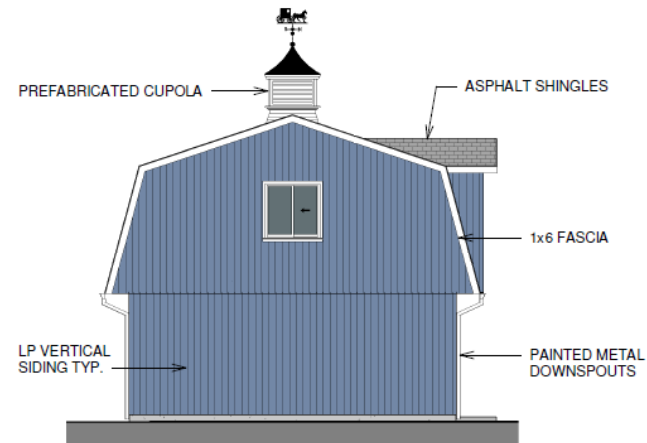


① 1ST FLOOR PRESENTATION
3/16" = 1'-0"

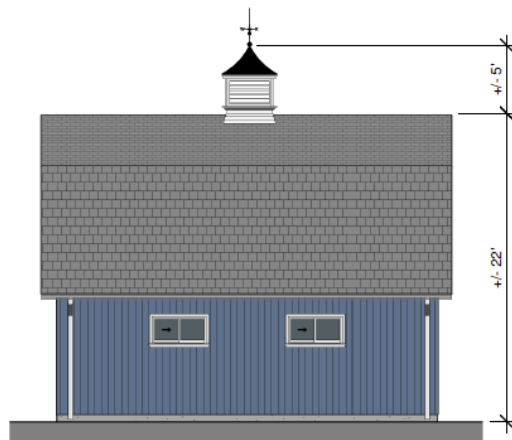
Concept Garage Elevations



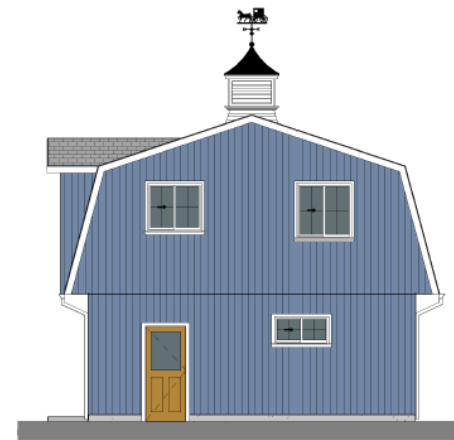
① GARAGE/SECOND UNIT NORTH
1/8" = 1'-0"



② GARAGE/SECOND UNIT EAST
1/8" = 1'-0"

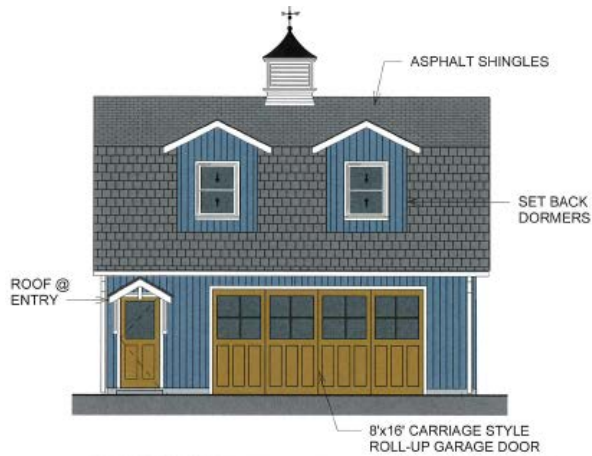


③ GARAGE/SECOND UNIT SOUTH
1/8" = 1'-0"

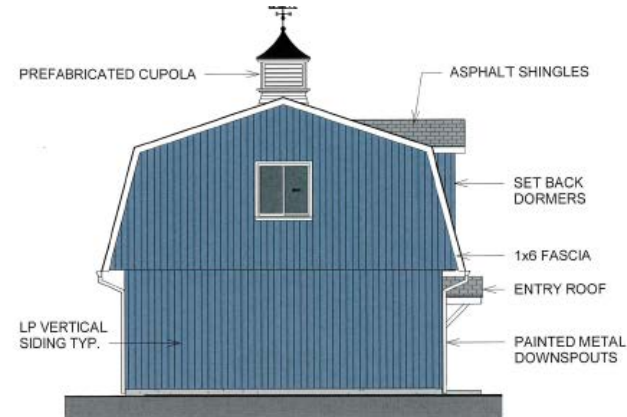


④ GARAGE/SECOND UNIT WEST
1/8" = 1'-0"

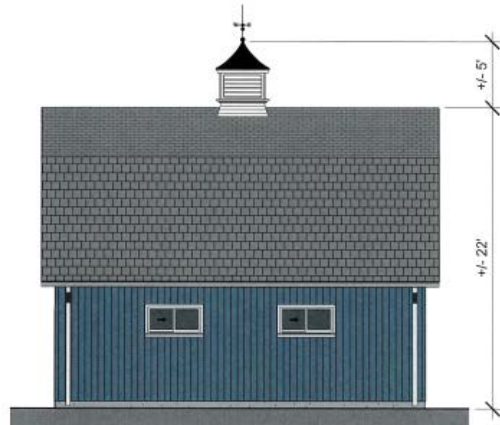
Garage Elevations



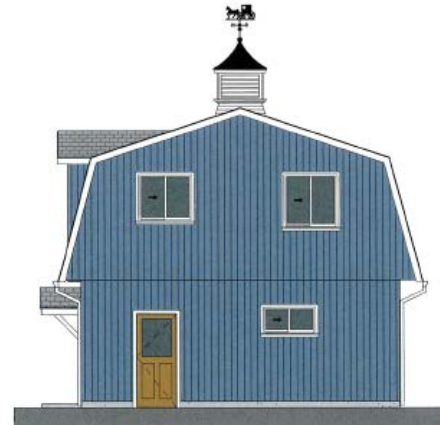
① GARAGE/SECOND UNIT NORTH - REVISED DORMERS
 1/8" = 1'-0"



② GARAGE/SECOND UNIT EAST
 1/8" = 1'-0"

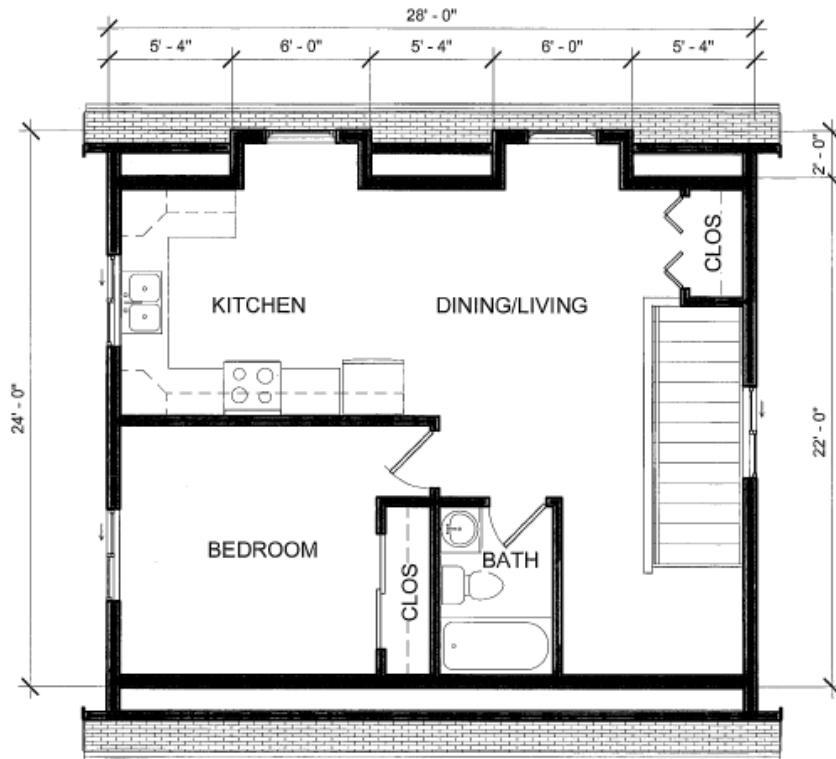


③ GARAGE/SECOND UNIT SOUTH
 1/8" = 1'-0"



④ GARAGE/SECOND UNIT WEST
 1/8" = 1'-0"

Garage Floor Plan

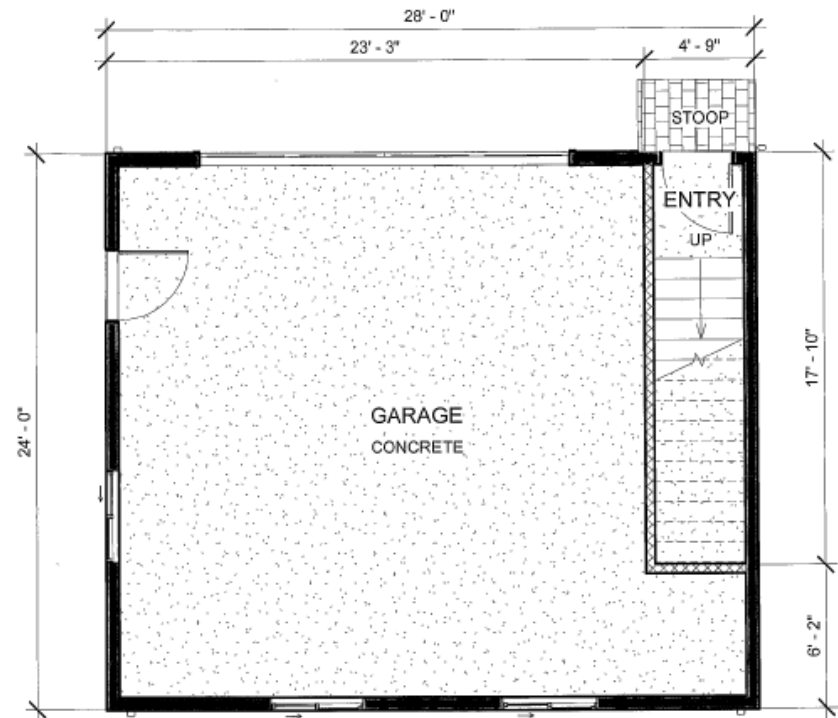


SECOND UNIT AREA: 634 S.F.



NORTH

② 2nd UNIT PRESENTATION
3/16" = 1'-0"



GARAGE AREA: 590 S.F.



NORTH

① GARAGE PRESENTATION
3/16" = 1'-0"

Adam Ross
City Planner
Planning and Economic Development
aross@srcity.org
(707) 543-4705

