

# MERCY Wellness Santa Rosa

## General Notes:

- These general notes shall apply to all work and all drawings in this set and shall extend to any changes, extras, or additions agreed to during the course of the work.
- Architect shall not be responsible for any changes in plans, details and/or specifications unless approved in writing prior to start of construction.
- Contractor shall not proceed with any additional work or changes for which he expects additional compensation beyond the contract amount without written authorization from the Owner and the Architect. Failure to obtain such authorization shall invalidate any claim for such additional compensation.
- Contractor shall adhere to all codes, rules and regulations governing construction, building access, and use of facilities, as set by federal, state, and local codes, building department agencies, and the building owner. In case of conflict, the most stringent requirements shall apply.
- All construction shall conform to the current edition of the California Building Code (CBC), the adopted additions of the electrical, mechanical and electrical codes, and amendments by the local building jurisdiction.
- Work is to be performed in accordance with the rules and regulations of governmental agencies having jurisdiction and shall conform to all city, county, state and federal construction safety and sanitary laws, codes, statutes and ordinances. Any discrepancies, variations or omissions in the contract documents shall be reported promptly to the architect.
- Where required by law, all construction, procedures and performances shall conform to OSHA, Regulations.
- Maintain building Life Safety, Fire Protection, and Security Systems at all times.
- Report to the Owner any Hazardous Materials encountered.
- Permits: the owner shall obtain and pay for general construction permit(s) required for the work. Plumbing, HVAC and electrical subcontractors shall obtain and pay for permit(s) required for their respective work. Do not begin operations until all such agencies have been notified and permits have been issued for the construction project.
- There shall be no substitution of materials where a manufacturer is specified. Where the term "or approved equal" is used, the architect alone shall determine the equality based upon the information submitted by the contractor from the manufacturer.
- Location of all site and/or building elements must be approved by the architect as marked on site and/or building prior to start of construction work. The architect is not responsible for site and/or building elements located without his approval.
- The contractor shall review all plans and specifications and verify all governing dimensions at the building prior to the commencement of work. He shall examine all adjoining work or areas upon which the performance of his work is in any way dependent. Any variations or discrepancies shall be reported with all due expediency to the architect prior to the fabrication or erection of the work in question.
- Any information required by the contractors that is not shown on the drawings or other contract documents shall be requested prior to bid or commencing of any work.
- Great care shall be exercised to assure that the building shall be protected from damage that could occur because of this work and contractors shall provide protection for existing areas and new work areas. Any damages due to this work or accidents shall be repaired, replaced or patched at the discretion of the owner. The subcontractor shall bear financial responsibility for such damage and any work undertaken to correct it.
- Do not scale drawings; dimensions shall govern. Details shall govern over plans and elevations. Large scale details shall govern over small scale details. Report any discrepancies to the architect prior to commencing work.
- Cutting, chasing, drilling, or demolition of walls, slabs, etc. requiring the use of jack hammers or other heavy hand or power tools shall be coordinated with the owner.
- All work and materials shall be guaranteed against defects in design, workmanship, and materials for a period of at least one (1) year from approval for final payment.
- The maximum flame spread classification of finish materials used on walls and ceilings much comply with UBC Chapter42.
- Drawings in this set and the designs thereon are the property of the architect.

## DEMOLITION PLAN NOTES

- Any existing light ballasts which may contain PCB's will be handled and disposed of properly.
- The contractor is responsible to protect any building elements that are indicated to remain and/or to be salvaged from weather exposure and any other hazards that may result from the process of the demolition..
- Contractor to confirm with the architect before conducting any substantial demolition work, including cutting and patching.
- During demolition, if discolored soil or a strong odor is found, the contractor will contact the toxic's management division, and properly characterize, segregate, and dispose of impacted soil. Impacted soil will be stored on-site in a manner as to prevent odors from leaving the site.
- If Hazardous Materials are encountered, they will be handled and disposed as per applicable codes. Contractor to supply all Letters and Proof of Hazardous Materials Removal, as well as Intake Manifests from dump or recycling yard.

## Construction Notes:

- Thoroughly examine the job site and review existing conditions. Notify the architect of any conflicts between field conditions and drawings. Allow sufficient time for resolution without delaying the work.
- Confirm appropriate on-site delivery dates for all construction materials required by the contract documents. Notify the architect in writing of any possible construction delays affecting occupancy that may arise due to the availability of specified products.
- Maintain all building life safety, fire protection and security systems at all times.4. Report to the owner any hazardous materials encountered.
- All work shall be plumb, square, level, true in proper alignment, and securely fastened.
- Patch and finish disturbed areas to match adjacent materials and finishes. Repair fireproofing on structural elements. Where slab on grade is removed, replace all substrate materials.
- Tape and sand smooth with no visible joints existing partitions and other vertical and horizontal surfaces, as applicable, u.o.n. surfaces are to be free of imperfections and markings subject to bleed through.
- Finish existing surfaces as required to match adjacent or abutting surfaces. Lay out partitions on the floor for the architect's review prior to framing any wall. Partitions are dimensioned to finished face of walls, u.o.n. Clear dimensions as noted are not adjustable. Dimensions to exterior perimeter window wall are to face of wall below sill.
- Heights are dimensioned from top of finished floor, u.o.n.
- Verify partition thickness for items such as plumbing, panels, cabinets etc. and notify the architect of any conflicts.

## Applicable Codes

2016 California Building Code (2015 International Building Code)  
2016 California Residential Code (2015 International Residential Code)  
2016 California Green Building Standards Code (CALGreen Code)  
2016 California Mechanical Code (2015 Uniform Mechanical Code)  
2016 California Plumbing Code (2015 Uniform Plumbing Code)  
2016 California Energy Code (2016 CEC effective July 1, 2014)  
2016 California Electrical Code (2014 National Electric Code)  
2016 California Fire Code (2015 International Fire Code)

## Construction Type:

Existing Construction Type: Type-V-B  
Leased Space: 3,072sf, ground floor, (2) two exits  
Existing Fire Sprinklers: fully sprinklered per code  
Fire Connection to Bldg: at property line

## Zoning:

APN: 009-334-015  
General Plan: Retail and Business Services  
Zoning: PD73-001

## Occupancy:

Existing Occupancy: Moderate Hazzard Storage Group S-1 and B-Business  
Existing Space: 3,072sf gross area  
Existing Occupant Load: 3,072sf / 100sf / pp = **31 OCCUPANTS**

Proposed Space: 3,072sf groundfloor + 478sf Mezzanine  
Proposed Occupancy: M-Mercantile and B-Business  
M-Occupant Load: 2,000sf / 60sf / pp = **34 OCCUPANTS**  
B-Occupant Load: 1,072sf / 100sf / pp = **11 OCCUPANTS**  
B-Occupant Mezzanine: 478sf / 100sf / pp = **5 OCCUPANTS**

Total Proposed Occupants: (34) + (11) + (5) = (50) fifty occupants.

## Exiting:

(2) TWO Exits Provided:  
**One Mercantile Exit provided.**  
**One Business Exit provided.**

Exit Separation:  
1/2 the diagonal: 102' / 2 = 51' required.  
Exits separation: 83' between exits. **PASS**

## Plumbing Fixture Count:

**Water Closets and Lavatories Required: (based on M-occupancy)**  
3,072sf / 200sf/pp = 15.36 ~ 15 total occupants  
• 15 / 2 = 7.5 ~ 8 men.  
• Requires (1) one water closet (1) one urinal (1) one lavatory.  
• 15 / 2 = 7.5 ~ 8 women.  
• Requires (1) two water closets, (1) one lavatory.  
• **(2) two Water Closets, (2) two lavatories provided**

**(1) Accessible Water Cooler Provided**  
**(1) Utility sink Provided**

## Parking Requirements:

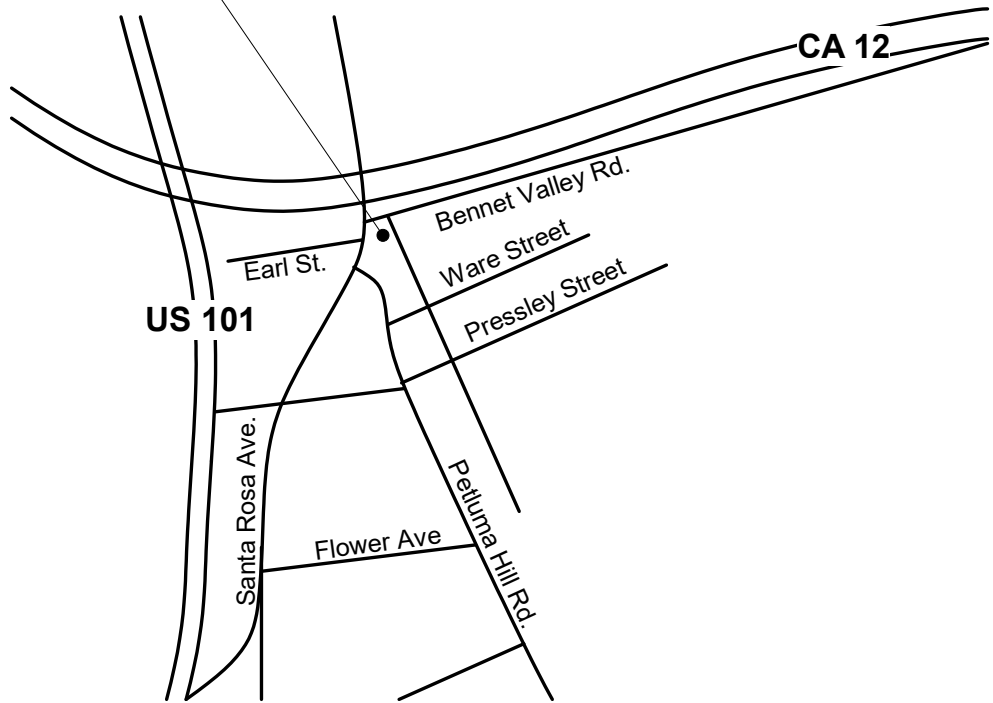
3,072sf / 250sf /per parking space = 12.28, or (12) spaces required.

(11) Eleven On Site Customer Parking Spaces Provided:  
(8) eight Full Size parking spaces @ 9'-0" x 18'-0" w/ 24' aisles.  
(2) two Compact parking spaces @ 9'-0" x 16'-0".  
(1) one Van Accessible Space @ 12'-0" x 18'-0"

(8) Eight Off-site Employee Parking Spaces (at 901 Santa Rosa Ave.)  
(4) four Full Size parking spaces @ 9'-0" x 18'-0" w/ 24' aisles.  
(4) four Compact parking spaces @ 9'-0" x 16'-0".

New 48" Bike rack provides (2) Short-term Parking

## Project Site: 900 Santa Rosa Ave.



④ Vicinity Plan  
1/8" = 1'-0"

## Scope of Work:

Interior Tennant Improvement to (e) Existing Metal Building, 3072sf gross area. Project includes New non-rated partitions, new non-rated interior doors and windows, and new Retail Display counters; New Lighting and Air Conditioning. Exterior modifications limited to a New Security Fence and Rolling Gates, New bike parking, and New planters.

Under Sperate Permit: FIRE Sprinkler systems can be modified where necessary to match new design and partition layout.

NO PROPOSED CHANGES to the Accessible Path To and From the Parking area, which includes already accessible Parking Space.  
See Sheet A-1.01 for Accessible Path  
See Sheet A-0.09 for Accessible parking details

## Project Team:

Project Owner: MERCY Wellness Santa Rosa  
Contact: Ryan O'Kelly, (707) 236-4778

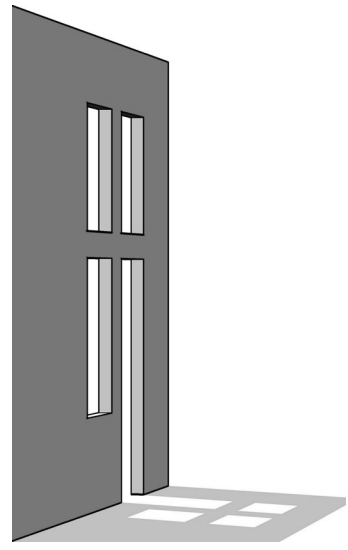
Project Architect: 4dPerspective  
Contact: Chris Ryan, (415) 531-0404

General Contractor: Mark Hoyal  
Contact: (707) 292-9911

## Abbreviations

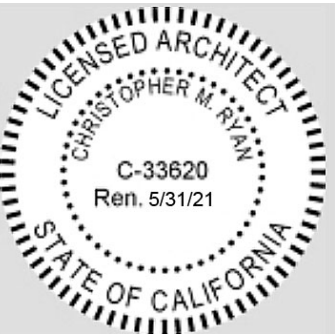
A.F.F.	Above Finish Floor	N.I.C.	Not in Contract
CL	Centerline	TBD	To Be Determined
CLR	Clear	TYP.	Typical
DN	Down	U.O.N.	Unless Otherwise Noted
(E)	Existing	S.S.D.	See Structural Drawings
F.O.F.	Face of Finish	VIF	Verify in field

Sheet List		
Sheet Number	Sheet Name	Current Revision
A-0.01	COVERPAGE	
A-0.09	Accessibility Details	
A-1.01	Parcel Plan	
A-1.11	Site Plan Parking	
A-1.20	Existing Base Building	
A-1.22	EXITING Plan	
A-1.30	Floorplan NEW	
A-1.31	Mezzanine Plan NEW	
A-1.81	Electrical Plans	
A-2.01	Exterior Elevations	
A-2.31	Reflected Ceiling Plans	
A-2.32	Reflected Ceiling Retail	
A-3.01	Sections	
A-4.01	Enlarged Plans & Sections	



**4dPerspective**

Christopher M. Ryan, AIA  
PH: (415) 531-0404



**MERCY Santa Rosa**  
900 Santa Rosa Avenue, Santa Rosa, CA

No.	Description	Date
<b>ISSUED FOR REVIEW 7/25/19</b>		
<b>NOT FOR CONSTRUCTION</b>		

**Dispensary**  
**MERCY Santa Rosa**

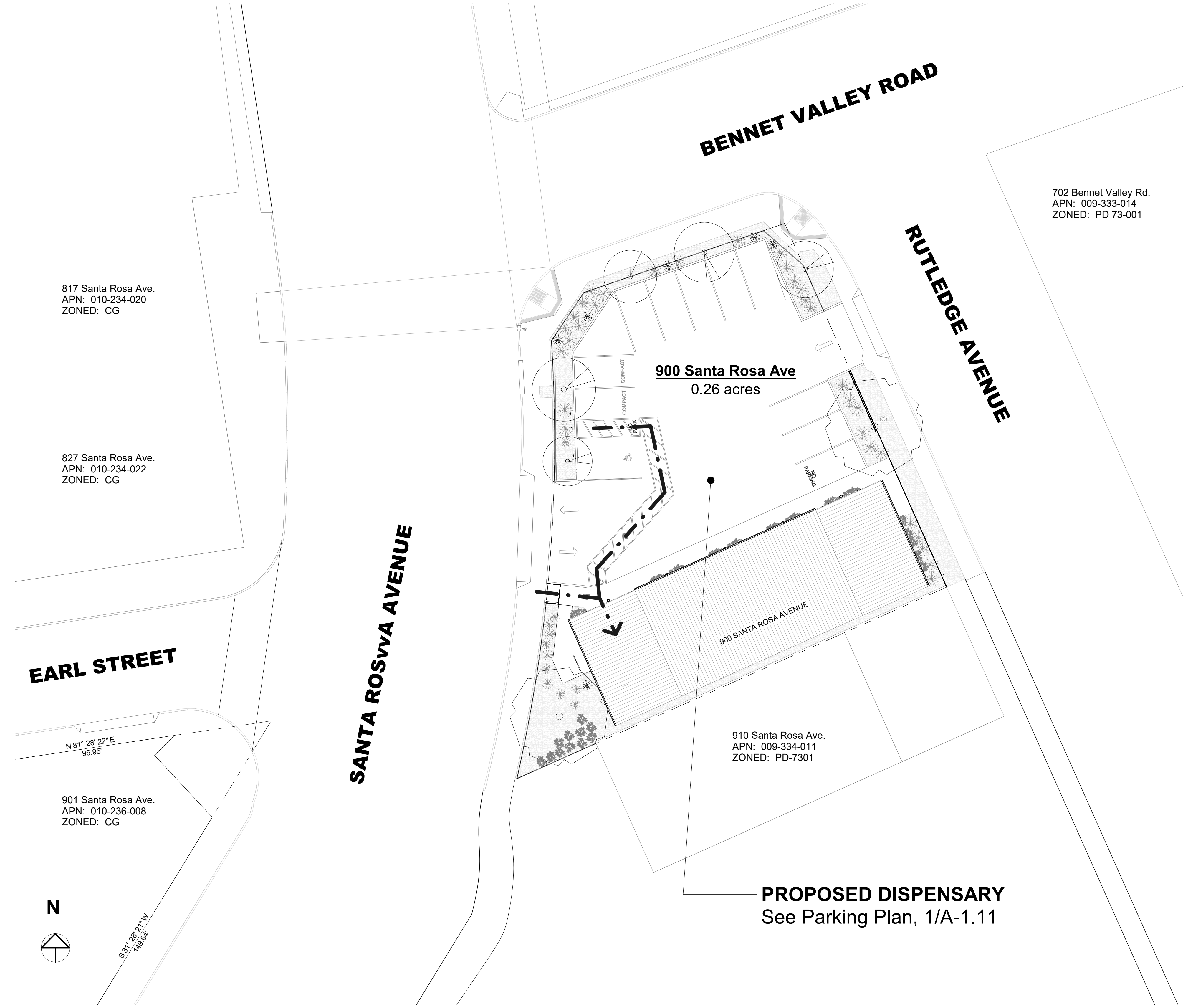
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Project number	1903
Date	7/3/2019
Drawn by	4dP
Checked by	ROK

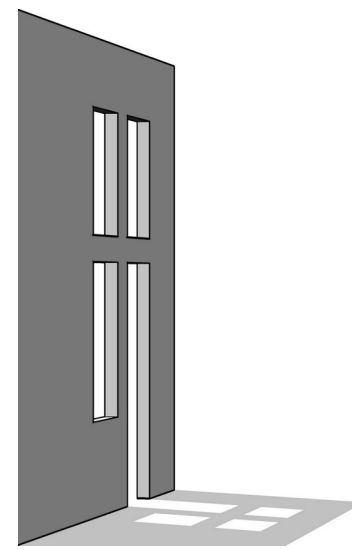
**A-0.01**

Scale As indicated

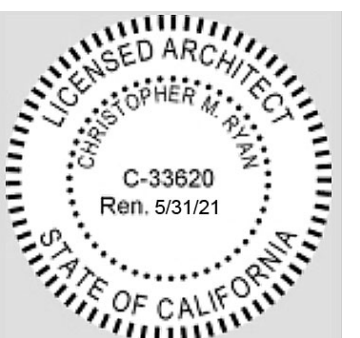




1 Site True North Parcel Plan  
1/16" = 1'-0"



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Christopher M. Ryan, AIA  
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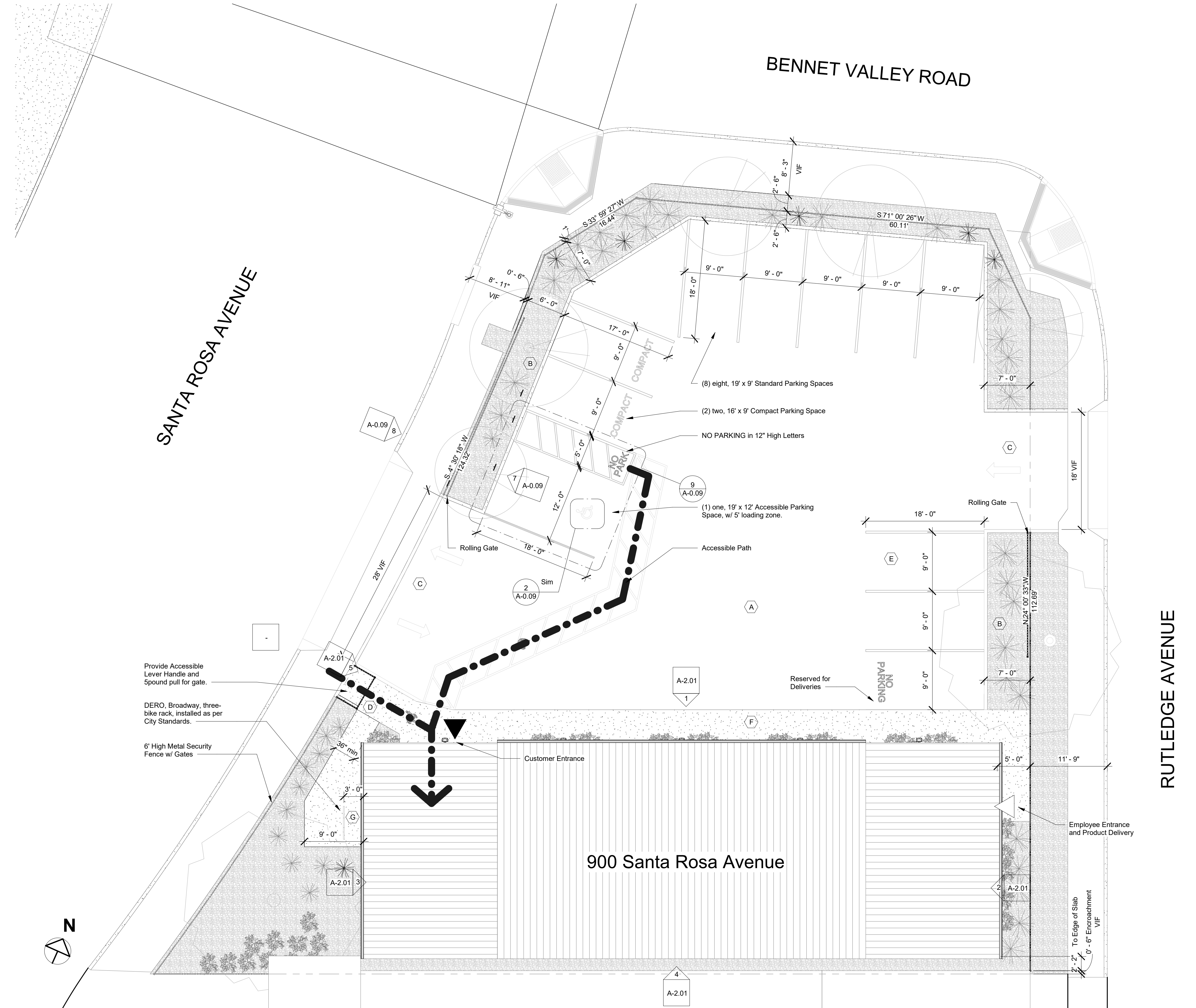
**Dispensary**  
**MERCY Santa Rosa**

**Parcel Plan**

Project number	1903
Date	7/3/2019
Drawn by	Author
Checked by	Checker

**A-1.01**  
Scale 1/16" = 1'-0"



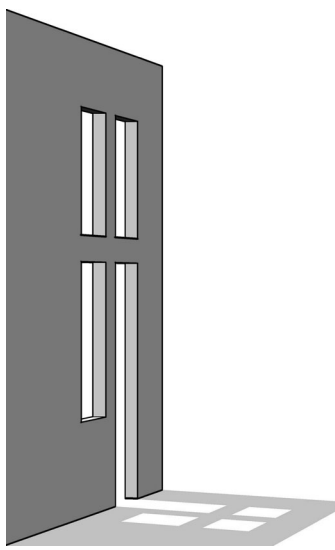


1 Site Parking  
1/8" = 1'-0"

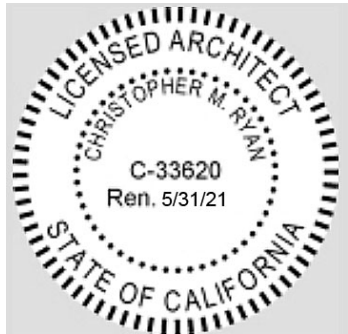
SITE PLAN NOTES:

- Landscaping, Hardscaping, and Parking to remain UNCHANGED, and is shown For Reference Only. For Approved and Permitted site plan, refer to E. Steve Powers drawings, NISSTECH AUTOMOTIVE Sheet1, Site Plan, dated 1/17/2017.
- For Approved and Permitted Landscaping, Planting, and Irrigation details, please refer to CARLILE MACY NISSTECH AUTOMOTIVE Planting Plan, Sheet L1, dated December 2017.
- Standard Parking Spaces are 9'-0" x 19'-0".
- Compact Parking Spaces are 9'-0" x 16'-0" min.
- Accessible Parking Spaces are 12'-0" x 19'-0" with a 5' wide access aisle.
- Accessible Path, Min. 36" wide, may be reduced to 32" min. for a length of 24" max. MAX SLOPE 1:20 Parallel to Travel. MAX CROSS SLOPE 1:48 perpendicular to travel.

SHEET NOTES - Site Plan	
Note ID	Note DESCRIPTION
A	Existing Asphalt Paving, to remain.
B	Existing Landscaping, to remain.
C	New Rolling Gate for Vehicle Traffic.
D	New Gate and Mandoor
E	Existing Parking Spaces, to remain.
F	Existing Sidewalk, to remain.
G	New concrete slab and Bike Rack, installed per City Standards.



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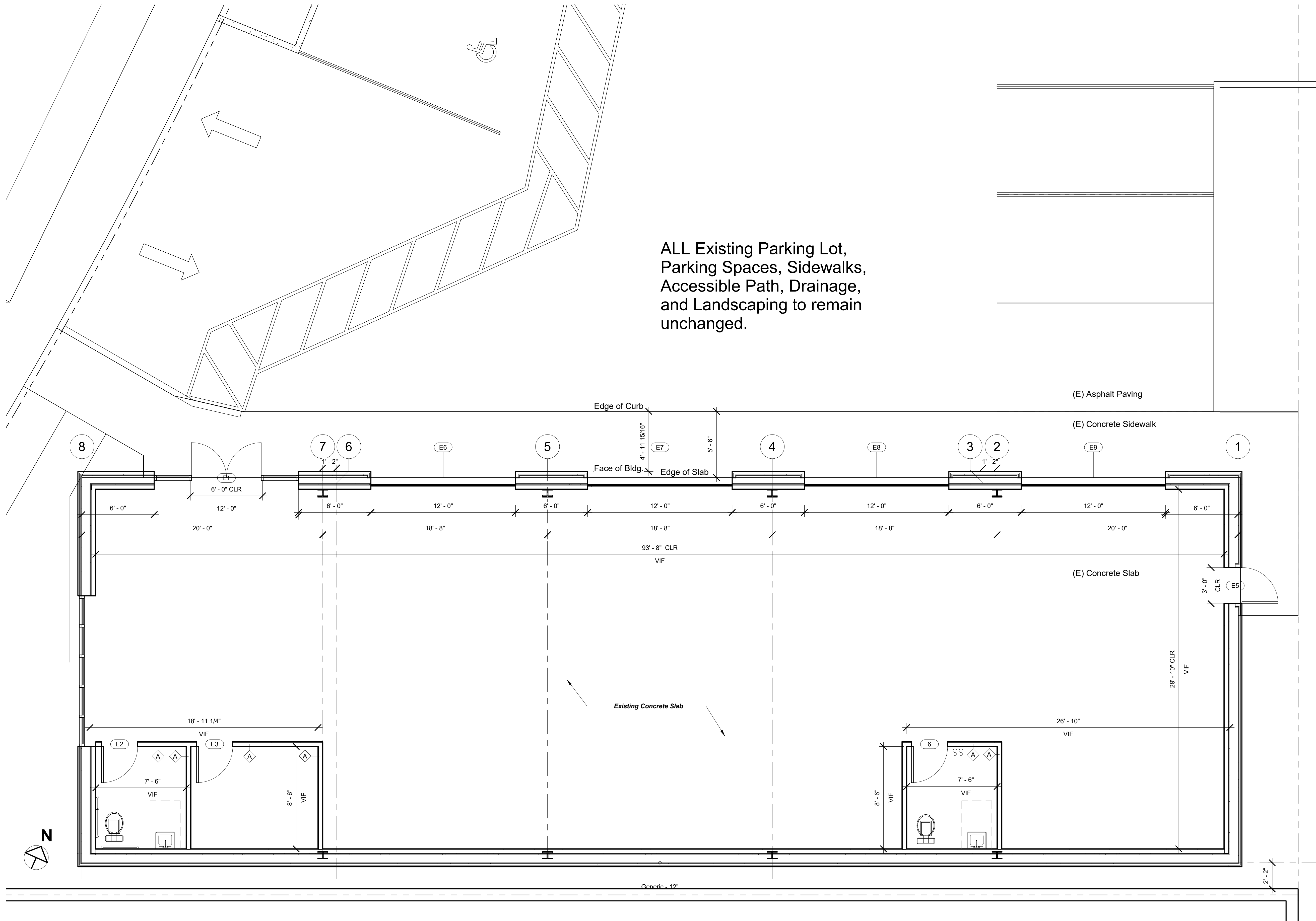
Dispensary  
MERCY Santa Rosa

Site Plan  
Parking

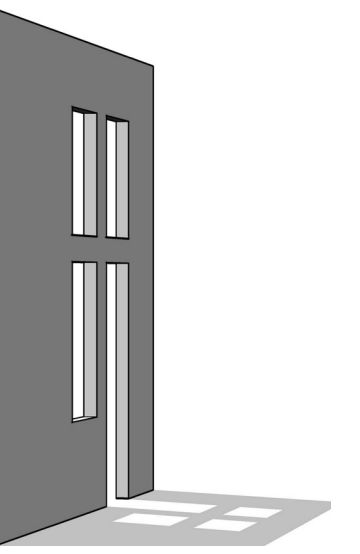
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Drawn by	4dP
Checked by	ROK

A-1.11

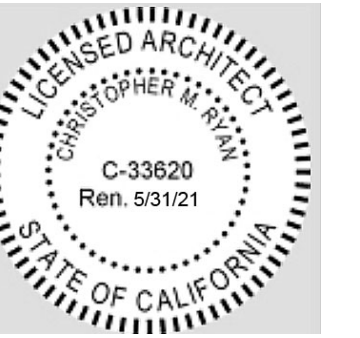
Scale 1/8" = 1'-0"



1 Level 1 - Base Building EXISTING SHELL  
1/4" = 1'-0"



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PH: (415) 531-0404



MERCY Santa Rosa  
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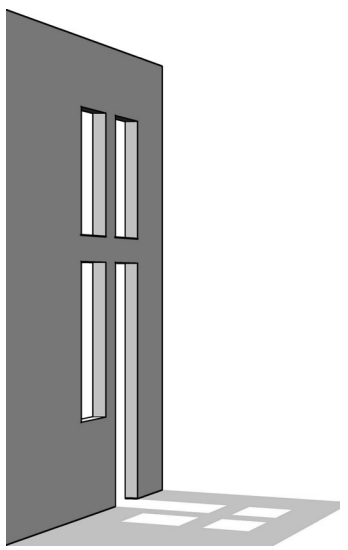
No.	Description	Date
1	ISSUED FOR REVIEW 7/25/19	
2	NOT FOR CONSTRUCTION	
3		
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10		

Dispensary  
MERCY Santa  
Rosa

Existing Base  
Building

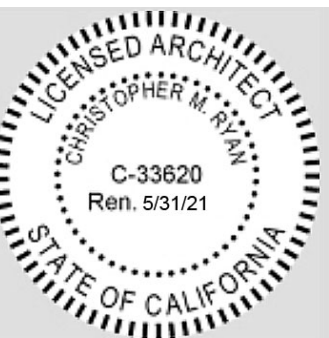
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Date	7/3/2019
Drawn by	4dP
Checked by	ROK

A-1.20  
Scale 1/4" = 1'-0"



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Dispensary  
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EXITING Plan

Project number	1903
Date	7/3/2019
Drawn by	4dP
Checked by	ROK

A-1.22

Scale 1/4" = 1'-0"

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Room Occupancy Schedule						
Level	Number	Name	Area	Occupancy	Load Factor	Occupants

Level 2	M1	Foyer	140 SF	Business	100 SF	2
Level 2	M2	Office	338 SF	Business	100 SF	4
						6

Level 1	1	Lobby	269 SF	Mercantile	60 SF	5
Level 1	2	Reception	108 SF	Business	100 SF	2
Level 1	3	Manager	90 SF	Business	100 SF	1
Level 1	4	Security	64 SF	Business	100 SF	1
Level 1	5	Retail	736 SF	Mercantile	60 SF	13
Level 1	6	Point of Sale	366 SF	Business	100 SF	4
Level 1	7	Hallway	132 SF	Business	100 SF	2
Level 1	8	Vault	284 SF	Business	100 SF	3
Level 1	9	Office	88 SF	Business	100 SF	1
Level 1	10	Intake	117 SF	Business	100 SF	2
Level 1	11	Bath	64 SF	Business	100 SF	1
Level 1	12	Bath	64 SF	Business	100 SF	1
Level 1	13	Break	123 SF	Business	100 SF	2
Level 1	14	Receiving	192 SF	Business	100 SF	2

Grand total 40  
46

EXITING LEGEND:

46. Cumulative  
Occupant  
Counts

XXX' Exit Access  
Travel Distance

Exit Signs

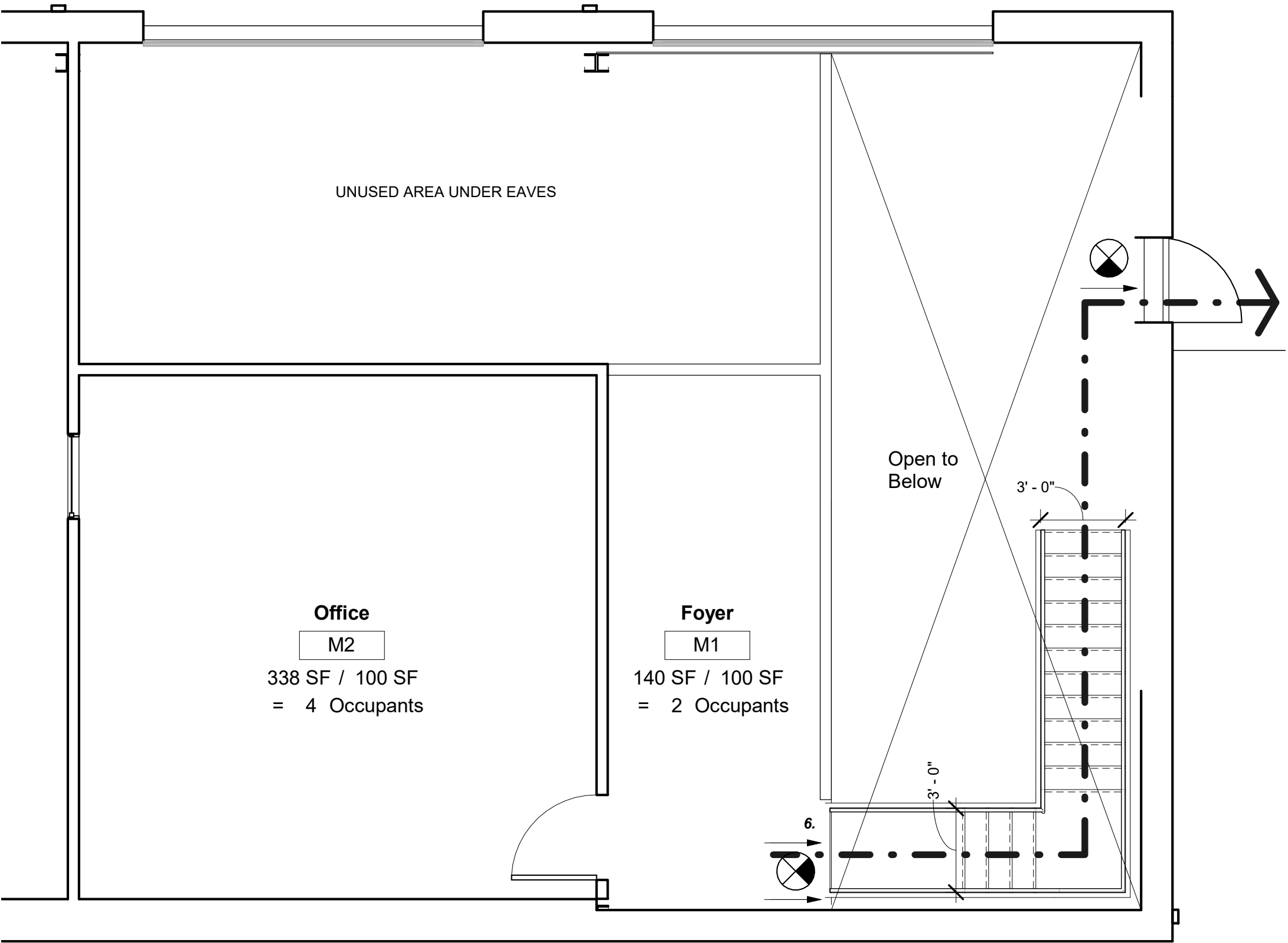
Fire Extinguisher  
Cabinet

Max. Exit Width Required  
(See Plan for occupant  
counts at Exit doors)

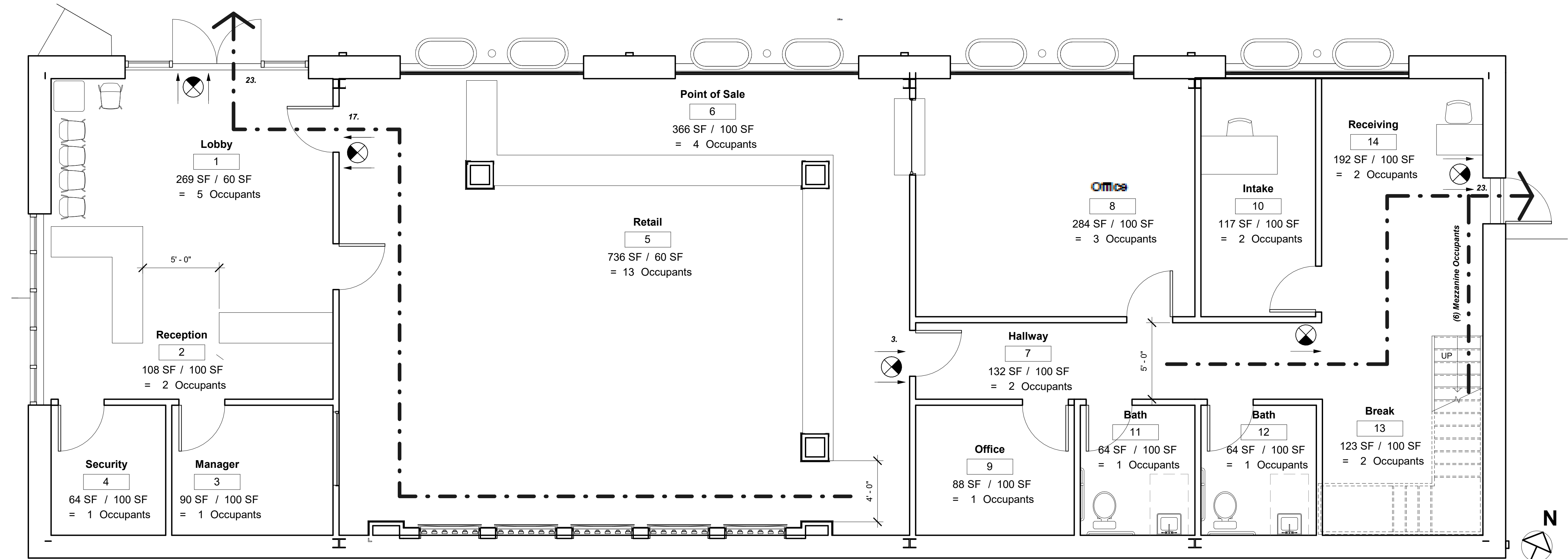
= (46) Occupants X .2"  
= 9.6" Required

Exit Width Provided = 36"  
(2) Provided Exit doors 36" min.

Exiting Legend  
1/4" = 1'-0"

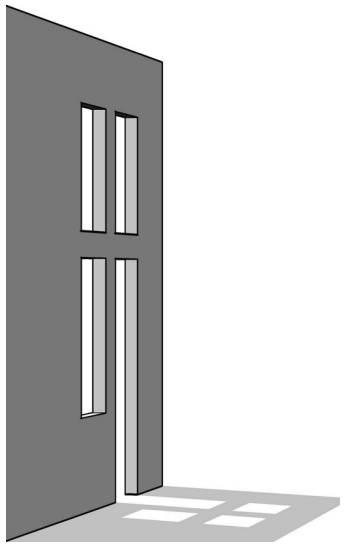


2 Level 2 - Mezzanine EXITING  
1/4" = 1'-0"



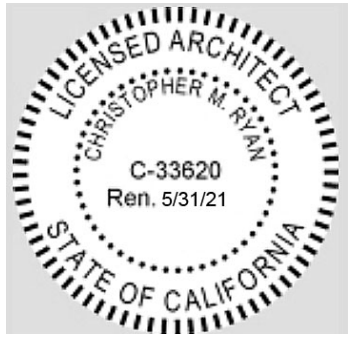
1 Level 1 - EXITING  
1/4" = 1'-0"





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Dispensary  
MERCY Santa  
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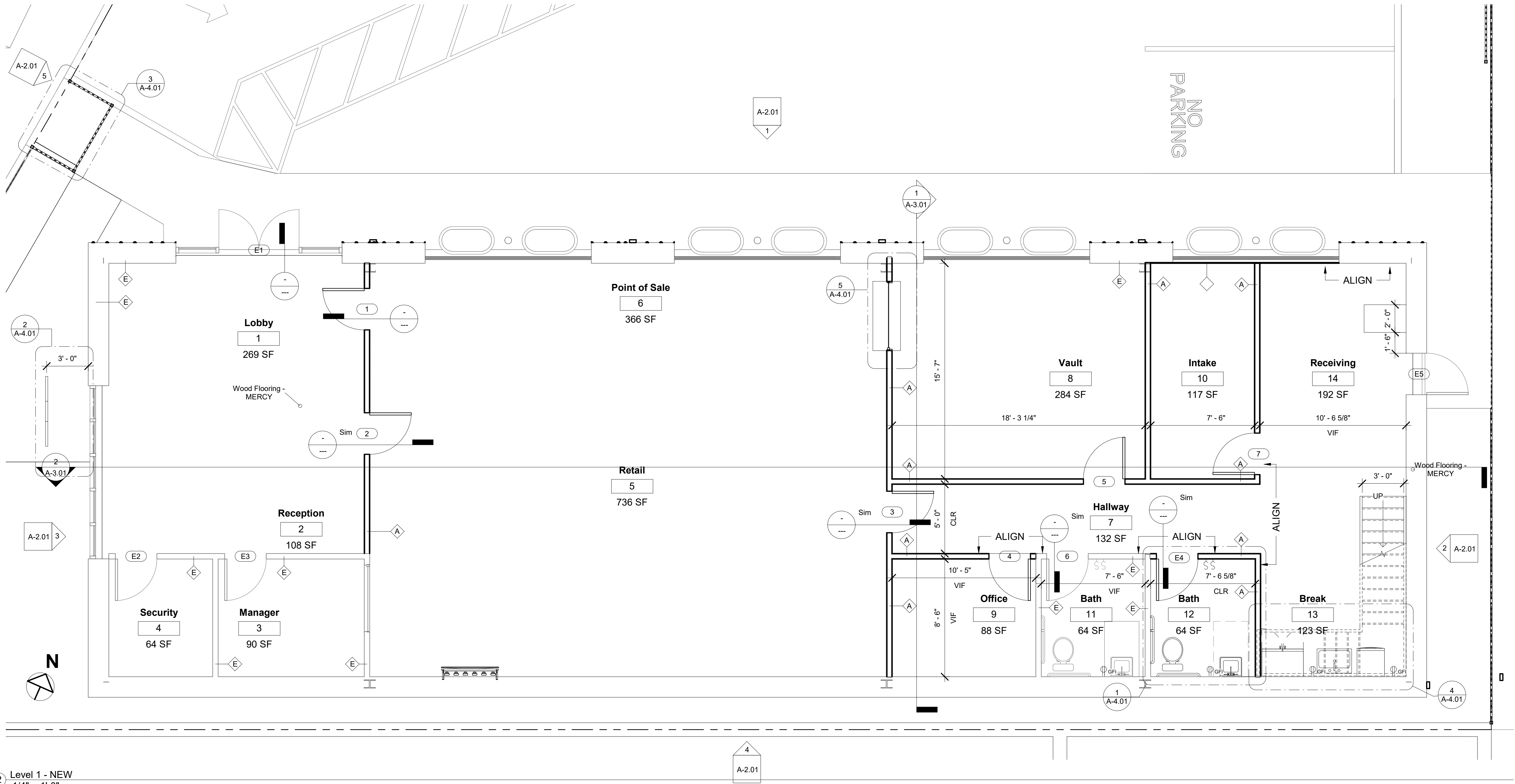
Floorplan NEW

Project number	1903
Date	7/3/2019
Drawn by	4dP
Checked by	ROK

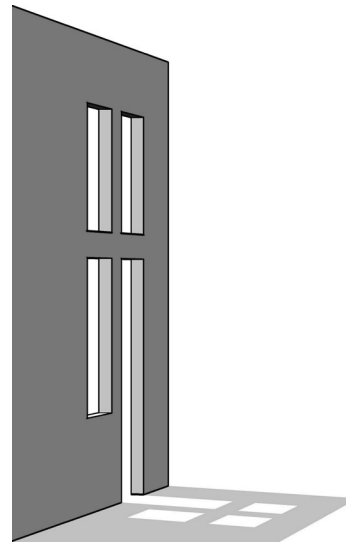
A-1.30

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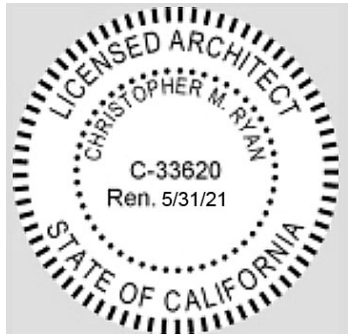
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2 Level 1 - NEW  
1/4" = 1'-0"



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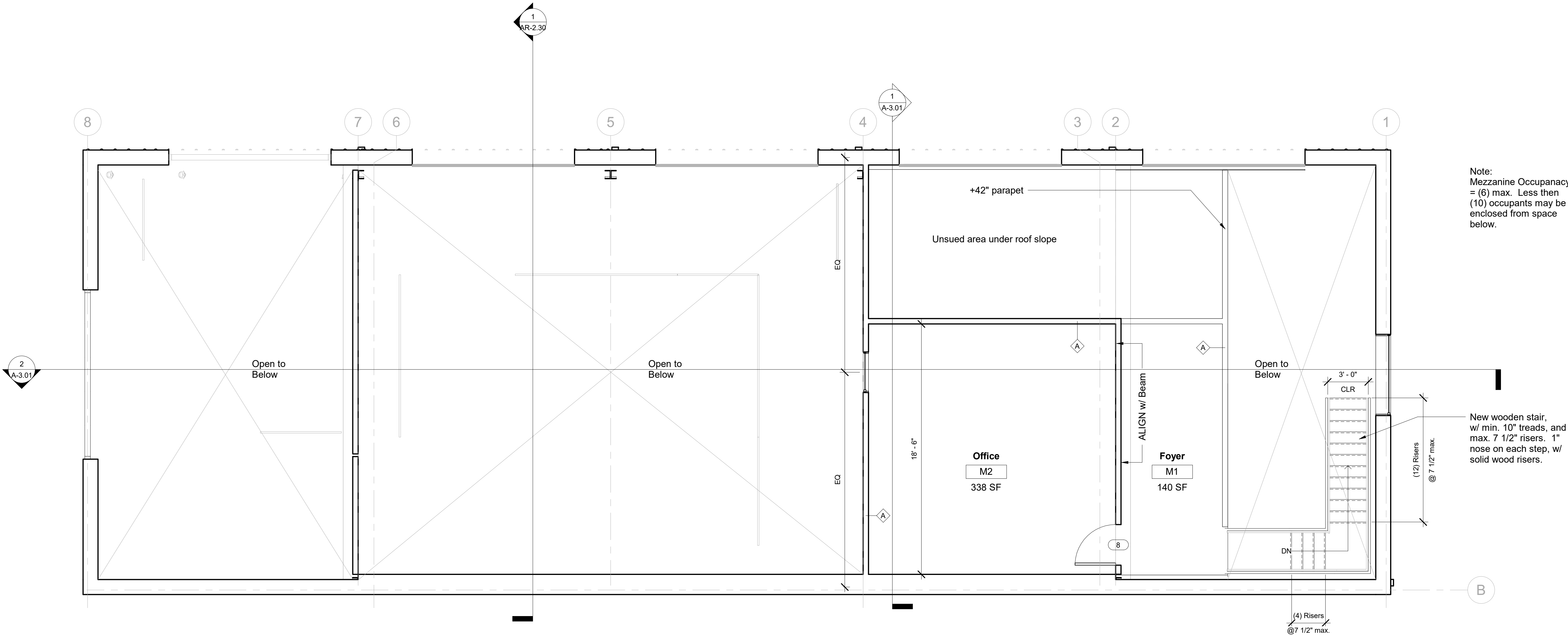
Dispensary  
MERCY Santa  
Rosa

Mezzanine  
Plan NEW

Project number	1903
Date	7/3/2019
Drawn by	4dP
Checked by	ROK

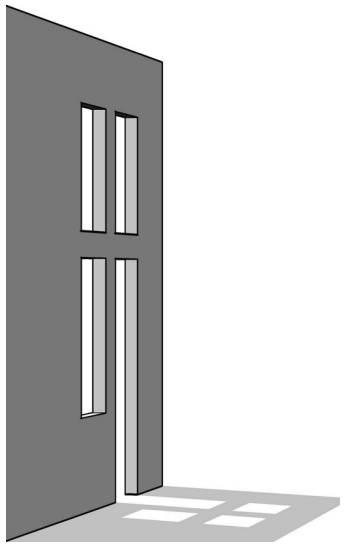
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Scale	1/4" = 1'-0"
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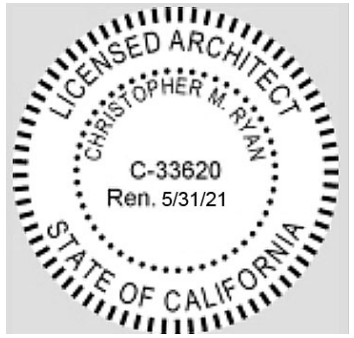


1 Mezzanine Plan  
1/4" = 1'-0"





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**Dispensary**  
**MERCY Santa**  
**Rosa**

**Electrical Plans**

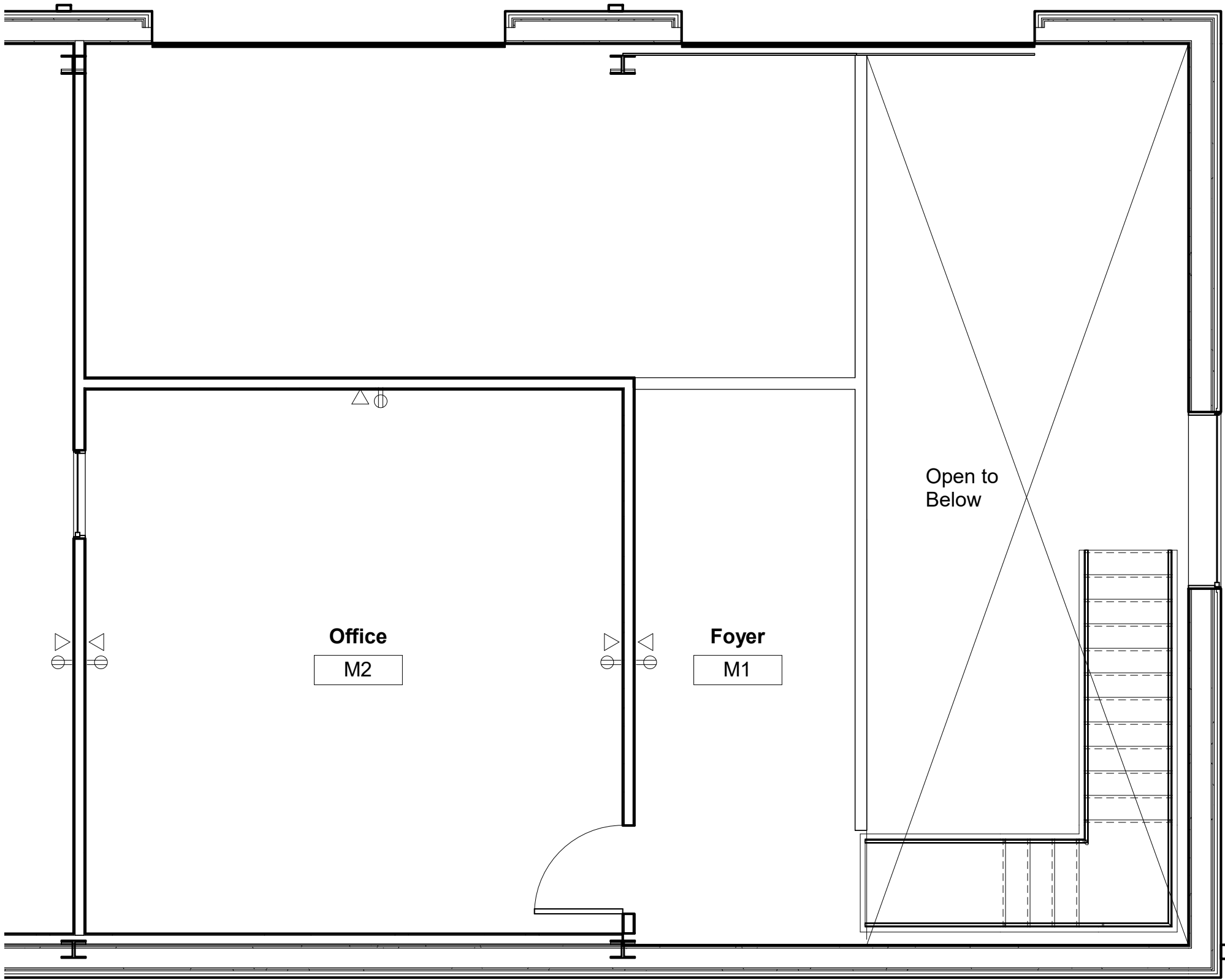
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Date	7/3/2019
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Checked by	Checker

**A-1.81**

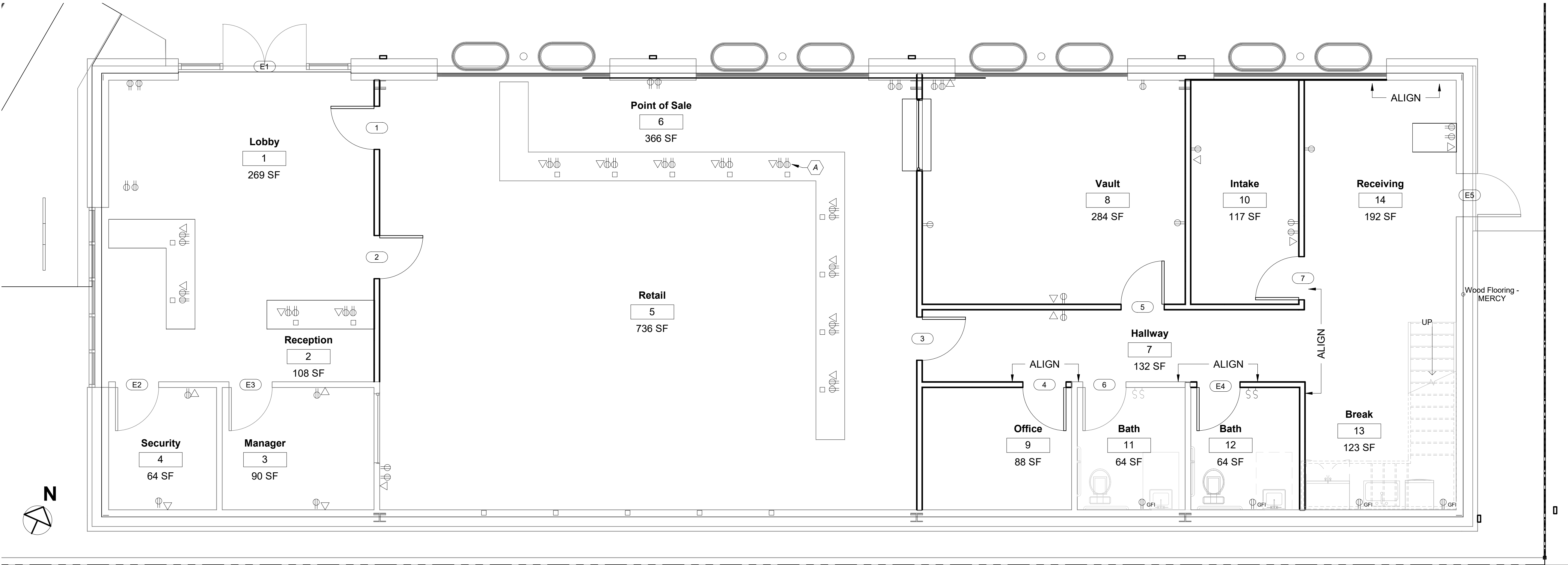
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**ELECTRICAL Legend:**

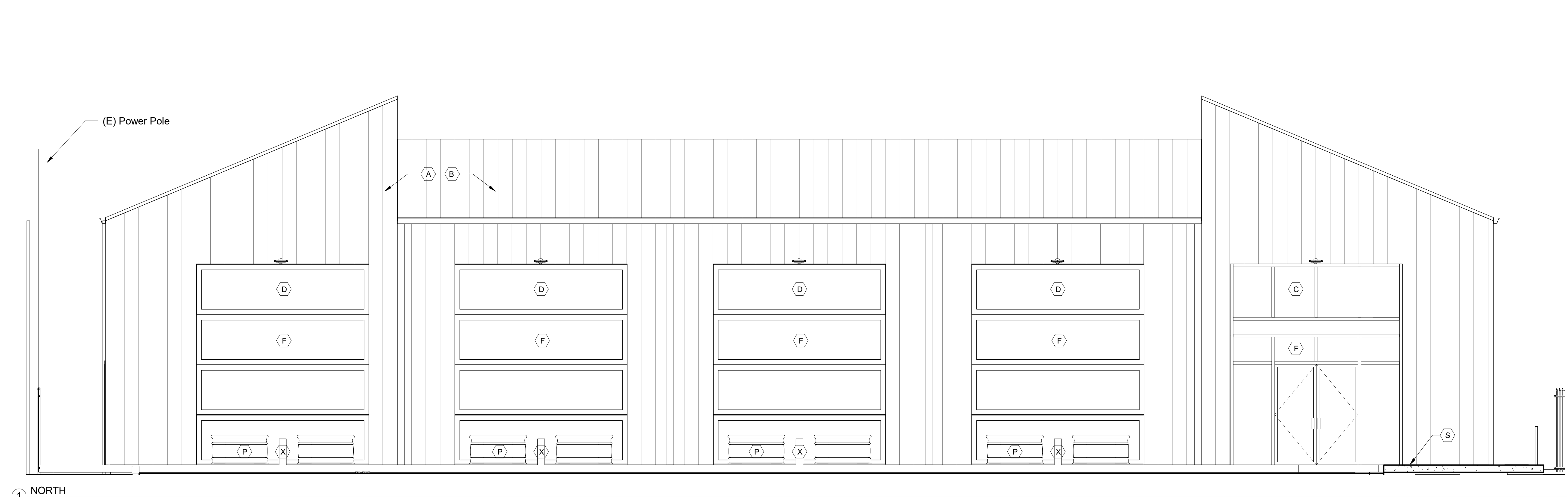
- Standard Wall Switch - double
- Duplex Receptacle housed in Surface-Mounted J-Box
- Standard Duplex Receptacle, recessed in wall.  
( + Elevation indicator )
- High-mounted outlet for television displays. Coordinate  
exact location with with new equipment cut sheets.
- Data outlets
- Duplex recetacle mounted inside casework
- Data receptable mounted inside caswork
- J-boxes to supply LED lighting, see plan.



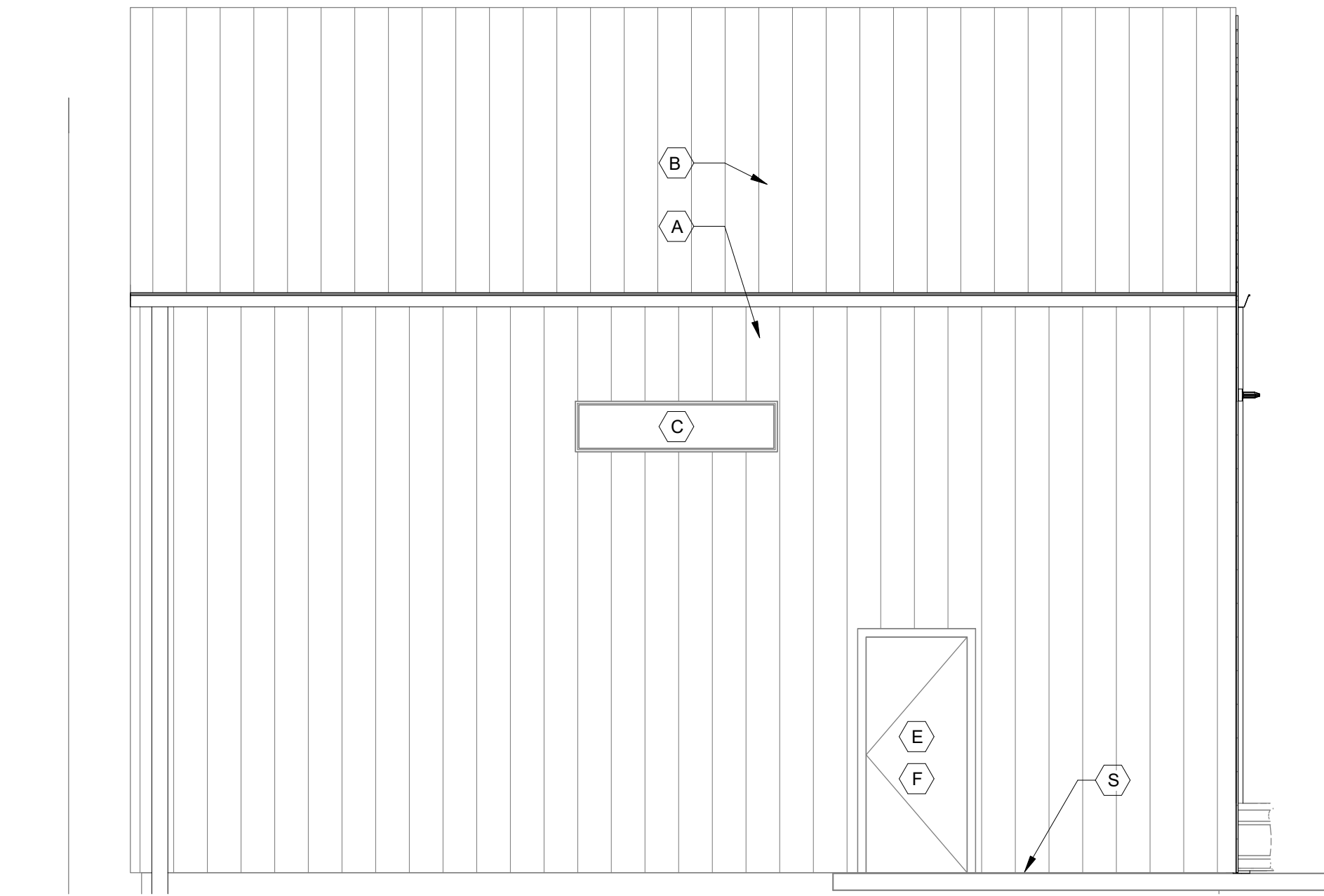
② Mezzanine NEW ELEC  
1/4" = 1'-0"



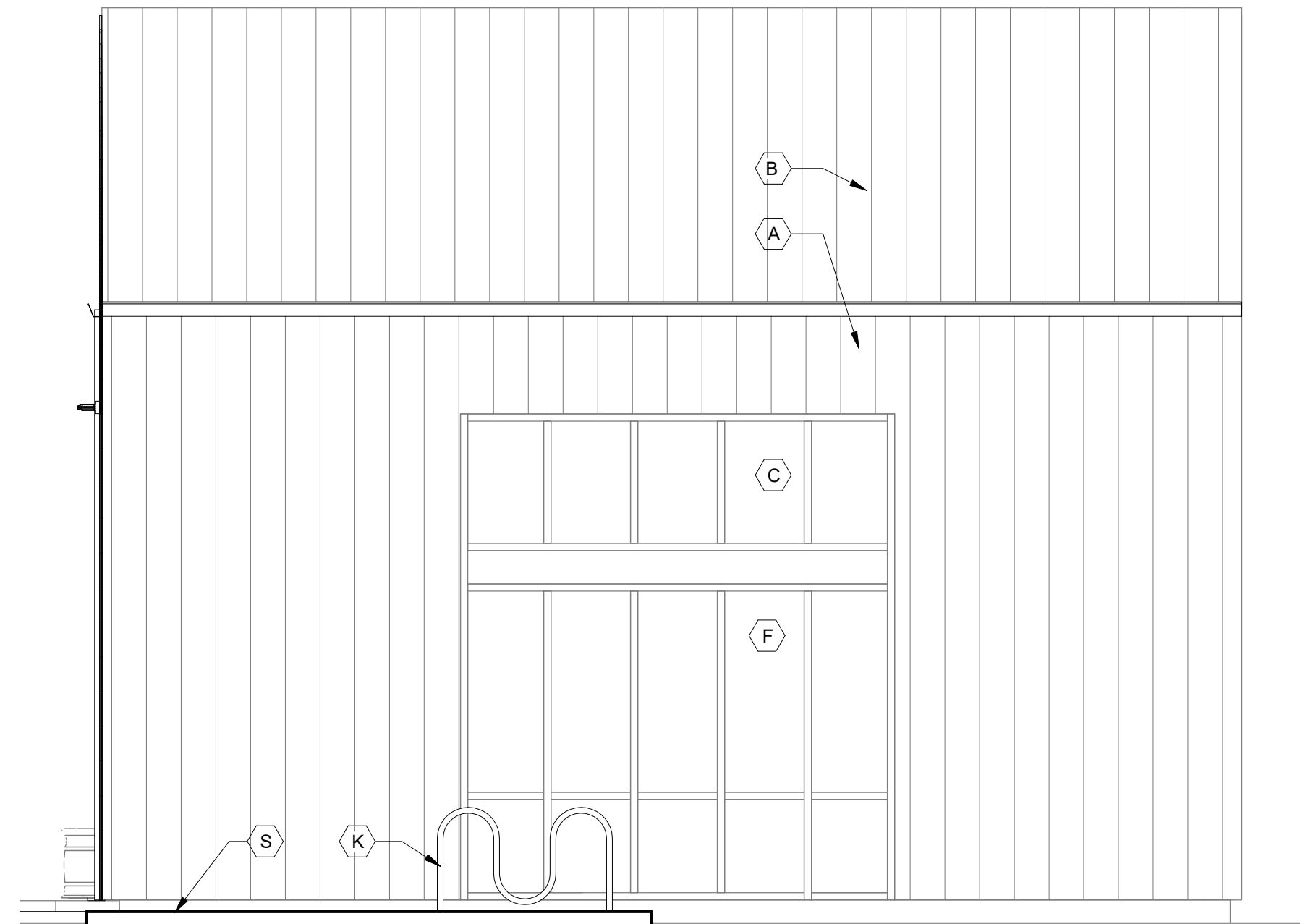
① Level 1 - NEW ELEC  
1/4" = 1'-0"



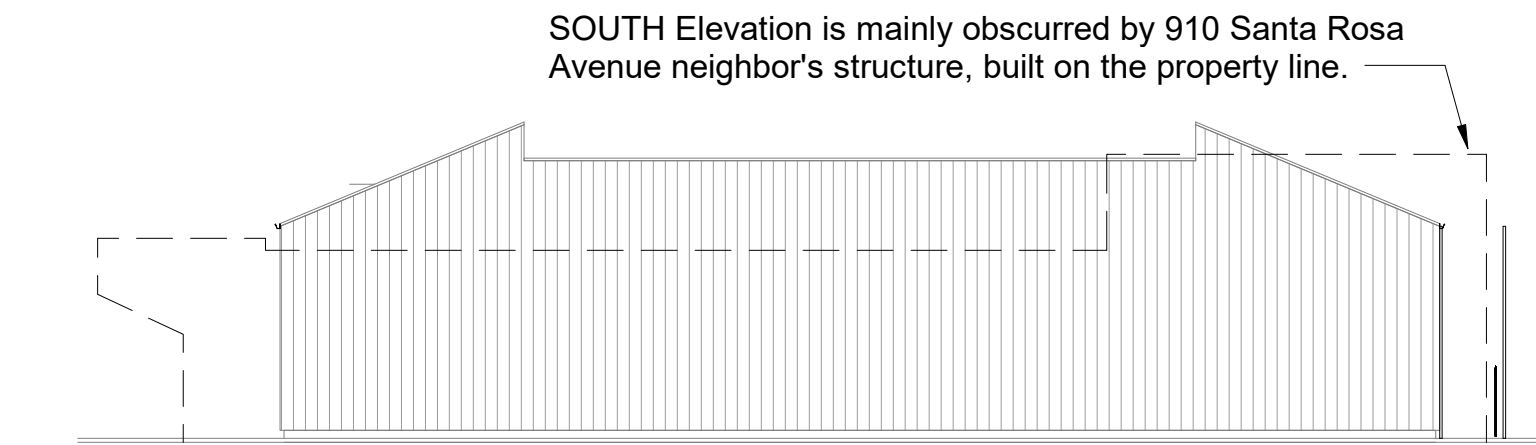
1 NORTH  
1/4" = 1'-0"



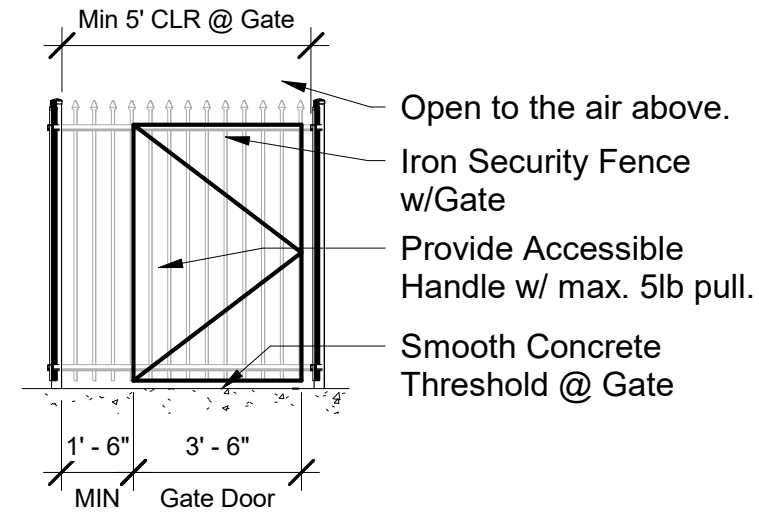
2 EAST  
1/4" = 1'-0"



3 WEST  
1/4" = 1'-0"

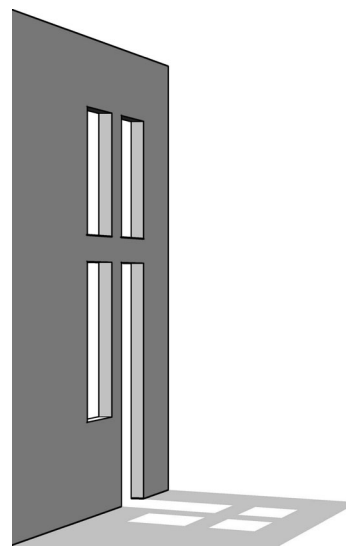


4 SOUTH  
1/16" = 1'-0"

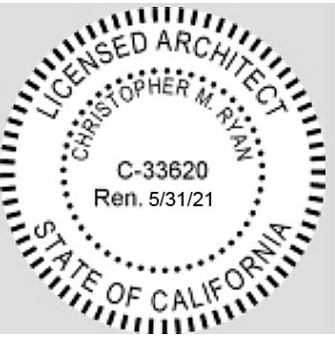


5 Gate Elevation  
1/4" = 1'-0"

SHEET NOTES - Elevations	
Note ID	Note DESCRIPTION
A	Metal Siding
B	Metal Roofing
C	Aluminum Framed Glass Storefront
D	Aluminum Framed Glass Garage Doors
E	Aluminum Framed Glass Doors
F	Reflective Priavcu Film
K	New Bike Rack
P	Metal Trough Planters
S	Concrete Sidewalk
X	Security Bollard



4dPerspective  
Christopher M. Ryan, AIA  
PH: (415) 531-0404



MERCY Santa Rosa  
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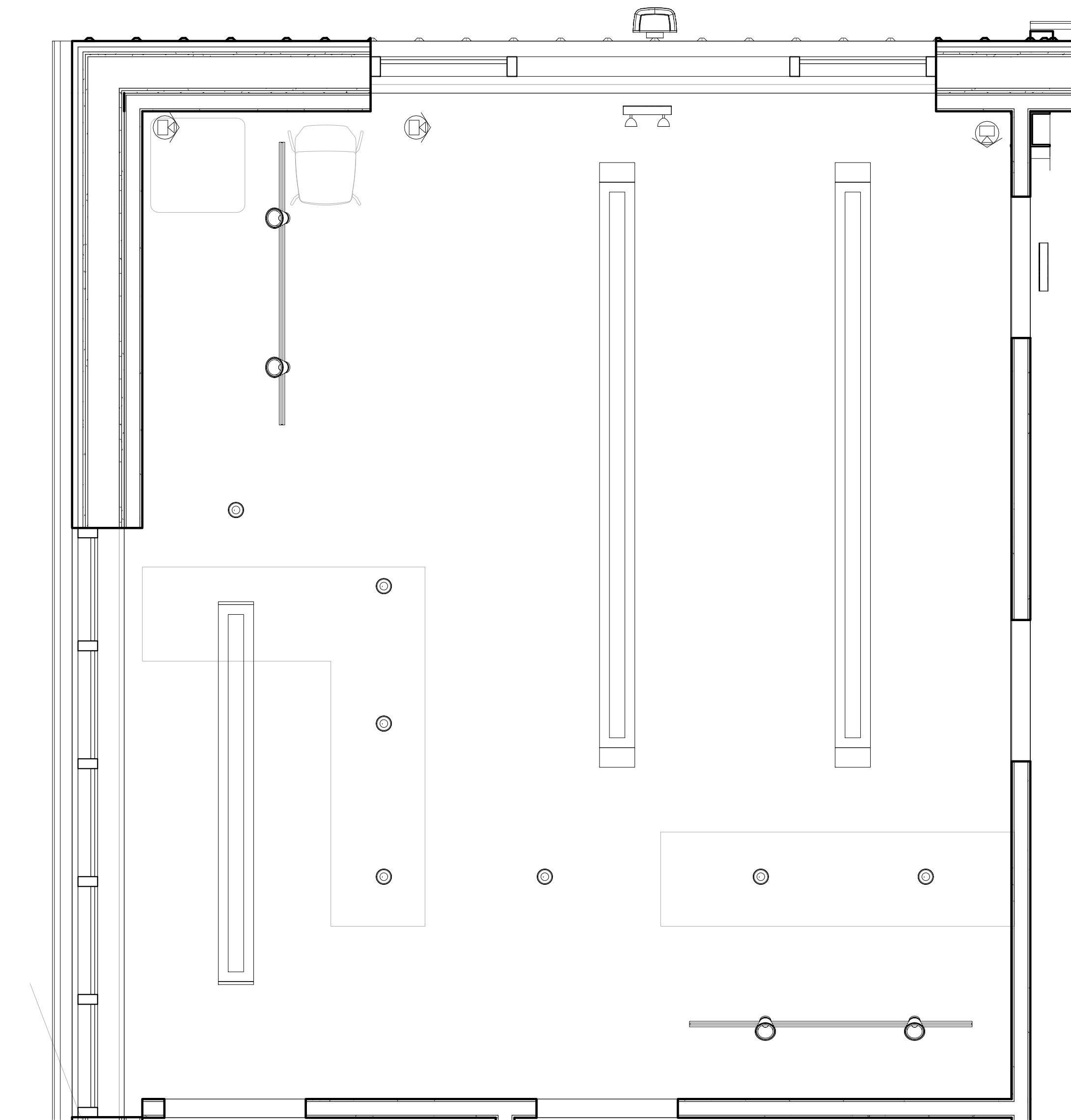
No.	Description	Date
ISSUED FOR REVIEW 7/25/19 NOT FOR CONSTRUCTION		

Dispensary  
MERCY Santa Rosa

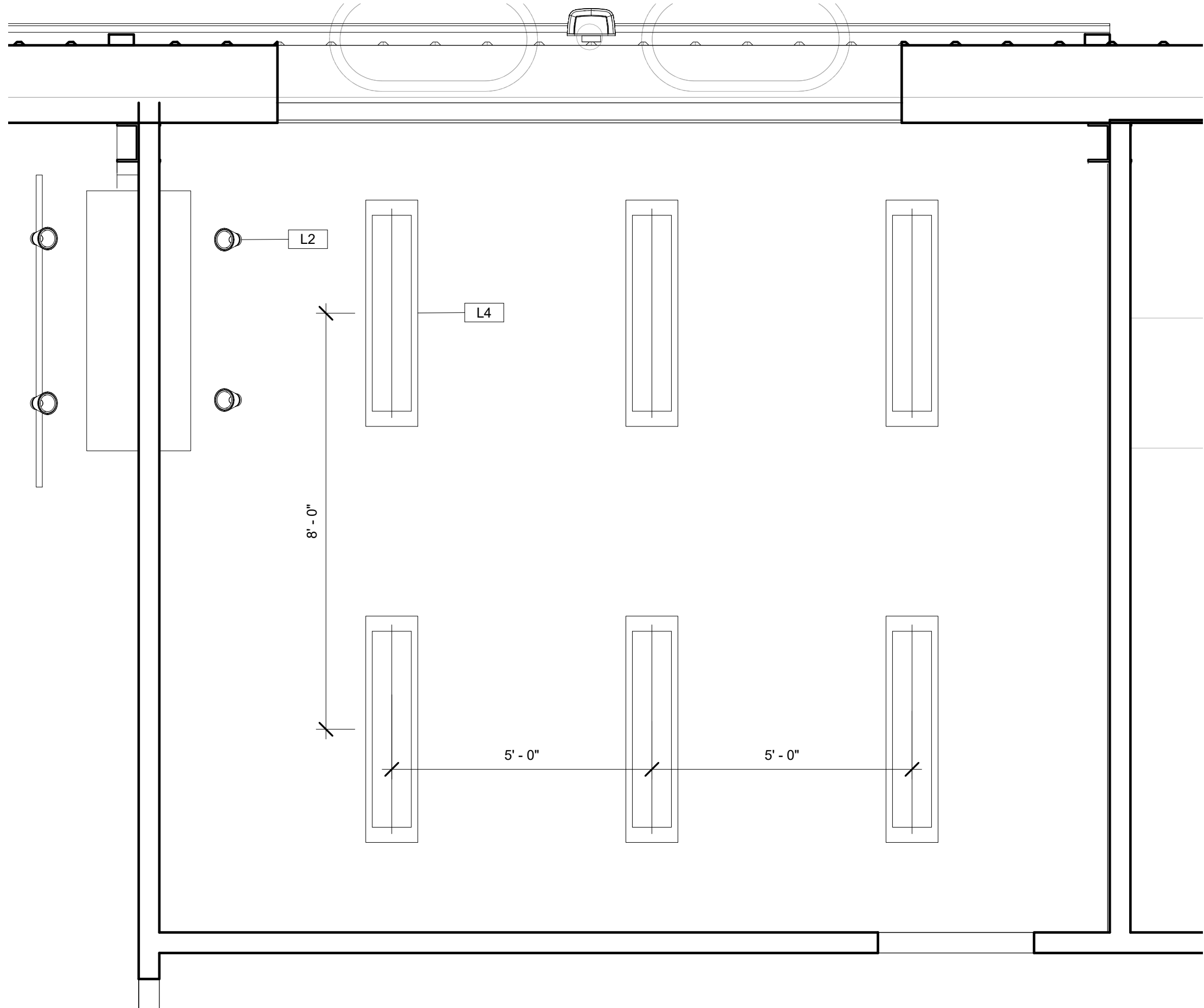
Exterior  
Elevations

Project number	1903
Date	7/3/2019
Drawn by	4dP
Checked by	ROK

A-2.01  
Scale As indicated



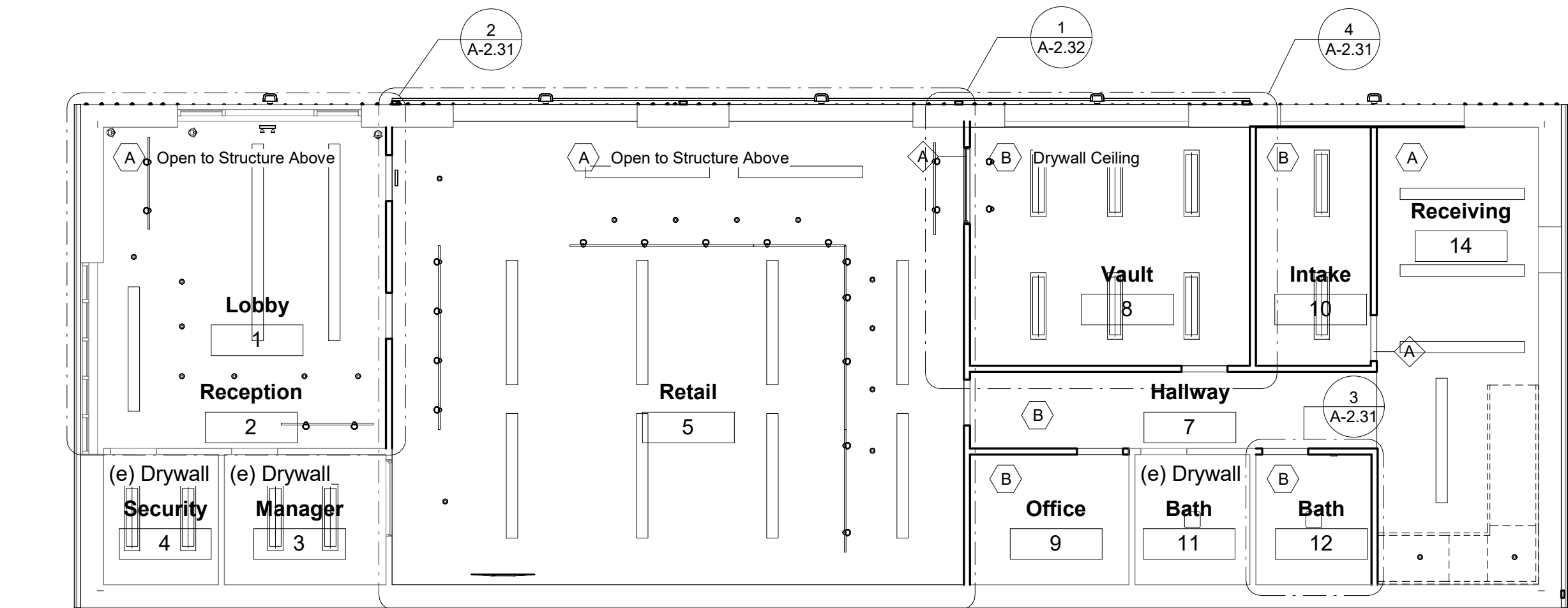
② Level 1 - LOBBY  
1/2" = 1'-0"



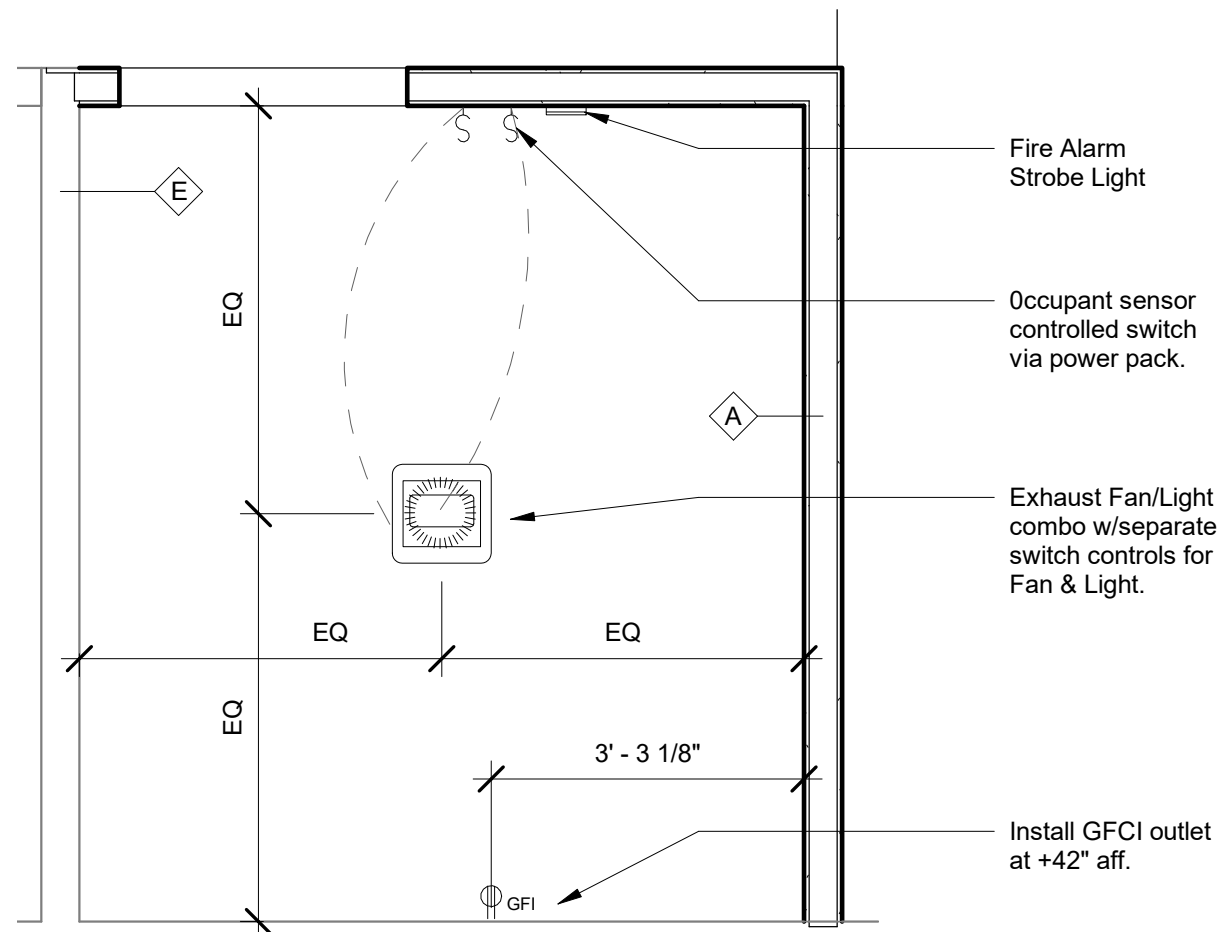
④ Level 1 - VAULT  
1/2" = 1'-0"

**Sheet Notes:**

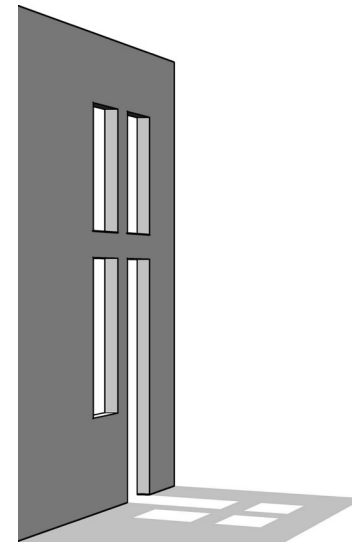
1. Each enclosed room to get a manual light control switch for that room.
2. ALL light switches to include manual dimmers.
3. Bathrooms, Vault Room, and Cash Room, and Offices will have vacancy sensors to shut off the light when not in use.
4. Occupancy sensors must be automatic and programmed to adjust lighting loads in accordance with the activity of a space.
5. As an alternative to an occupancy sensor, a vacancy sensor with a manual "on" and automatic "off" control can be used.



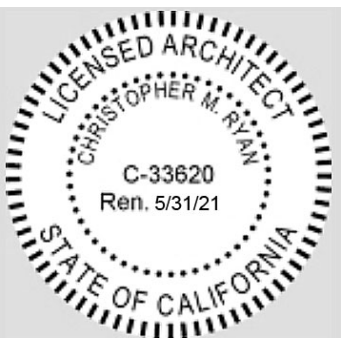
① Level 1 - NEW  
1/8" = 1'-0"



③ Level 1 - BATHROOM  
1/2" = 1'-0"



**4dPerspective**  
Christopher M. Ryan, AIA  
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**MERCY Santa Rosa**  
900 Santa Rosa Avenue, Santa Rosa, CA

No.	Description	Date
<b>ISSUED FOR REVIEW 7/25/19</b>		
<b>NOT FOR CONSTRUCTION</b>		

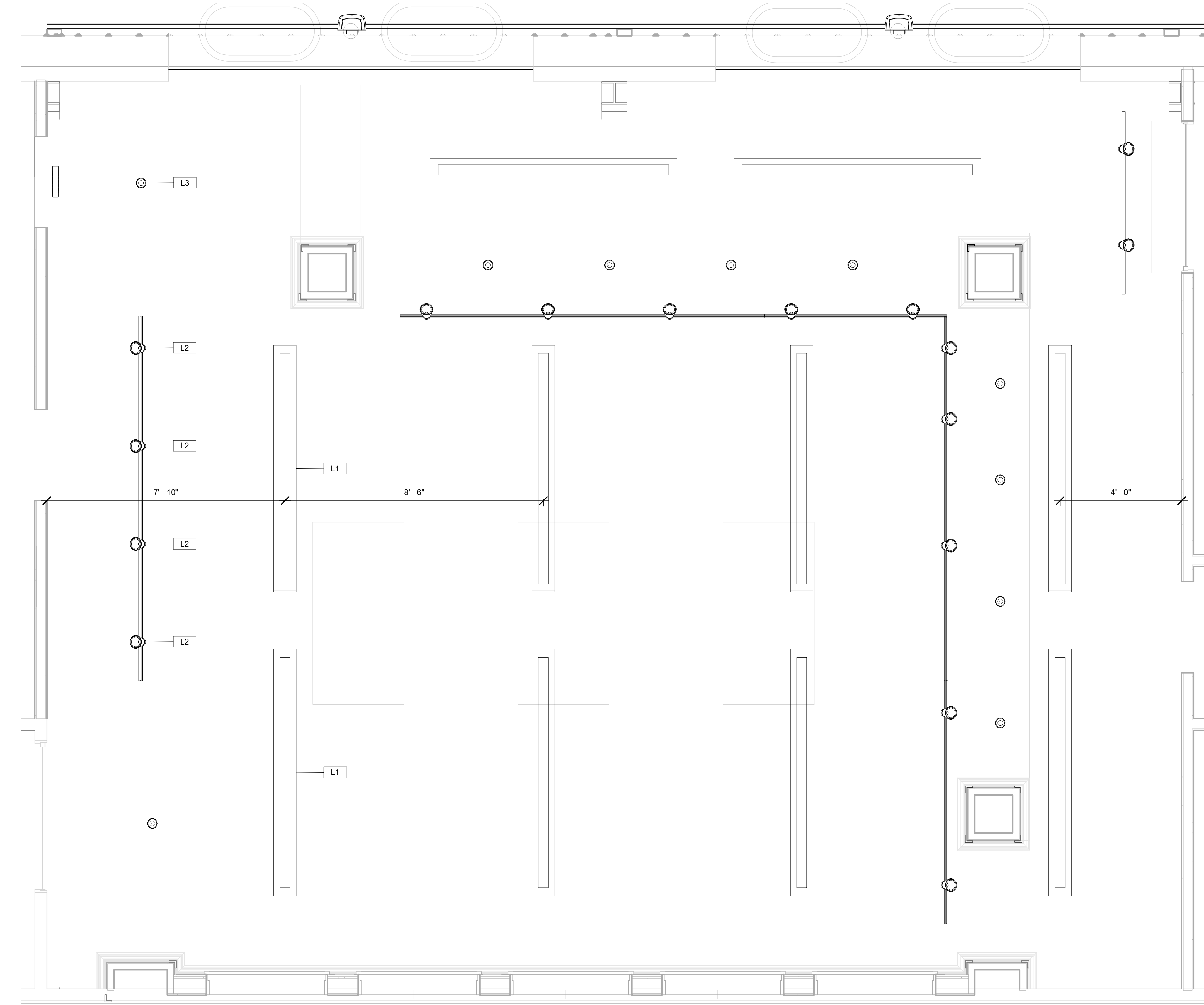
**Dispensary**  
**MERCY Santa**  
**Rosa**

**Reflected**  
**Ceiling Plans**

Project number	1903
Date	7/3/2019
Drawn by	Author
Checked by	Checker

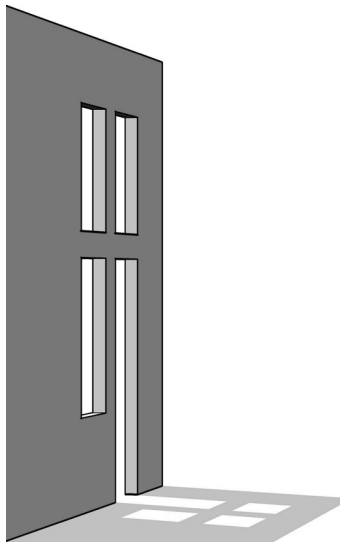
**A-2.31**  
Scale As indicated



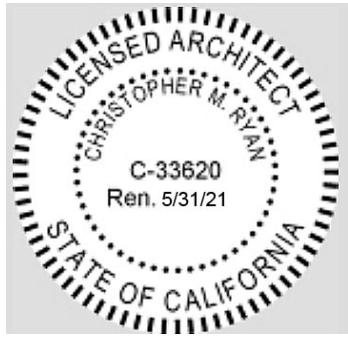


① Level 1 - RETAIL  
1/2" = 1'-0"

Lighting Fixture Schedule			
Count	Type Mark	Type	Wattage
11			
15	L1	7726LAAAA8G1EBDS F	53 W
24	L2	2900 lm 37W 940 FO 46°	
19	L3	2250 lm 27W 940 FO 28°	15 W
12	L4	Surface_4_DSI_Light Level_1_277V_3000K	32 W



4dPerspective  
Christopher M. Ryan, AIA  
PH: (415) 531-0404



MERCY Santa Rosa  
900 Santa Rosa Avenue, Santa Rosa, CA

No.	Description	Date
ISSUED FOR REVIEW 7/25/19		
NOT FOR CONSTRUCTION		

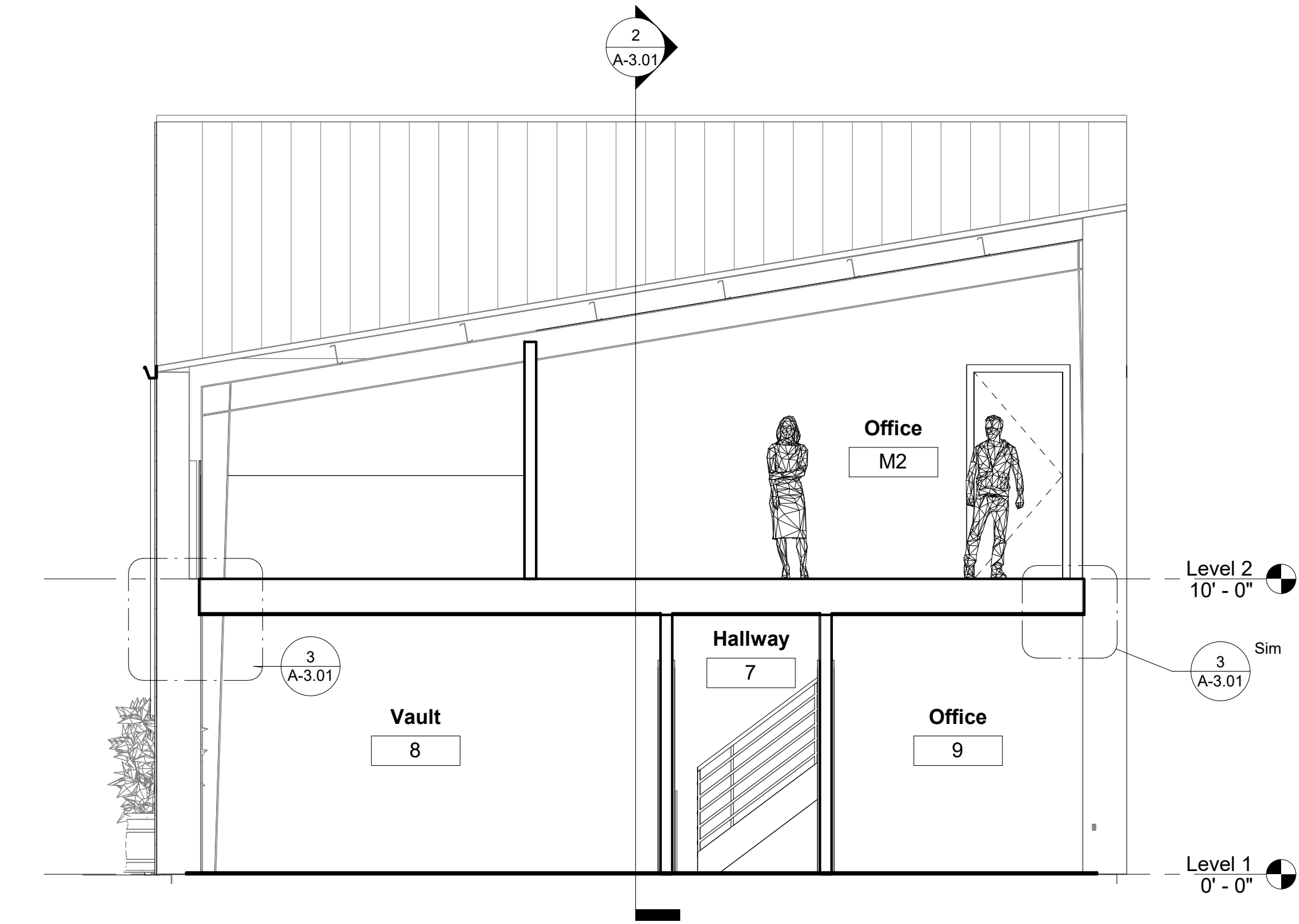
Dispensary  
MERCY Santa  
Rosa

Reflected  
Ceiling Retail

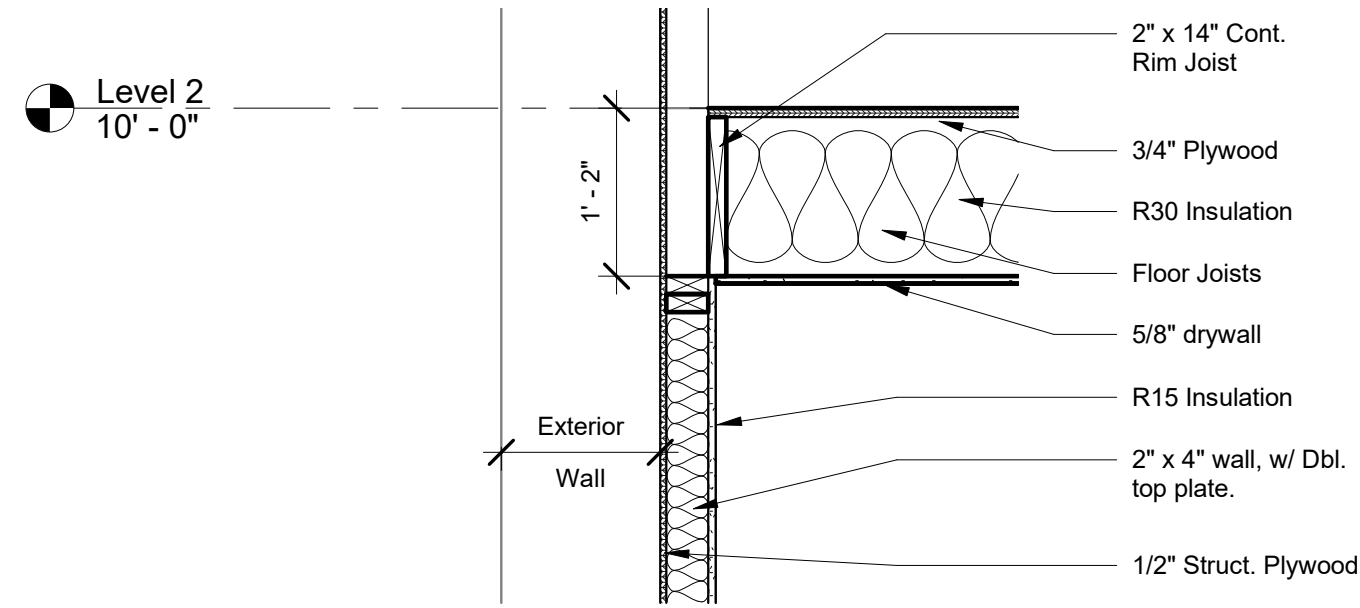
Project number	1903
Date	7/3/2019
Drawn by	4dP
Checked by	ROK

A-2.32

Scale	1/2" = 1'-0"
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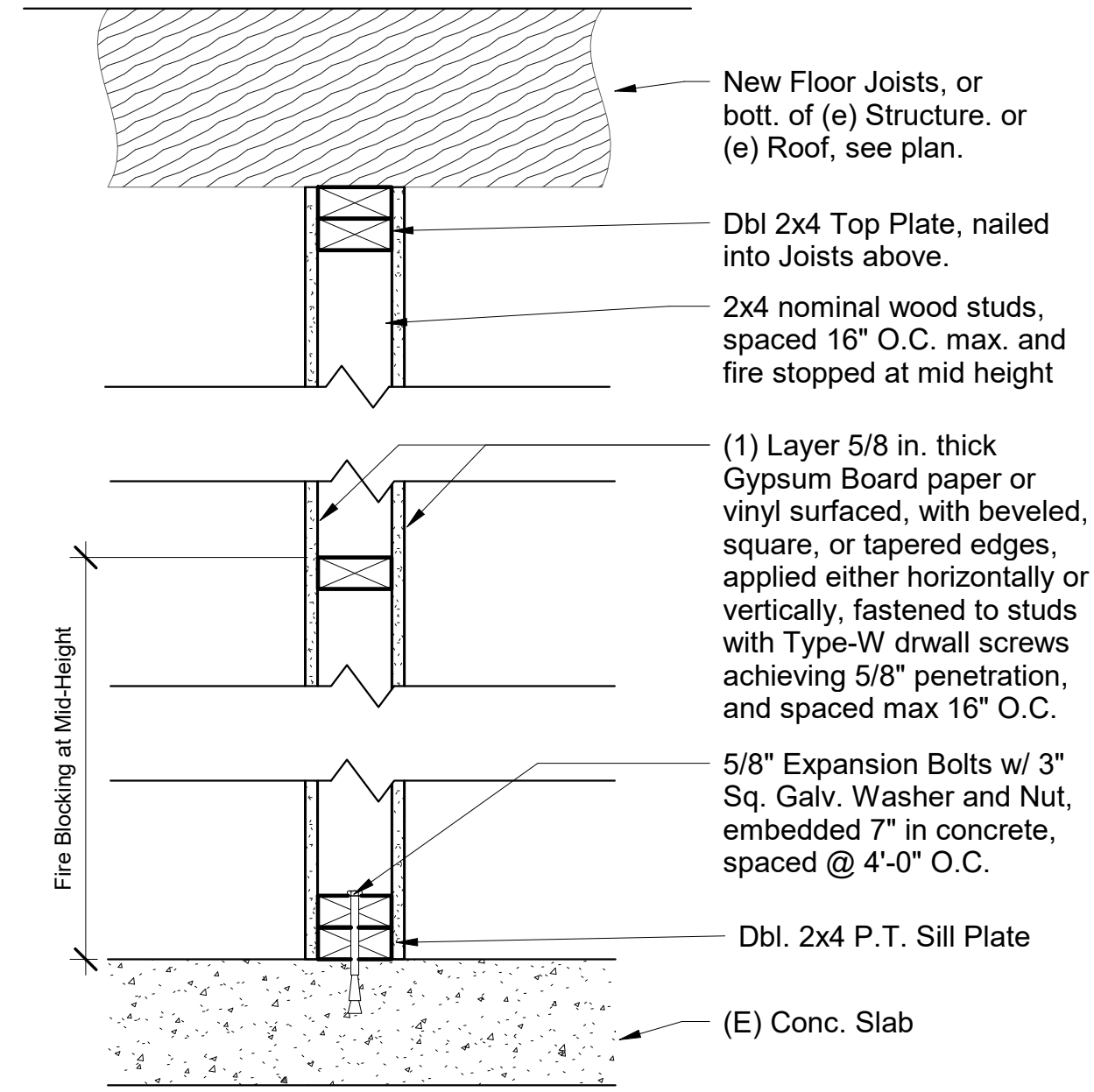


1 North - South Section  
1/4" = 1'-0"

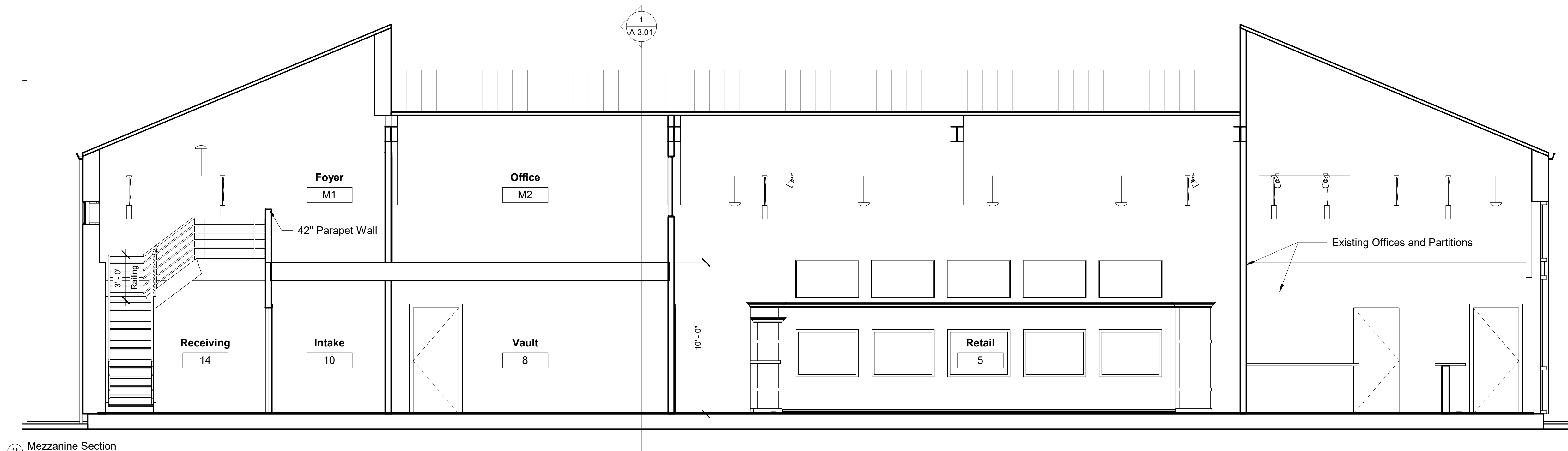


**Note:** For additional framing details, please refer to the approved Permit drawings for NISSTECH AUTOMOTIVE, Sheet 3, revision 3, dated 10/3/2017, from architect Steve Powers.

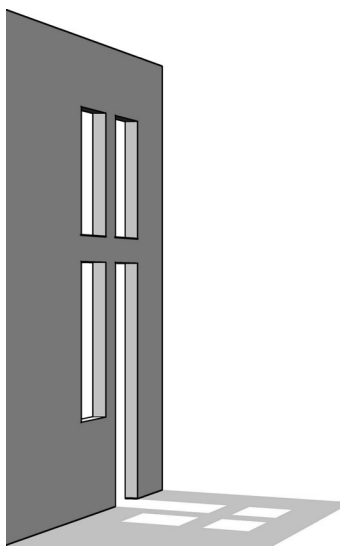
3 Mezzanine Framing Detail  
3/4" = 1'-0"



4 Wall Type  
1 1/2" = 1'-0"

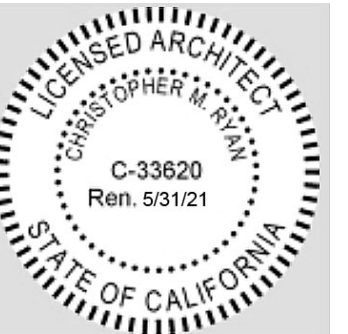


2 Mezzanine Section  
1/4" = 1'-0"



**4dPerspective**

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No.	Description	Date
<b>ISSUED FOR REVIEW 7/25/19</b>		
<b>NOT FOR CONSTRUCTION</b>		

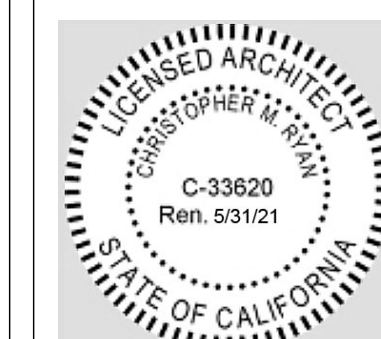
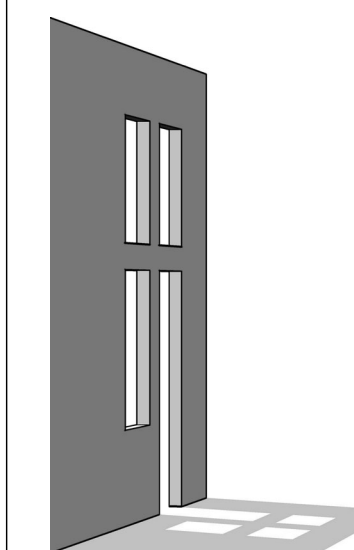
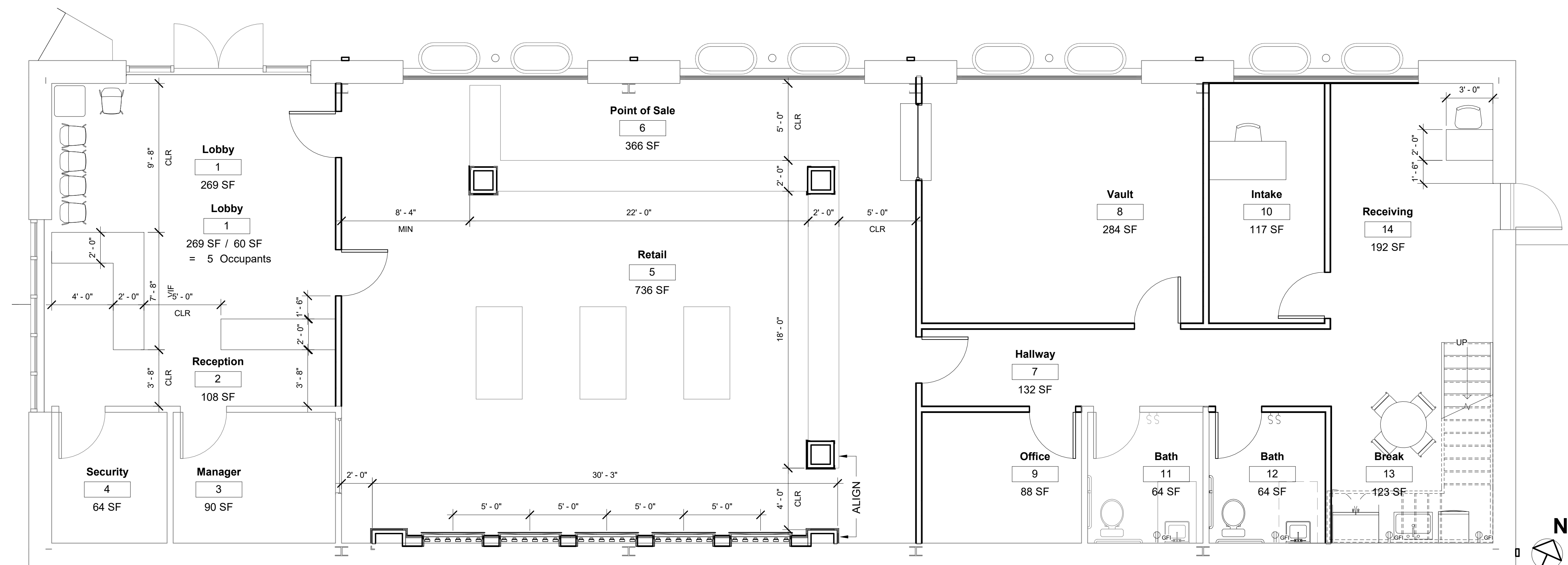
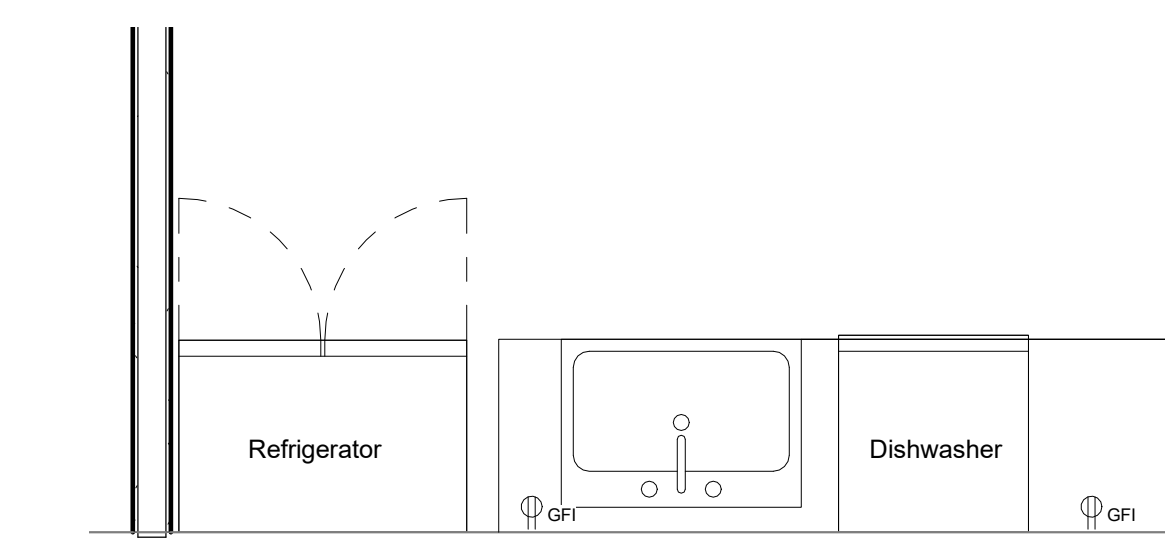
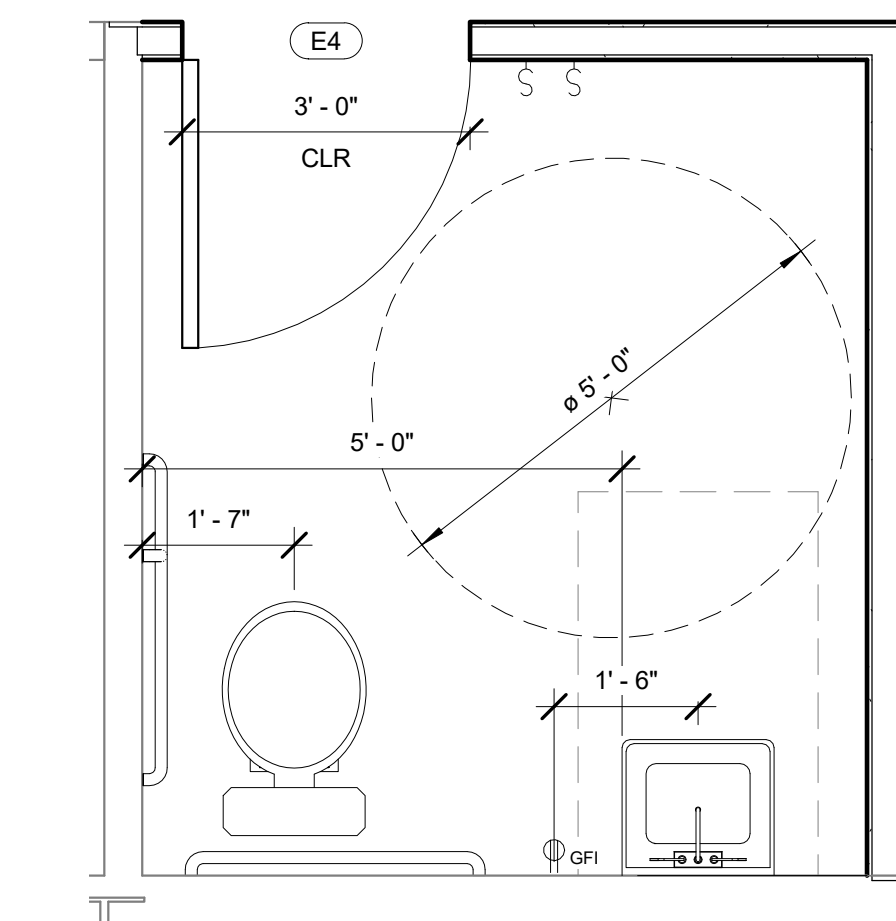
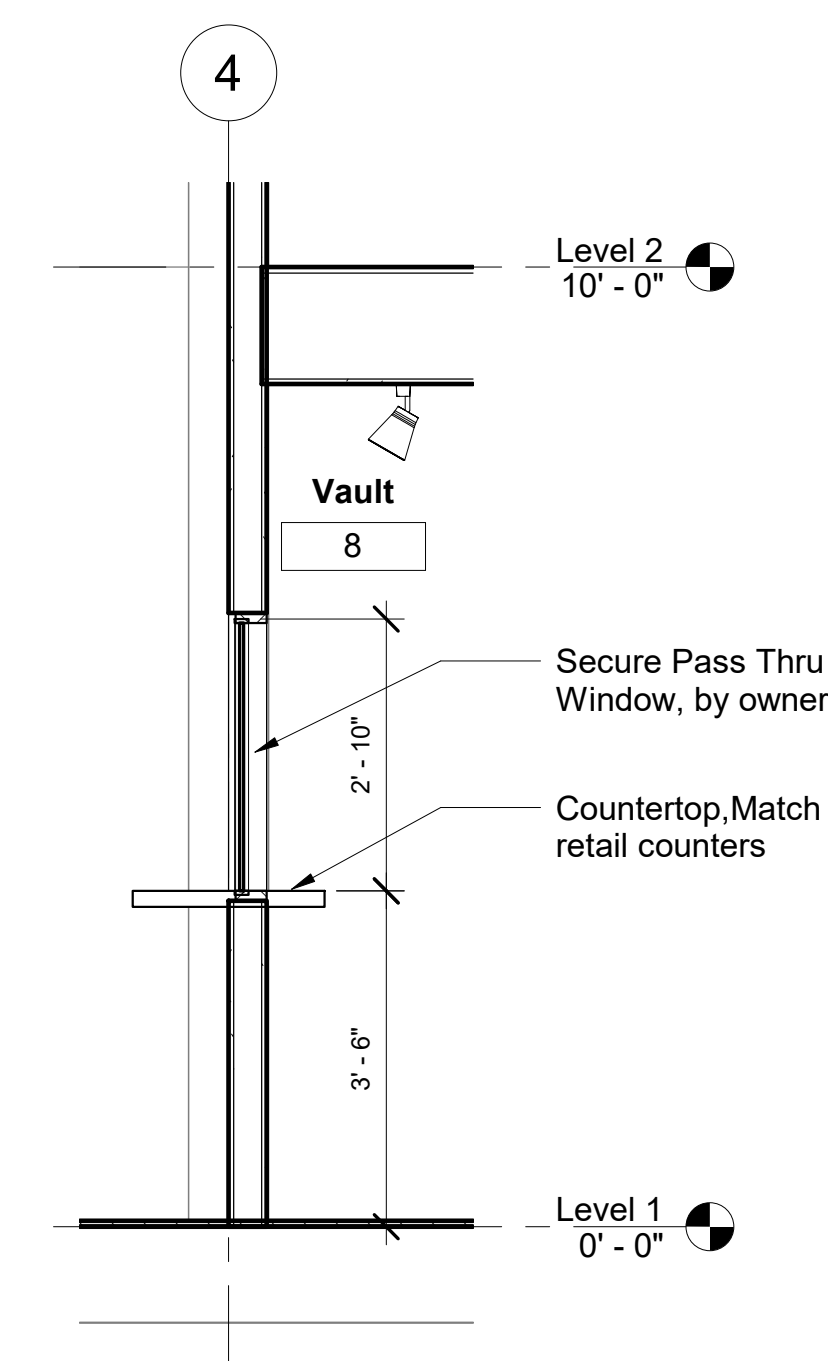
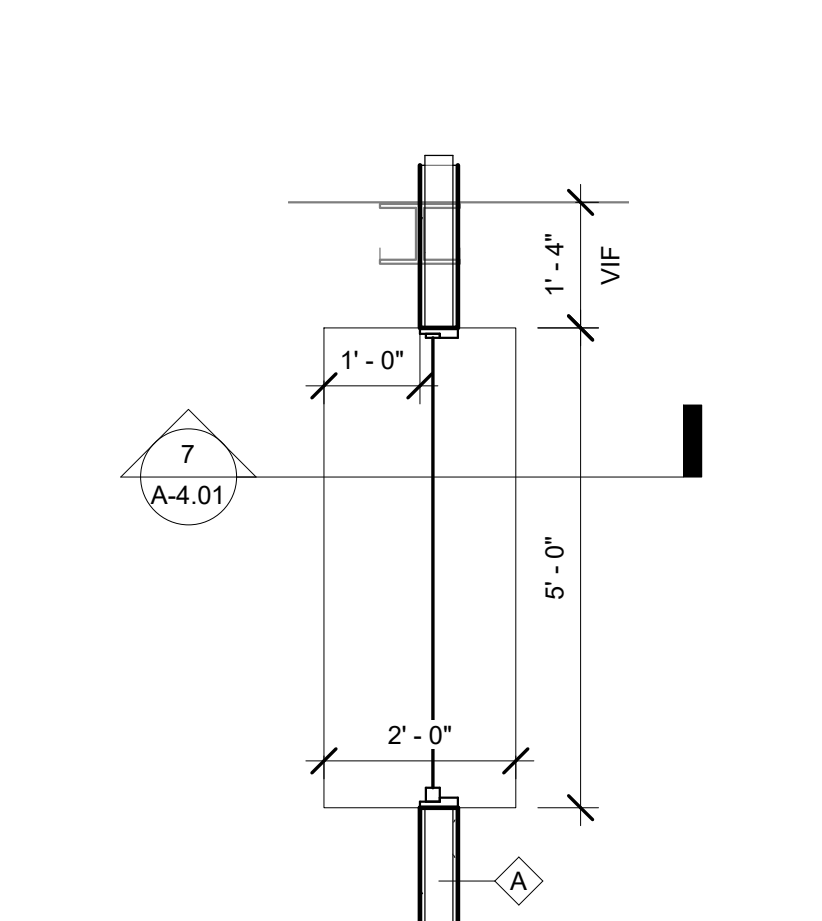
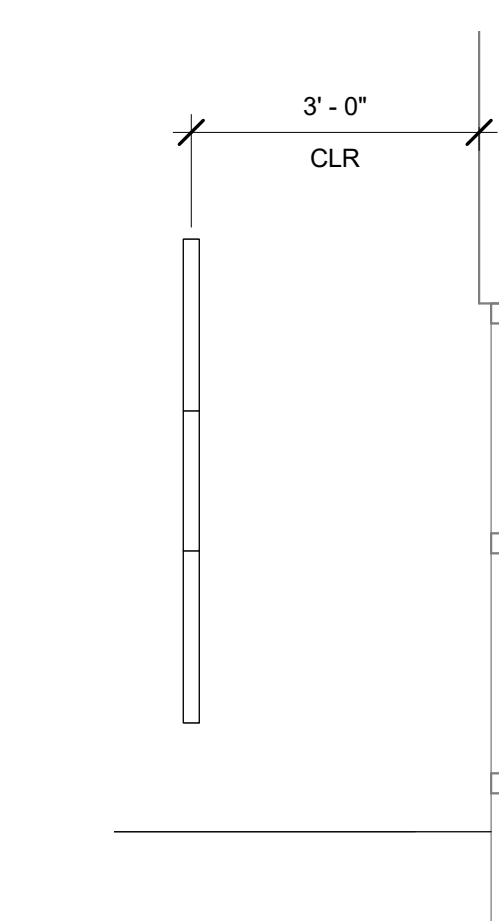
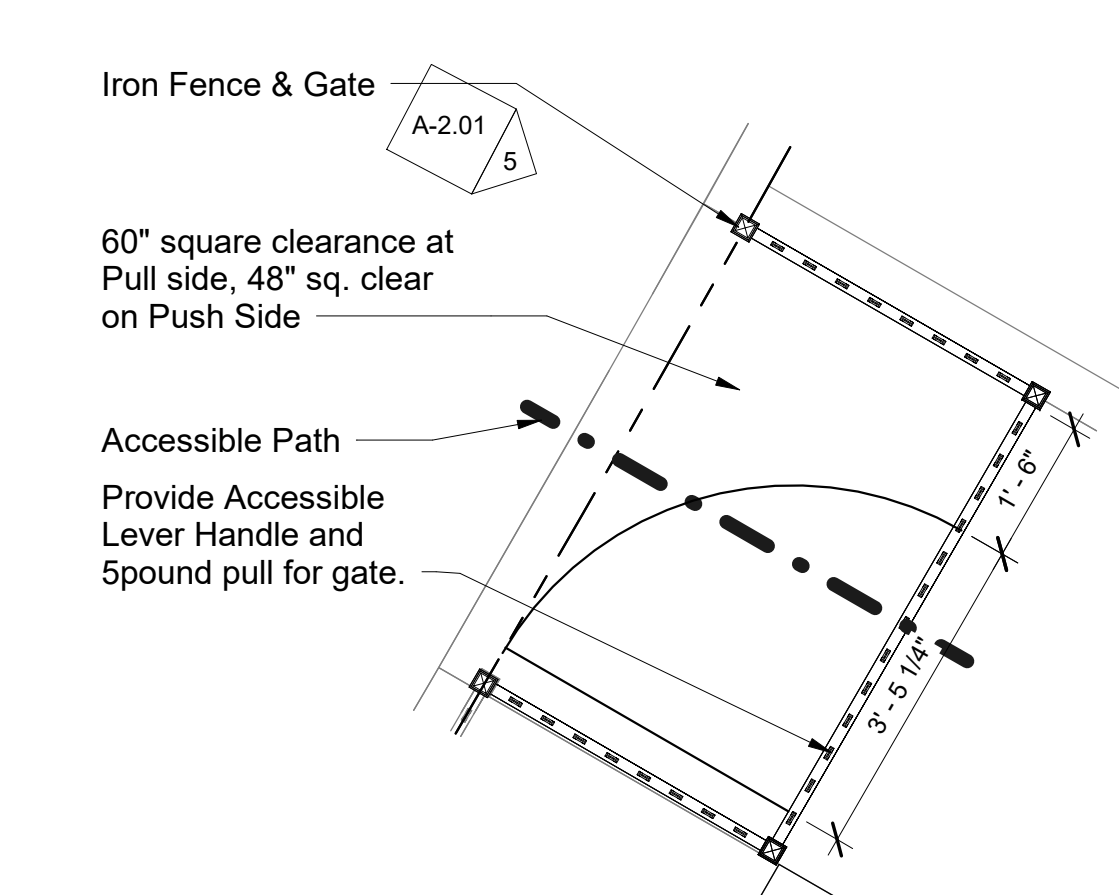
**Dispensary**  
**MERCY Santa**  
**Rosa**

**Sections**

Project number	1903
Date	7/3/2019
Drawn by	4dP
Checked by	ROK

**A-3.01**

Scale As indicated



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[illegible]

Dispensary  
MERCY Santa  
Rosa

## Enlarged Plans & Sections

Project number	190
Date	7/3/201
Drawn by	4d
Checked by	RO

A-4.01

Scale	As indicate
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