

West College Apartments 2nd Concept Design Review

Design Review Board

December 19, 2019

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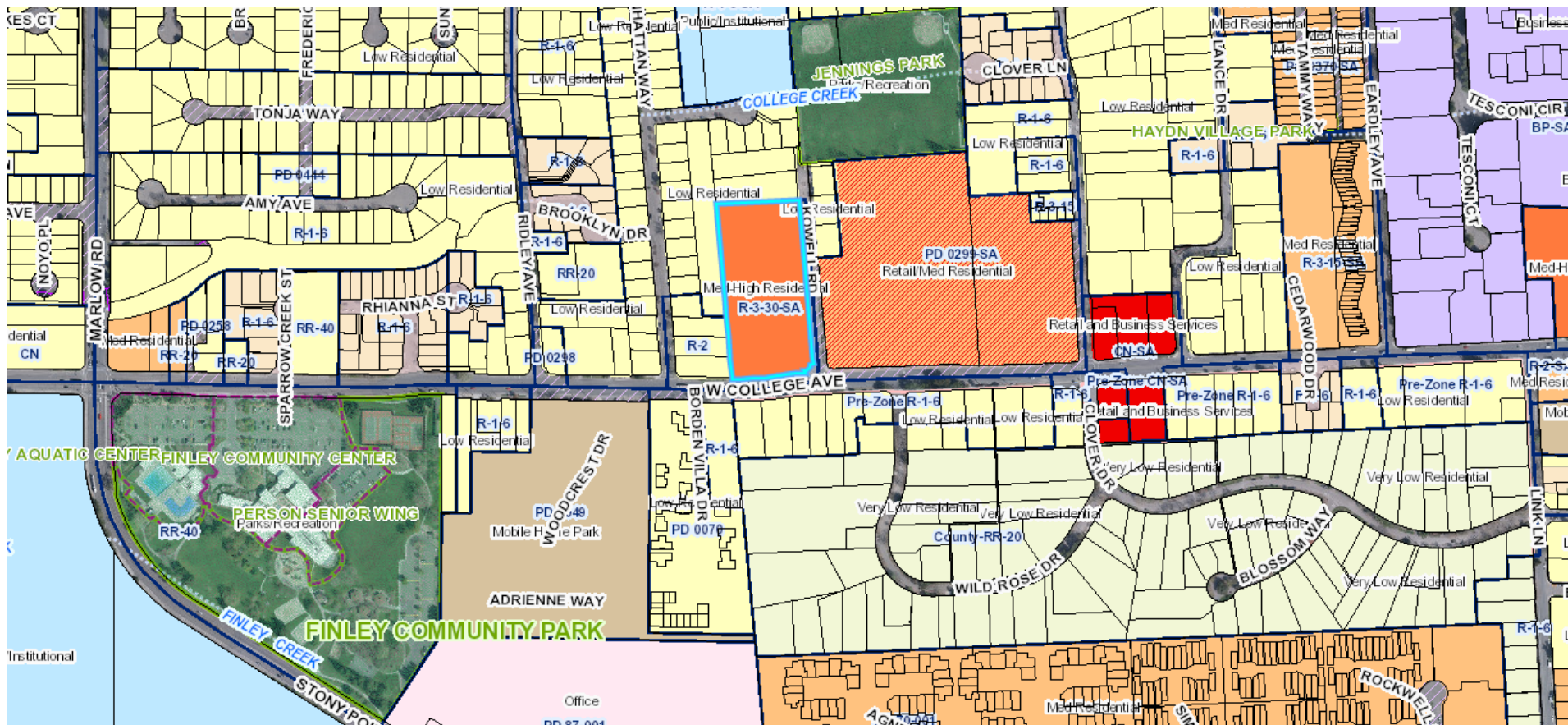
Project Description



- The applicant proposes to construct the West College Apartments, a 117-unit three-story multi-family apartment complex comprised of seven buildings on a 3.92-acre lot. Each building height ranges from 32 to 37 feet tall with asymmetrical roof lines.

- The project includes a mix of one- and two-bedroom units. The parking includes 72 attached garages, 113 surface parking spaces, and electric charging stations for a total of 193 parking spaces at 1.58 spaces per unit. Amenities include a recreation building with an outdoor pool and barbeque area with outdoor seating, bicycle repair station, and dog spa.

Project Location West College Apartments



Project Location

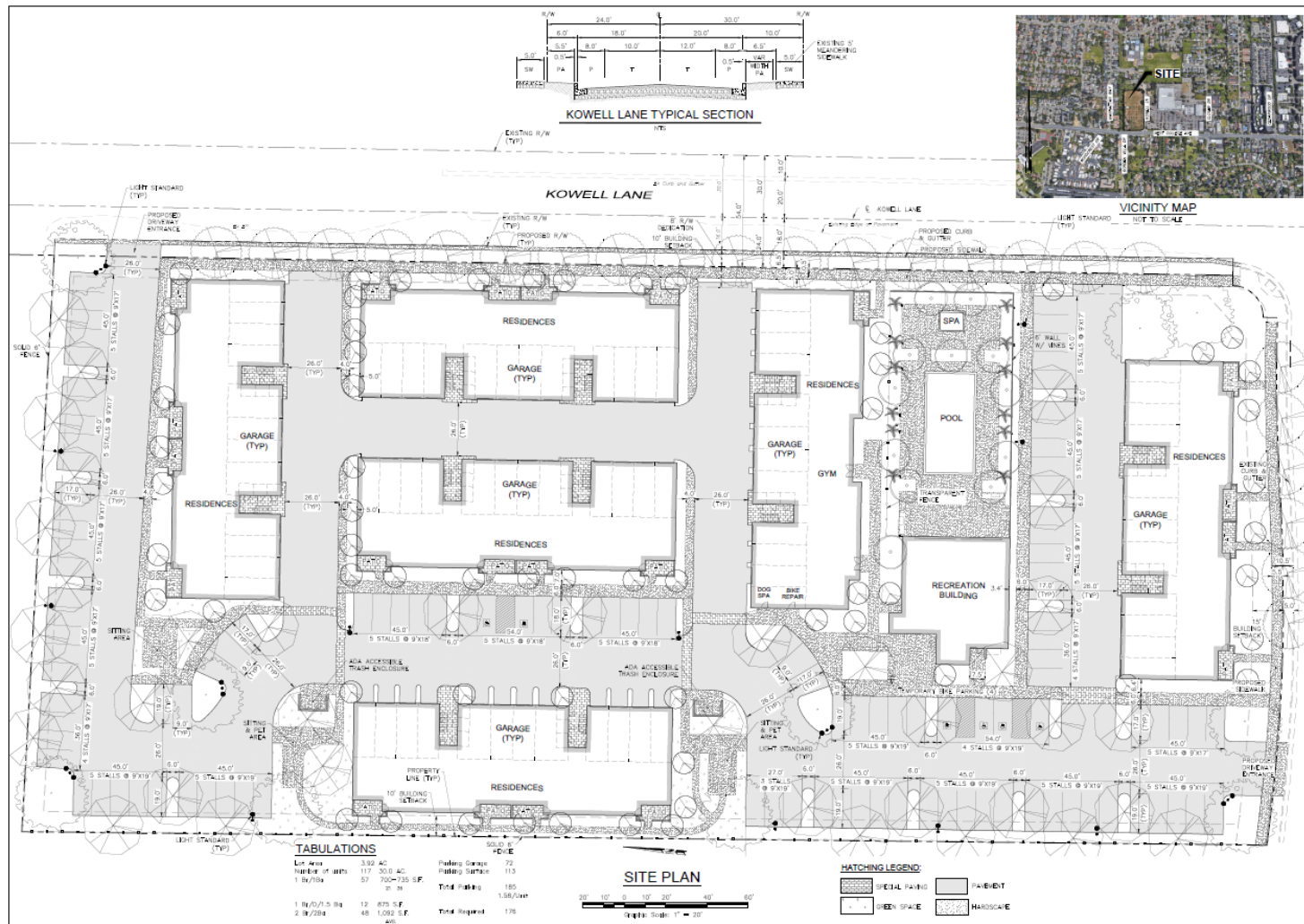
West College Apartments



Development Standards

- All main building entries shall orient toward the street; surface parking lots are not permitted in front of buildings; Locate on-site parking to the rear or side of the property, or internal to the block, and provide access to parking through alleys and driveways, where possible

Site Plan







FRONT ELEVATION - OPTION 'A'



FRONT ELEVATION - OPTION 'B'



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

1/8"=1'-0"

Elevations



RIGHT ELEVATION - OPTION 'A'



LEFT ELEVATION - OPTION 'A'



REAR ELEVATION - OPTION 'A'

Elevations



RIGHT ELEVATION - OPTION 'B'

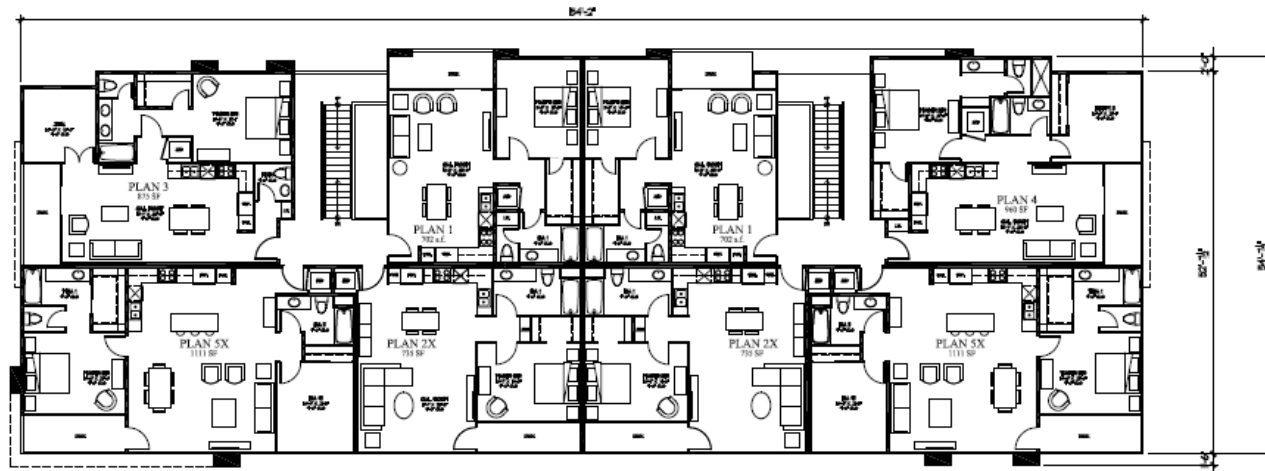


LEFT ELEVATION - OPTION 'B'



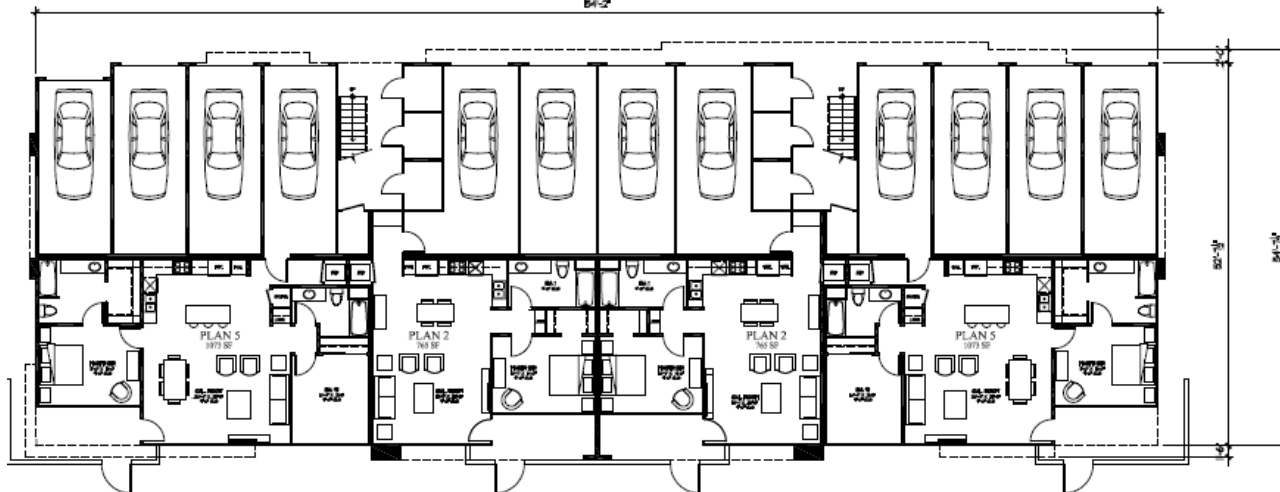
REAR ELEVATION - OPTION 'B'

Floor Plan



2ND BUILDING PLAN

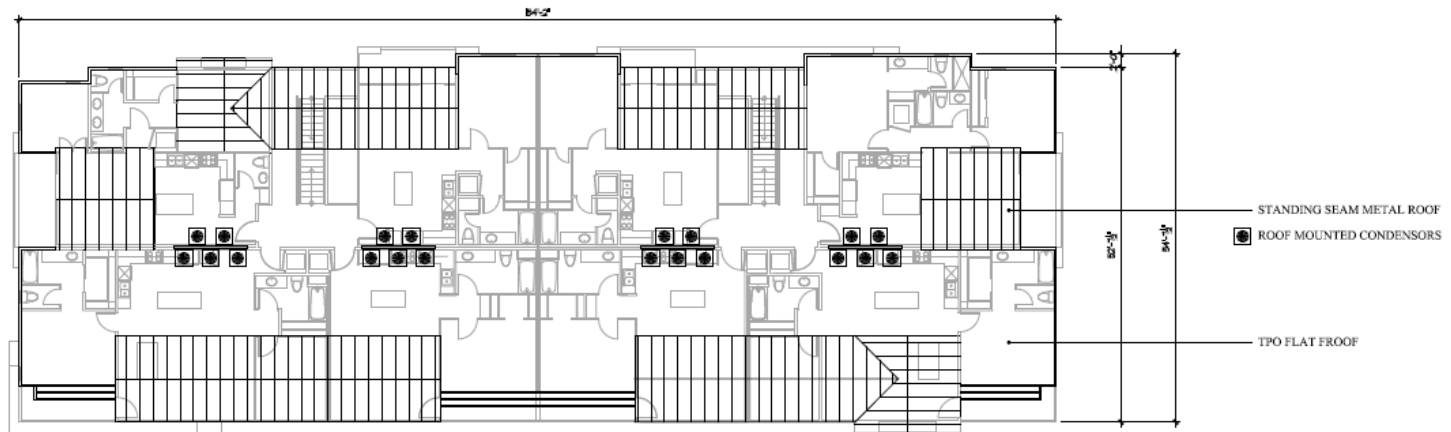
1/8" = 1'-0"



1ST FLOOR BUILDING PLAN

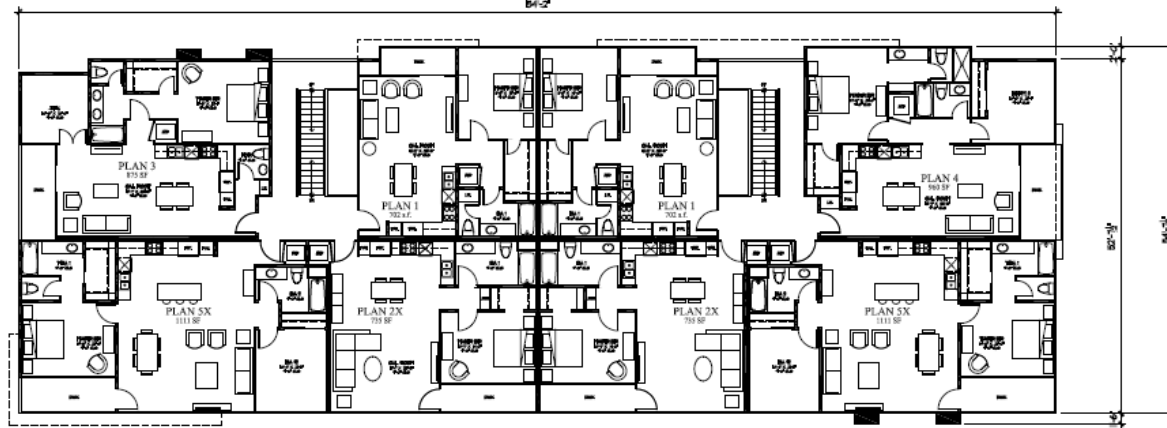
1/8" = 1'-0"

Floor Plan



ROOF PLAN

1/8"=1'-0"



3RD FLOOR BUILDING PLAN

1/8"=1'-0"

Recreation Center Elevation



EAST ELEVATION

1/8"=1'-0"



NORTH ELEVATION

1/8"=1'-0"



WEST ELEVATION

1/8"=1'-0"

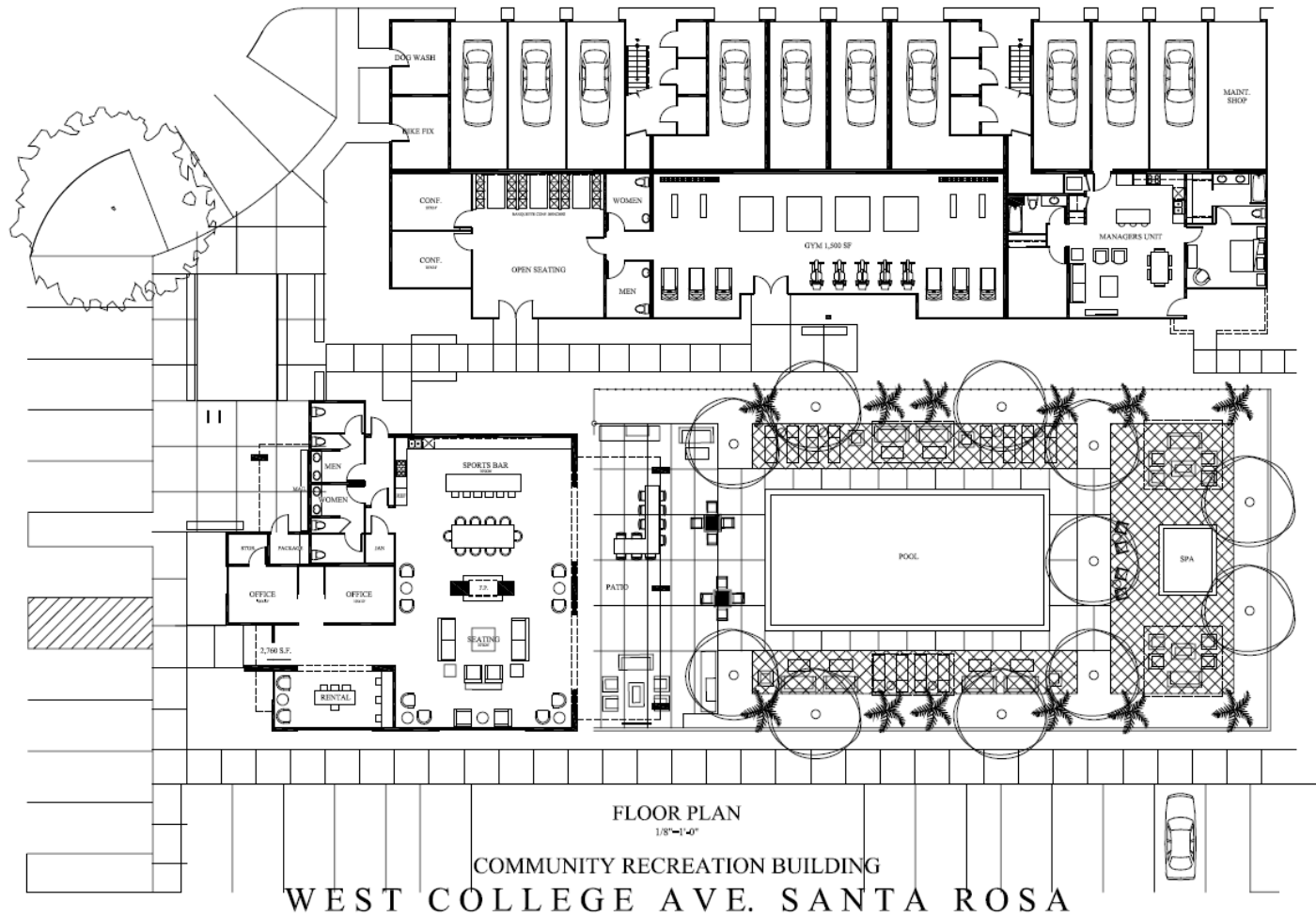


SOUTH ELEVATION

1/8"=1'-0"

STEEL TROWELED PLASTER
4X16 MASONRY SAND BLASTED CAP STONE
2" MTL STOEFRONT GLAZING
HARD-BOARD 8" T&G 'ARTISAN' SIDING
METAL FASCIA

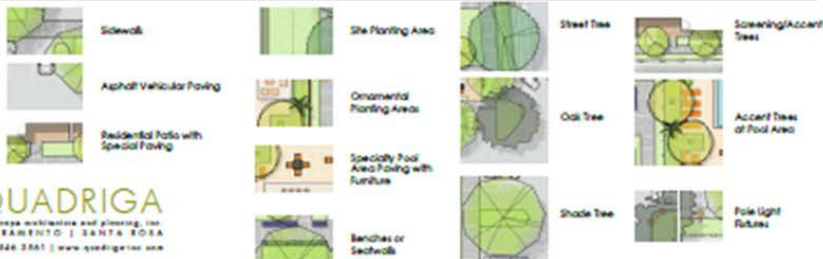
Recreation Center Floor Plan



Landscape Plan



SITE LEGEND



IMAGES



Transparent Fence at Pool Area



Solid 6'-0" Fence

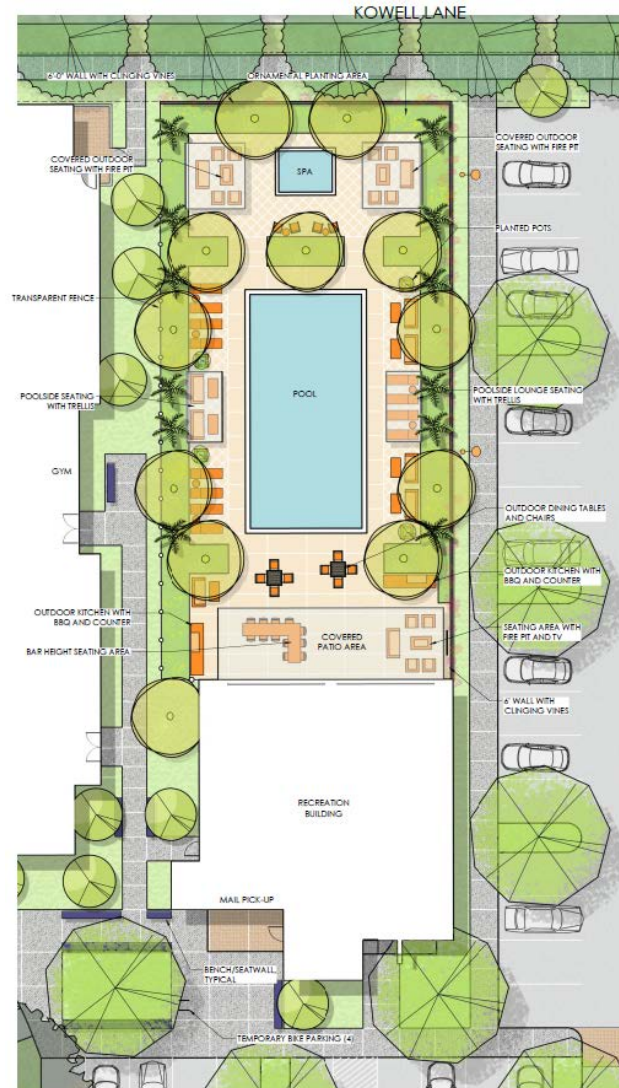
Recreation Landscape Plan



Character image (by others) - Accent Olive Trees at Pool Area with Wall and Seating



Character image (by others) - Trellis covering Lounge Seating by Pool



REC AREA LEGEND

	Sidewalk		Specialty Pool Area Paving with Furniture
	Asphalt Vehicular Paving		Site Planting Area
	Residential Patio Area		Ornamental Planting Area/Vines
	Accent Trees at Pool Area		Screening and Small Trees
	Potted Plant at Pool Area		Pole Light Fixtures



Character image (by others) - Vine covered wall of Pool Area



Pole Light, EcoForm LED Site and Area Luminaires

- Building height, specifically those on the north and west properties
- Privacy Issues and shadow effects to neighbors on the north and west sides of the property
- Fencing on the north side of the property (what that looks like)
- Neighborhood fit (size/density/architecture)
- Parking, traffic, pedestrian and cyclist impacts
- The amount of dogs allowed on one parcel

- Concerns over the driveway on Kowell Road and how that will effect the private road portion
- Concern over allowing access to the school on the north end of Kowell Road
- What sort of screening will be provided on the north side to promote neighborhood privacy?

- Design Review Board provide comments/recommendations for the West College Apartments within the North Santa Rosa Station Area Specific Plan, a Priority Development Area

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