

# Southside Apartments Concept Design Review

**Design Review Board** 

December 19, 2019

Adam Ross City Planner Planning and Economic Development



#### **Project Description**



The applicant proposes to construct the Soutside
 Apartments, a 70-unit three-story multi-family apartment complex comprised of two (2) buildings on a 1.75-acre lot. 2



#### a Rosa Project Description

- The project includes a mix of studio-, one-, and two-bedroom units in two (2) buildings (Building A at the west end and Building B at the east end of the site) and includes (23) Studio units, (25) One-Bedroom units and (22) Two-Bedroom units.
- Community Center
- Covered and uncovered parking spaces



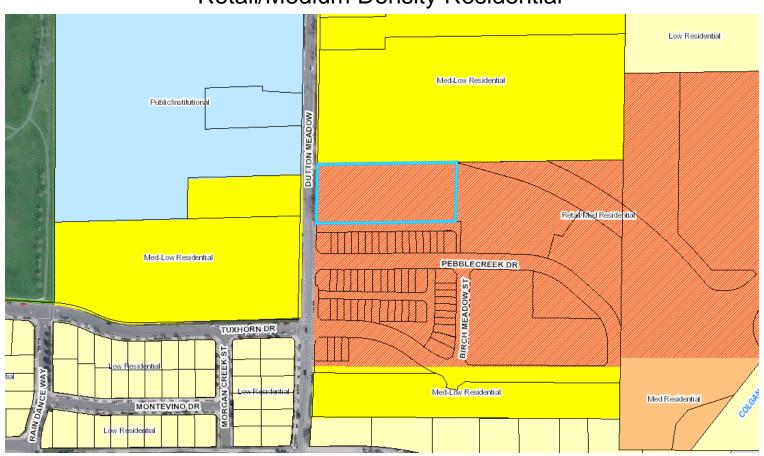
#### nta Rosa Project Description

- Rezone from PD 96-003 to R-3-30
- GPAM from Medium Density to Medium High Density
- Six (6) units designated for Very Low-Income
- State Density Bonus 35% and two Concessions



### Project Location Southside Apartments

#### Retail/Medium Density Residential





## Project Location Southside Apartments

#### Planned Development (PD 96-003)



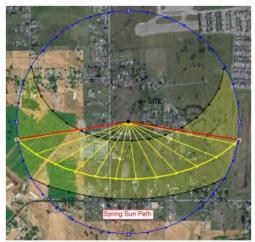


## Neighborhood Context Map Southside Apartments





## Site Analysis Map Southside Apartments



SOLAR PATH AT SITE - SPRING



SOLAR PATH AT SITE - FALL





## Site Analysis Map Southside Apartments





Site Plan



TOTAL BUILDING A

#### Aerial Perspective View in Neighborhood Context

#### **DEVELOPMENT DATA** PARKING 40 Mark Drive 17 STUDIOS X 1.5 STALLS fgober@denlincorp.com (415) 971-1130 (64 covered) AFFORDABLE UNITS - 8 UNITS VERY LOW INCOME (8) STUDIOS - 8 UNITS × Mark - 8 STALLS TOTAL (UNCOVERED) - 8 STALLS 2321 Bethards Drive Sente Rose, CA 95405 TOTAL STALLS REQUIRED 125 STALLS Civil Engineer Civil Design Consultants PARKING PROVIDED 72 STALLS -(38 GARAGE + 34 CARPORT) (707) 542-4820 843 Second Street Sente Rose, CA 95404 ACCESSBILE STALLS 1 STALL / 25 = 5 STALLS, 2 ARE VAN ACCESSIBLE EV CHARGING STALLS: 3% X 104 STALLS - 4 STALLS MINIMUM Kerrwood, CA 95452 STALL / A UNITS 18 STALLS BICYCLE PARKING PROVIDED: 1 STALL / UNIT-70 STALLS

DENSITY BONUS CALCULATION

BASE DENSITY: 1/UNIT 1.450 SF = 52 UNITS (BASE DENSITY)

STATE DENSITY BONUS 35% - 18 UNITS

11% (8) OF WHICH ARE VERY LOW INCOME, 46 ARE MARKET RATE, 18 ARE BONUS MARKET RATE

TOTAL: 64 D.U. MARKET RATE, 6 D.U. VERY LOW INCOME

	BUILDING A - A, B, 82, R2 BUILDING B - R2	BUILDING A - TYPE V, 1 HOUR, SPRINKLED NFPA 13 BUILDING B - TYPE V, 1 HOUR, SPRINKLED NFPA 13				
BUILDING AREAS: BUILDING 1: 41,545 SF BUILDING 2: 41,880 SF TOTAL: 83,425 SF		BUILDING HEIGHT 45-4" ALLOWED, 38-3" PROPOSED				
Ì	BUILDING A: (28) UNITS		BUILDING B: (42) UNITS			
ı	FIRST FLOOR-		FIRST FLOOR- (14) UNITS			
ı	t. COMMUNITY CENTER		R2-OCCUPANCY			
ı	A and B OCCUPANCIES		(5) STUDIO	2,575 SF		
ı	<ol><li>ENCLOSED PARKING GARAGE</li></ol>	-12,750 SF		2,315 SF		
ı	38 STALLS			5,885 BF		
ı	82 OCCUPANY		SEMI-PRIVATE OPEN SPACE			
ı	TOTAL	14,635 SF	TOTAL	11,225 BF		
ı	AND ADDRESS OF THE PARTY OF THE PARTY.		TOTAL WITH COMMON AREA	14,960 SF		
ı	5. COMMUNITY CENTER					
ı		1.570 SF	SECOND FLOOR- (14) UNITS			
ı	A- OCC - ROOF DECK	1,570 SF	R2 OCCUPANCY (5) STUDIO	2.575 SF		
ı	2. R2 OCCUPANCY	40U OF	(5) ONE BEDROOM	2,375 SF		
ı		2.060 SF	(4) TWO BEDROOM			
ı		4,000 SF	SEMI-PRIVATE OPEN SPACE			
ı		5.685 SF	TOTAL	11,225 SF		
ı	SEMI-PRIVATE OPEN SPACE		TOTAL WITH COMMON AREA			
ı	Reference participation and a contract	12.445 SF				
ı	TOTAL	14,485 SF	THIRD FLOOR- (14) UNITS			
Н			R2.OCCUPANCY			
ı	THIRD FLOOR- (14) UNITS		(5) STUDIO	2,575 SF		
ı	R2-OCCUPANCY		(5) ONE BEDROOM	2,315 SF		
4	(4) STUDIO	2,080 SF	(4) TWO BEDROOM	5,685 SF		
ı	(5) ONE BEDROOM		SEMI-PRIVATE OPEN SPACE			
1	(5) TWO BEDROOM		TOTAL	11,225 SF		
1	SEMI-PRIVATE OPEN SPACE		TOTAL WITH COMMON AREA	13,460 SF		
1		12,445 SF	PARTY IN INCIDENCE IN			
			TOTAL BUILDING B	41.885 SF		

BUILDING DATA

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PROJECT DESCRIPTION

electric copiect are proceed on ridges the perior electrics.

The development operate composed to develop in Cytome sony wendor statistips, faulting A and itsiding it, and insiding it will be an income file and insiding it. So that we have of a simple prior of the composed in th

The project includes a 2-stery Community Center on Dation Meadow, relocated to Building A with common species from membrage, sessing office, as less any common as each siched, next comes, participated under configuration and the capital sangue. An office species that suddon's common server with centeral includes in located in their part of the Community Center conducts buildings and additional common servery process and a real come are scionated in laudicip if A Additional buildings and server and any common servery process and a real common servery conducting. Common server is buildings and server and server is also any common servery common server in the conduction of the common server is also as accountable via the PVM. Uncovered begind accounts and common server is a membrage of the common server is any common server in the common server is an experience of the common server is a server in the common server is a server in the common server in the common server is a server in the common server in the common server is a server in the common server in the common server is a server in the common server in the common server is a server in the common server in the common server is a server in the common server

Fire Department appears access is provided in (2) expenses har-very otherways with error at the west counting of the sits, of Cultural Mexicos. The exact observary a 2d thermalis continuously. The north observary is of their safes. The north-westy is an EVA and the project may propose that it be reserved for pediestran use and as additional open space for the additions.

#### PARCEL DATA

ADDRESS: 2709 DUTTON MEADOW ROAD SANTA ROBA, CA 95407

A.P.N.: D43-071-428

CURRENT LAND USE: RETAILMEDIUM RESIDENTIAL PROPOSED LAND USE: MEDIUM HIGH RESIDENTIAL CURRENT ZONNO, POJS-603

PROPOSED ZONING: R-3-90 PARCEL SIZE: 1.75 ACRES, 76,290 SQUARE FEET

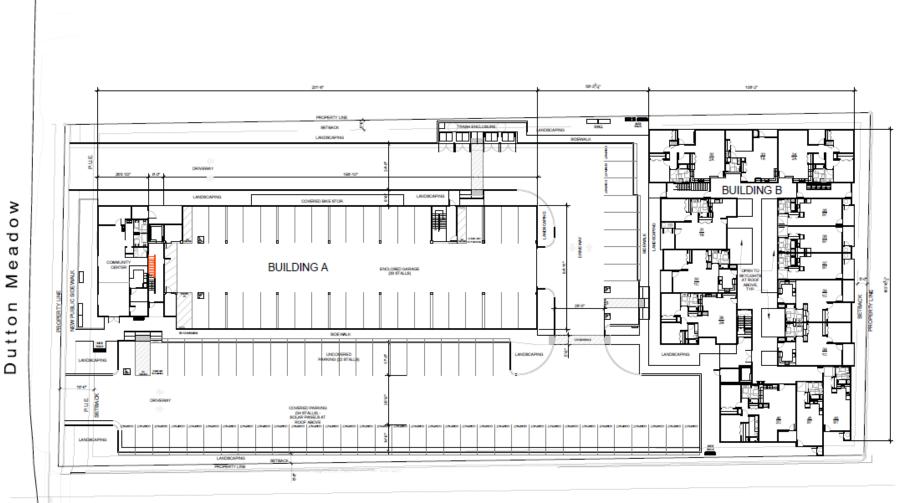
#### SHEET INDEX

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**Project Information** 



















South (Facing Parking Carport) Elevation



East (Street) Elevation







East (Facing Building B) Elevation





South Elevation

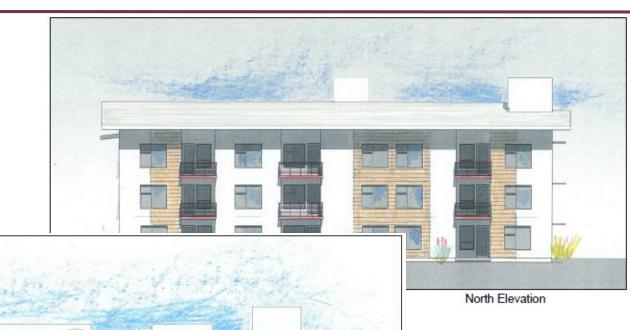






Est (Facing Building A) Elevation









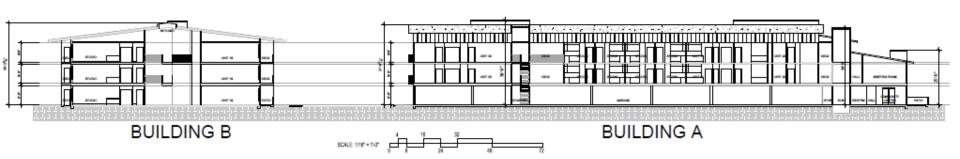


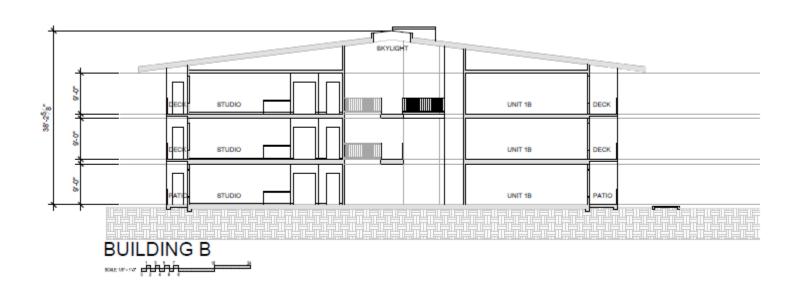


East (Facing Building A) Elevation



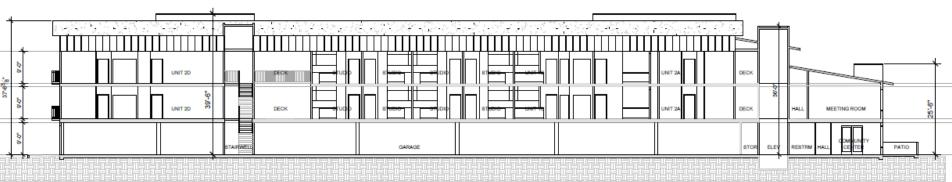
#### Floor Plan











BUILDING A



### Landscape Plan





#### Landscape Plan

#### **PRELIMINARY** MAWA AND ETWU CALCULATIONS 1.) Maximum Applied Water Allowance (MAWA) Net Evapotranspiration Calculation x 0.25 -27.20 Net Evapotranspiration Calculation - Annual Eto - Effective Rainfall - 37.10 Adjusted Landscape Area Calculation Adjustment Factor 18,198 X 0.45 8189.10 Special Landscape Area Adjustment Factor 0 X 0.4 Sum of Adjusted Landscape Area -8189.10 2.) Estimated Total Water Use (ETWU) Net Evapotranspiration Calculation - Annual Eto - Effective Rainfall - 37.10 Very Low Water Plant Use SF 0 X 0.10 15,660 X 0.30 Moderate Water Plant Use SF 2 535 Y 1.00 37.10 = 176.647 Gallon

#### TYPICAL PLANT PALETTE

BOTANICAL NAME	COMMON NAME	9038	REMARKS	WATER USE PER WUCCLS IV	PLANT SIZE (HW)
TREES					
ACER RUBRUM 'ARMSTRONG'	PURPLE LEAF SMOKE TIREE	24		L	45 X 15
COTINUS COGGYGRIA PURPURSUS	ARMSTRONG MAPLE	24		M	12:15 X 10:15
LAGERSTROEMA's RIURIE 'ARAPAHO'		24	MULTITRUNK	L	20 X 10
MAGNOLIALILIFLORA	LILY MAGINOLIA	24		×	10112 X 12115
PISTACIA CHINENSIS KEITH DAVEY	SEEDLESS PISTACHE	24	CITY STREET TREE	VL.	25 ar x 25 ar
QUERCUS LOBATA	WITELOW	24	RICHET ENTITION AREA TREE	L	50'-70" X 50"
SHRUBS		$\vdash$			
ARCTOSTAPHYLOS D. HOWARD MCMINN	VINE HILL MANZANITA	5	CALIFORNIA NATIVE	L	6142 X 6142
CISTUS*SUMSET*		5		L	10.X0.0
DIETES VEGETA (AVA MORAGA RIDOIDES)	PORTNIGHT LILY	5		L	20X2-6
LAVANDULA INTERMEDIA PHENOMENAL*	LAVENDER	5		L	10'X10'
LOROPETALLIM CHIVENSE RAZZLEBERRI*	NON	5		L	eexec
MYRTUS COMMUNIS COMPACTA	DWARE MYRTLE	5		L	20'X2'3'
NAVOINA DOMESTICA 'SULFSTREAM'	HEAVENLY BAMBOO	5		L	2-35 X 2
NANDINA DOMESTICA MOYE'S RED	HEAVENLY BAMBOO	5		L	6.X.2-6.
PHORMIUM TENAX 'JACK SPRATT'	NEWZEALAND FLAX	5		L	10'X10'
PITTOSPORUM TORIRA WHERLER'S DWARP	DWARF MOCK ORANGE	5			20X45
RHAPHOLEPIS NDICA SALLERINA'	NDW.HAWTHORN	5		L	2-0-12 X 2-E
SARCOCOCCA RUSCIPOLIA	FRAGRANT SARCOCOCCA	5		L	24X34
GROUNDCOVER		$\vdash$			
COTONEASTER DAMMER YOORAL REAUTY	COTONEASTER	1	5" O.C. TRI. SPACING	L	1/2 X E
TULBAGNIA VIOLACSA	SOCIETY GARLIC	1	2°CC, TRI SPACING	L	10'X10'
PERSONALS		⊢			
ACHILLEA - ASSORTED VARIETIES	YARROW	1	MISSID COLORS	L	10'X2'0'
KNIPHOFIA UVARIA SALLET	DWARF RED HOT-POKER	1		L .	15/2×1/15
NEPETA FAASSEN! WALKERS LOW	CATMINT	1	2'OC TRI SPACING	L.	2-25 X 25 G
SALVIA LEUGANTHA	MEDICAN BUSH SAGE	1		L	26X3-5
GRASSES		$\vdash$			
ROUTELOUS GRACILLIS SLONDE AMBITION	RECINITE AMBITTON RELIE GAMA	1	2'00, TRISPACING	L	10'X10'
PRINISETUM ALOPECURODES NAMEIN	DWARF FOUNTAIN GRASS	1	3'OC, TRISPACING		20110
OTHER		<u> </u>			
MULCH FR BARK 1/2 MINUS			2" DEPTH: ALL LANDSCAPE AREAS		

#### LANDSCAPE DESIGN INTENT

THE DESIGN INTENT OF THIS PROJECT IS TO PROVIDE AN ATTRACTIVE, DURABLE, LOW MAINTENANCE AND LOW WATER CONSUMING LANDSCAPE WHICH PROVIDES INTEREST AND A DIVERSE LEVEL OF HOME LANDSCAPE DESIGNS.

PLANTING SHALL INCLUDE A MIXTURE OF HORTICULTURALLY APPROPRIATE TREE, SHRUB AND GROUND COVER PLANTINGS, SHRUBS AND GROUND COVER PLANTINGS SHALL CONSIST OF MEDIUM, LOW MATER USE PLANTS (AS DEFINED BY THE 2014 EDITION MUCOLS IV).

STREET TREES SHALL BE CITY APPROVED AND USED AS PARKWAY STRIP TREES AND AT THE DEVELOPMENT ENTRIES, SMALL DECIDIOUS AND EVERGREEN ACCENT TREES ARE PROPOSED FOR INTEREST AND CHARACTER, VINERE PEASIBLE, LARGE DECIDIOUS SHADE SHALL PROVIDE CANOPY SHADE, LAWN IS NOT PLANNED FOR ANY PORTION OF THE LANDSCAPED AREAS.

#### IRRIGATION DESIGN INTENT

ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM WITH MEATHER SENSOR OVERRIDE, SENSOR SHALL BE CAPABLE OF CALCULATING EVAPOTRANSPIRATION AND SHALL ADJUST FOR LOCAL MEATHER, THE ENTIRE IRRIGATION SYSTEM SHALL BE ON AN AUTOMATICALLY CONTROLLED SYSTEM WITH SEPARATE PROGRAMS CAPABLE OF IRRIGATING EACH HYDROZONE INDEPENDENTLY

THE PROPOSED TREE SHALL BE IRRIGATED VIA SEPARATE, DEDICATED BUBBLER CIRCUIT, ALL OTHER LANDSCAPE AREAS SHALL BE IRRIGATED VIA AN IN-LINE DRIP EMITTER IRRIGATION SYSTEM, THE INTENT OF THE LANDSCAPE AND WATER DELIVERY SYSTEMS IS TO MEET ALL ASPECTS OF THE MOST CURRENT CITY OF SANTA ROSA WATER EFFICIENCY LANDSCAPE ORDINANCE (MELO).



#### **Public Correspondence**

- Building height, specifically those on the north and west properties
- Parking deficit and existing conditions of the surrounding neighborhood
- Density
- Parking, traffic, pedestrian and cyclist impacts





 Design Review Board provide comments/recommendations for the Southside Apartments within the Roseland Area/Sebastopol Road Specific Plan, a Priority Development Area





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