

Southside Apartments Concept Design Review

Design Review Board

December 19, 2019

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Planning and Economic Development

Project Description



- The applicant proposes to construct the Soutside Apartments, a 70-unit three-story multi-family apartment complex comprised of two (2) buildings on a 1.75-acre lot. 2

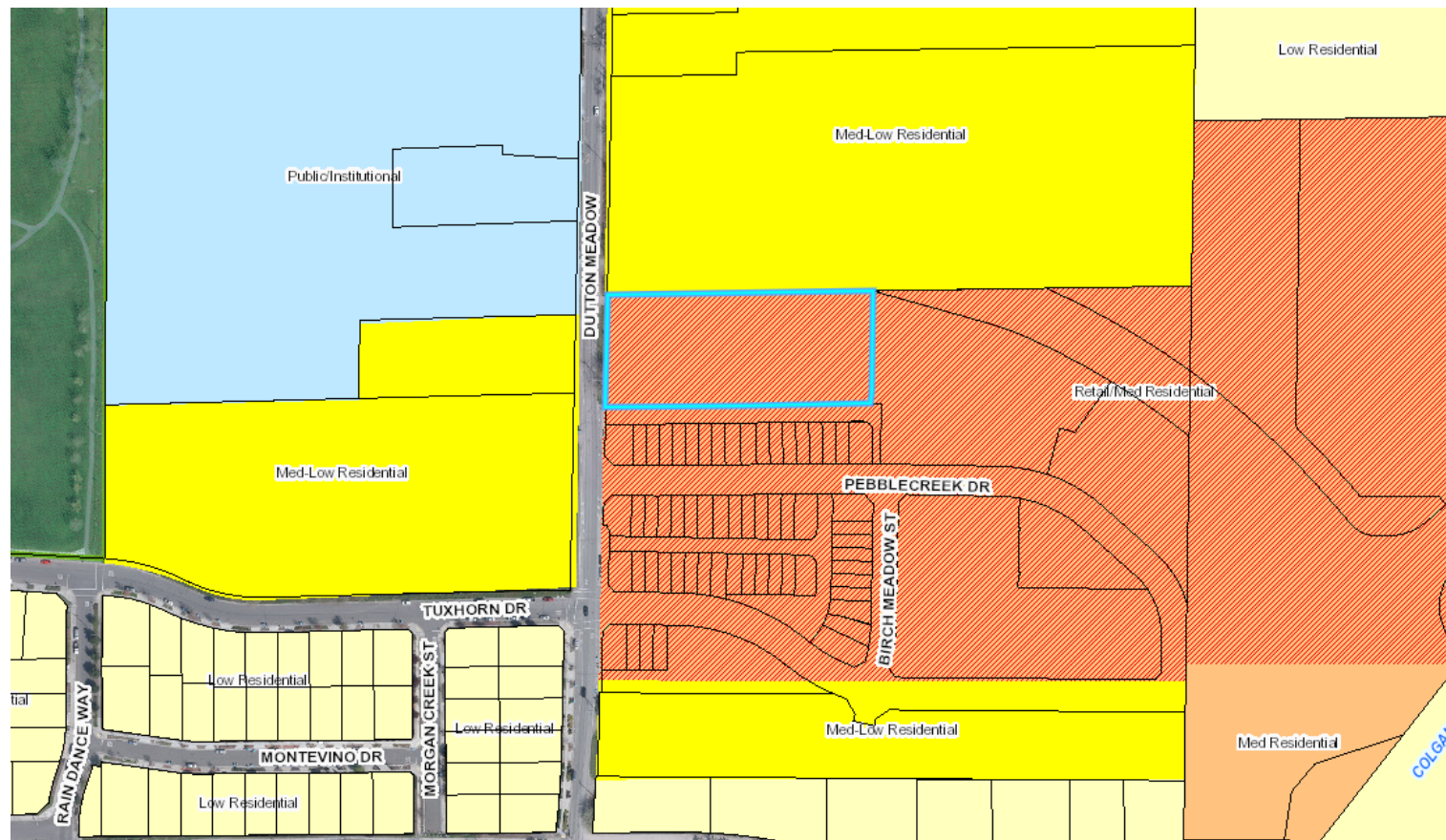
- The project includes a mix of studio-, one-, and two-bedroom units in two (2) buildings (Building A at the west end and Building B at the east end of the site) and includes (23) Studio units, (25) One-Bedroom units and (22) Two-Bedroom units.
- Community Center
- Covered and uncovered parking spaces

- Rezone from PD 96-003 to R-3-30
- GPAM from Medium Density to Medium High Density
- Six (6) units designated for Very Low-Income
- State Density Bonus 35% and two Concessions

Project Location

Southside Apartments

Retail/Medium Density Residential



Project Location

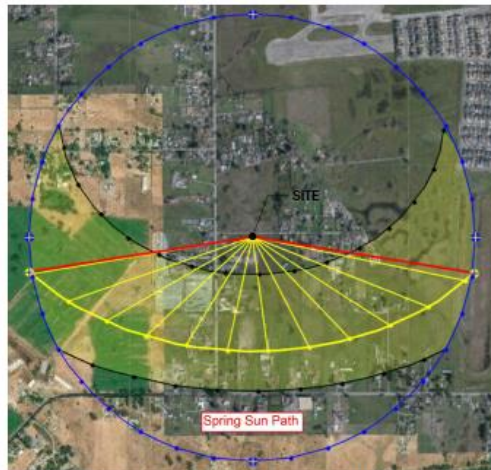
Southside Apartments

Planned Development (PD 96-003)

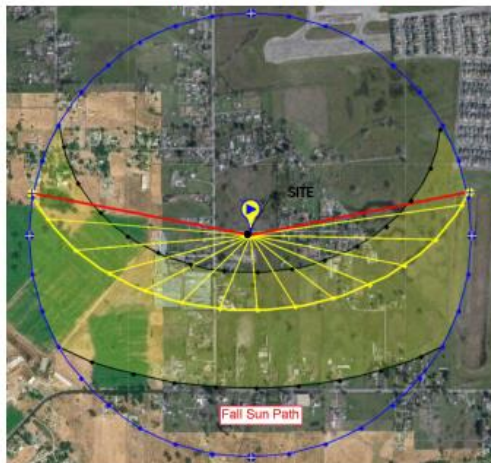




Site Analysis Map Southside Apartments



SOLAR PATH AT SITE - SPRING



SOLAR PATH AT SITE - FALL



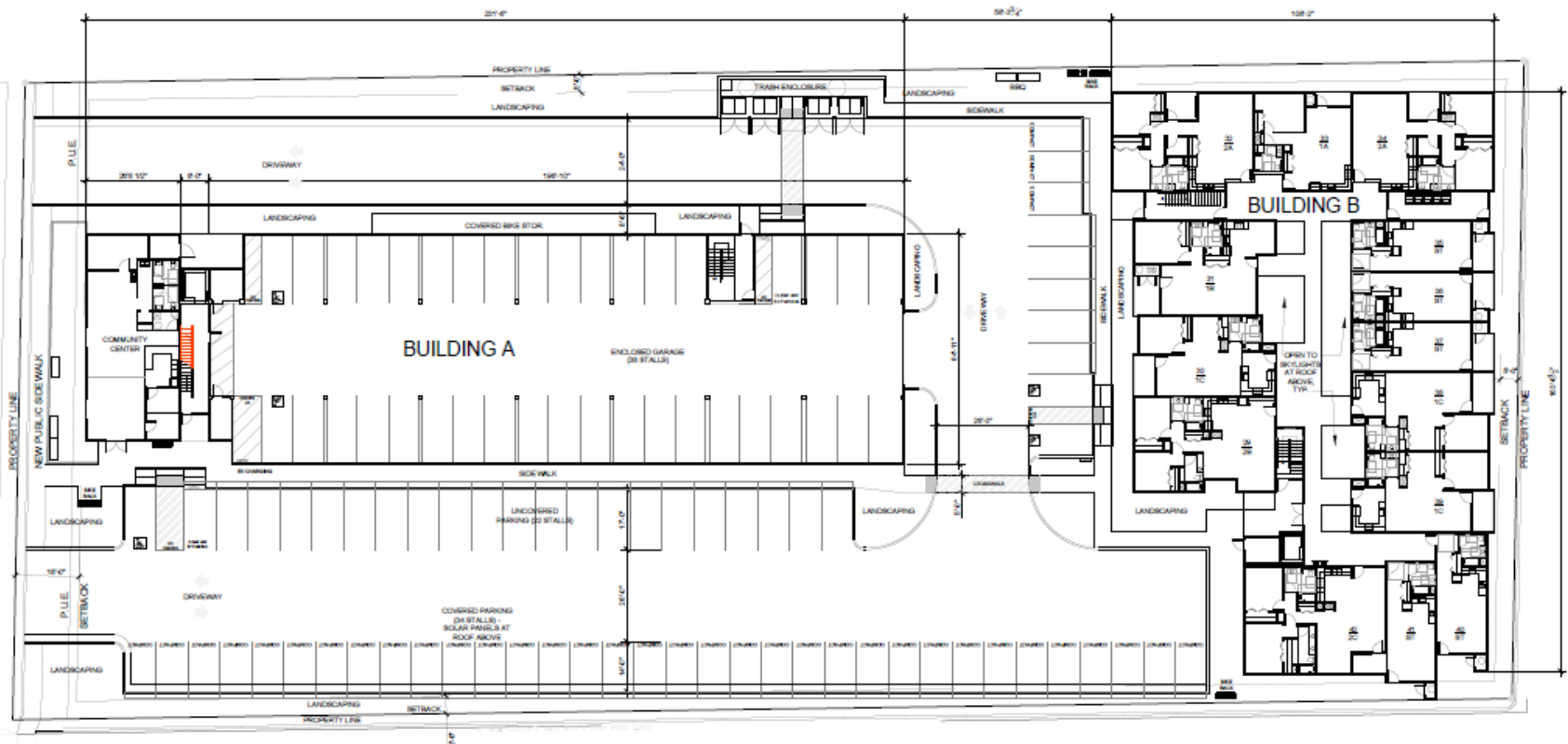
Site Analysis



Aerial Perspective View in Neighborhood Context

Project Information

Dutton Meadow







Perspective Aerial View of Buildings A and B

Elevations



South (Facing Parking Carport) Elevation



East (Street) Elevation

Elevations



North (Facing EVA) Elevation



East (Facing Building B) Elevation



South Elevation



Est (Facing Building A) Elevation



Est (Facing Building A) Elevation

Elevations



North Elevation

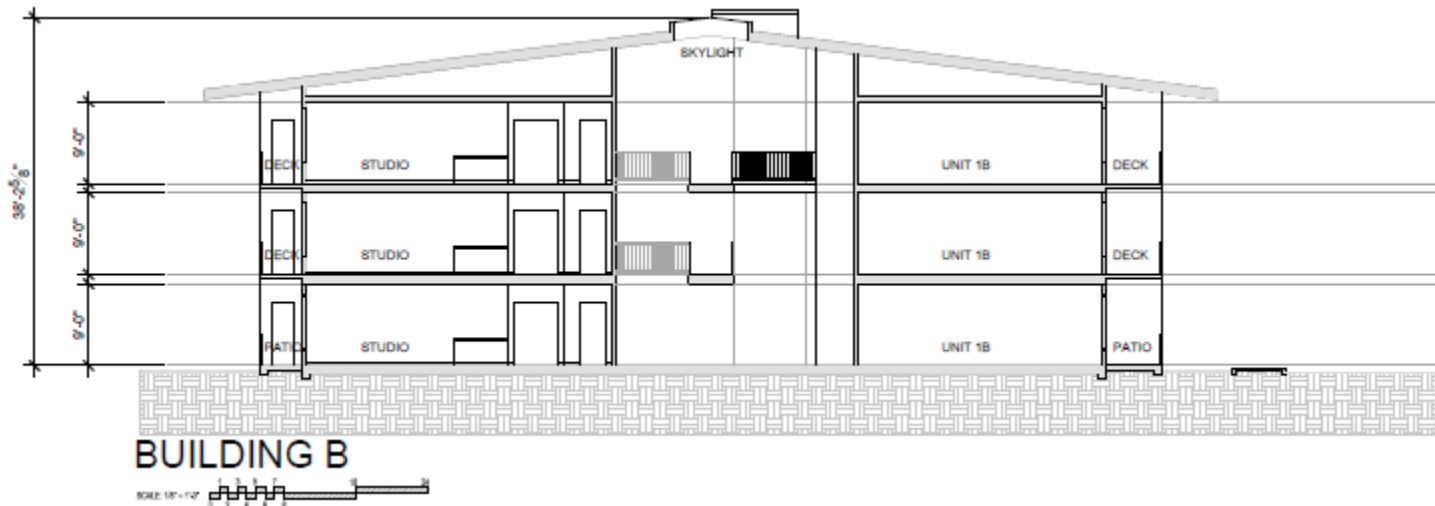
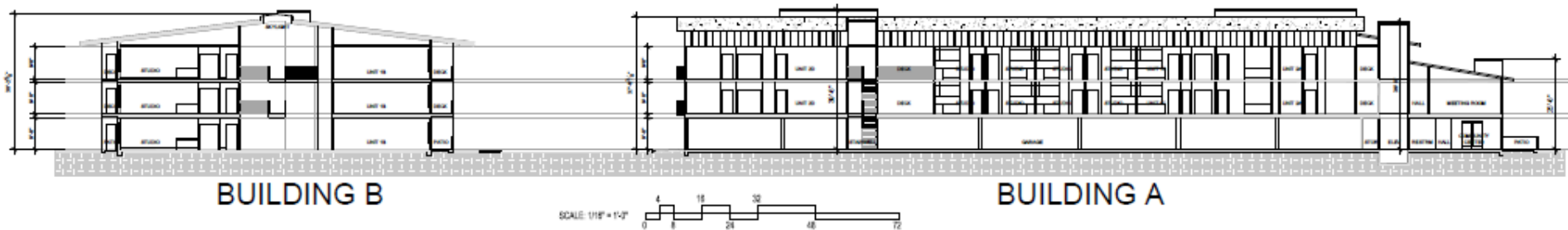


East (Facing Building A) Elevation

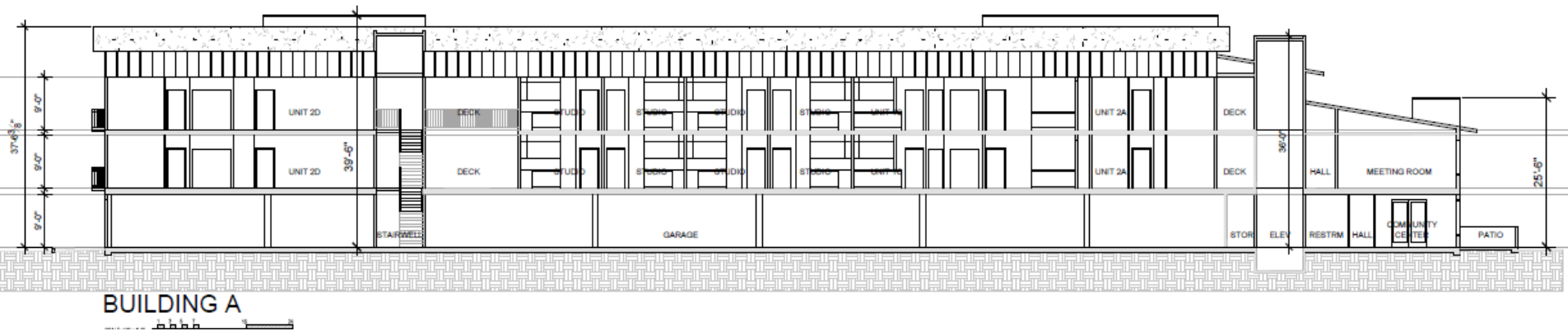


East (Facing Building A) Elevation

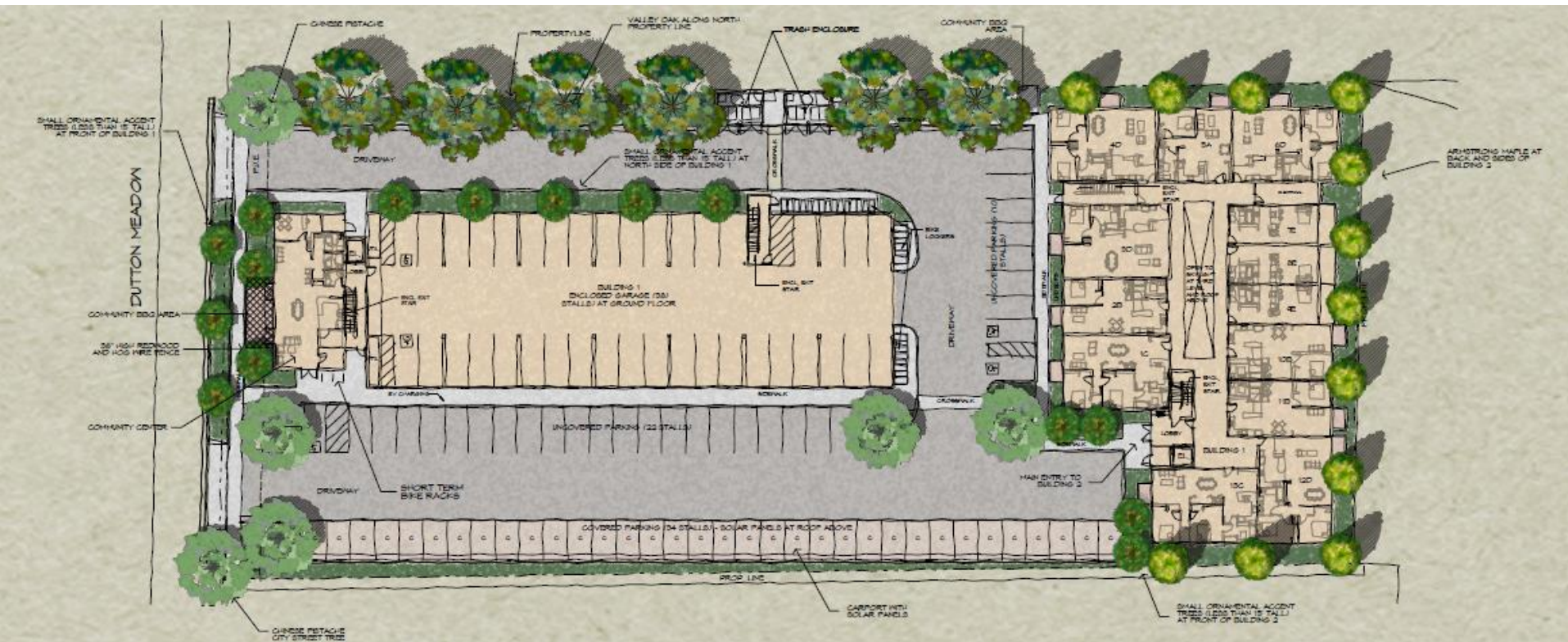
Floor Plan



Floor Plan



Landscape Plan



Landscape Plan

PRELIMINARY MAWA AND ETWU CALCULATIONS

1.) Maximum Applied Water Allowance (MAWA)

A.) Net Evapotranspiration Calculation

Annual Eto	43.90				
Annual Rainfall	27.20	X	0.25	=	Effective Rainfall
					6.8
Net Evapotranspiration Calculation	=	Annual Eto	-	Effective Rainfall	= 37.10

B.) Adjusted Landscape Area Calculation

Landscape Area	10,190	X	0.45	=	\$109.10
Special Landscape Area	0	X	0.4	=	0
Sum of Adjusted Landscape Area				=	\$109.10

HAWA = 37.10 X 0.62 X 0,109.10 = 100,366 Gallons

2.) Estimated Total Water Use (ETWU)

A.) Net Evapotranspiration Calculation

$$\text{Net Evapotranspiration Calculation} = \text{Annual Eto} - \text{Effective Rainfall} = 37.10$$

Very Low Water Plant Use SF	0.00	0.00	0.00	0.00
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Low Water Plant Use SF	0.00	0.10	-	0.00
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15,660 X	0.30	=	4698.00
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2,538 X 0.60 = 1522.81

High Water Plant Use 50'	1.00	0.00
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1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100

Sum of Adjusted Landscape Area = 6220.51

TYPICAL PLANT PALETTE

[illegible]

LANDSCAPE AREAS AND TREE SELECTION SHALL BE SUBJECT TO CHANGE BASED ON BIO-RETENTION AREA LOCATIONS AND FIRE DEPARTMENT TREE HEIGHT REQUIREMENTS.

LANDSCAPE DESIGN INTENT

THE DESIGN INTENT OF THIS PROJECT IS TO PROVIDE AN ATTRACTIVE, DURABLE, LOW MAINTENANCE AND LOW WATER CONSUMING LANDSCAPE WHICH PROVIDES INTEREST AND A DIVERSE LEVEL OF HOME LANDSCAPE DESIGNS.

PLANTING SHALL INCLUDE A MIXTURE OF HORTICULTURALLY APPROPRIATE TREE, SHRUB AND GROUND COVER PLANTINGS. SHRUBS AND GROUND COVER PLANTINGS SHALL CONSIST OF MEDIUM, LOW WATER USE PLANTS (AS DEFINED BY THE 2014 EDITION MUGOLS IV).

STREET TREES SHALL BE CITY APPROVED AND USED AS PARKWAY STRIP TREES AND AT THE DEVELOPMENT ENTRIES. SMALL DECIDUOUS AND EVERGREEN ACCENT TREES ARE PROPOSED FOR INTEREST AND CHARACTER. WHERE FEASIBLE, LARGE DECIDUOUS SHADE SHALL PROVIDE CANOPY SHADE. LAWN IS NOT PLANNED FOR ANY PORTION OF THE LANDSCAPED AREAS.

IRRIGATION DESIGN INTENT

ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM WITH WEATHER SENSOR OVERRIDE. SENSOR SHALL BE CAPABLE OF CALCULATING EVAPOTRANSPIRATION AND SHALL ADJUST FOR LOCAL WEATHER. THE ENTIRE IRRIGATION SYSTEM SHALL BE ON AN AUTOMATICALLY CONTROLLED SYSTEM WITH SEPARATE PROGRAMS CAPABLE OF IRRIGATING EACH HYDROZONE INDEPENDENTLY.

THE PROPOSED TREE SHALL BE IRRIGATED VIA SEPARATE, DEDICATED BUBBLER CIRCUIT. ALL OTHER LANDSCAPE AREAS SHALL BE IRRIGATED VIA AN IN-LINE DRIP EMITTER IRRIGATION SYSTEM. THE INTENT OF THE LANDSCAPE AND WATER DELIVERY SYSTEMS IS TO MEET ALL ASPECTS OF THE MOST CURRENT CITY OF SANTA ROSA WATER EFFICIENCY LANDSCAPE ORDINANCE (WELO).

- Building height, specifically those on the north and west properties
- Parking deficit and existing conditions of the surrounding neighborhood
- Density
- Parking, traffic, pedestrian and cyclist impacts

- Design Review Board provide comments/recommendations for the Southside Apartments within the Roseland Area/Sebastopol Road Specific Plan, a Priority Development Area

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