

1650 West Steele Lane



Courtyard Apartments

North Station Area Specific Plan - Adherence to Building and Urban Design Goals

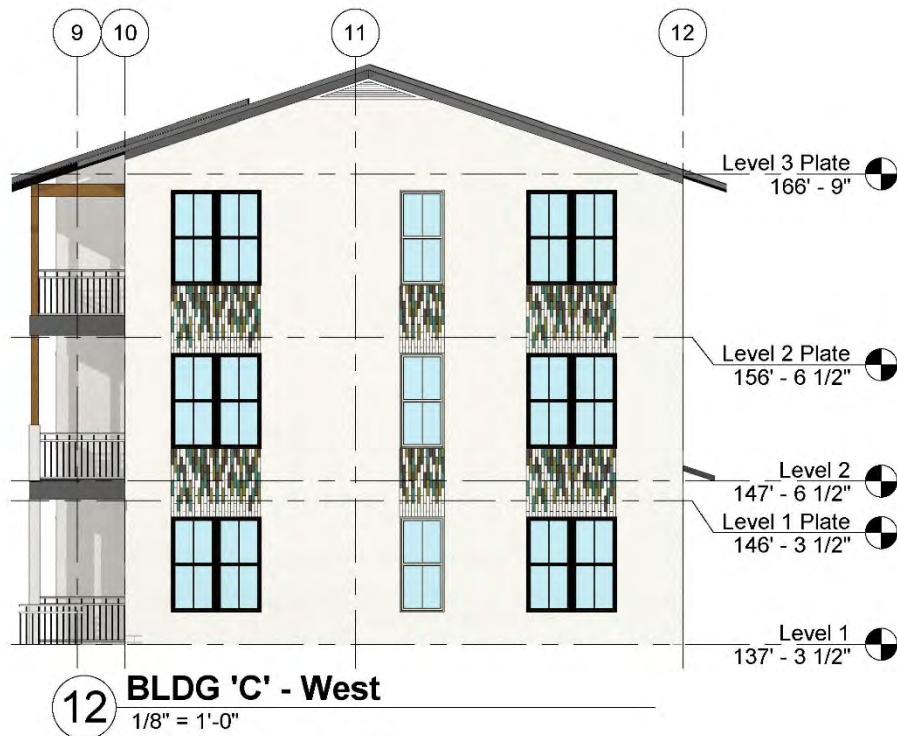
- Increases residential density with Supplemental Density Bonus initiative, by 65% beyond State Density Bonus. This zoning ordinance amendment is available to projects that offer affordable housing and are within ½ mile of SMART station and a school, or are in a housing opportunity site near train depot.
- Four buildings proposed are arranged to define, connect and activate sidewalks and public spaces
- Building design contributes safe spaces, spatial continuity with streetscape and elevation motifs that engage pedestrians and arouses their curiosity
- Project design supports the use of SMART train and alternative forms of transit



North Station Area Specific Plan -

Adherence to Urban and Building Design Guidelines

- Open and active building facades offer participatory experience for residents, pedestrians and cyclists
- Multi-story building with human scale
- Where appropriate, buildings are built up to setbacks assigned to R-3-15/R-3-30
- All of building façades are oriented parallel to street on which they front



Architectural Forms and Design Values

- The project design is inspired by the client/owner's Irish heritage and homeland, his early experience as a builder in England, and his expressed wish to have the project embody traditional urban townscape archetypes in a transit oriented design
- Charles Francis Annesley Voysey, Edwin Lutyens, and Charles Rennie Mackintosh - late 1800's and early 1900's, a period of transition from the Arts and Craft movement into the Modern Movement in Europe
- acceptance of machine technology in building
- evolution of a central principle of modern urban, architectural and landscape design– Utility as the basis of Art



The Orchard, Chorleywood, 1899
CFA Voysey



Hill House, 1902
Charles Rennie Mackintosh



Marshcourt, 1901
Edwin Lutyens

Architectural forms and design values inspired by Voysey, Lutyens and Mackintosh

- planar undecorated gables and walls
- planar extension of building mass into space, beyond the traditional boxy boundaries of walls
- massive roofs expressed as flat planes extending into space
- almost total suppression of detail—flat stone window surrounds and mullions
- emphatic horizontality in fenestration
- suppression of detail leads to building forms that read as pure squares and circles,
- anecdotal application of decoration
- handmade look brick shaped ceramic glazed tile set into stucco
- in decorative arts, repetitive patterns outlined by white fields to distinguish between solid and void



14 South Parade, Bedford Park, 1890
CFA Voysey



Grey Walls, 1901
Edwin Lutyens

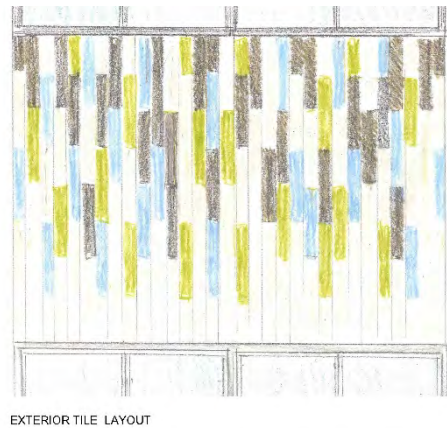
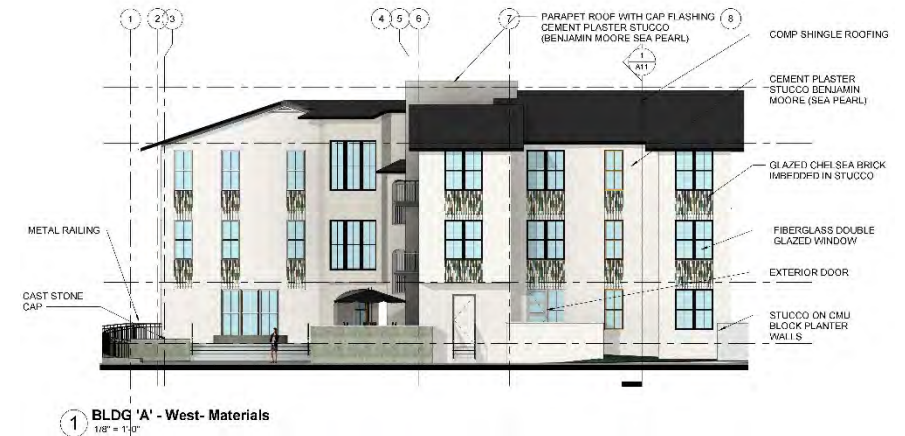


Let Us Prey – tile design, 1909
CFA Voysey

North Station Area Specific Plan –

Adherence to Urban and Building Design Goals

- Facades are detailed with particular attention to human scale elements at the street level- patio walls, landscaping
- Project provides amenities that draw people into the primary spaces- shade trees and structures, raised plaza, paving, seating, covered passage to courtyard, corner stairs and ramp to sidewalk



3 BLDG 'A' From Plaza
1/8" = 1'-0"

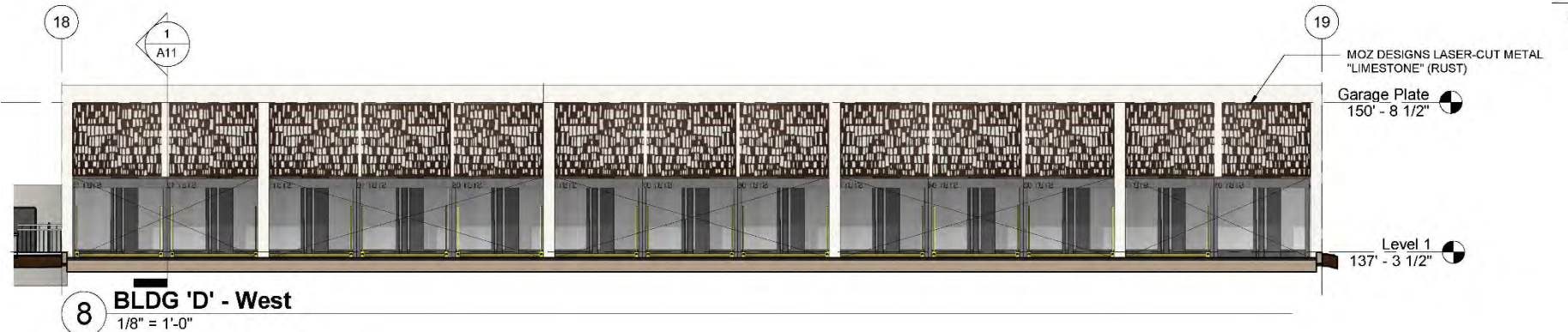
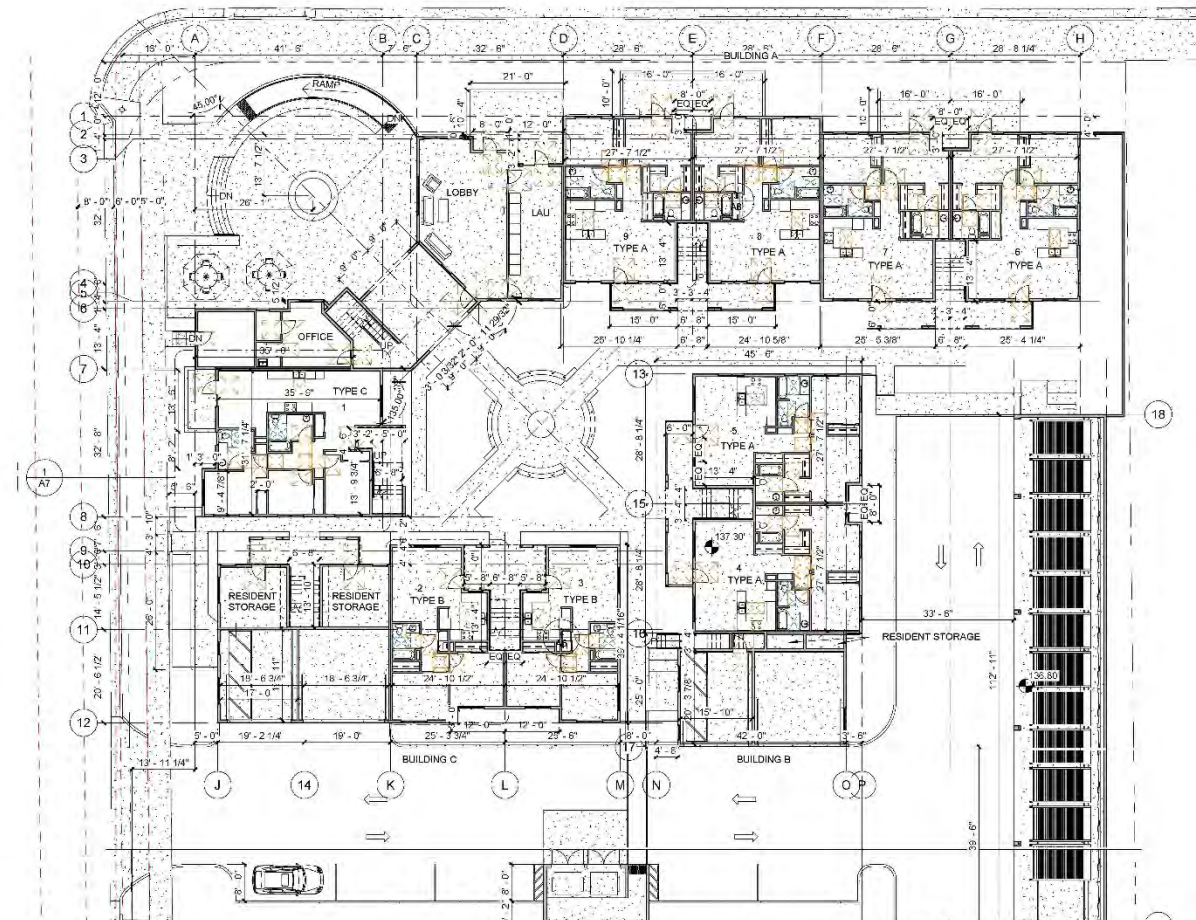


4 Perspective from Courtyard Ground

North Station Area Specific Plan

Design Goals- Parking

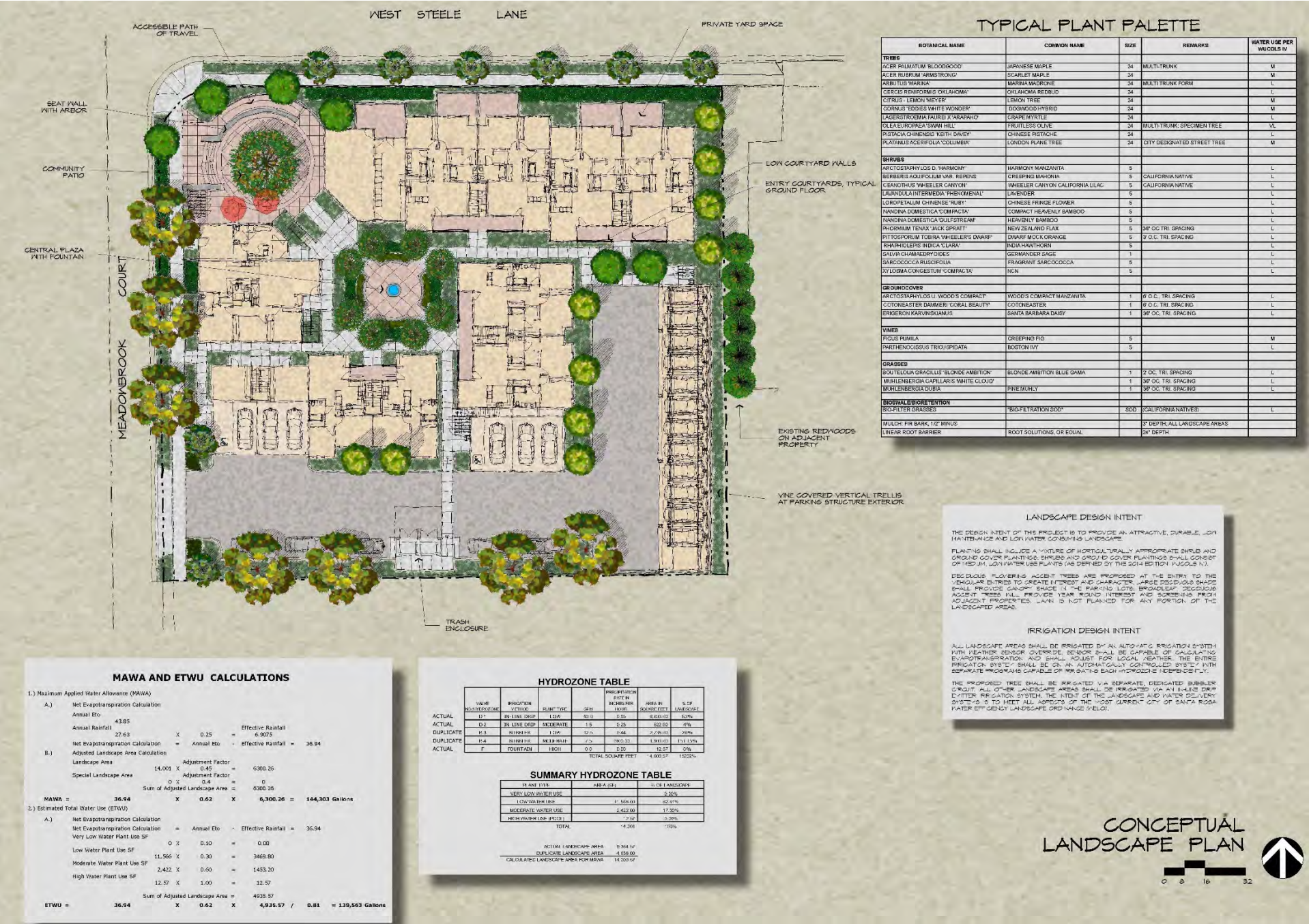
- Site design minimizes number of curb cuts and avoids curb cuts on primary street
- Site is designed so vehicle circulation is secondary to pedestrian access
- Parking areas are screened from public right of way; private alleys are encouraged for vehicular access.
- Stack parking is proposed to significantly reduce the area of land given to parking and auto circulation



North Station Area Specific Plan

Design Goals - Landscape

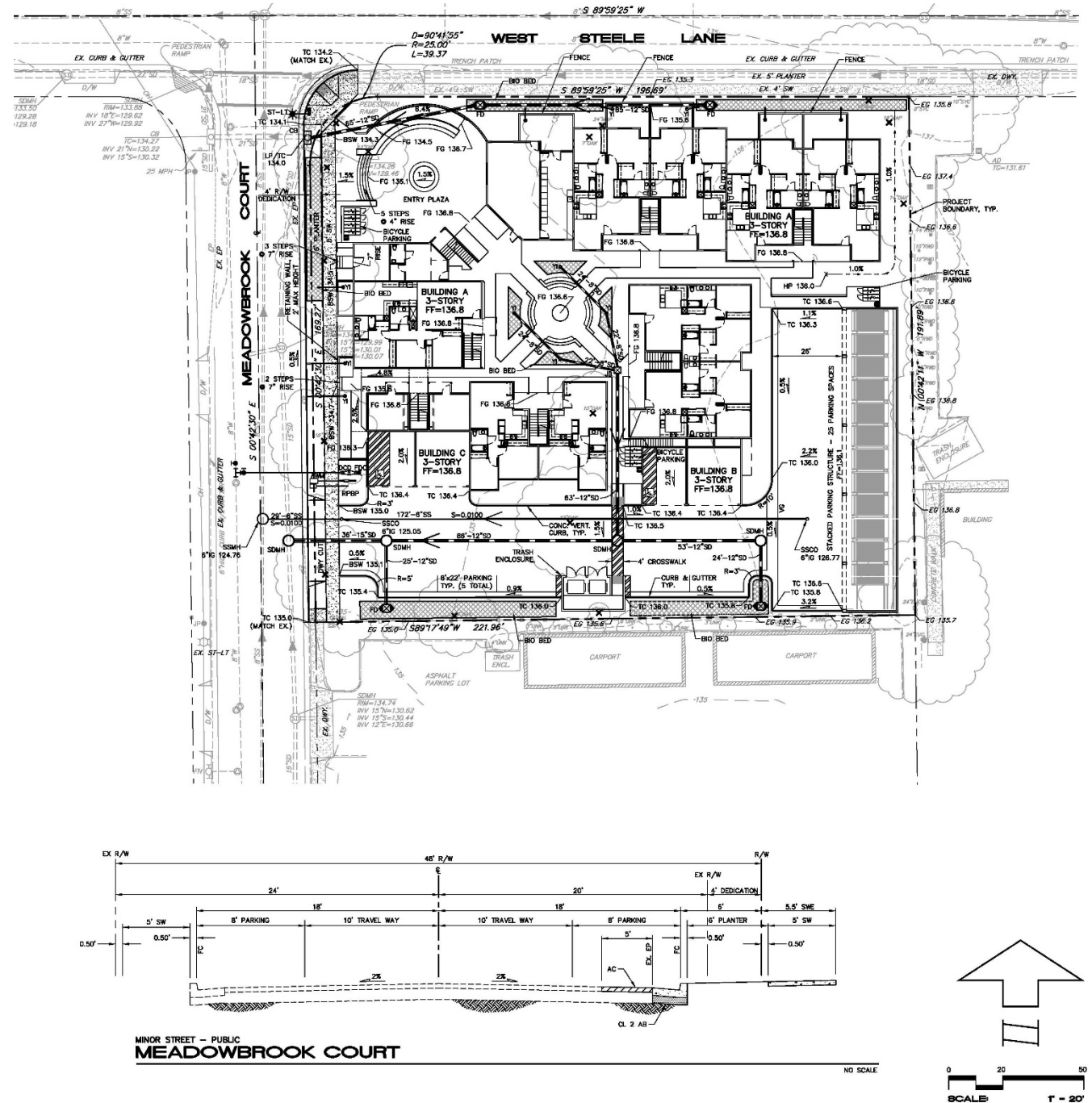
- Plant palette includes drought tolerant species
- 45% of the site area at the ground level is landscaped or dedicated to pedestrian and common or semi-private open space
- Landscape treatment reflects the character of an urban residential park with its walled unit patios, raised entry plaza, covered passage into courtyard and formal parterre style planting defining axial organizing connection between plaza and courtyard



North Station Area Specific Plan

Design Goals -Sustainable Site Design

- Buildings are designed to provide cross thru-ventilation and to maximize access to natural light inside all apartment dwellings.
- Courtyard design is conducive to sheltering common open space from heat gain and weather
- Storm runoff is detained and retained by maximizing use of pervious surfaces, vegetated bio-swales, and vegetative ground cover to the greatest extent practicable



Conclusions: 1650 West Steele Lane

- transforms character of this site from being the last remaining underutilized and vacant lot in the area to a revitalizing, unifying space for medium high density multifamily housing
- higher density supports surrounding urban infrastructure, rail line, bus transit, and bike/pedestrian paths.
- project vision is to be specifically transit oriented and to proactively reduce dependence on the automobile.
- courtyard archetype is associated with rich precedents in imagery and cultural history
- courtyard and plaza are terminus points or openings in the urban fabric, create sense of place and perspective for social activity and public access
- plaza and courtyard are transitions connecting private domain of dwelling to its urban setting
- in their private residential garden court, residents have figurative ownership of the sky above



1650 West Steele Lane Apartments

A.P.N. 041-042-012



SUPPLEMENTAL BONUS DENSITY

BASE DENSITY AT THIS PARCELS .08 ACRE X 18 UNITS/ACRE = 17.5 UNITS. ROUND UP TO 18 UNITS.
11% X 18 = 1.98. ROUND UP TO 2 UNITS. VERY LOW INCOME
16 MARKET RATE UNITS
8 DENSITY BONUS MARKET RATE UNITS (BASED ON FULL STATE DENSITY BONUS OF 35%, AND ADDITIONAL 8.5, OR 6 UNITS)
TOTAL = 2 + 18 + 6 = 26
SUPPLEMENTAL DENSITY BONUS: 100% 18 UNITS X 2 = 36 UNITS
60% (100% - 40%) = 24% NEED 100 POINTS
55% X 18 = 9.9. ROUND UP TO 12
35 UNITS WITH STATE DENSITY BONUS = 12 UNITS WITH SUPPLEMENTAL DENSITY BONUS
90 POINTS FROM SPECIALIZED HOUSING
11% X 18 = 1.98. ROUND UP TO 2 UNITS
10 POINTS FROM COMMUNITY BENEFIT: ONE OF THE 4 UNITS IS A FAMILY 3 BEDROOM UNIT
60% X 18 = 11.7. ROUND UP TO 12
TOTAL = 12 + 26 = 38

VICINITY MAP



SITE DATA

ASSESSOR'S PARCEL #: 041-042-012
GENERAL PLAN: MEDIUM RESIDENTIAL
ZONING: R-3-16-5A
NORTH STATION AREA
SPECIFIC PLAN
LOT AREA: 0.09 ACRES (42,088.80 SF)
BUILDING FOOTPRINTS: 12,366 SF (29% COVERAGE)
PAVING & TRASH: 11,047 SF (26% COVERAGE)
OPEN AREA: 19,270 SF (45% COVERAGE)

PARKING REQUIRED:
(1) 1 BEDROOM UNITS 1.0 COVERED + 0.5 GUEST = 9.0 STALLS
(2) 2 BEDROOM UNITS 1.0 COVERED + 1.5 GUEST = 47.5 STALLS
(3) 3 BEDROOM UNITS 1.0 COVERED + 1.5 GUEST = 13.0 STALLS
TOTAL REQUIRED: 64.0 STALLS

PARKING PROVIDED:
MARKET RATE UNITS
(1) 1 BEDROOM UNITS 1.0 COVERED = 9.0 STALLS
(2) 2 BEDROOM UNITS 1.0 COVERED = 27 STALLS
(3) 3 BEDROOM UNITS 1.0 COVERED = 24.0 STALLS
TOTAL PROVIDED: 54.0 STALLS

AFORDABLE UNITS:
(1) 1 BEDROOM UNITS 0.5 = 1.5 STALLS
(2) 2 BEDROOM UNITS 0.5 = 6.5 STALLS
TOTAL PROVIDED: 8.0 STALLS

GUEST PARKING: 5 STALLS
ACCESSIBLE STALLS: 2 STALLS
TOTAL PROVIDED: 30 STALLS

PARKING RATIO REQUIRED = 2.5 STALLS PER UNIT
PARKING RATIO PROVIDED = 1 STALL/UNIT

BIKCYCLE STORAGE: 9 SECURE - 9 IN RACKS

PROJECT DESCRIPTION
THE PROPOSED MULTI-FAMILY RESIDENTIAL PROJECT IS LOCATED ON A PARCEL IN THE TRANSIT ORIENTED PRIORITY DEVELOPMENT DISTRICT KNOWN AS THE NORTH STATION AREA. SPECIFIC PLAN, A PUBLIC LIBRARY, MULTIPLE ICE SKATING AREAS, A MAJOR SHOPPING AREA WITH MAJOR GROCERY STORE, LOCAL SMALL BUSINESSES AND SERVICE, PUBLIC TRANSIT, BIKENAVIGATOR PATHS, LOCAL PARKS, SCHOOLS AND A SCHOOL PLAYGROUND ARE ALL LOCATED WITHIN ONE HALF MILE OF THE PROJECT.
THE MULTI-FAMILY APARTMENT BUILDING COMPRESES 36 DWELLINGS AND PROPOSES A 100% INCREASE IN ALLOWABLE DENSITY FROM 17 UNITS TO 38 UNITS, AS PERMITTED BY A SUPPLEMENTAL BONUS DENSITY ORDINANCE TO 20% OF 18 UNITS OVER THE STATE DENSITY BONUS OF 35%.
THE DWELLINGS ARE IN A TWO AND THREE BUILDING, WITH BUILDING MASSING TO ENHANCE SOLAR ACCESS TO THE INTERIOR COURTYARDS. THE THREE STORY PORTIONS OF THE APARTMENT PROJECT ARE LOCATED IN PUBLIC RIGHT OF WAYS. THE TWO STORY PORTIONS OF THE BUILDING ARE AT THE REAR AND INTERIOR SIDE YARDS TO ALLOW MAXIMUM SOUTHERN SOLAR EXPOSURE IN THE INTERIOR COURTYARD. SEMI-PRIVATE OPEN SPACES PROVIDED IN WALLED PATIO GARDENS AT THE GROUND FLOOR UNITS AND BALCONIES AT UPPER LEVEL UNITS. COMMUNAL OPEN SPACE IS PROVIDED AT THE COURTYARD ON THE GROUND FLOOR. AT THE ENTRY GARDEN IN FRONT OF THE LOBBY, AT THE INTERSECTION OF WEST STEELE LANE AND MEADOWBROOK COURT, AND AT THE ROOF GARDEN ON THE SECOND FLOOR.
THERE IS A COMMON LAUNDRY FACILITY AT THE GROUND FLOOR AS WELL AS A LOBBY AND LEASING OFFICE.
COVERED PARKING FOR 24 CARS IS PROVIDED IN A 2 LEVEL AUTOMATED PARKING STRUCTURE AT THE EAST SIDE YARD. SURFACE PARKING IS PROVIDED AT THE SOUTH REAR YARD. A PARKING RATIO OF 1 STALL PER UNIT IS PROPOSED IN THIS TRANSIT ORIENTED DEVELOPMENT. ON SITE SHORT-TERM AND LONG-TERM BICYCLE PARKING IS PROVIDED.

BUILDING DATA

LEVEL 1: (1) UNIT A, 2 BEDROOMS, 2 BATH X 1,028 SF = 6,048 SF
(2) UNIT B & C, 2 BEDROOMS, 1 BATH X 812 SF = 1,624 SF
(3) UNIT D, 3 BEDROOMS, 2 BATH X 1,161 SF = 3,483 SF
(4) UNITS HEATED SPACE = 8,933 SF

LOBBY/LAUNDRY - HEATED SPACE = 1,000 SF
OFFICE - HEATED SPACE = 283 SF
(2) UNITS HEATED SPACE = 1,283 SF

COVERED BREEZEWAY = 508 SF
ELECTRICAL = 185 SF
COVERED PATIOS = 1,124 SF
GARAGES = 2,009 SF
TOTAL SF = 15,955 SF

LEVEL 2: (1) UNIT A, 2 BEDROOMS, 2 BATH X 1,028 SF = 6,048 SF
(2) UNIT B, 2 BEDROOMS, 1 BATH X 812 SF = 1,624 SF
(3) UNIT C, 3 BEDROOM, 2 BATH X 1,161 SF = 3,483 SF
(4) UNIT D, 2 BEDROOM, 2 BATH X 1,156 SF = 2,312 SF
(5) UNIT E, 1 BEDROOM, 1 BATH X 471 SF = 471 SF
(6) UNIT F, 1 BEDROOM, 1 BATH X 507 SF = 507 SF
(15) UNITS HEATED SPACE = 12,418 SF

BALCONIES AND COVERED DECKS = 1,512 SF
TOTAL SF = 13,930 SF

LEVEL 3: (1) UNIT A, 2 BEDROOMS, 2 BATH X 1,028 SF = 6,048 SF
(2) UNIT B, 2 BEDROOMS, 1 BATH X 812 SF = 1,624 SF
(3) UNIT C, 3 BEDROOM, 2 BATH X 1,161 SF = 3,483 SF
(4) UNIT D, 2 BEDROOM, 2 BATH X 1,156 SF = 2,312 SF
(5) UNIT E, 1 BEDROOM, 1 BATH X 471 SF = 471 SF
(6) UNIT F, 1 BEDROOM, 1 BATH X 507 SF = 507 SF
(15) UNITS HEATED SPACE = 11,566 SF

BALCONIES AND COVERED DECKS = 1,451 SF
TOTAL SF = 13,017 SF

TOTAL BUILDING AREA: 40,944 SF

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PROJECT TEAM

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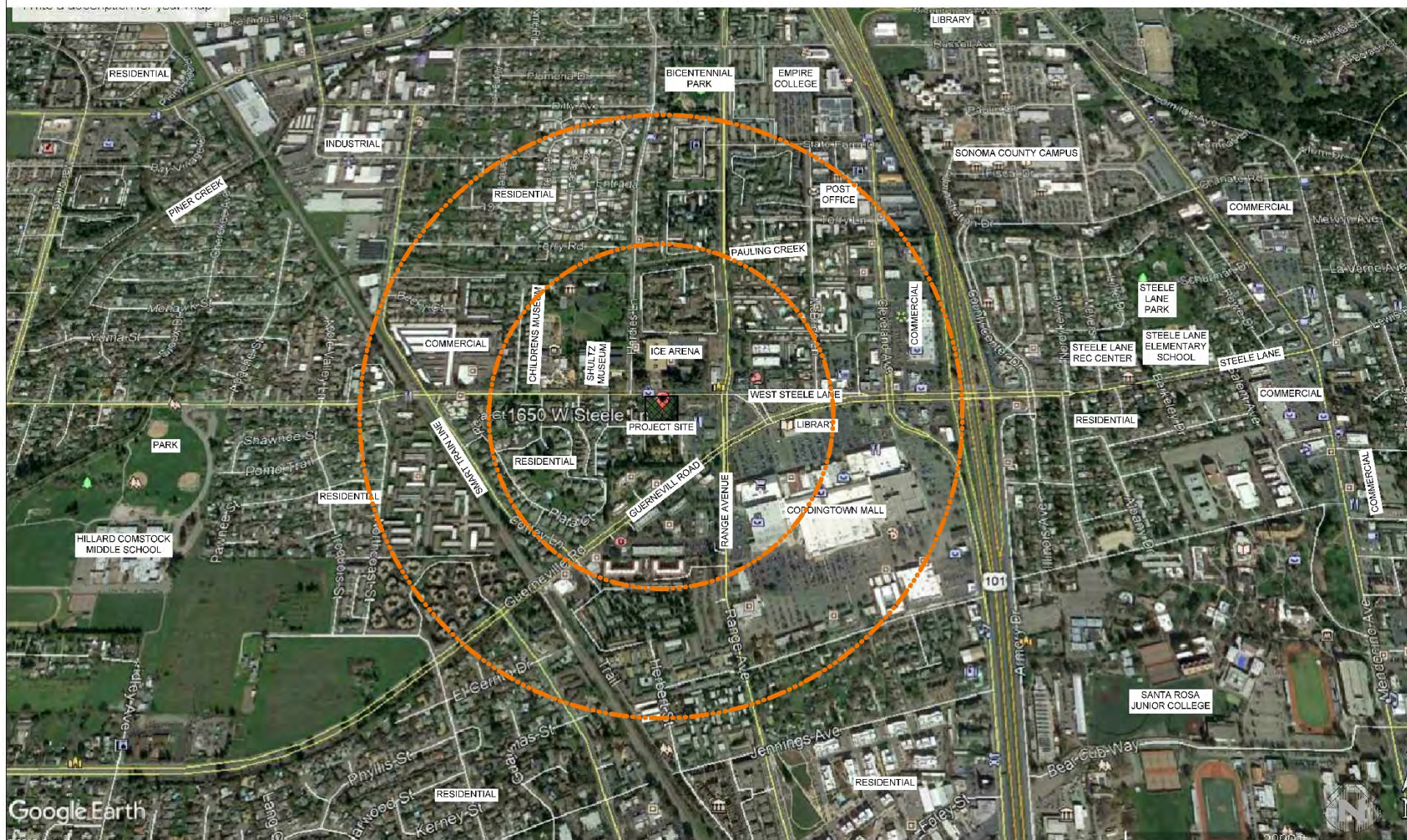
Project Information



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1650 West Steele Lane Apartments
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A0



Site Context Map



Looking South at North Boundary of Parcel



Looking North to Ice Arena from Parcel boundary



Looking North to Ice Arena from interior of Parcel



Looking East from interior of Parcel



North Boundary of parcel from West Steele Lane



North Boundary of parcel from West Steele Lane



Single Family Residence at west side of Meadowbrook Court



West Boundary of parcel from Meadowbrook Court



Single Family Residence at west side of Meadowbrook Court



Apartment Buildings at west side of Meadowbrook Court



Apartment Buildings at southwest end of Meadowbrook Court



Apartment Buildings at southwest end of Meadowbrook Court



Apartment Buildings at southeast end of Meadowbrook Court



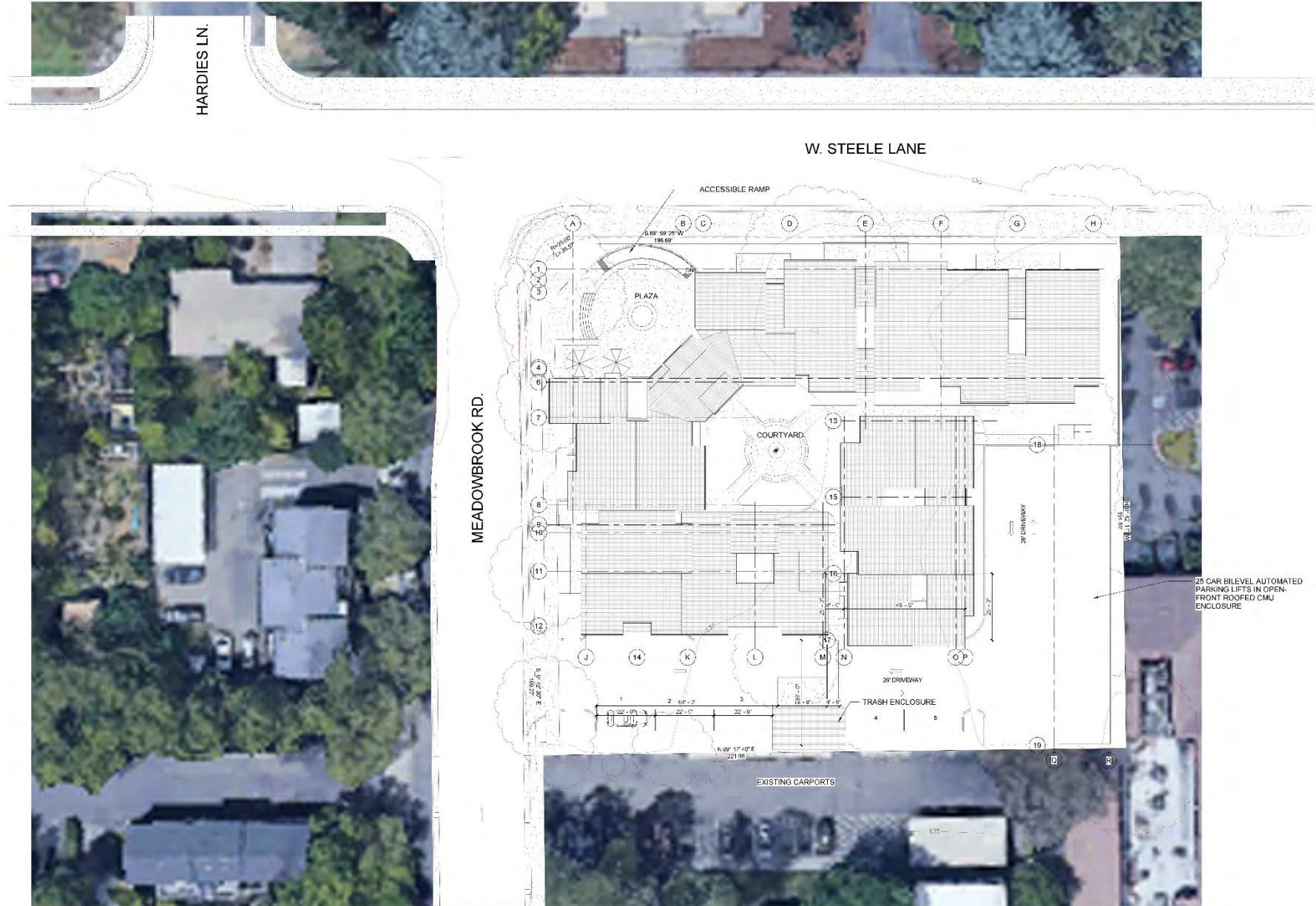
Pair of Red Tail Hawks nesting in one of the sycamore trees on the site



Existing and Surrounding Land Uses

27-06023 2/1/2016 PM

1 Architectural Site Plan
1/16" = 1'-0"



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Architectural Site Plan

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First Floor Plan

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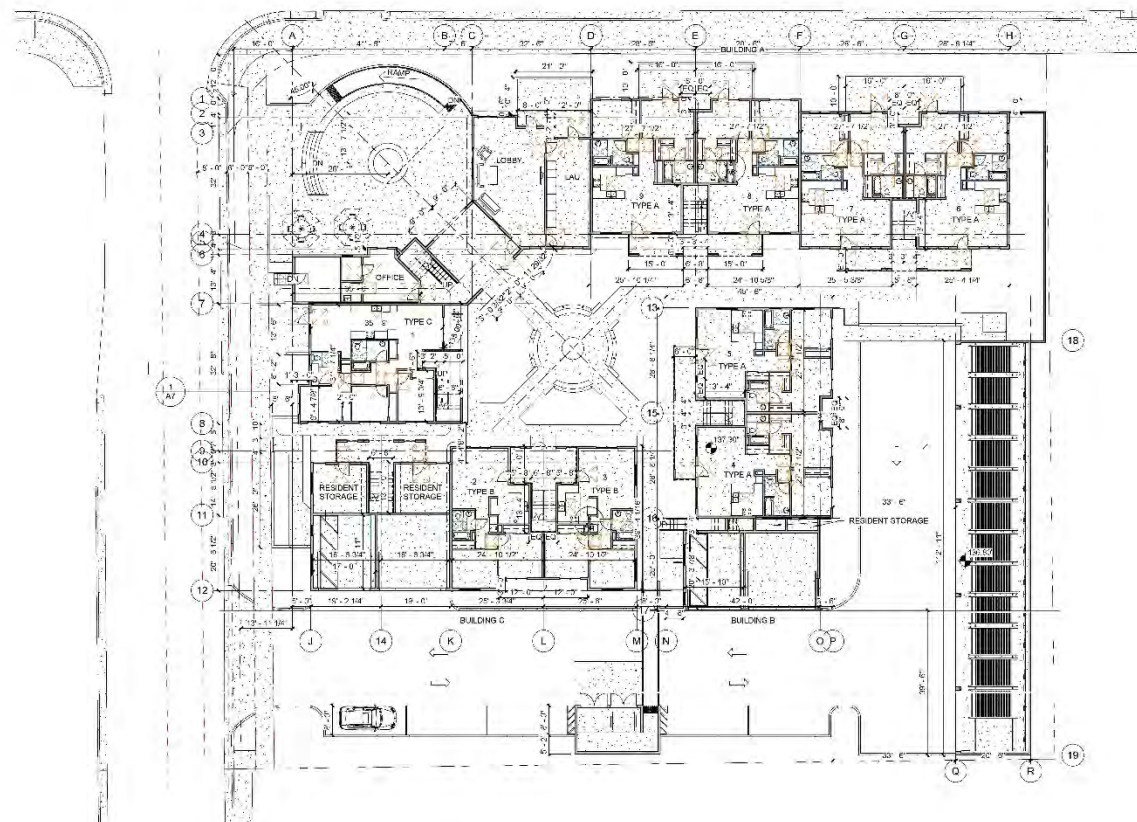
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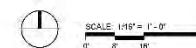
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Client

A2



1 First Floor Plan
1/16" = 1'-0"





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Second Floor Plan

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A3



1 Second Floor Plan
1/16" = 1'-0"



SCALE 1/16" = 1'-0"
0' 6' 12'



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Third Floor Plan

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A4



1 Level 3
1/16" = 1'-0"



SCALE 1/16" = 1'-0"
0' 6' 12' 32'



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Roof Plan

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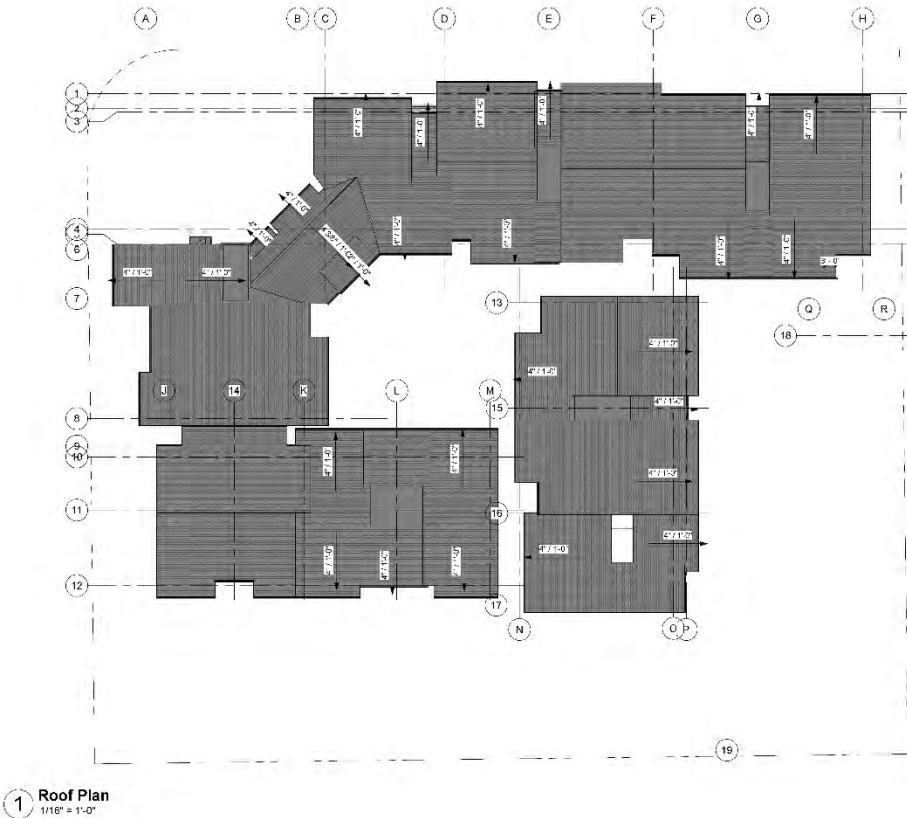
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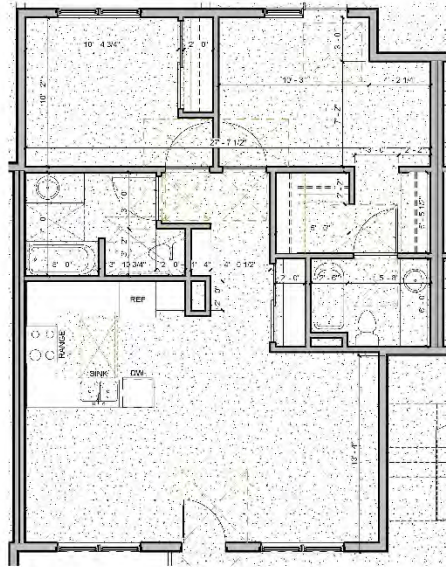
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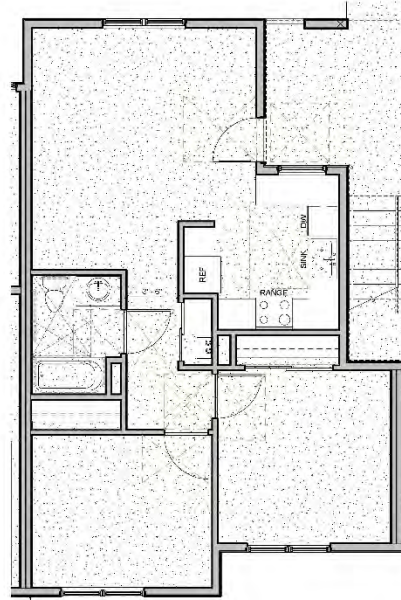
1 Roof Plan
1/16" = 1'-0"



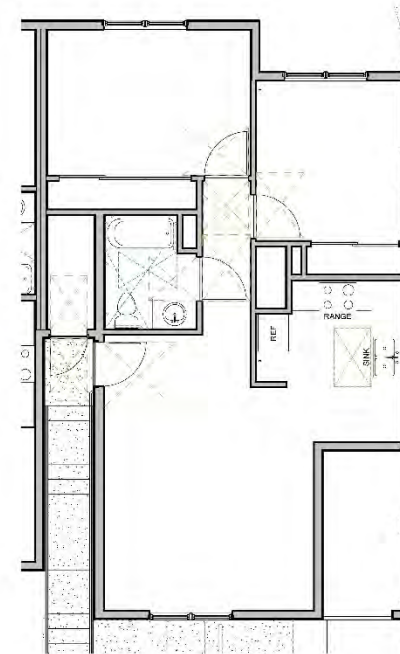
SCALE 1/16" = 1'-0"
0' 6' 12' 32'



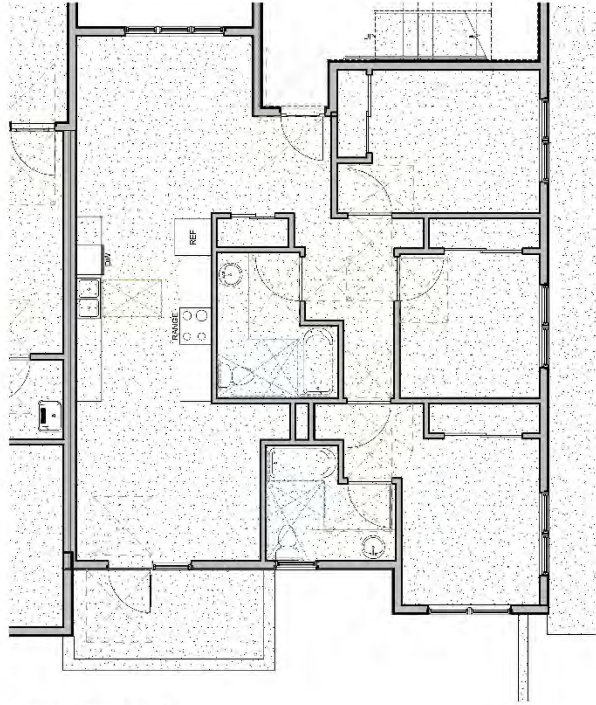
1 Level 1 - Unit Type A
1/4" = 1'-0"



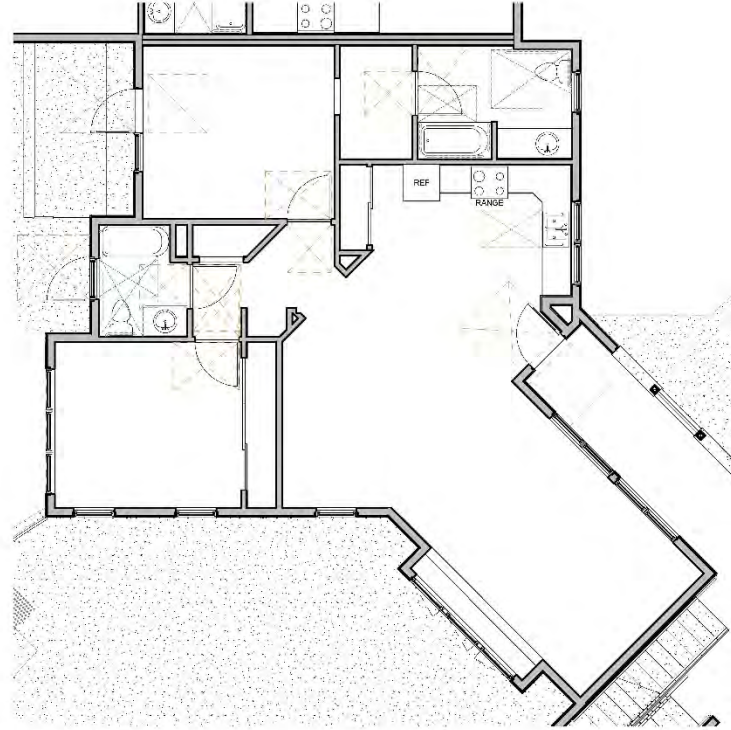
2 Level 1 - Unit Type B1 & B2
1/4" = 1'-0"



3 Level 2 - Unit B3
1/4" = 1'-0"

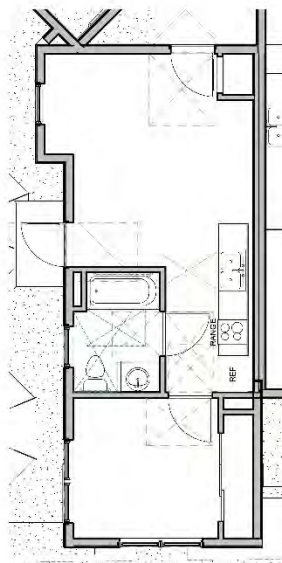


① Level 1 - Unit Type C1
1/4" = 1'-0"

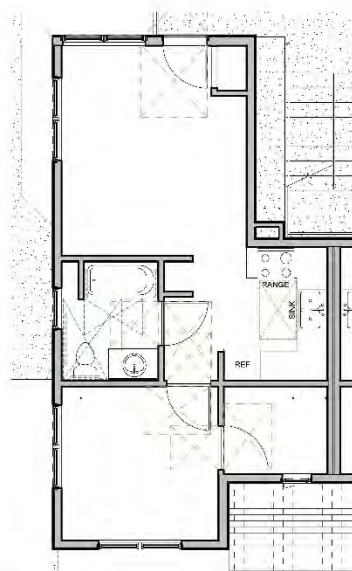


② Level 2 - Unit D1
1/4" = 1'-0"

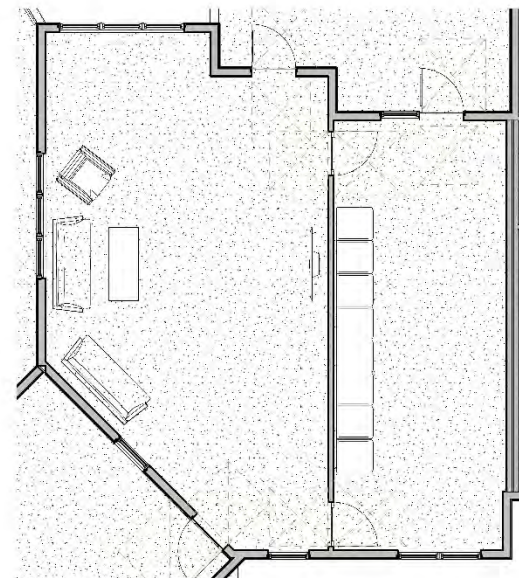




1 Level 2 - Unit E1
1/4" = 1'-0"



2 Level 2 - Unit F1
1/4" = 1'-0"



3 Level 1 - Community Room and Laundry
1/4" = 1'-0"





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Elevations - BLDG 'B', 'C' & 'D'

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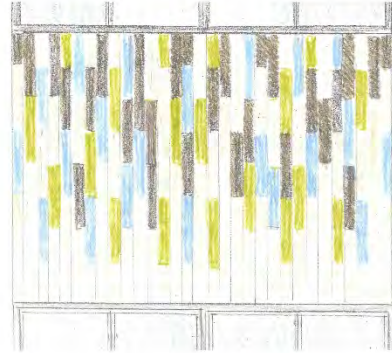
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A10





MOZ DESIGNS- LASERCUT LIMESTONE PATTERN
RUST



EXTERIOR TILE LAYOUT



TRIKEENAN- BONEYARD BRICK
DIAMOND SPRINGS
2.25" X 11 5/8" -EXTRUDED CERAMIC BRICK



TRIKEENAN- BONEYARD BRICK
JUS WHITE
2.25" X 11 5/8" -EXTRUDED CERAMIC BRICK



TRIKEENAN- BONEYARD BRICK
MOREL
2.25" X 11 5/8" -EXTRUDED CERAMIC BRICK



TRIKEENAN- BONEYARD BRICK
PARAKEET
2.25" X 11 5/8" -EXTRUDED CERAMIC BRICK



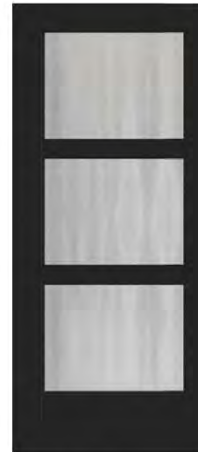
BENJAMIN MOORE
SEA PEARL
STUCCO



SANTA BARBARA FINISH AT EXTERIOR STUCCO -
OMEGA



ECOSTAR 12" TRADITIONAL ROOFING
FEDERAL GRAY
SYNTHETIC SLATE WITH RECYCLED
CONTENT



THERMA TRU FULL LITE FLUSH-GLAZED
STYLE NO. S5700XJ-SDLF2
ONYX



MARVIN 4-LITE DOUBLE HUNG WINDOW
BLACK
VINYL DOUBLE GLAZED



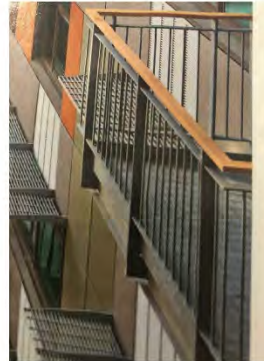
2 BLDG 'A' From Courtyard
1/8" = 1'-0"



3 BLDG 'A' From Plaza
1/8" = 1'-0"



1 BLDG 'A' - West- Materials
1/8" = 1'-0"



ALUMINUM RAILING
ANODIZED BRONZE





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A11





① View from Steele Ln & Hardies Ln



⑤ View from Meadowbrooke



④ Perspective from Courtyard Ground



LEGEND

STREET LIGHT

SEWER MAIN, MANHOLE & CLEANOUT
WATER MAIN, GATE VALVE,
METERS AND FIRE HYDRANT

STORM DRAIN, MANHOLE,
CATCH BASIN & FIELD DRAIN

CURB, GUTTER & SIDEWALK

DRIVEWAY CUT

PERMEABLE PAVEMENT

CONCRETE VERTICAL CURB
DIRECTION OF FLOW WITH GRADE

RIGHT OF WAY

CENTERLINE

PROJECT BOUNDARY

SIGN

UTILITY BOXES

FLOWLINE

EXISTING CONTOURS (1' INTERVAL)

FENCE

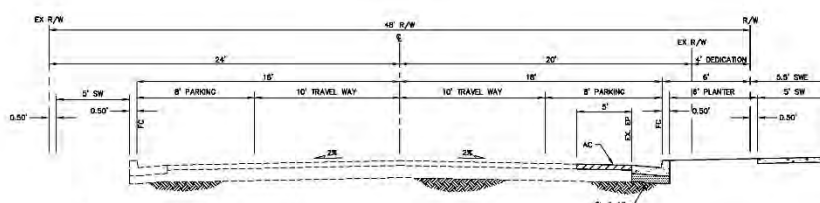
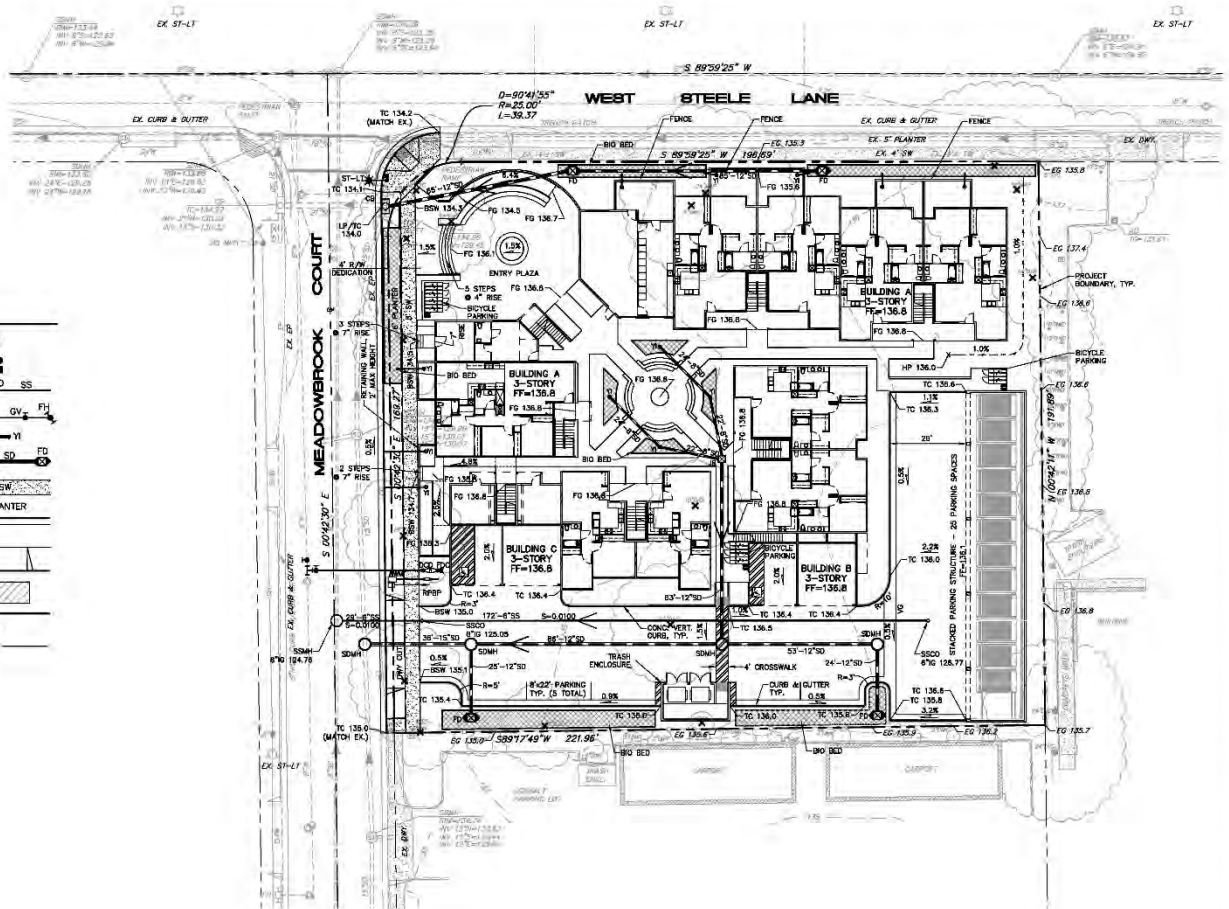
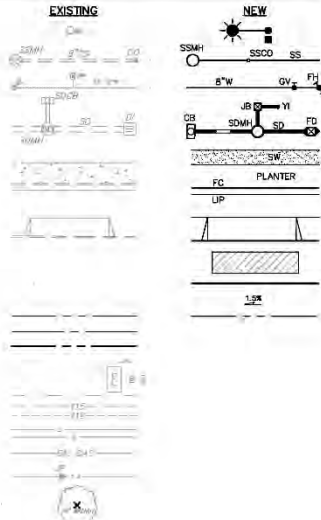
GAS LINE

OVERHEAD UTILITIES

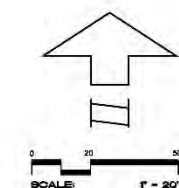
TREE TO BE REMOVED

ABBREVIATIONS

ADA AMERICANS WITH DISABILITIES ACT
APN ASSessor's PARCEL NUMBER
BSW BACK OF SIDEWALK
CB CATCH BASIN
CONC CONCRETE
CDD DOUBLE CHECK DETECTOR
DN DOCUMENT NUMBER
EG EXISTING GRADE
EP EDGE OF PAVEMENT
EX EXISTING
FD FIELD DRAIN
FDC FIRE DEPARTMENT CONNECTION
FF FINISH FLOOR
FG FINISH GRADE
FH FIRE HYDRANT
FL FLOW LINE
GV GATE VALVE
HP HIGH POINT
IG INVERT GRADE
JB JUNCTION BOX
LP LOW POINT
R RADIUS
R/W RIGHT OF WAY
RPBP REDUCED PRESSURE BACKFLOW PREVENTOR
S SLOPE OR SOUTH
SDMH STORM DRAIN MANHOLE
SO SIDE OPENING
SS SANITARY SEWER
SSCO SANITARY SEWER CLEAN OUT
SSMH SANITARY SEWER MANHOLE
ST-LT STREET LIGHT
SW SIDEWALK
SWE SIDEWALK EASEMENT
TC TOP OF CURB
TYP TYPICAL
VGT VALLEY GUTTER
W WATER OR WEST
WM WATER METER
YI YARD INLET



MINOR STREET - PUBLIC
MEADOWBROOK COURT



NOVEMBER 2009

CIVIL DESIGN CONSULTANTS, INC.
2200 Range Avenue, Suite 204
Santa Rosa, CA 95403
(707) 542-1800

DATE

SITE GRADING AND UTILITY PLAN

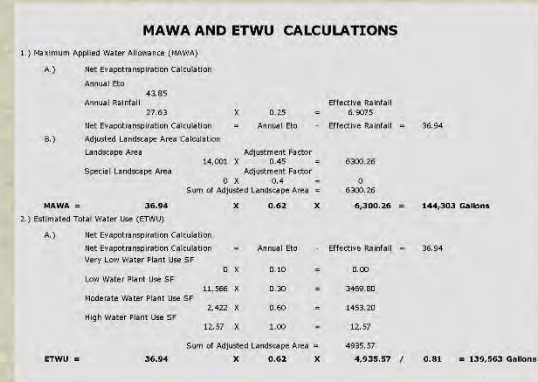
STEELE LANE APARTMENTS

NOVEMBER 2009

JOB NO.
19-107

SHEET NO.
Q1

OF 1 SHEETS

[illegible]

LANDSCAPE DESIGN INTENT

THE DESIGN INTENT OF THIS PROJECT IS TO PROVIDE AN ATTRACTIVE, DURABLE LAND AND WATER CONSERVING LANDSCAPE.

PLANTING SHALL INCLUDE A VARIETY OF SEASONALLY APPROPRIATE SHRUBS AND ORNAMENTAL PLANTS, TREES AND BULB CROCKS. PLANTINGS SHALL BE CONSISTENT WITH THE CLIMATE AND SOILS OF THE AREA. PLANTINGS SHALL BE OF MEDIUM TO LARGE SIZE PLANTS AS DETERMINED BY THE CITY OF SANTA ROSA.

DECIDUOUS PLANTING AND TREES ARE PROPOSED AT THE ENTRY TO THE VILLAGE ENTRIED TO CREATE INTEREST AND CHARACTER. LARGE DECIDUOUS SHADE TREES SHALL BE PROVIDED AT THE ENTRY TO THE VILLAGE AND AT THE VILLAGE ACROSS THE VILLAGE. TREES SHALL PROVIDE YEAR ROUND INTEREST AND SCREENING FROM ADJACENT AREAS. PLANTING SHALL NOT BE PLANTED FOR ANY PORTION OF THE LANDSCAPED AREA.

IRRIGATION DESIGN INTENT

ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM WITH FERTILIZER BLENDED OVERFLOW. IRRIGATION SHALL BE CAPABLE OF CALCULATING DIAPHRAGMATION AND SHALL ADJUST FOR LOCAL WEATHER. THE ENTIRE IRRIGATION SYSTEM SHALL BE CAPABLE OF PROVIDING IRRIGATION BY SEPARATE PROGRAMS CAPABLE OF IRRIGATING EACH MICROZONE INDEPENDENTLY.

THE PROPOSED TREE SHALL BE IRRIGATED VIA SEPARATE DESIGNATED BUBBLER OR SPRINKLER. ALL LANDSCAPE AREAS SHALL BE IRRIGATED VIA AN INLINE DRAIN FERTILIZER PROGRAM TO PROVIDE THE FERTILIZER AND WATER DELIVERY SYSTEMS IS TO MEET ALL ASPECTS OF THE MOST CURRENT CITY OF SANTA ROSA WATER EFFICIENCY LANDSCAPE ORDINANCE (2010).



STEELE LANE APARTMENTS
1650 WEST STEELE LANE
SANTA ROSA, CALIFORNIA

CONCEPTUAL
LANDSCAPE PLAN

DATE: 2/2/18
JOB#: 2015-4
SCALE: 1" = 16'
DRAWN: CH

L-1

1650 WEST STEELE LANE
SANTA ROSA, CA 95401
TEL: (707) 546-1111
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