



# 1650 W. Steele Lane Apartments Concept Design Review

Design Review Board

March 5, 2020

Adam Ross  
City Planner  
Planning and Economic Development



# Project Description



- Concept Review for the West Steele Lane Apartments, a 36-unit courtyard apartment complex comprised of one, two, and three bedroom units. One parking space is provided per unit for a total of 36 spaces.

## Project Description

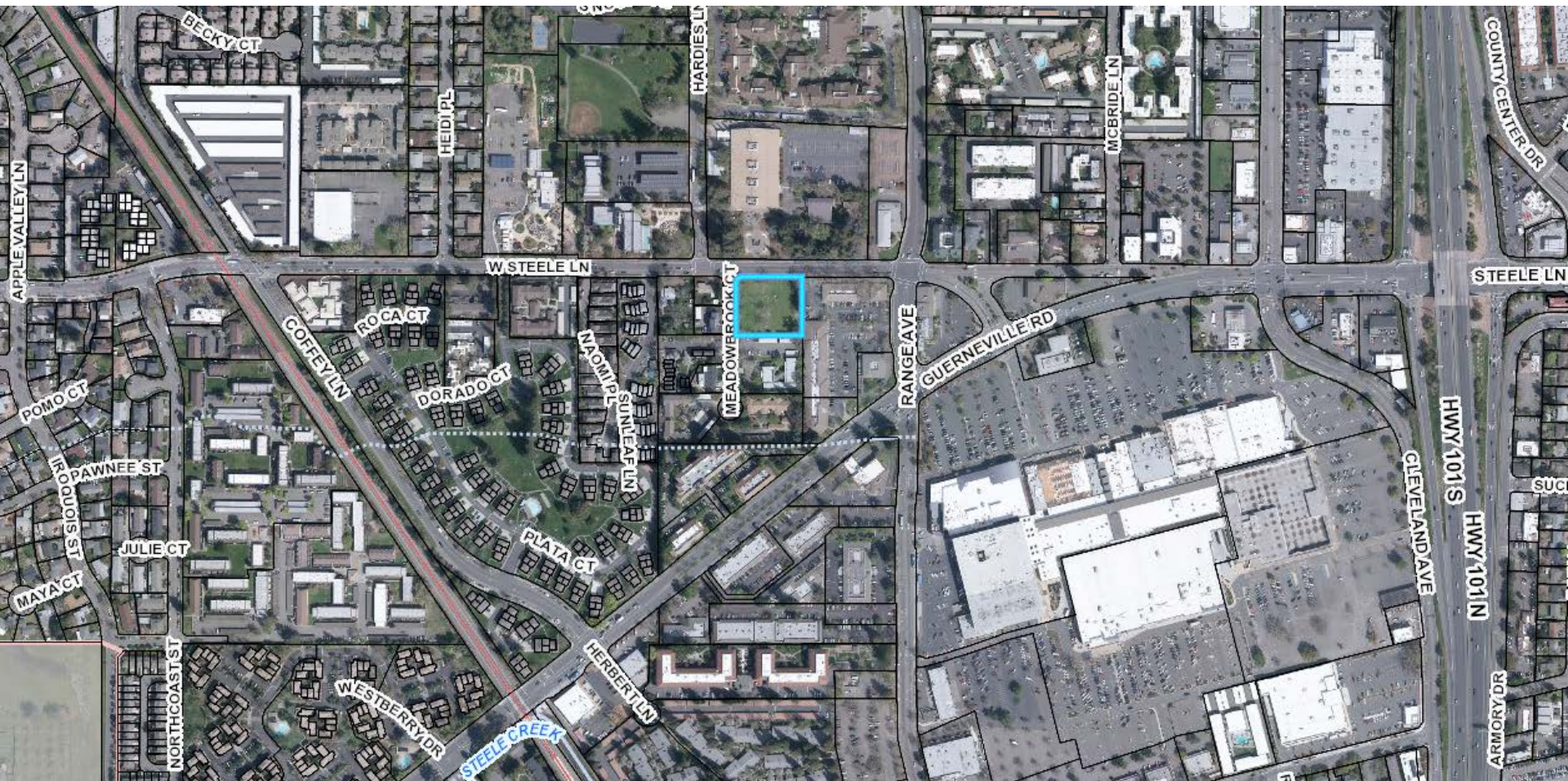
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- 36 units
- 100% Density Bonus Application subject to Minor Use Permit
- Includes Concession for Parking



# Project Location

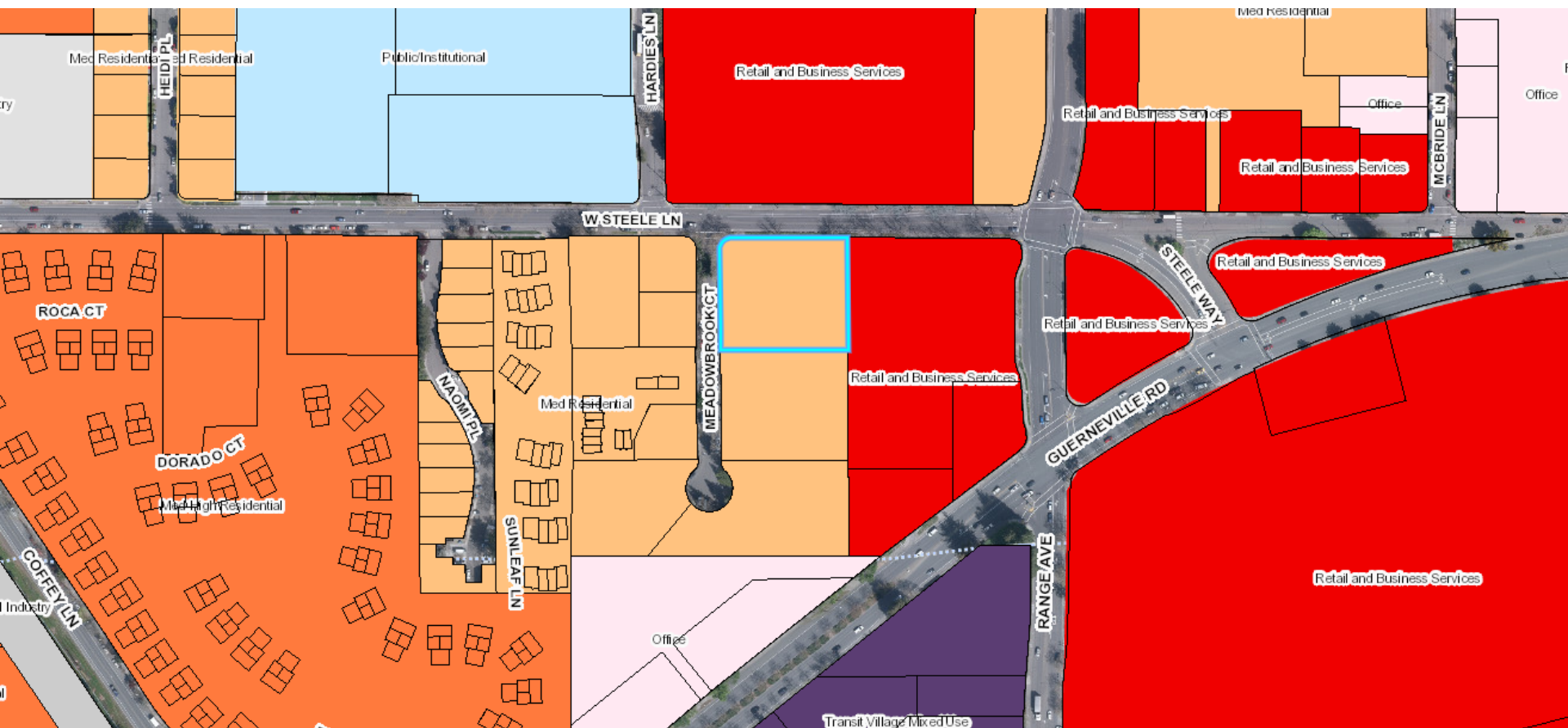
## 1650 W. Steele Lane





# Project Location

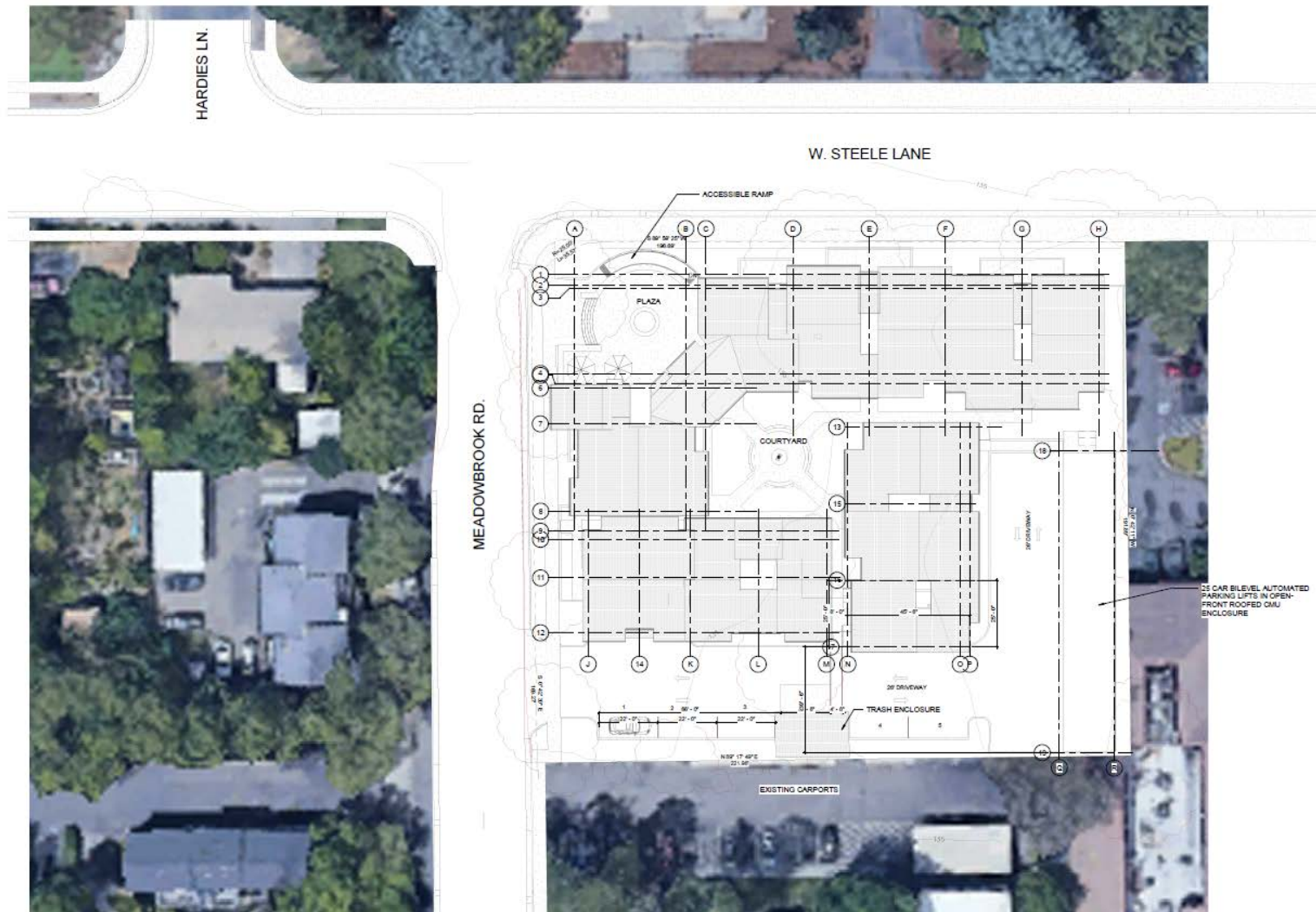
## 1650 W. Steele Lane



## Development Standards

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- All main building entries shall orient toward the street; surface parking lots are not permitted in front of buildings; Locate on-site parking to the rear or side of the property, or internal to the block, and provide access to parking through alleys and driveways, where possible



# Roof Plan



**1 Roof Plan**  
 1/16" = 1'-0"





① View from Steele Ln & Hardies Ln



⑤ View from Meadowbrooke



④ Perspective from Courtyard Ground

# Elevations



TRIKEENAH-BONEYARD BRICK  
DIAMOND SPRINGS  
2.25" X 11 5/8"-EXTRUDED CERAMIC BRICK



TRIKEENAH-BONEYARD BRICK  
JUS WHITE  
2.25" X 11 5/8"-EXTRUDED CERAMIC BRICK



TRIKEENAH-BONEYARD BRICK  
MOREL  
2.25" X 11 5/8"-EXTRUDED CERAMIC BRICK



TRIKEENAH-BONEYARD BRICK  
PARAKEET  
2.25" X 11 5/8"-EXTRUDED CERAMIC BRICK



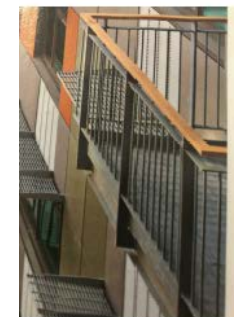
BENJAMIN MOORE  
SEA PEARL  
STUCCO



Santa Barbara Stucco Finish



ECOSTAR 12" TRADITIONAL ROOFING  
FEDERAL GRAY  
SYNTHETIC SLATE WITH RECYCLED CONTENT



ALUMINUM RAILING  
WOODIZED BRONZE



THERMA TRU FULL LITE FLUSH-GLAZED  
STYLE NO. 55700X-SQUPZ  
BLACK  
VINYL, DOUBLE GLAZED

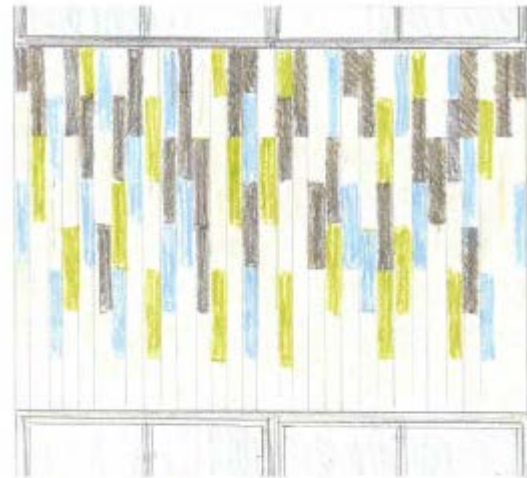


MARVIN 4-LITE DOUBLE HUNG WINDOW  
BLACK  
VINYL, DOUBLE GLAZED





MOZ DESIGNS- LASERCUT LIMESTONE PATTERN  
RUST



EXTERIOR TILE LAYOUT



② BLDG 'A' From Courtyard  
1/8" = 1'-0"



③ BLDG 'A' From Plaza  
1/8" = 1'-0"



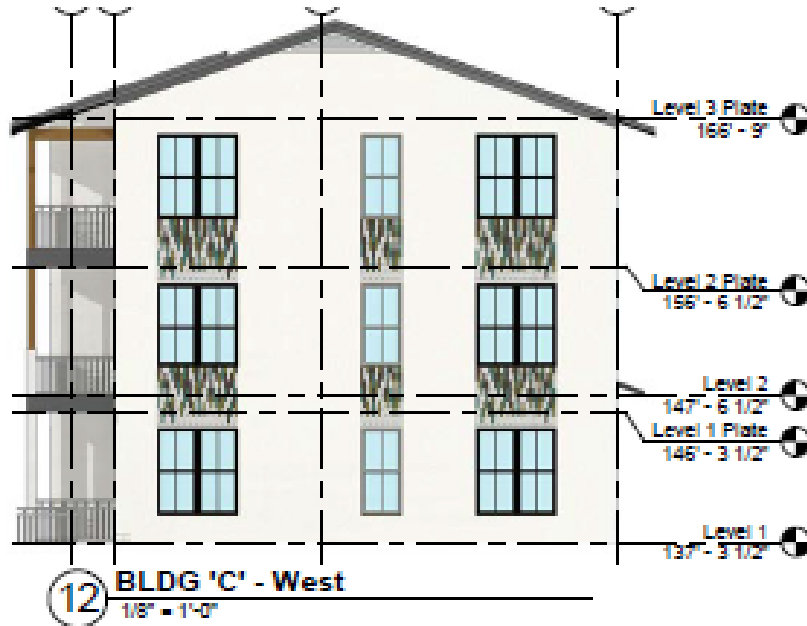
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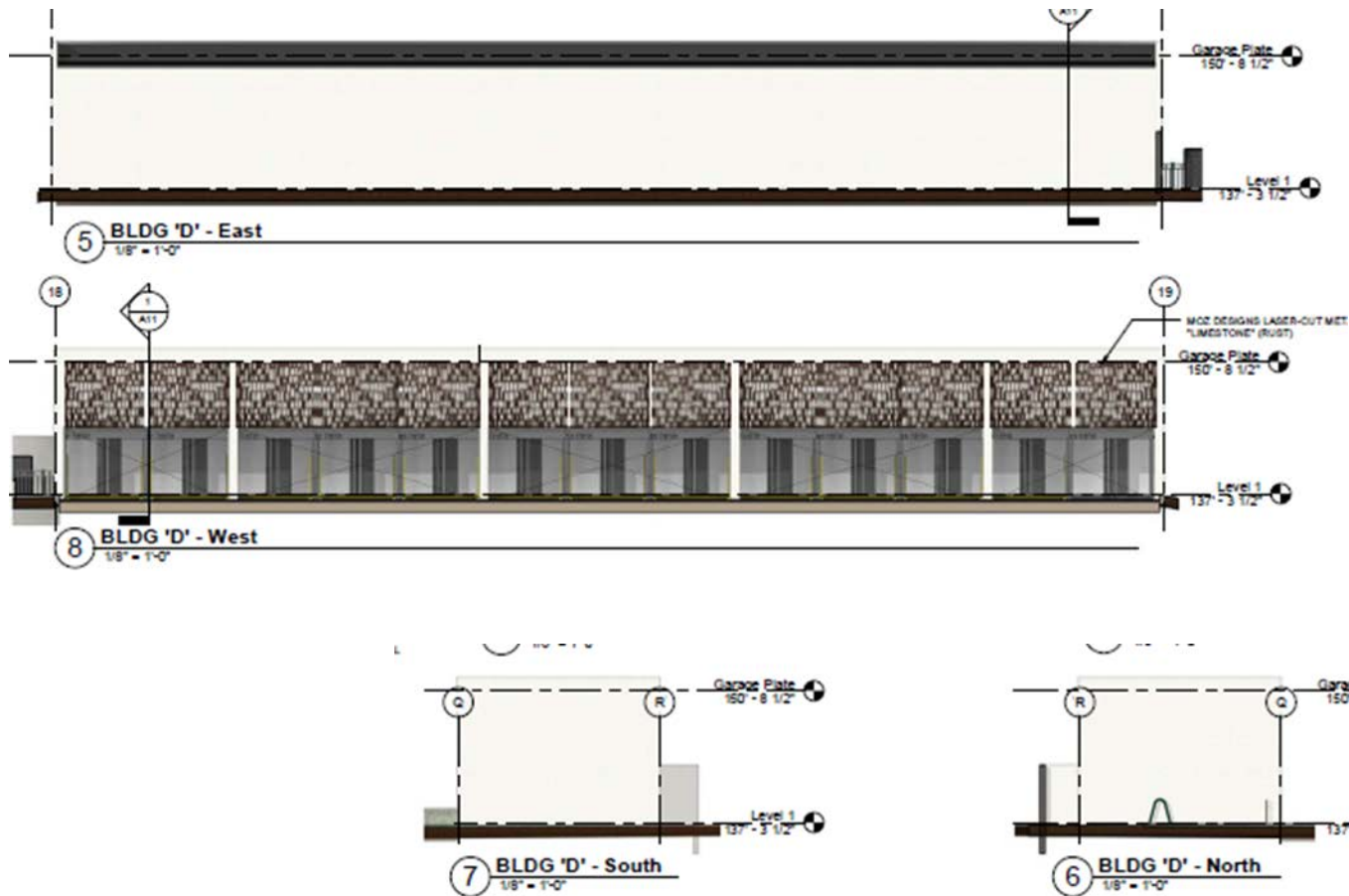












# Elevations







# Public Correspondence

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- Density, Traffic, and Parking
- Design was favored

- Design Review Board provide comments/considerations/recommendations for the W. Steele Lane Apartments within the North Santa Rosa Station Area Specific Plan, a Priority Development Area

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