

CITY OF SANTA ROSA
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT
STAFF REPORT FOR CULTURAL HERITAGE BOARD
May 17, 2021

PROJECT TITLE

Turréy Garage Replacement Landmark
Alteration

APPLICANT

Adam Turréy

ADDRESS/LOCATION

664 Charles St

PROPERTY OWNER

Adam & Dana Turréy

ASSESSOR'S PARCEL NUMBER

009-261-001

FILE NUMBER

LMA20-013

APPLICATION DATE

November 9, 2020

APPLICATION COMPLETION DATE

March 4, 2021

REQUESTED ENTITLEMENTS

Major Landmark Alteration Permit

FURTHER ACTIONS REQUIRED

N/A

PROJECT SITE ZONING

PD-0225-H

GENERAL PLAN DESIGNATION

Low Residential

PROJECT PLANNER

Kristinae Toomians

RECOMMENDATION

Approval

CITY OF SANTA ROSA
CULTURAL HERITAGE BOARD

TO: CHAIR MEUSER AND MEMBERS OF THE BOARD
FROM: KRISTINAE TOOMIANS, SENIOR PLANNER
PLANNING AND ECONOMIC DEVELOPMENT

SUBJECT: TURRÉY GARAGE REPLACEMENT LANDMARK ALTERATION

AGENDA ACTION: RESOLUTION

RECOMMENDATION

It is recommended by the Planning and Economic Development Department that the Cultural Heritage Board, by resolution, approve the Turréy Garage Replacement Landmark Alteration Permit for the property located at 664 Charles St, Assessor's Parcel No. 009-261-001

EXECUTIVE SUMMARY

The applicant requests to replace an existing 200-square-foot, detached garage with a new 264-square-foot detached garage and to add lattice on top of an existing wooden fence along Brown St within the Burbank Gardens Preservation District.

BACKGROUND

1. Project Description

The subject property is located on the southwest corner of Charles and Brown Streets, within the Burbank Gardens Preservation District. The lot is developed with a "Craftsman Box," single-family, detached residence, built around 1910, fronting onto Charles Street; and, a 200-square-foot, detached, single-car garage that fronts onto Brown Street. The rear yard is enclosed by a 6-foot tall wooden fence along Brown Street.



Figure 1: Aerial view of project site.

The property owner and applicant requests to replace an existing 200-square-foot, detached garage with a new 264-square-foot detached garage and add lattice to the existing fence along Brown St.

2. Surrounding Land Uses

The project site is surrounded by single-family homes. The property is situated on the southwest corner of Charles and Brown Streets. The front door for the residence faces Charles Street, while the detached garage faces Brown Street.

3. Existing Land Use – Project Site

The approximately 4,320-square-foot lot is developed with a 903-square-foot, one-story, single-family dwelling and a 200-square-foot, detached, one-car garage.

ANALYSIS

1. General Plan

The General Plan land use designation for the site is Low Density Residential, which allows a density of 2-8 units per acre. This land use designation is generally intended for detached single family residential uses. Consistent with the General Plan, the subject site is developed with one detached single-family residence.

2. Zoning

Zoning Code Section 20-28.040 advises that the Burbank Gardens Preservation District was established in 2003 and establishes the period of significance for the District ranging from 1875 to 1940s. The Burbank Gardens Preservation District is a fairly homogenous district of small single-family homes, predominately Bungalows representing the bulk of development that occurred in the 1920s and 1930s, with some examples of Italianate, Queen Anne, Colonial, Period Revival, and some post war styles.

Typical lots are narrow, generally measuring 40 to 50 feet. Houses generally follow a similar front setback on any given block face and front stoops, or small porches create clearly defined entries with orientation to the street. Front yard fencing is generally three-foot tall picket fencing if any at all. Small front yards include informal landscaping. Single car garages are located at the rear of property, often on a side property line with narrow driveway access.

The project parcel is located within the PD-0225 (Planned Development) Zoning District with a historic preservation overlay. The PD-0225 Burbank Gardens Neighborhood Planned Development District is divided into various zoning

subdistricts. The subject site is identified as R-2-PD, two-family zone.

A Landmark Alteration Permit is required because the project involves modifications to a readily visible structure within a preservation district and modification to a fence.

Pursuant to Zoning Code Section 20-58.060 (F), the Board should consider the following criteria to the extent applicable in their discussion:

1. The consistency, or lack thereof, of the proposed change with the original architectural style and details of the building;
2. The compatibility of the proposed change with any adjacent or nearby landmark structures or preservation district structures;
3. The consistency and/or compatibility of the proposed colors, textures, materials, fenestration, decorative features and details with the time period of the building's construction, and/or adjacent structures;
4. Whether the proposed change will destroy or adversely affect an important architectural feature or features;
5. The Secretary of the Interior Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1983 Revision); and
6. Other matters, criteria and standards as may be adopted by resolution of the CHB.

The Planned Development - PD-0225 Burbank Gardens Neighborhood enforces the Medium Density Multi-Family Residential - R-2 development standards, including setbacks. The R-2 Zoning District requires a 15-foot side yard setback for accessory structures and a 5-foot rear setback. The existing garage is constructed at the street-side property line with no setback. The applicant proposes the replacement detached garage setback approximately 3-feet from the street-side property line. The new garage will add 64-square-feet by adding approximately 2-feet in width and length to the existing garage footprint. The replacement garage will maintain a similar pitched roof, redwood siding, and roof shingles. The applicant proposes a 6-foot by 4-foot window on the west elevation, which will not be visible from the street. The total height of the garage will be 11-feet and 9-inches, which is lower than the maximum 16-feet allowed in the Zoning District. The applicant proposes a new



Figure 2: Existing garage and fence.

garage style that would be in keeping with the Craftsman design of the primary dwelling. There is an existing 6-foot wooden fence along the east property line, along Brown Street that connects from the residence to the detached garage. Since the replacement garage will be setback 3-feet from the existing building footprint, the applicant proposes to add lattice to the existing fence with a return to either sides of the garage with gates. The proposed new fencing will match the existing fencing along the interior side property line.

3. Design Guidelines

The following goals and policies, from the Santa Rosa Design Guidelines, Section 4.7- Historic Properties and Districts, are applicable to the proposed project:

Goals

- To preserve Santa Rosa's historic heritage.
- To encourage maintenance and retention of historic structures and districts.
- To ensure that alterations to historic buildings are compatible with the character of the structure and the neighborhood.

Policies

A – Accessory Buildings

- Locate a new garage, carport, or accessory building to the side or rear of the property, wherever possible.
- Derive accessory building designs and details from the same era as the main structure. The details can be less elaborate than those found on the main structure.
- Design an accessory building to be in proper scale for the property and have an appropriate site relation to the main structure as well as surrounding structures.

Staff response: The applicant proposes to replace the existing, dilapidated 200-square-foot detached one-car garage and replace it with a new 264-square-foot detached one-car garage. The new garage structure will be constructed in relatively the same location, fronting onto the street side (Brown Street). The garage will be clad in redwood siding and asphalt shingles. The applicant will reuse any salvageable materials from the existing garage. Lattice will be added to the existing wooden fence.

The overall design is in keeping with the original architectural style and, therefore, will be compatible with other structures in the district.

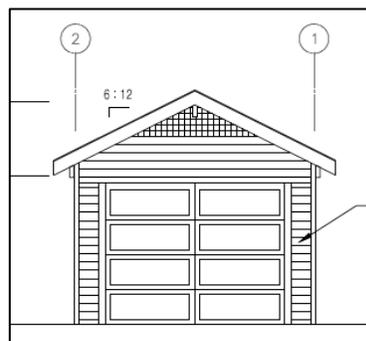


Figure 3: Proposed garage elevation.

4. Historic Preservation Review Standards

The following guidelines from the City's Processing Review Procedures for Owners of Historic Properties and the Secretary of the Interiors Standards for Rehabilitation of Historic Buildings are applicable to the proposed project:

Processing Review Procedures for Owners of Historic Properties

Section A Design Guidelines – Accessory Structures

1. Locate a new garage, carport, or accessory building to the side or rear of the property, wherever possible.
2. Derive accessory building designs and details from the same era as the main structure.
3. The details can be less elaborate than those found on the main structure.
4. Design an accessory building to be in proper scale for the property and have an appropriate site relation to the main structure as well as surrounding structures.

Section D – Fences

- Fencing materials and design should be compatible with the architectural style of the primary structure on the lot and should not obscure the front elevation of the primary structure on the property. Therefore, front yard privacy fences should not be allowed.
- Structural members of a fence should be turned in to face the property. The finished side of the fence should be presented to the street.
- On corner lots, the guidelines apply to the front yard and street side yard of the property.

Secretary of the Interior's Standards

Pursuant to Zoning Code Section 20-58.060(F), the CHB must consider the Secretary of the Interior's ten standards for rehabilitation:

- A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

- Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
- Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
- New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Staff response: The replacement garage will be constructed in relatively the same location as the existing dilapidated garage and will be built with a similar roof pitch and the same exterior material. The overall design is in keeping with the original architectural style and, therefore, will be compatible with other structures in the district. The existing materials will be matched as practical, including finish materials. The garage will feature a new door that compliments with Craftsman architecture on the primary residence.

The replacement fence will not further obscure the primary residential structure, although they will change the appearance of the site as viewed from Brown Street.

5. Neighborhood Comments

At the time of writing this report, staff has not received any comments from the neighboring residents

ENVIRONMENTAL IMPACT

The proposed project has been reviewed in compliance with the California Environmental Quality Act (CEQA):

The project is categorically exempt pursuant to CEQA Guidelines Section 15302 in that it involves the construction of a replacement garage and fence on the same site, in the same general location, and will have substantially the same purpose and capacity as the recently demolished structure.

The project is also categorically exempt pursuant to CEQA Guidelines Section 15303 in that it involves the construction of a small structure and conversion of an existing residential structure.

NOTIFICATION

The public hearing was noticed pursuant to Zoning Code Chapter 20-66. Public notification was provided by posting two onsite signs, publishing a notice in the Press Democrat, mailing a notice to property owners and occupants within 600 feet of the subject property, and bulletin board postings at City Hall and on the City website.

Pursuant to Government Code Section 65091, where necessary, the City has incorporated notice procedures to the blind, aged, and disabled communities. These procedures include audio amplifier/assistive listening device support at public meetings, closed captioning, and optical character recognition conversion of electronic notices.

ISSUES

No issues were identified during staff's review of the project materials.

ATTACHMENTS

Attachment 1 - Disclosure Form
Attachment 2 - Location Map
Attachment 3 – DPR, Primary Record
Attachment 4 – Historic Resource Evaluation, dated 11/02/2020
Attachment 5 – Plans
Attachment 6 – Fencing Photos
Attachment 7 – PD-0225 Policy Statement
Resolution

CONTACT

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