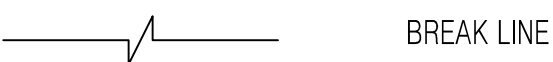
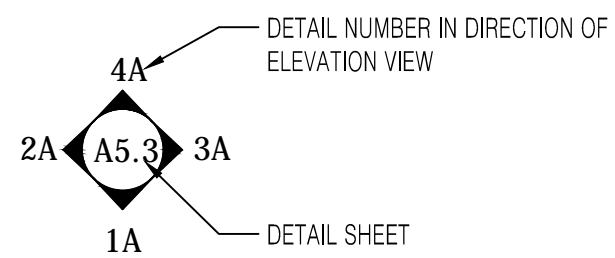
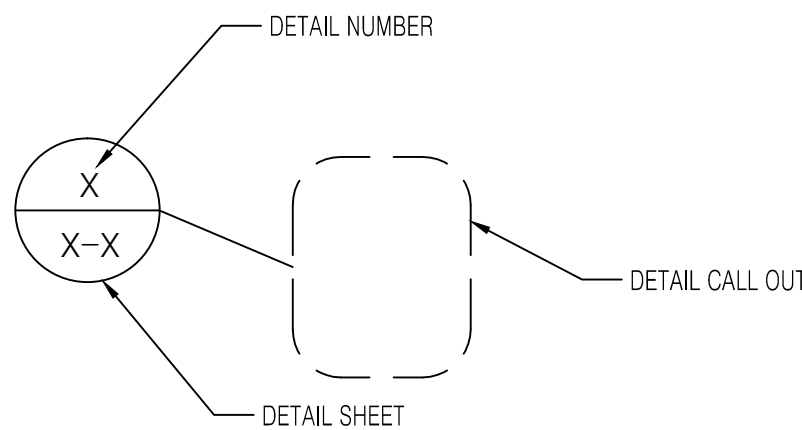
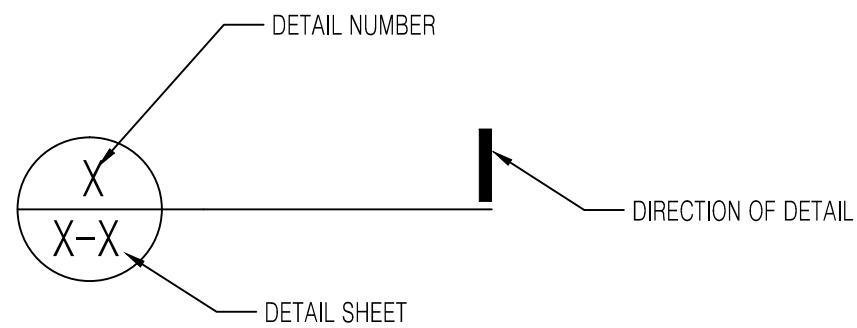


@	AT	"	INCH
&	AND	'	FOOT
#	NUMBER	Ø	DIAMETER

AB	ANCHOR BOLT
AC	AIR CONDITIONING
AL	ALUMINUM
APPROX.	APPROXIMATE
BC	BROOM CLOSET
CAB	CABINET
CLO	CLOSET
C. O.	CASED OPENING (NO DOOR)
CONC	CONCRETE
CSMT	CASEMENT WINDOW
DBL	DOUBLE
DEMO	DEMOLISH / REMOVE
DF	DOUGLAS FIR
DH	DOUBLE HUNG WINDOW
DIA	DIAMETER
DN	DOWN
DS	DOWNSPOUT
(E)	EXISTING
EA	EACH
EQUIV.	EQUIVALENT
EXT	EXTERIOR
FFL	FINISHED FLOOR LINE
FLUOR	FLUORESCENT
FT	FOOT, FEET
FTG	FOOTING
GYP BD	GYPSUM BOARD
HB	HOSE BIB
HC	HOLLOW CORE DOOR
HDR	HEADER
HGR	HANGER
HVAC	HEATING, VENTILATION & AIR CONDITIONING
HWD	HARDWOOD
HWH	HOT WATER HEATER
JST	JOIST
LCL	LINEN CLOSET
LIN	LINEAR
LDG	LANDING
MAX	MAXIMUM
MFR	MANUFACTURED
MIN	MINIMUM
MLDG	MOLDING
MONO	MONOLITHIC
(N)	NEW
NTS	NOT TO SCALE
OBS	OBSCURE
OC	ON CENTER
PLYWD	PLYWOOD
PTDF	PRESSURE TREATED DOUGLAS FIR
R	RADIUS
REF	REFRIGERATOR
RO	ROUGH OPENING
RWD	REDWOOD
SC	SOLID CORE
SF	SQUARE FOOT
SHWR	SHOWER
SL	SLIDER WINDOW
SQ	SQUARE
STD	STANDARD
T&G	TONGUE & GROOVE
V.I.F.	VERIFY IN FIELD
UNO	UNLESS OTHERWISE NOTED
W/	WITH
W/O	WITHOUT
WWF	WELDED WIRE FABRIC



664 CHARLES ST, SANTA ROSA CA 95404

1. CONTRACTORS, (INCLUDING OWNER-CONTRACTORS), PRIME AND SUB SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO THE COMMENCEMENT OF THEIR WORK.
2. THE INTENT OF THESE DRAWINGS ARE NOT LIMITED TO THE EXPLICITLY OF THE CONTRACT DOCUMENTS, REPRESENTATIVE AND TYPICAL DETAILS ARE SHOWN TO ASSIST THE CONTRACTORS, THEY ARE NOT INTENDED TO ILLUSTRATE EVERY CONDITION.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER AND THE DESIGNER OF ANY CONDITIONS FOUND IN THE FIELD TO BE DIFFERENT FROM THOSE SHOWN ON THE PLANS OR OF ERRORS OMISSIONS ON THE PLANS WHICH MIGHT AFFECT THE CONDITION AND THE COMPLETION OF THE PROJECT.

1. MECHANICAL CONTRACTOR SHALL PROVIDE ANY REQUIRED DRAWING AND CALCULATIONS ETC. OF HEATING AND AIR CONDITIONING SYSTEMS FOR PERMITS.
2. MECHANICAL CONTRACTOR SHALL PROVIDE APPROVED VENTS FOR ALL GAS APPLIANCES AND AN APPROVED GAS SHUT-OFF CONSPICUOUSLY MARKED AT OUTSIDE OF BUILDING.

1. ELECTRICAL CONTRACTOR SHALL PROVIDE ANY REQUIRED LINE DIAGRAMS, LOAD CALCULATIONS, ETC. FOR PERMIT.
2. ELECTRICAL CONTRACTOR SHALL VERIFY SITE CONDITIONS, SERVICE REQUIREMENTS AND SHALL DETERMINE SIZE AND LOCATION OF ELECTRICAL MAIN IF NEEDED.
3. ELECTRICAL CONTRACTOR SHALL VERIFY WITH MECHANICAL CONTRACTOR FOR CONTROL WIRING DIAGRAMS, EXACT LOCATION AND SIZE OF EQUIPMENT.
4. ELECTRICAL CONTRACTOR SHALL CHECK WITH ALL OTHER TRADES FOR THE LOCATION OF EQUIPMENT WHICH REQUIRES ANY HOOK-UP, DISCONNECT SWITCHES, RELAYS ETC. PRIOR TO START OF ANY WORK.

1. PLUMBING CONTRACTOR SHALL PROVIDE ANY DRAWINGS OR REQUIRED DIAGRAMS, CALCULATIONS, ETC. FOR PERMIT.
2. PLUMBING CONTRACTOR SHALL VERIFY SITE CONDITIONS, SERVICE REQUIREMENTS AND SHALL DETERMINE SIZE AND LOCATION OF SERVICE FIXTURES AS NEEDED.
3. PLUMBING CONTRACTOR SHALL CHECK WITH ALL OTHER TRADES FOR THE LOCATION OF EQUIPMENT WHICH REQUIRES ANY CONSIDERATION, PRIOR TO START OF ANY WORK.

City of Santa Rosa  
Planning & Economic  
Development Department  
11/02/2020  
RECEIVED

SHEET #	SHEET NAME
G-001	COVER & NOTES
CS-101	(N) SITE PLAN
A-101	PROPOSED GROUND FLOOR PLAN, ROOF PLAN, ELEVATIONS & SECTIONS
A-103	PROPOSED ROOF PLAN
E-101	ELECTRICAL PLAN - GROUND FLOOR
CS-101E	(E) SITE PLAN
AD-101	DEMO & EXISTING GROUND FLOOR PLAN, & ROOF PLAN
G1	CALGREEN RESIDENTIAL MANDATORY MEASURES
T24-0	TITLE 24 COMPLIANCE
T24-1	TITLE 24 COMPLIANCE

DESIGNER / DRAFTSMAN:  
OUTSIDE THE BOX - SETH GILLEY  
707-495-8950  
sethgilley@gmail.com

- NONE

ALL WORK SHALL CONFORM TO THE 2016 CALIFORNIA EDITION OF THE CALIFORNIA CODE OF REGULATIONS TITLE 24 AS LISTED BELOW AS APPLICABLE AND AS AMENDED BY THE CITY OF SANTA ROSA ORDINANCES 5904 & 5905

- 2016 CALIFORNIA ADMINISTRATIVE CODE PART 1
- 2016 CALIFORNIA BUILDING CODE PART 2, VOLUMES 1 & 2
- 2016 CALIFORNIA RESIDENTIAL CODE PART 2.5
- 2016 CALIFORNIA ELECTRICAL CODE PART 3
- 2016 CALIFORNIA MECHANICAL CODE PART 4
- 2016 CALIFORNIA PLUMBING CODE PART 5
- 2016 CALIFORNIA ENERGY CODE PART 6
- 2016 CALIFORNIA FIRE CODE PART 9
- 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE PART 11
- 2016 CALIFORNIA REFERENCED STANDARDS CODE PART 12

1. DEMO (E) GARAGE
2. PROPOSED NEW GARAGE

1. ZONING: PD 0225-H
2. LAND USE: SINGLE FAMILY DWELLING
3. PLANNING AREA: SANTA ROSA
4. WIND: EXPOSURE B
5. FIRE PROTECTION: SANTA ROSA FIRE
6. CONSTRUCTION TYPE: VB
7. FLOOD ZONE: N/A
8. CLIMATE ZONE: 2
9. OCCUPANCY CLASS: R-1
10. SEISMIC DESIGN CATEGORY: D
11. SDS 1.18

1. NONE

LOT SIZE: 4320 SQ. FT. (25%) MAX. LOT COVERAGE: 35%  
BUILDING TOTALS :

LOT SIZE		4320 SQ. FT.
(E) BUILDING	(E) HOUSE, CONDITIONED	1162 SQ. FT.
	(E) GARAGE UNCONDITIONED TO BE DEMOLISHED	200 SQ. FT.
(N) GARAGE UNCONDITIONED		264 SQ. FT.
GRAND TOTAL (E) HOUSE + (N) GARAGE		1426 SQ. FT.
LOT COVERAGE		33.009259 %

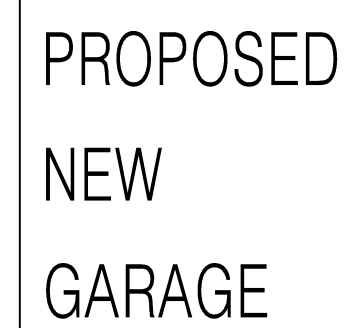
664 CHARLES ST.  
SANTA ROSA, CA

APN: 009-261-001

## DESIGNER SIGNATURE

DATE:	08-26-2019
JOB #	--
DRAWN BY:	OTB
SCALE:	AS NOTED
SHEET NO.	

G-001



APN: 009-261-001

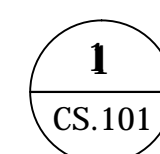
## REVISIONS

DESIGNER SIGNATURE

## SITE PLAN

DATE:	08-26-2019
JOB #	--
DRAWN BY:	OTB
SCALE:	AS NOTED
SHEET NO.	

CS-101



## PROPOSED SITE PLAN

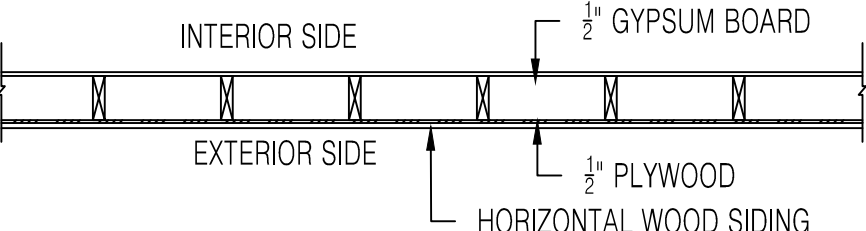


LOT INFO		
LOT SIZE		4320 SQ. FT.
MAX LOT COVERAGE		35%
(E) BUILDINGS	CONDITIONED	903 SQ. FT.
(N) GARAGE	UNCONDITIONED	264 SQ. FT.
TOTAL (E) BUILDINGS + (N) GARAGE		1167 SQ. FT.
LOT COVERAGE		33%

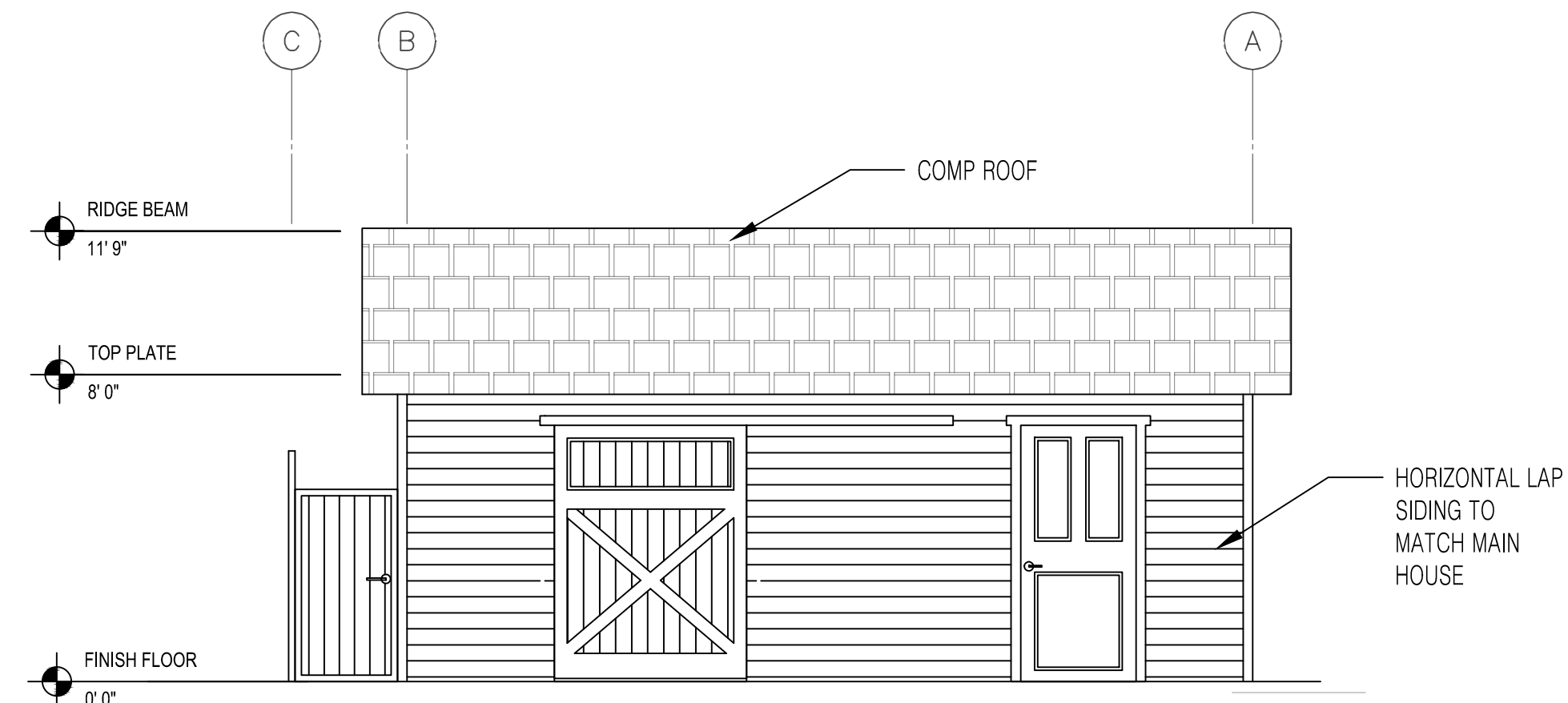


DOOR SCHEDULE					
MARK	SIZE		TYPE	MATERIAL	NOTES
	WIDTH	HEIGHT			
GROUND FLOOR					
1	3'-0"	6'-8"	SWING	WOOD	(N) EXTERIOR
2	9'-0"	7'-0"	SWING UP	VINYL	NEW/GARAGE
3	6'-0"	6'-8"	SLIDING	WOOD	NEW/BARN

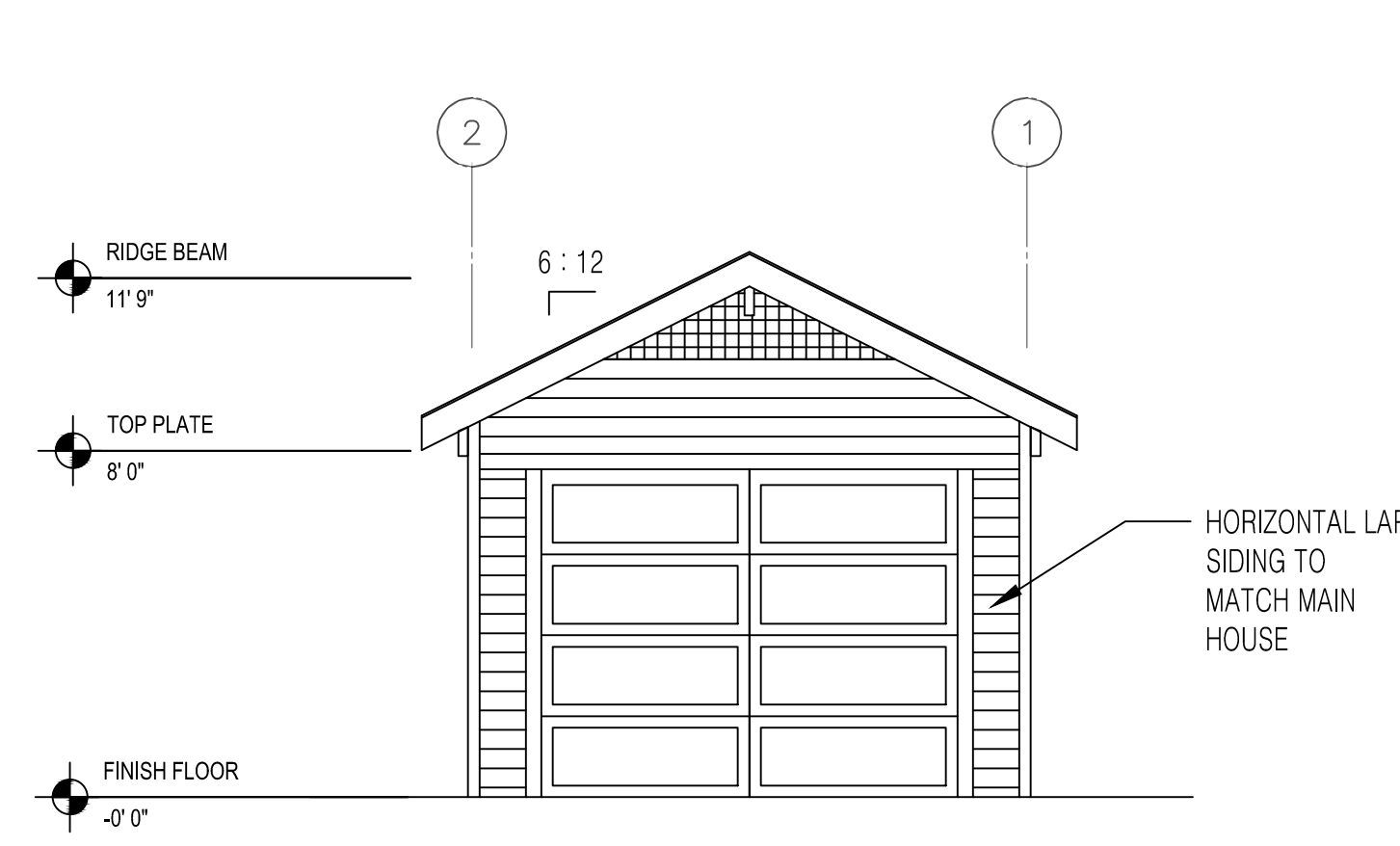
WINDOW SCHEDULE					
MARK	SIZE		TYPE	MATERIAL	NOTES
	WIDTH	HEIGHT			
GROUND FLOOR					
1	6'-0"	4'-0"	SLIDER	VINYL	NEW/EGRESS

WALL TYPE LEGEND	
W1	EXTERIOR WALL (NEW) 2 X 6 DF #2 @ 16" O.C. W/ 1/2" GYPSUM BOARD INTERIOR & "BOARD & BATTEN" EXTERIOR PER PLAN OVER 1/2" (3/8" MIN.) APA RATED PLYWOOD OVER TYVEK OR EQUIV. MOISTURE BARRIER, (NOTE: SEE SHEARWALL SCHEDULE FOR NAILING REQUIREMENTS)
	

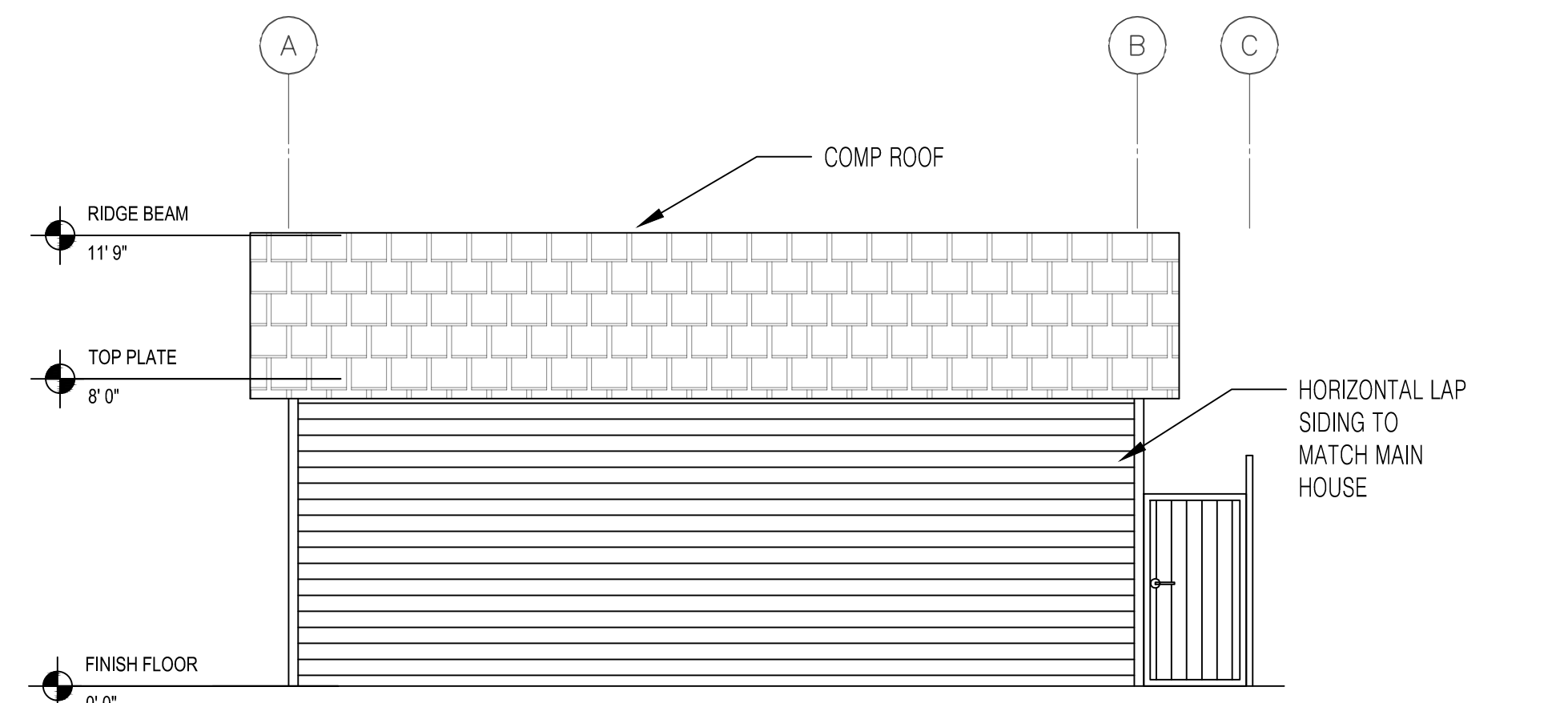
WALL LEGEND	
	NEW WALL
	EXISTING WALL



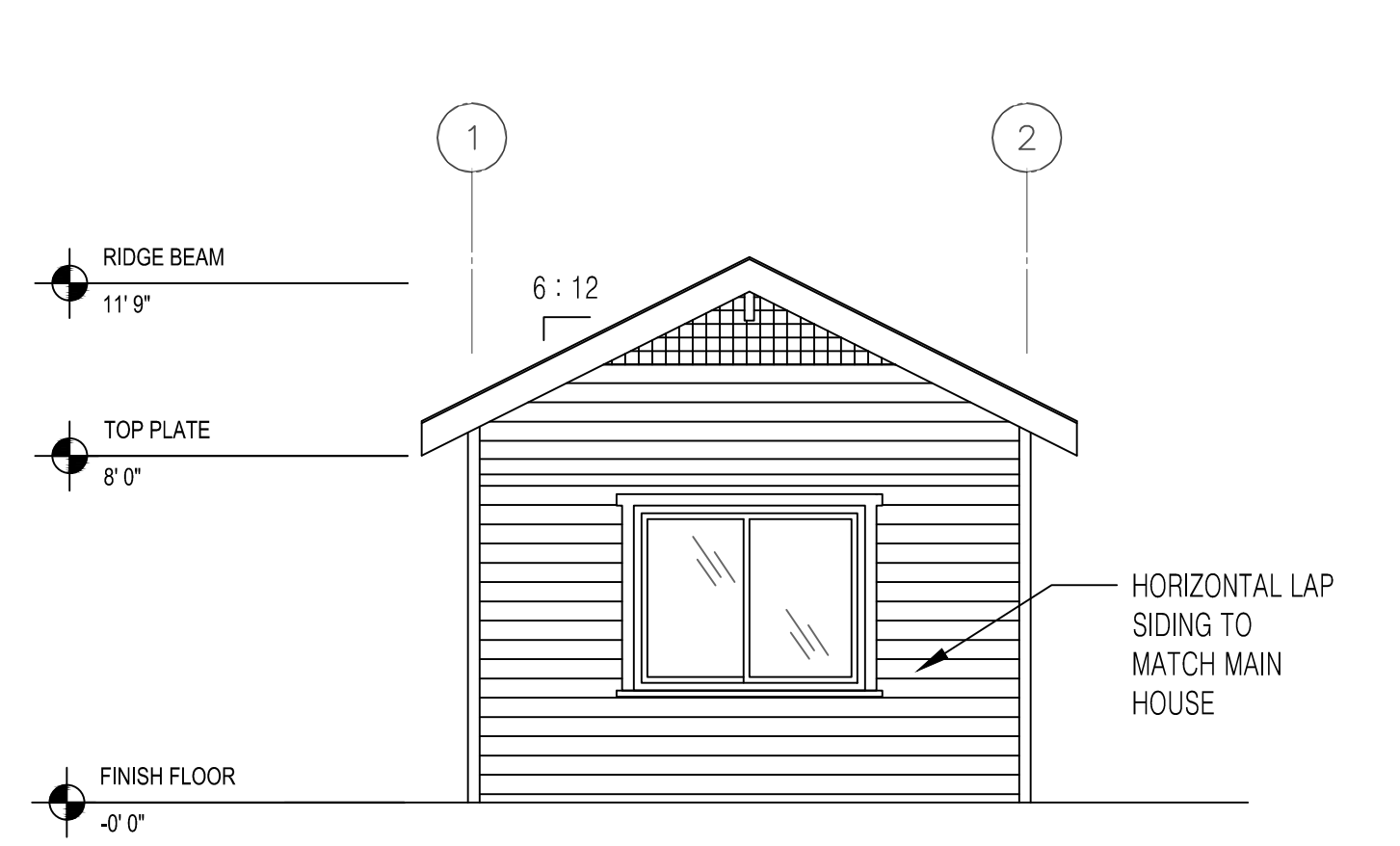
2 NORTH ELEVATION  
A-101  
SCALE: 1/4" = 1'-0"



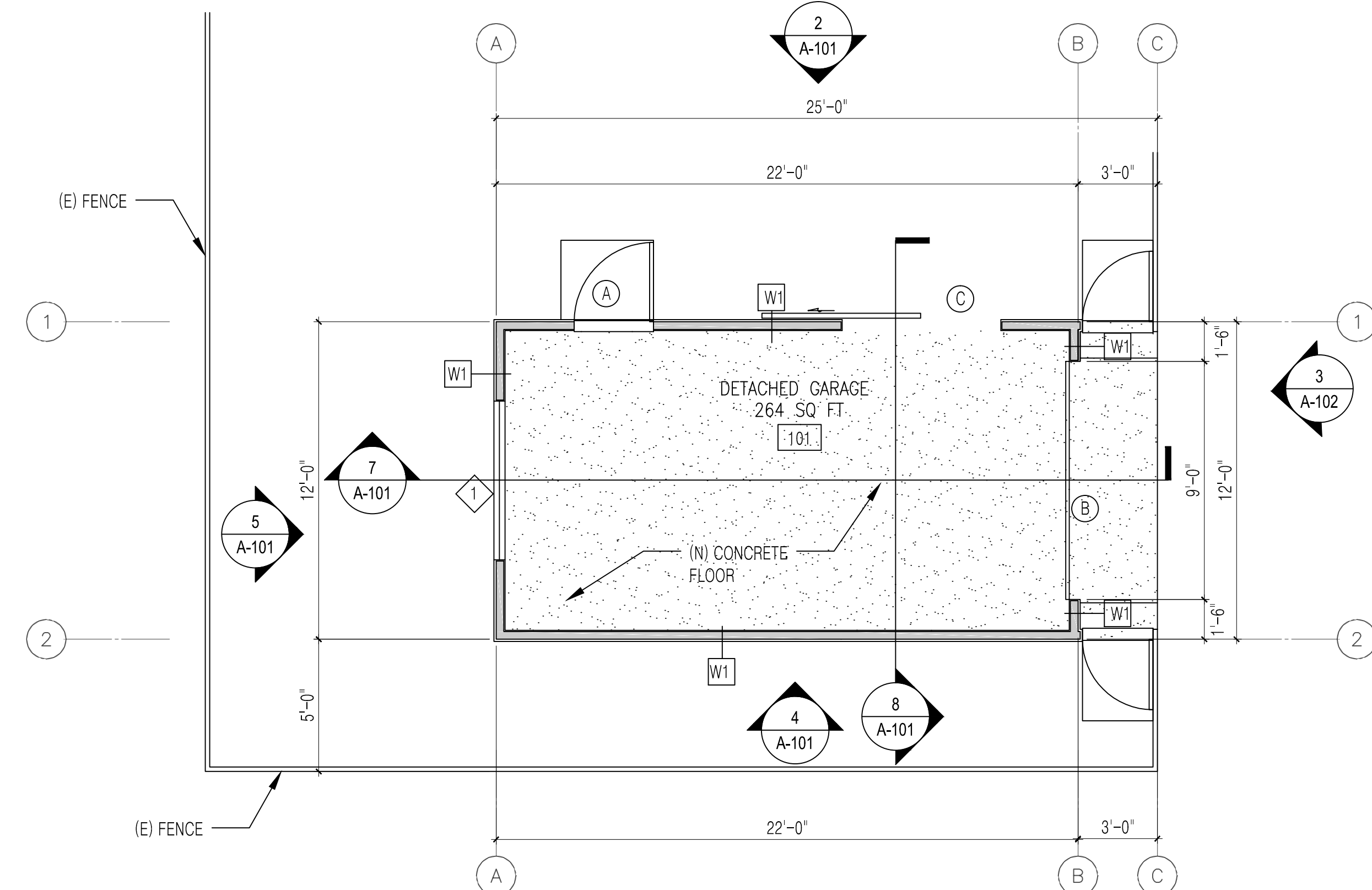
3 EAST ELEVATION  
A-101  
SCALE: 1/4" = 1'-0"



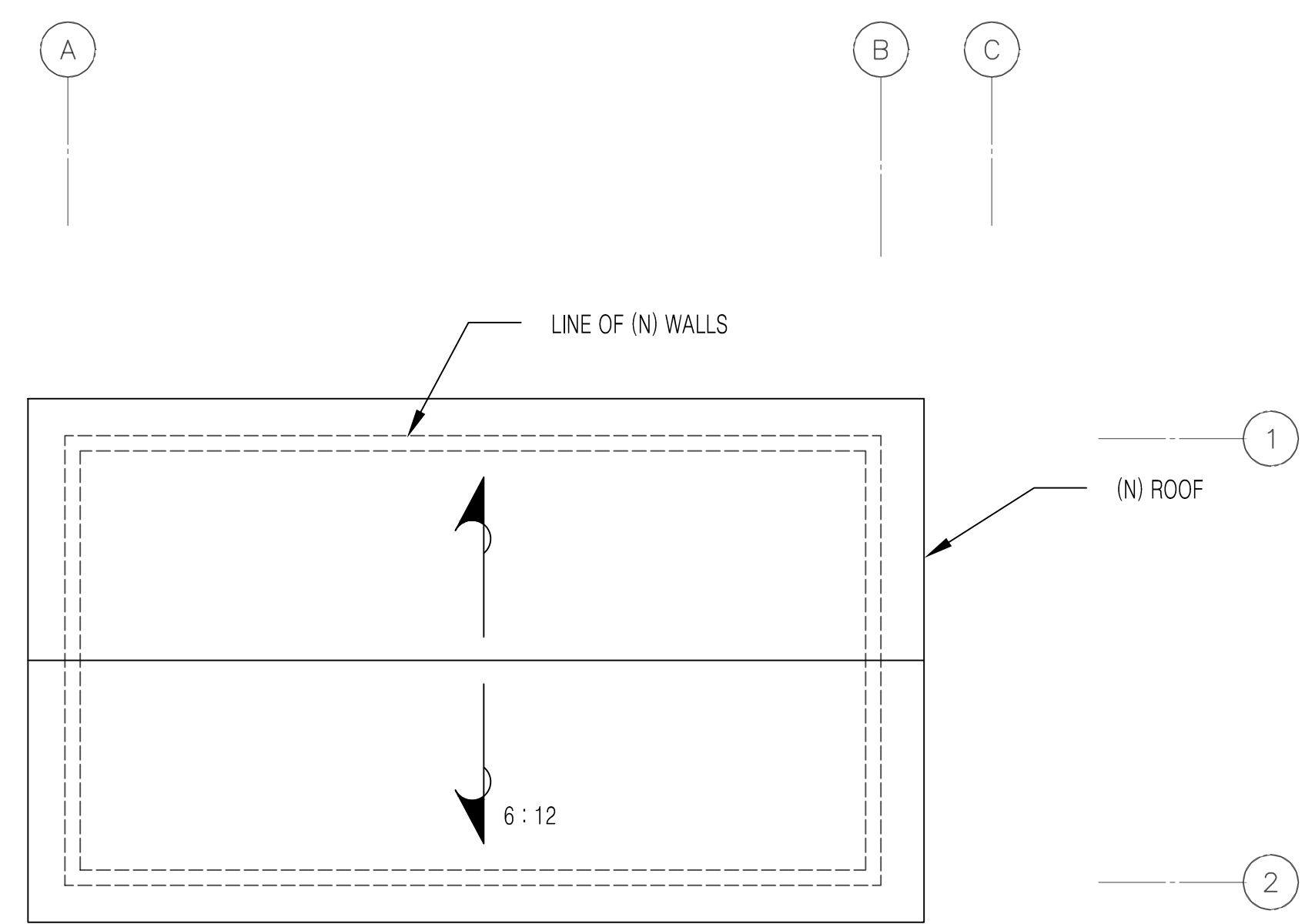
4 SOUTH ELEVATION  
A-101  
SCALE: 1/4" = 1'-0"



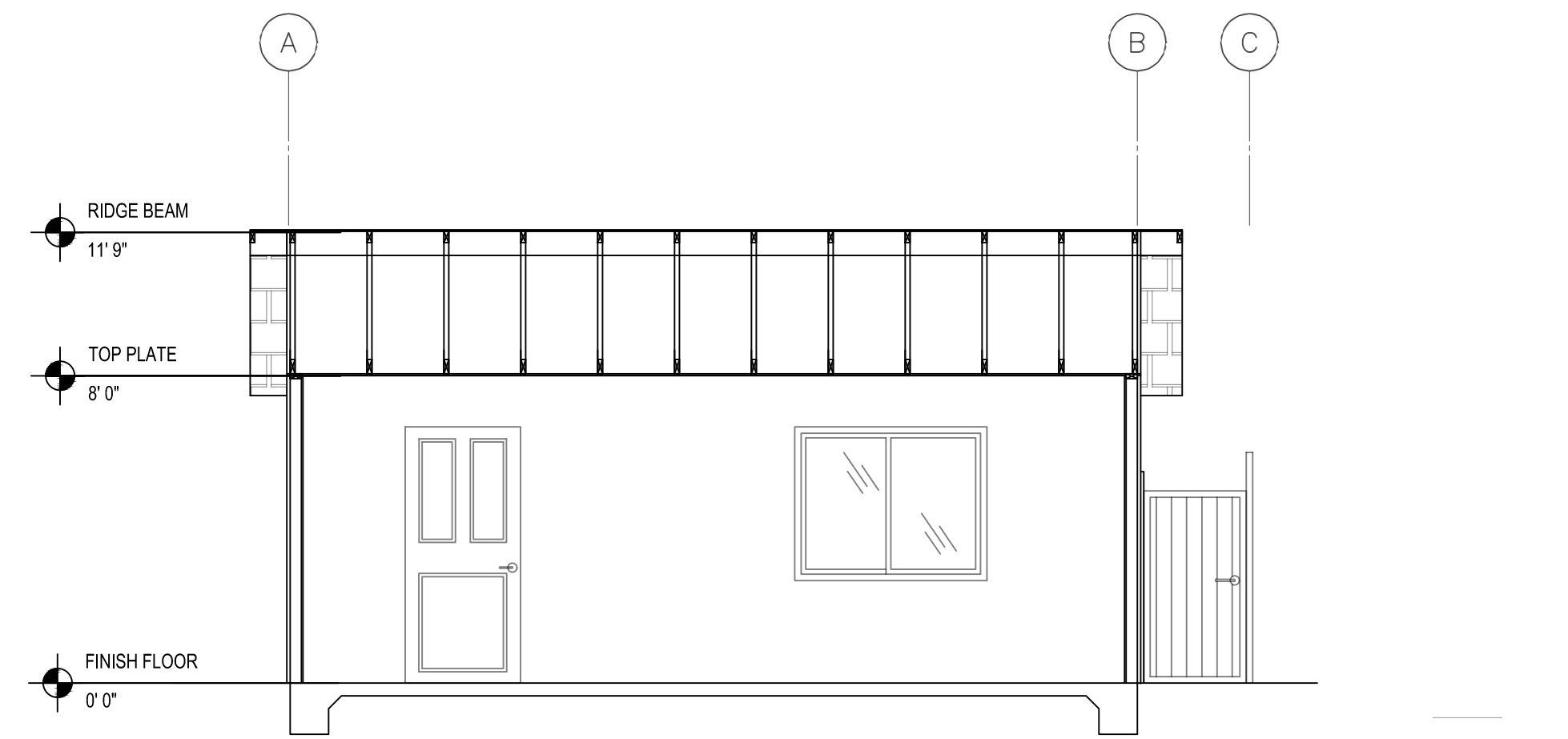
5 WEST ELEVATION  
A-101  
SCALE: 1/4" = 1'-0"



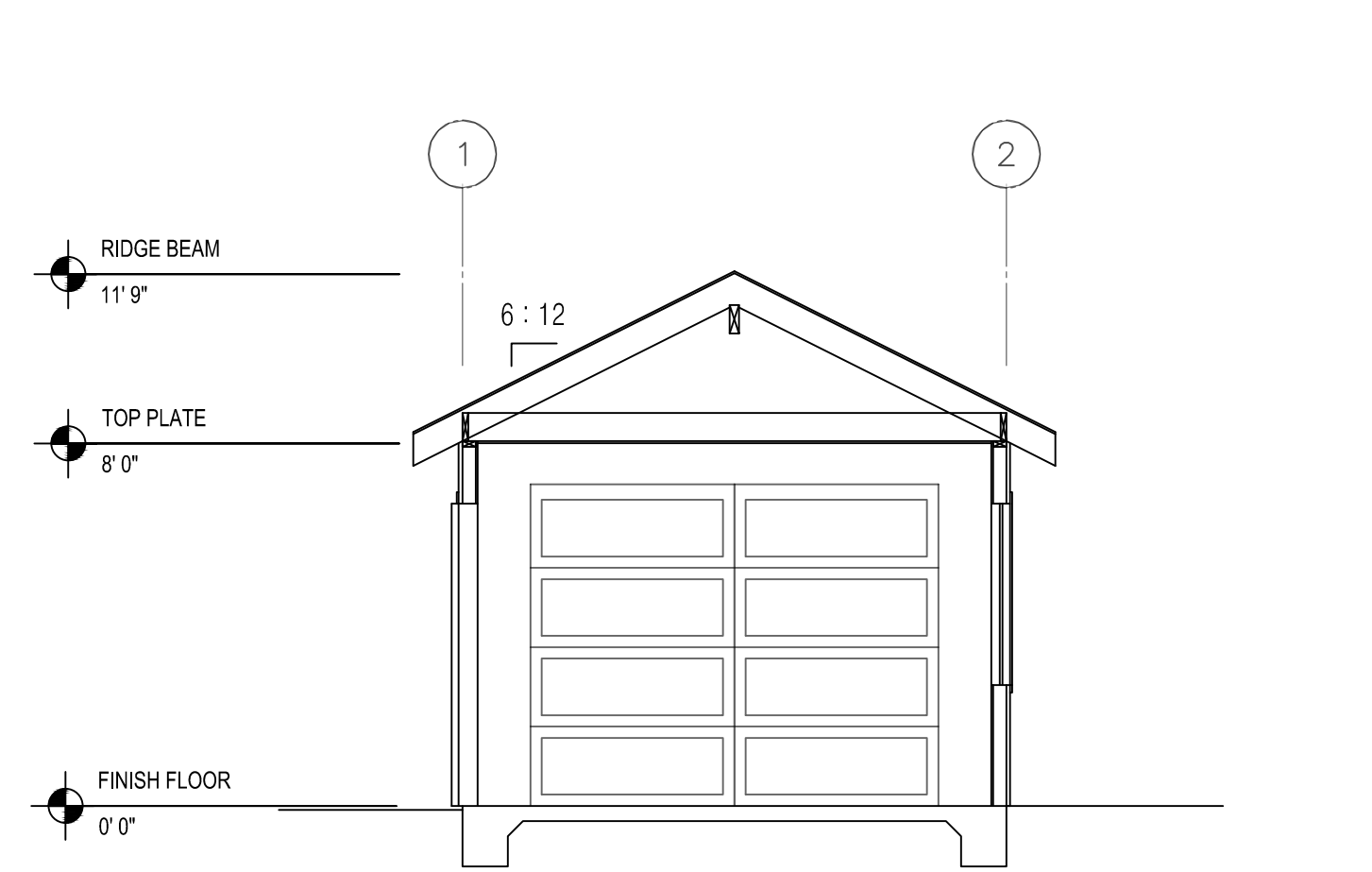
1 PROPOSED GROUND FLOOR PLAN  
A-101  
SCALE: 1/4" = 1'-0"



6 PROPOSED ROOF PLAN  
A-101  
SCALE: 1/4" = 1'-0"



7 SECTION  
A-101  
SCALE: 1/4" = 1'-0"



8 SECTION  
A-101  
SCALE: 1/4" = 1'-0"

## PROPOSED NEW GARAGE

664 CHARLES ST.  
SANTA ROSA, CA

APN: 009-261-001

## REVISIONS

DESIGNER SIGNATURE

## PROPOSED FLOOR PLAN, ROOF PLAN, ELEVATION & SECTIONS

DATE: 08-26-2019  
JOB #: --  
DRAWN BY: OTB  
SCALE: AS NOTED  
SHEET NO.



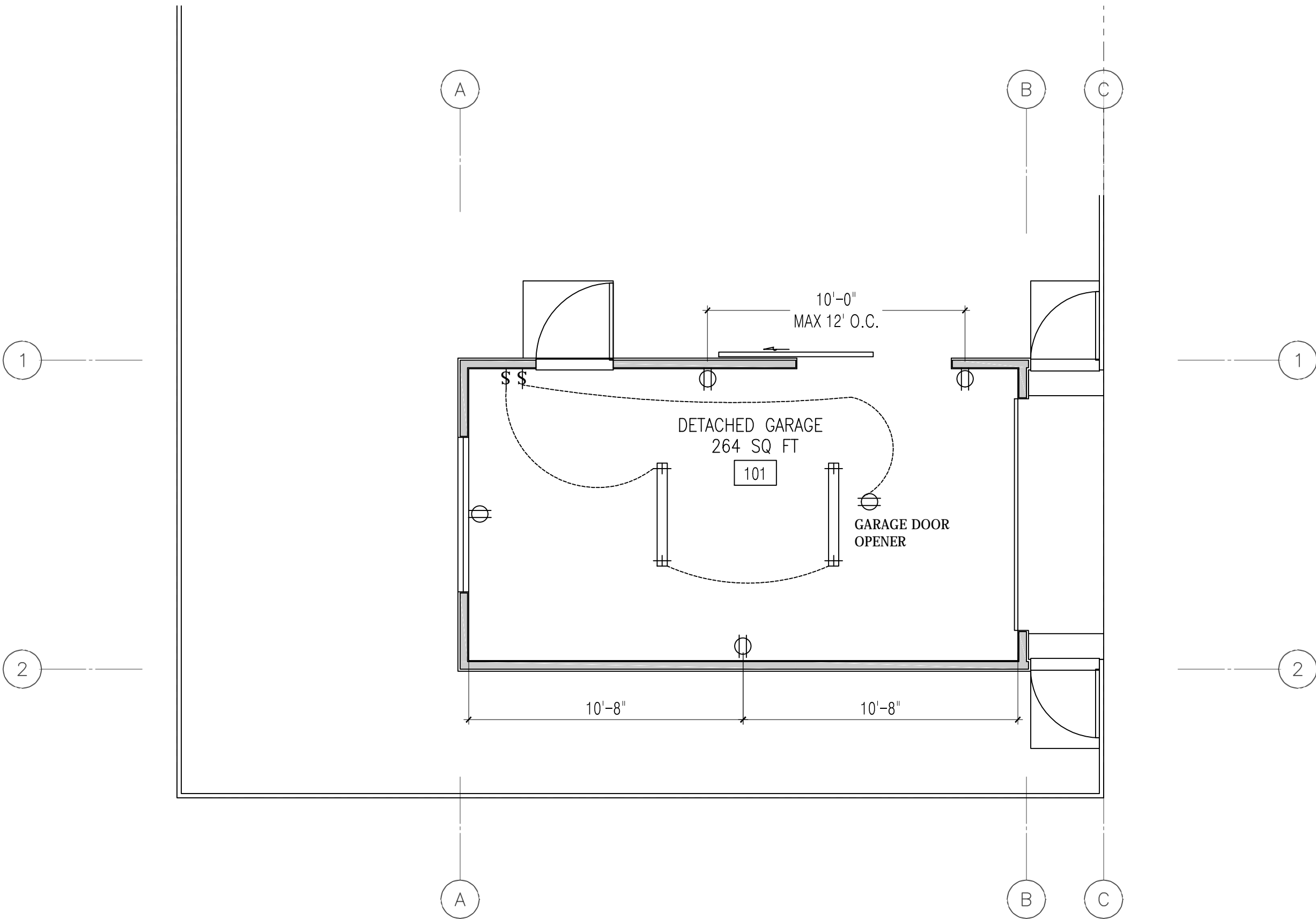
LIGHTING NOTES

- HIGH EFFICACY FIXTURES RECESSED INTO CEILING SHALL BE AIRTIGHT, IC RATED.
- AT LEAST ONE LUMINAIRE IN EVERY BATHROOM, GARAGE, LAUNDRY ROOM AND UTILITY ROOMS IS REQUIRED TO BE HIGH EFFICIENCY AND CONTROLLED BY A VACANCY SENSOR
- ALL PERMANENTLY MOUNTED EXTERIOR LUMINAIRES SHALL BE HIGH EFFICACY OR CONTROLLED BY PHOTO-CONTROL, MOTION SENSOR, OR TIME CLOCK.
- ALL (NEW) ROOMS EXCEPT, BATHROOMS, LAUNDRY AND GARAGE SHALL HAVE HIGH EFFICACY LIGHTING IF THE LIGHTING CIRCUIT IS CONTROLLED BY A DIMMER SWITCH OR AN OCCUPANT SENSOR.
- HIGH EFFICACY LUMINAIRES SHALL CONTAIN ONLY HIGH EFFICACY LAMBS & SHALL NOT CONTAIN A MEDIUM SCREW BASE SOCKET.
- CLOTHES CLOSET LIGHT FIXTURE CLEARANCES SHALL CONFORM TO CEC §410.16. INCANDESCENT FIXTURES WITH OPEN OR PARTIALLY ENCLOSED LAMPS AND PENDANT FIXTURES OR LAMP HOLDERS ARE NOT ALLOWED IN CLOSETS.
- LIGHT FIXTURES WITHIN THE OUTSIDE DIMENSION OF TUB OR SHOWER ENCLOSURES OR LESS THAN 6" VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER THRESHOLD. OR IN OTHER WET/DAMP LOCATIONS SHALL BE LABELED 'SUITABLE FOR DAMP LOCATIONS' (OR 'SUITABLE FOR WET LOCATIONS' IF SUBJECT TO SHOWER SPRAY OR RAIN. §410.10 (A) AND (D)

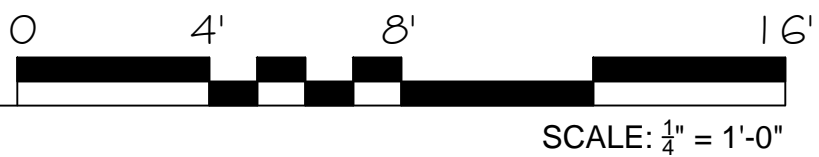
ELECTRICAL NOTES

2016 CRC, CEC, CMC

- RECEPTACLES (OUTLETS):
  - RECEPTACLES MUST BE INSTALLED AT 6' O.C. MAXIMUM IN WALLS. WALLS LONGER THAN 2 FEET AND HALLS LONGER THAN 10 FEET MUST HAVE RECEPTACLES. A RECEPTACLE MUST BE PROVIDED WITHIN 3' OF BATHROOM SINKS. (CEC 210.52)
  - NOTE: G.F.C.I. PROTECTED RECEPTACLES ARE REQUIRED FOR ALL KITCHEN RECEPTACLES THAT ARE DESIGNED TO SERVE COUNTERTOP SURFACES. IN BATHROOMS, UNDER-FLOOR SPACES AT OR BELOW GRADE AND IN ALL GARAGE OUTLETS NOT DEDICATED TO A SINGLE DEVICE OR APPLANCE, 8 NEW EXTERIOR 110V RECEPTACLES. PER CEC 210.8
  - PROVIDE AT LEAST ONE RECEPTACLE OUTLET IN BATHROOM WITHIN 36 INCHES OF THE OUTSIDE EDGE OF EACH SINK BASIN. RECEPTACLE OUTLET SHALL BE LOCATED ON A WALL OR PARTITION THAT IS ADJACENT TO THE BASIN OR INSTALLED IN THE SIDE OR FACE OF THE BASIN CABINET NOT MORE THAN 12 INCHES BELOW THE COUNTERTOP.
  - RECEPTACLES AT KITCHEN COUNTERS MUST BE INSTALLED IN EVERY COUNTER SPACE 12 INCHES OR WIDER AND NOT GREATER THAN 4' O.C. AND WITHIN 24 INCHES OF THE END OF ANY COUNTER SPACE (INCLUDING AREAS WHERE SINKS OR APPLANCES BREAK THE COUNTERTOP RUN) PER CEC 210.52
  - RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT FOR ALL 15 AND 20 AMPERE RECEPTACLES IN DWELLING UNIT FAMILY, DINING, LIVING, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS. PER CEC 406.12
  - ALL 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT KITCHEN, FAMILY ROOMS, DINNING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT PER CEC210.12(A)
  - FOR ONE FAMILY DWELLINGS, AND EACH UNIT OF A TWO FAMILY DWELLING THAT IS AT GRADE LEVEL, SPECIFY AT LEAST ONE EXTERIOR OUTLET (WATERPROOF/GFCI) AT THE FRONT AND BACK OF THE DWELLING. THE OUTLETS ARE TO BE NO MORE THAN 6 FEET 6 INCHES ABOVE GRADE PER CEC 210(E)(1)
- CIRCUITS:
  - PROVIDE A MINIMUM OF AT LEAST ONE 20 AMP CIRCUIT FOR BATHROOM(S) RECEPTACLE OUTLETS. THIS CIRCUIT MAY SERVE MORE THAN ONE BATHROOM.
  - PROVIDE A MINIMUM OF AT LEAST ONE 20 AMP CIRCUIT FOR LAUNDRY BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER RECEPTACLE OUTLETS (CEC 210.52F).
  - PROVIDE A MINIMUM OF AT LEAST TWO AMP CIRCUITS FOR KITCHENS AND DINING AREAS.
  - NOTE: ARC-FAULT CIRCUIT INTERRUPTER ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT SINGLE PHASE, 15 & 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER(S).
- MAIN & SUB-PANELS:
  - 30 INCH MINIMUM CLEARANCE SHALL BE PROVIDED AROUND NEW ELECTRICAL SERVICE &/ OR SUB-PANELS.
  - DO NOT INSTALL ELECTRICAL PANELS LARGER THAN 16 SQUARE INCHES IN FIRE RATED WALLS.
  - GARAGE TO DWELLING UNIT SEPARATION IS NOT A FIRE RATED WALL. (R302.4.2)
  - NEVER INSTALL ELECTRICAL PANELS IN A CLOSET (EXCEPTION: DEDICATED MECHANICAL CLOSETS).
  - SWITCHES MAINTAIN A MINIMUM CLEARANCE OF 30 INCHES IN FRONT OF ALL ELECTRICAL PANELS (CEC 110.26).
  - PROVIDE AT LEAST ONE WALL SWITCH - CONTROLLED LIGHTING OUTLET IN EVERY HABITABLE ROOM, BATHROOM, HALLWAY, STAIRWAY, ATTACHED &/ OR DETACHED GARAGES WITH ELECTRICAL POWER AND AT OUTDOOR ENTRANCES OR EXITS.
  - WHEN ALTERATIONS, REPAIRS, OR ADDITIONS REQUIRE A PERMIT OR SLEEPING ROOMS ARE ADDED OR CREATED, SMOKE ALARMS SHALL BE INSTALLED WHERE REQUIRED IN NEW DWELLINGS. (R314.2.2)
  - SMOKE ALARMS (CRC R314.3) SHALL BE LOCATED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND AT EACH FLOOR LEVEL, HALLWAY TO BEDROOM & ALL ROOMS ADJACENT TO HALLWAYS WITH CEILING HEIGHT 2 FEET HIGHER, AND ALSO TO BE LOCATED CLOSER THAN 20 FEET FROM A PERMANENT COOKING DEVICE. ALL ALARMS SHALL BE "PHOTO-ELECTRIC" HARDWIRED W/ BATTERY BACK-UP. SMOKE ALARMS SHALL BE INTERCONNECTED SUCH THAT ACTUATION OF ONE ALARM SHALL ACTIVATE ALL ALARMS. SMOKE ALARMS SHALL BE UL 217 RATED. PER CRC 314.3
  - CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN DWELLING UNITS CONTAINING FUEL-BURNING APPLANCE AND UNITS ATTACHED AND WITH AN OPENING THAT COMMUNICATES TO A GARAGE. CARBON MONOXIDE ALARM WILL BE LOCATED OUTSIDE OF EACH SLEEPING ROOM INCLUDING BASEMENT; IN CASE SLEEPING ROOM OR IT'S ATTACHED BATHROOM HAS A FUEL-BURNING APPLANCE, ALARM WILL BE LOCATED INSIDE THE SLEEPING ROOM. COMBINATION OF CARBON MONOXIDE/ SMOKE ALARMS WILL BE PERMITTED IF COMPLY WITH R-315 AND SHALL FILL ALL OFFICE OF STATE FIRE MARSHAL'S REQUIREMENTS FOR SMOKE ALARMS. CARBON MONOXIDE ALARMS SHALL BE HARD-WIRED (WITH BATTERY BACKUP IF ELECTRICAL POWER IS INTERRUPTED) & INTERCONNECTED SUCH THAT ACTUATION OF ONE ALARM SHALL ACTIVATE ALL ALARMS. PER CRC R314 & R315
  - ELECTRIC VEHICLE OUTLET - PER CGBSC CH. 4, DIVISION 4.1 - 4.106.4.1 FOR EACH DWELLING UNIT, INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUB PANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL AND/OR SUB PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVER CURRENT PROTECTIVE DEVICE. THE SERVICE PANEL OR SUB PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER CURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS .1 EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS EV CAPABLE.



LEGEND-UTILITIES	
\$	SINGLE POLE SWITCH
\$²	DOUBLE POLE SWITCH
#	4' LED STRIP LIGHT
⊕	110 V OUTLET
⊕GFI	GROUND FAULT INTERRUPT PROTECTED 110V OUTLET



PROPOSED  
NEW  
GARAGE

664 CHARLES ST.  
SANTA ROSA, CA

APN: 009-261-001

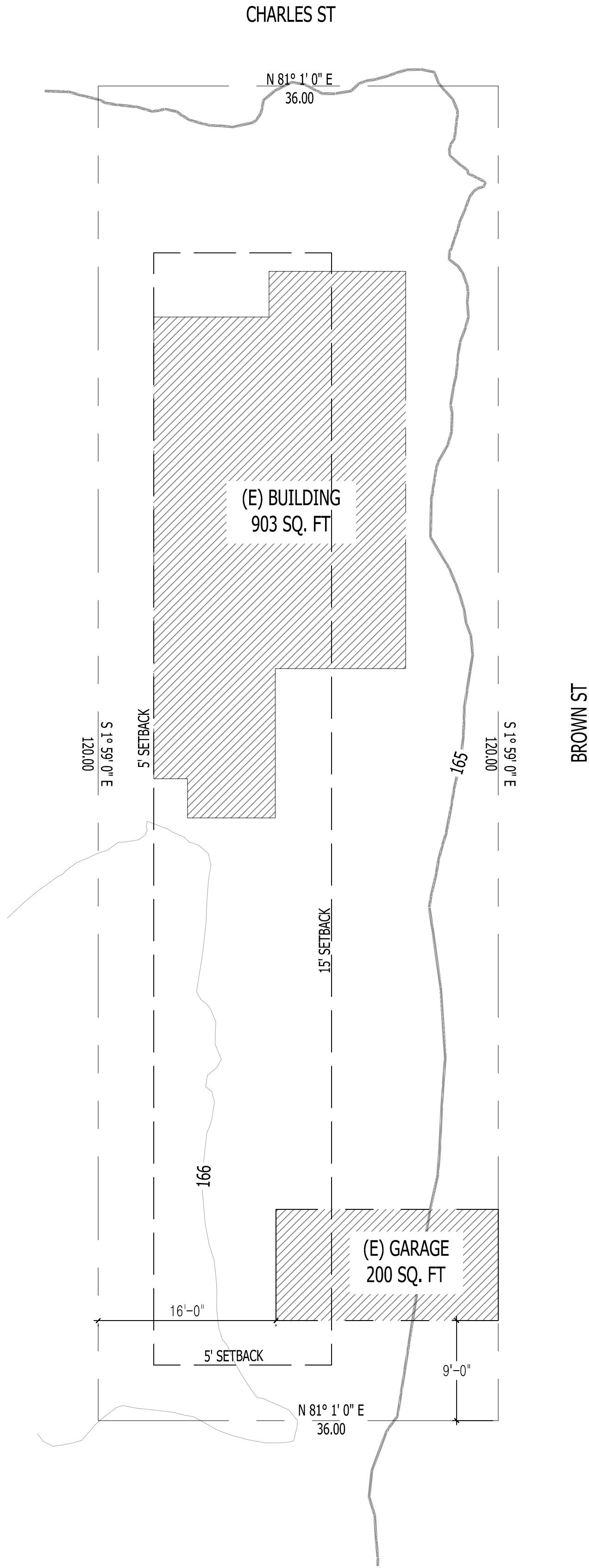
REVISIONS

DESIGNER SIGNATURE

PROPOSED  
ELECTRICAL  
PLAN

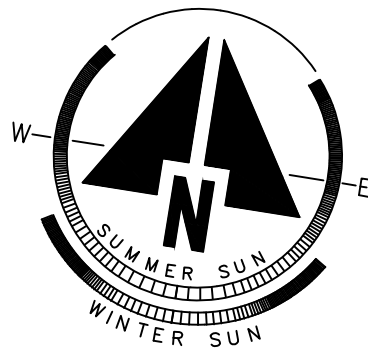
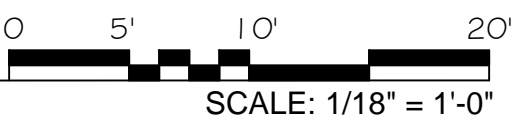
DATE:	08-26-2019
JOB #	--
DRAWN BY:	OTB
SCALE:	AS NOTED
SHEET NO.	

LOT INFO		
LOT SIZE		4320 SQ. FT.
MAX LOT COVERAGE		35%
(E) BUILDINGS	CONDITIONED	903 SQ. FT.
	GARAGE (NOT CONDITIONED)	200 SQ. FT.
TOTAL (E) BUILDINGS		1103 SQ. FT.
LOT COVERAGE		32%



1  
CS.101E

(E) SITE PLAN



PROPOSED  
NEW  
GARAGE

664 CHARLES ST.  
SANTA ROSA, CA

APN: 009-261-001

REVISIONS

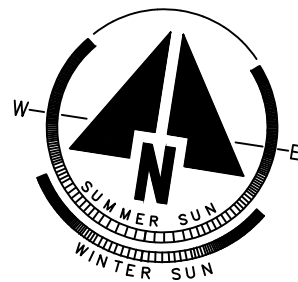
DESIGNER SIGNATURE

SITE PLAN

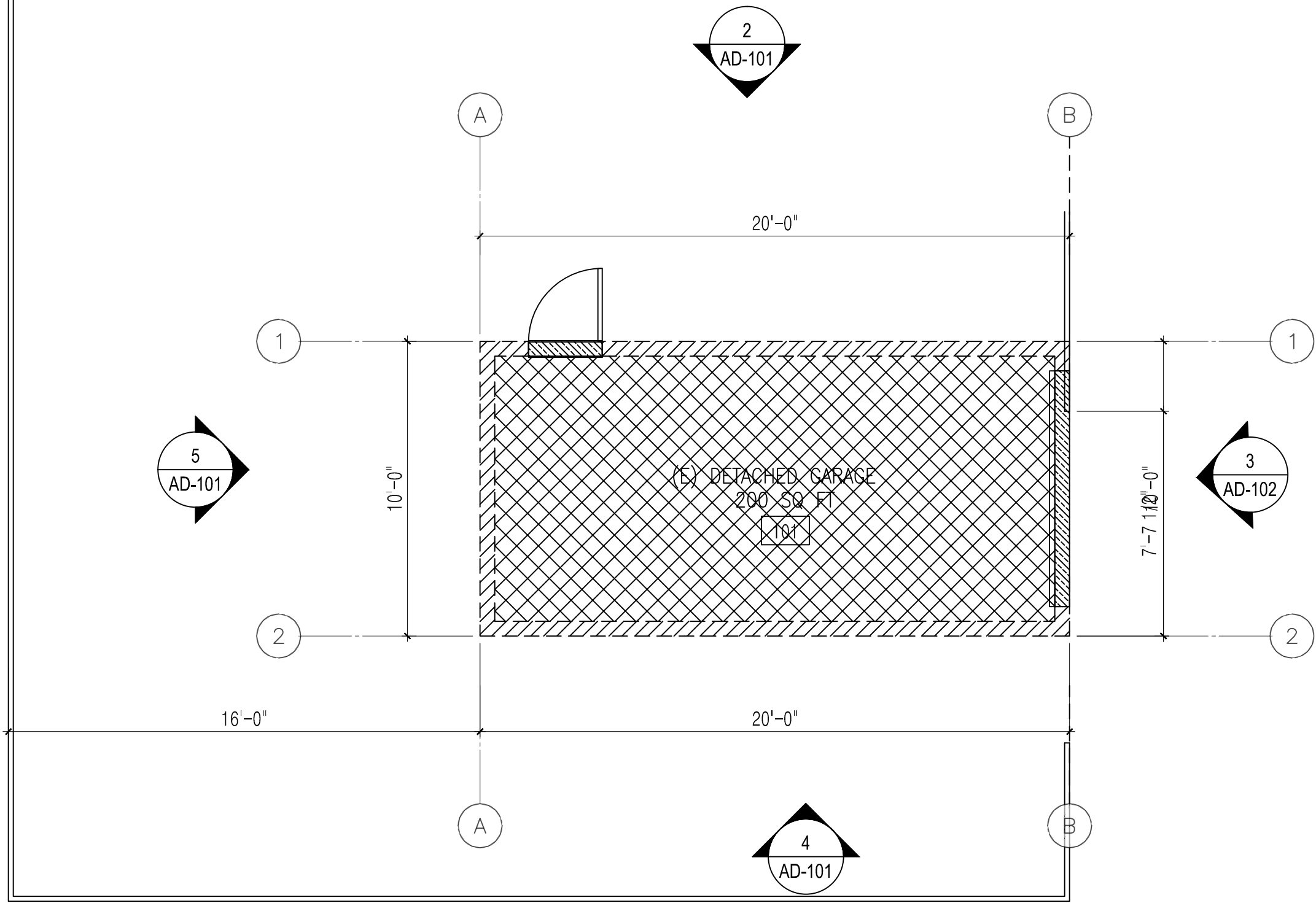
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JOB # --  
DRAWN BY: OTB  
SCALE: AS NOTED  
SHEET NO.

CS-101E





DEMO LEGEND	
	DEMO WALL
	DEMO DOOR
	DEMO FLOOR



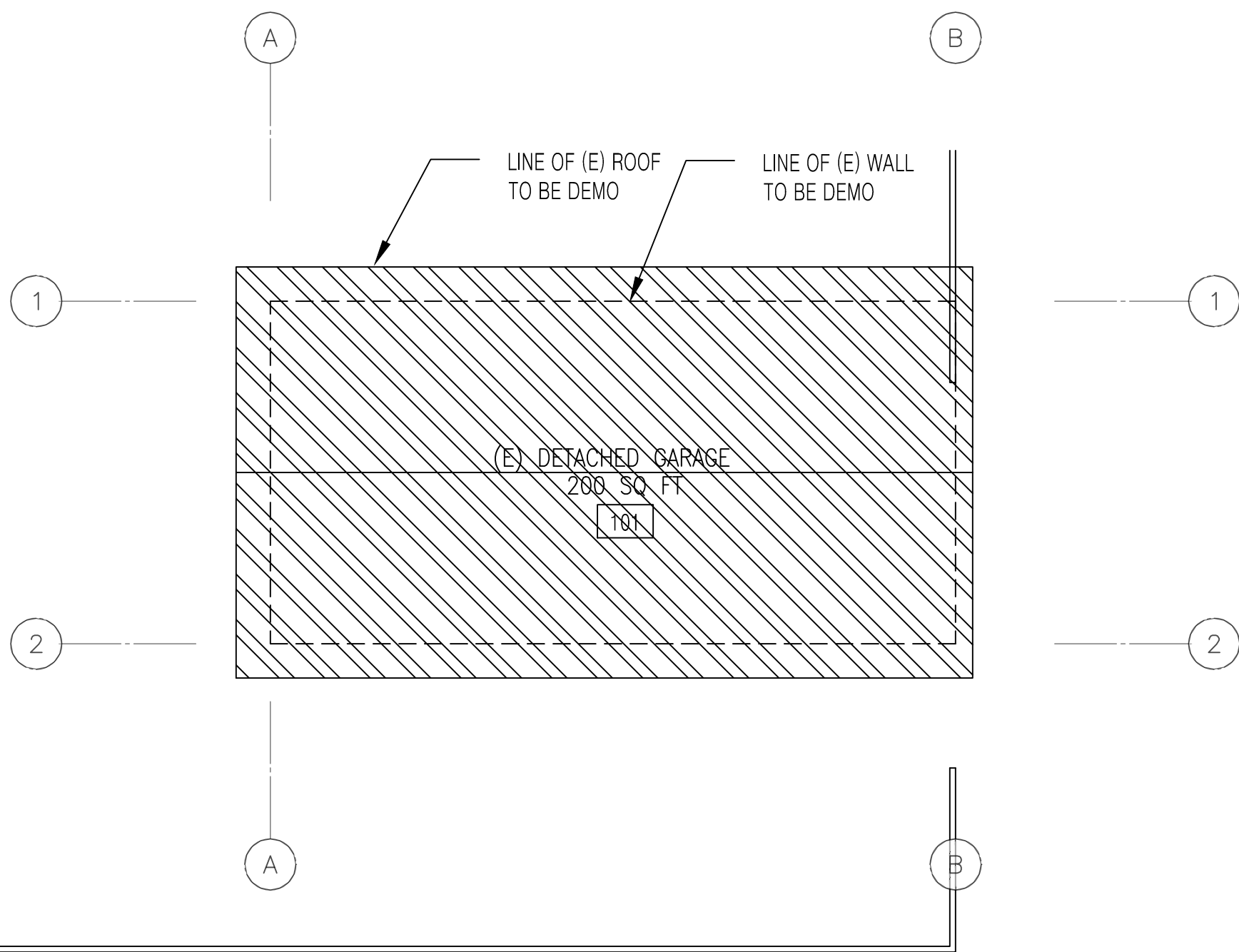
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AD-101

**DEMOLITION GROUND FLOOR PLAN**

0 4' 8' 16'

SCALE:  $\frac{1}{4}" = 1'-0"$

DEMO LEGEND	
	DEMO ROOF

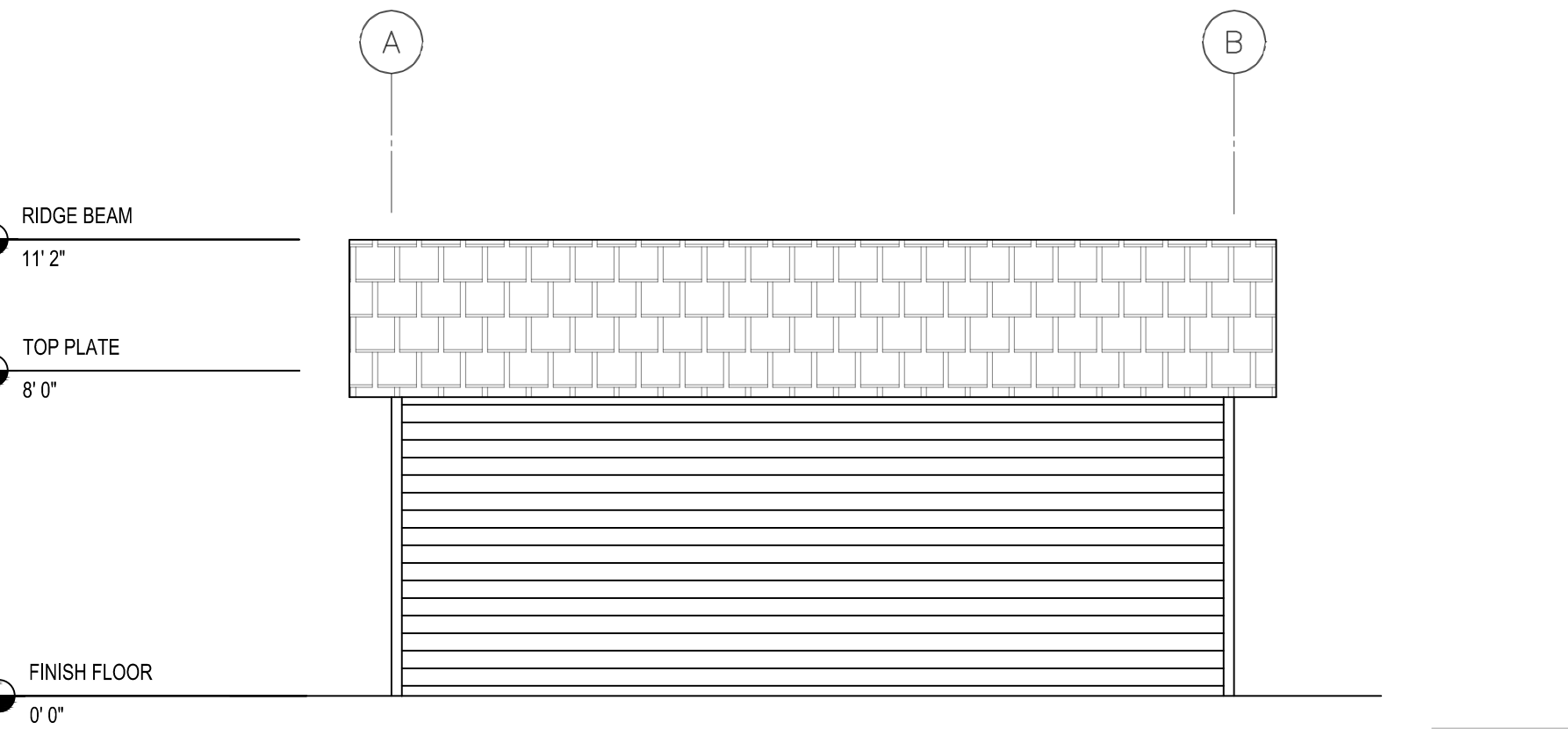
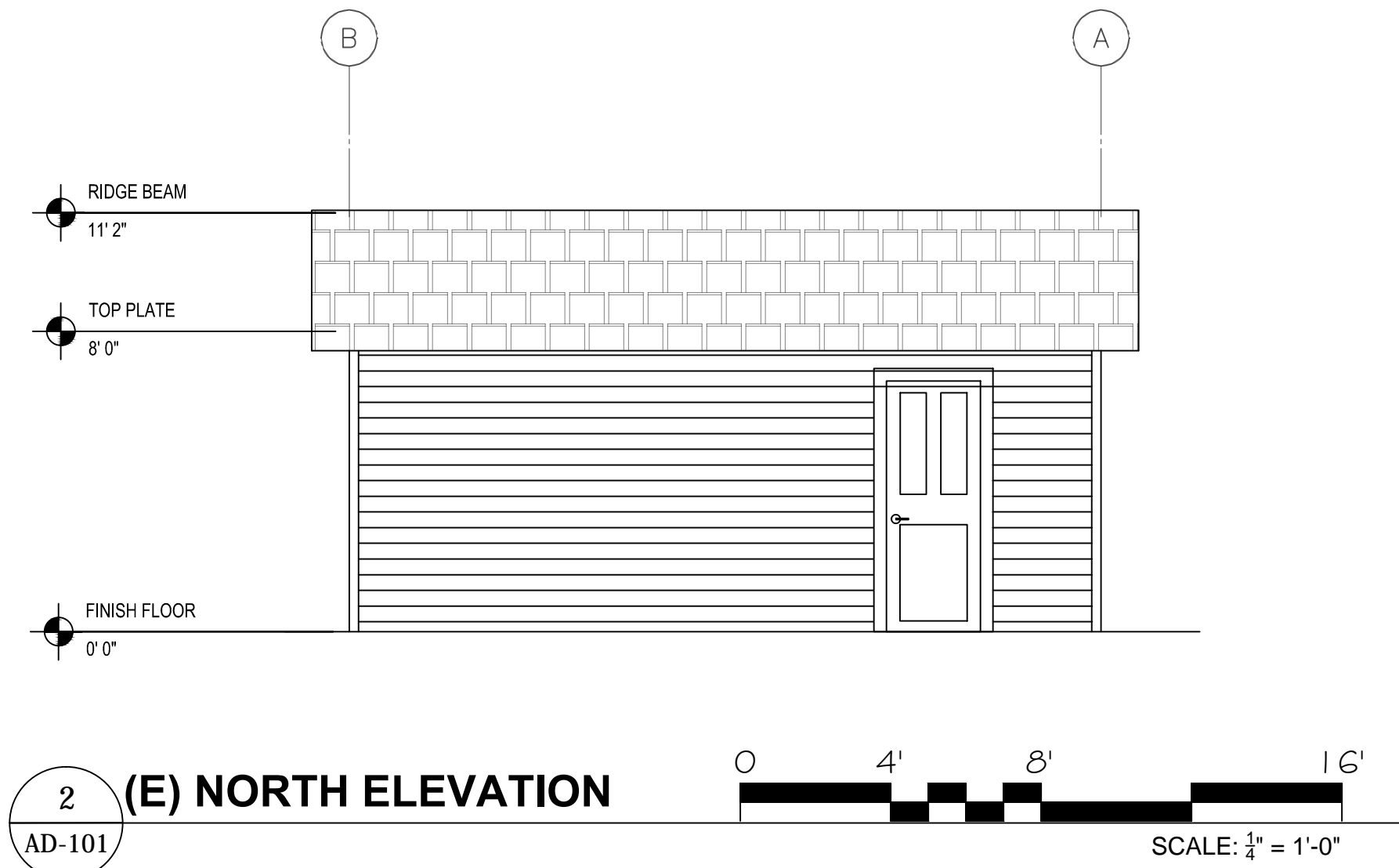


6  
AD-101

**DEMOLITION ROOF PLAN**

0 4' 8' 16'

SCALE:  $\frac{1}{4}" = 1'-0"$

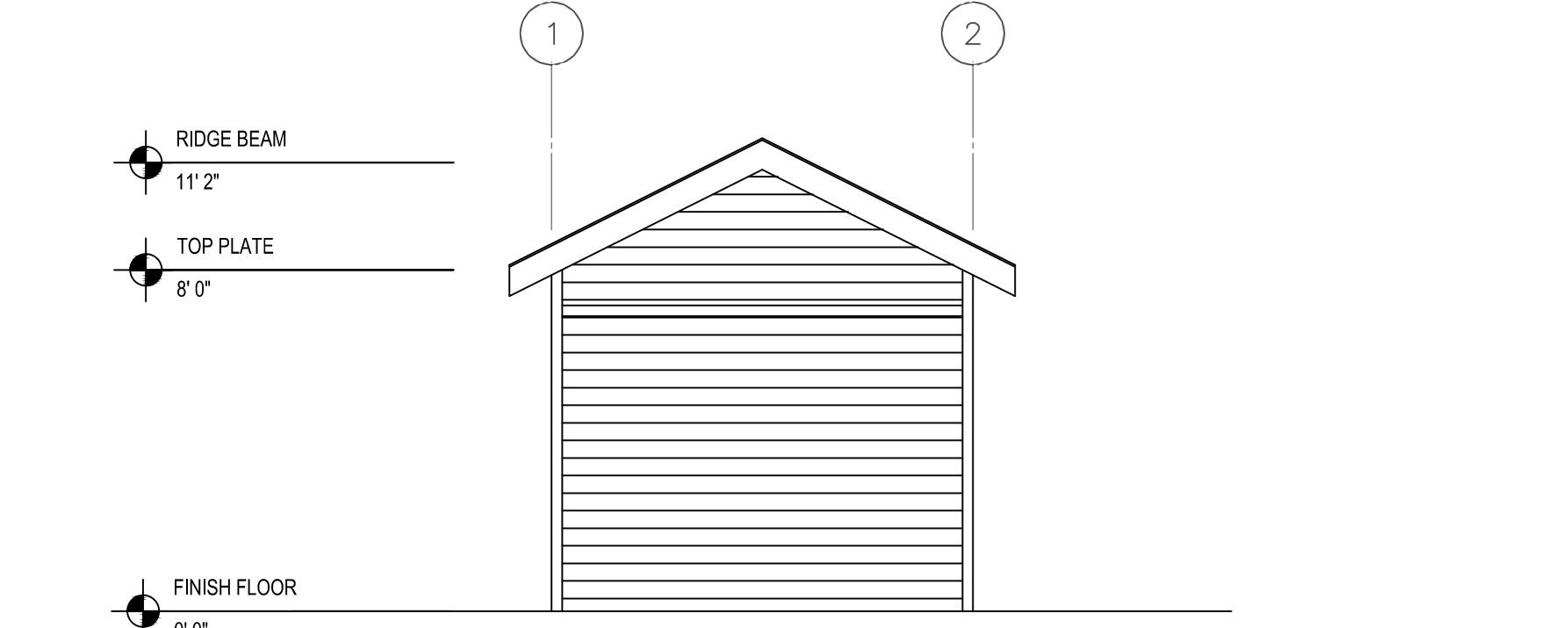
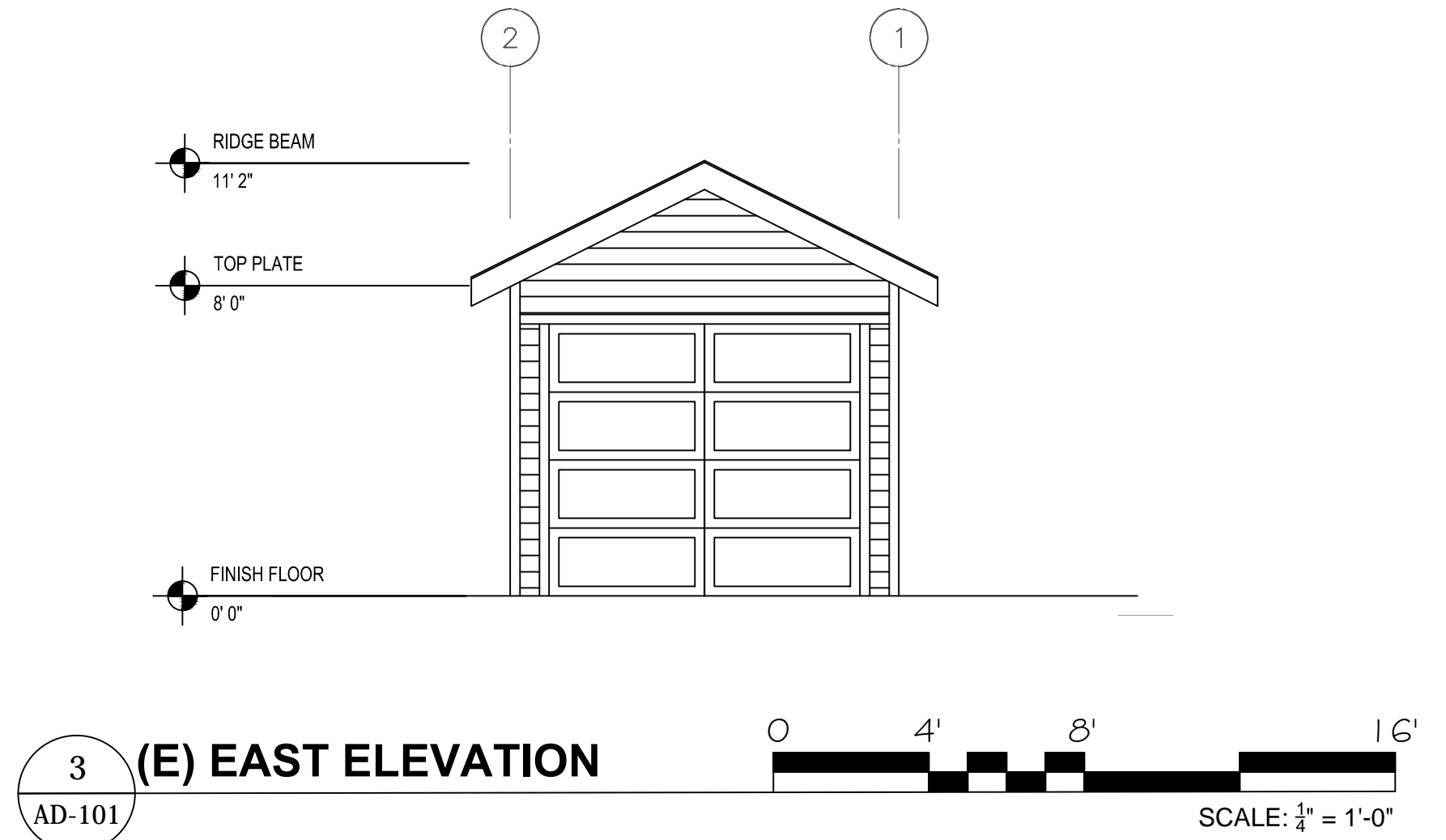


4  
AD-101

**(E) SOUTH ELEVATION**

0 4' 8' 16'

SCALE:  $\frac{1}{4}" = 1'-0"$



5  
AD-101

**(E) WEST ELEVATION**

0 4' 8' 16'

SCALE:  $\frac{1}{4}" = 1'-0"$

## PROPOSED NEW GARAGE

664 CHARLES ST.  
SANTA ROSA, CA

APN: 009-261-001

## REVISIONS

DESIGNER SIGNATURE

## DEMO GARAGE PLANS & ELEVATIONS

DATE: 08-26-2019  
JOB #: --  
DRAWN BY: OTB  
SCALE: AS NOTED  
SHEET NO.

