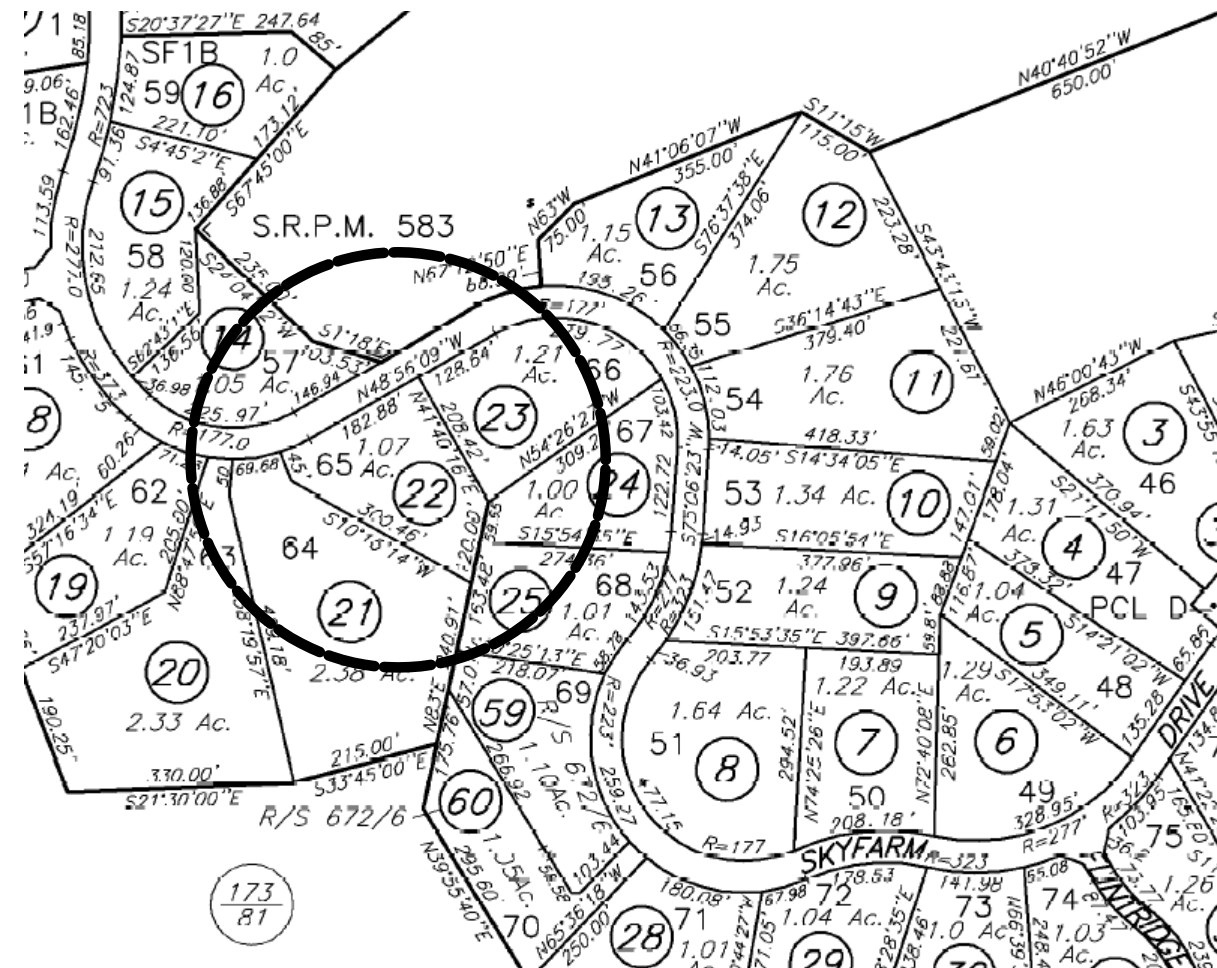


LEI RESIDENCE

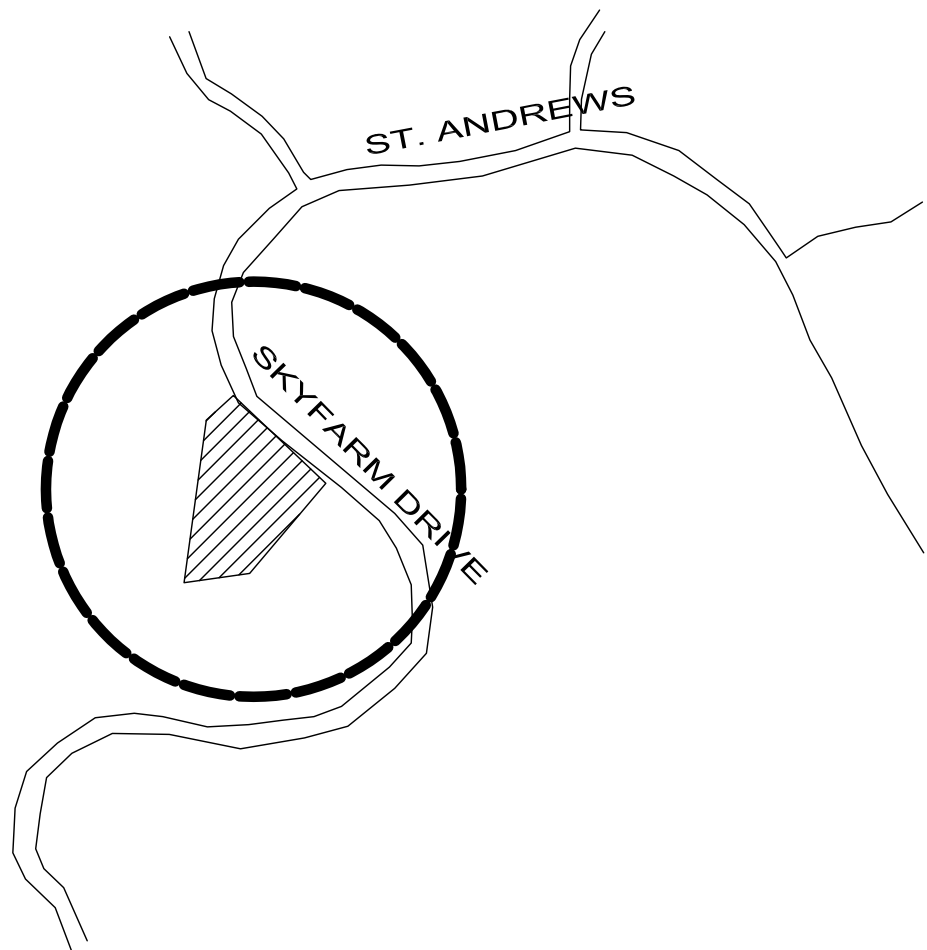
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Planning & Economic
Development Department
Feb 22, 2021
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David A. Stetson

Stetson Design & Drafting
Santa Maria, Ca.



PARCEL MAPS
NTS



VICINITY MAP
NTS

HERS
Verification
Required

CONTRACTOR:
HU SHEAUJIUN
1204 W 16TH ST #34
MERCED, CA 95340
LICENSE 1037965

LEI RESIDENCE
3941 SKYFARM
SANTA ROSA, CA

COVER
INDEX,
& NOTES

STETSON DESIGN
SANTA MARIA, CA
805 937-7666

By: Dave Stetson

Scale: As Shown

Date: 8-25-2020

Sheet: A-0

DEFERRED SUBMITTALS

SPRINKLER PLANS

Automatic fire sprinkler system is required for all new townhouses and dwellings

LANDSCAPING PLANS

Landscape plans per WELo chapter 14-30 are deferred. Plans shall be submitted and approved before sheetrock inspection.

SOLAR PANELS

Solar panel system by others as a deferred submittal. System to be installed prior to final inspection.

TRUSS CALCULATIONS

The manufactured trusses are to be provided, or may be submitted as Deferred Submittal. If a deferred submittal to the plans, they must be reviewed and approved by the architect/engineer of record in two sets and shall be submitted to the City Building Official for review and approval. Approved deferred submittal plans shall be available to City inspectors prior to any installation.

POOL PLANS

Pool plans to be submitted under separate permit.

GREEN BUILDING CODE

The mandatory provisions of Chapter 4 of the California Green Building Code shall be applied to additions or alterations of existing residential structures where the addition or alteration increases the building's conditioned area. See sheets 1 and 2..

NEW BUILDINGS-FIRE HAZARD SEVERITY ZONE

New buildings located within any Fire Hazard Severity Zone or any Wildland-Urban Interface Fire Area designated by the local jurisdiction or in a State Responsibility Area (SRA) shall comply with the requirements of CRC Sec. R337 for exterior wildfire exposure.

SCOPE OF PROJECT

The following is the scope:

Rebuild Residence-

Replace residence that was a complete burn. Construct new residence.

Driveway-

Replace portion of existing driveway

Pool Area-

Construct pool

Retaining Walls-

Install new retaining walls to accommodate the rear exterior areas

Exterior of Residence-

Add new concrete flatwork as required. Install new landscaping after residence completion.

Grading-

Grading is limited to completion of removal of existing retaining walls, and recompacting of disturbed soils.

ORIGINAL RESIDENCE SPECIFICS:

Original Residence: 5462 s.f.
Attached Garage: 700 s.f.
Front Porch: 200 s.f.
Deck Area: (Not covered) 400 s.f.

Total Footprint: 6762 s.f approximately.

5 Bedrooms
3 Bathrooms
1 Fireplace

PROPOSED RESIDENCE SPECIFICS:

SEE DESIGN DETAILS

4 Bedrooms:
4 Full Bathrooms
3 Half Bathrooms
3 Fireplaces

PROJECT INFORMATION

OWNER:

Mr. & Mrs. Lei

PROJECT ADDRESS:

3941 Skyfarm
Santa Rosa, Ca

APN:

173-760-022-000

PROPERTY DETAILS:

Existing Use: Vacant Property-Fire

Proposed Use: Single Family Home

Occupancy Group: R-1-6-RC

Type Of Construction: VB

Number Of Stories: 2 proposed

Required Setbacks:

Front: 15'; Side 1st floor: 5'; Side 2nd floor: 10'

Rear: 15'; Garage: 19'; Lot coverage: 40%;

Building height: 35'; Lot coverage 40%

Lot Coverage:

Sprinklered: Yes

Lot Gross Area: 1.070 acres,

Slope Of Property: Sloping, with hillside

DESIGN DETAILS:

Habitable Space

Main Residence: 5577 s.f.
1st Floor: 2608 s.f.
2nd Floor: 2969 s.f.
ADU at garage: 746 s.f.
Total: 6323 s.f.

Non-Habitable Space

Garage: 1267 s.f.
Front Porch (1st floor): 106 s.f.
Rear Covered Porch #1: 84 s.f.
Rear Covered Porch #2 : 218 s.f.
ADU Entrance: 1st/2nd 128 s.f.
ADU STORAGE 36 s.f.
Bathroom @ Pool: 45 s.f.
Sauna (2nd floor) 82 s.f.
1st Floor Wine Cellar 90 s.f.

Lot Coverage

Original Building 8% est.
New Residence 12.9%

CODE COMPLIANCE

City of Santa Rosa building codes include, but are not limited to the following;

- 2019 California Building Code.
- 2019 California Plumbing Code.
- 2019 California Mechanical Code.
- 2019 California Electrical Code.
- 2019 California Fire Code.
- 2019 California Energy Code.
- 2019 California Administration Code
- 2019 California Referenced Standards Code
- 2019 California Green Building Code
- City of Santa Rosa Ordinances
- 2019 California Residential Building Code

PROJECT CONSULTANTS

Construction Documents

Stetson Design and Drafting
4374 Kris Dr.
805 937-7666
Santa Maria, Ca 93455

Energy Consultant:

Title24EZ.com
Igo Pichko
122 W 22nd. St.
San Pedro, Ca 90731

Engineering:

Gouvis Engineering
15 Studebaker | Irvine, CA 92618
Phone: 949.752.1612 ext. 299
Cell: 949. 291. 9092

Geotechnical:

RGH Consultants
1305 North Dutton Ave
Santa Rosa, Ca 95401
(707) 544-1072

Truss Calculations

By others

Contractor:

Hu Sheaujiun Construction
1204 W 16th St #34,
Merced, CA95340 Lic 1037965

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- T24-2 TITLE 24 CALCS & NOTES
- T24-3 TITLE 24 CALCS & NOTES
- T-24M MANDATORY REQUIREMENT

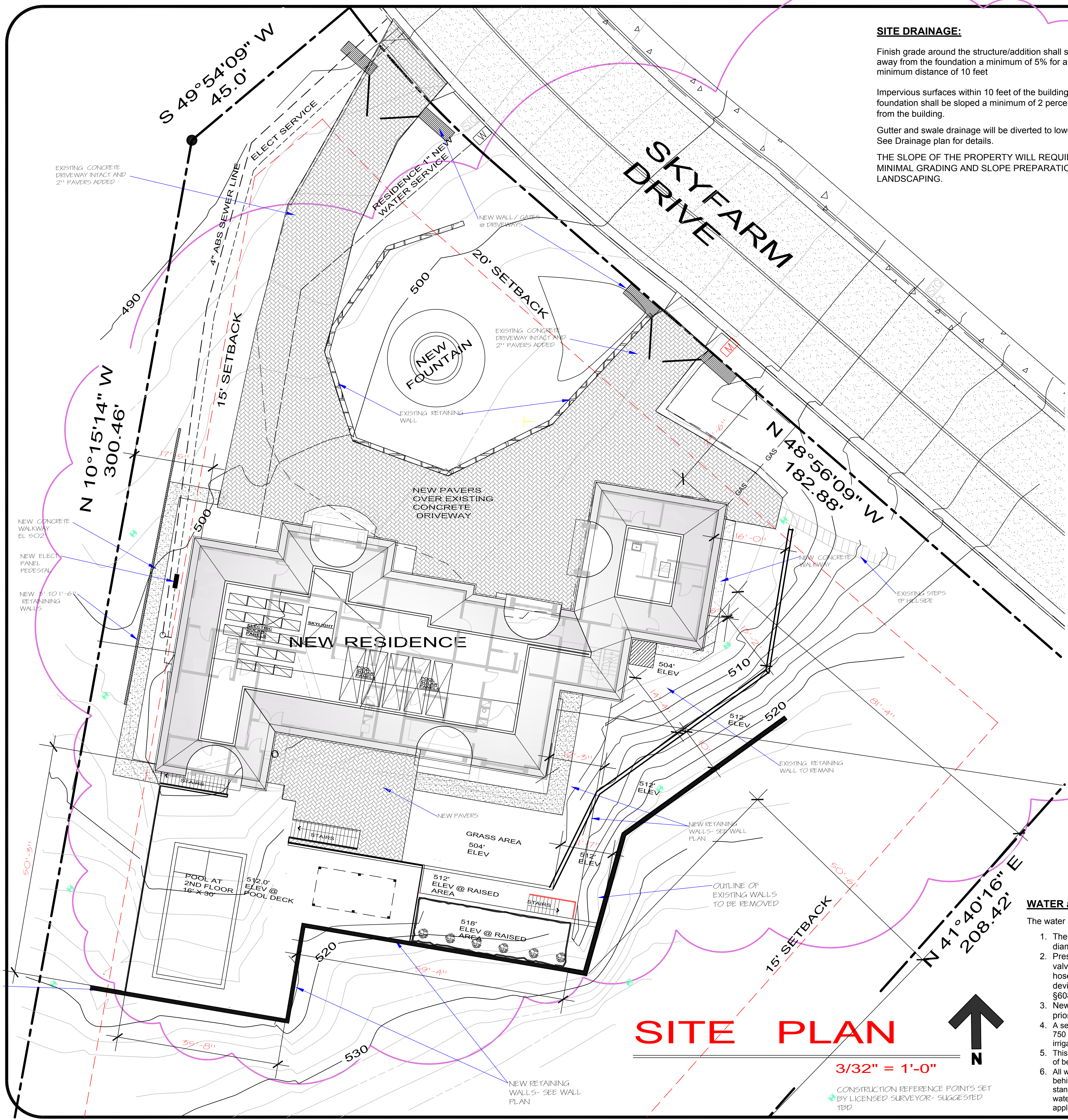
ENGINEERING- TBD

- SN-1A GENERAL NOTES & REQUIREMENTS
- SN-1B GENERAL NOTES & REQUIREMENTS
- SN-2 STRUCTURAL DETAILS & NOTES.
- SN-3 STRUCTURAL DETAILS & NOTES.
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- SSW1 STRONG WALL ANCHORAGE DETAILS
- SSW2 STRONG WALL ANCHORAGE DETAILS
- SSW3 STRONG WALL ANCHORAGE DETAILS

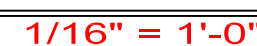
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TITLE 24 CALCULATIONS
ENGINEERING CALCULATIONS
SOILS REPORT
LETTER FROM RGH GEOTECHNICAL

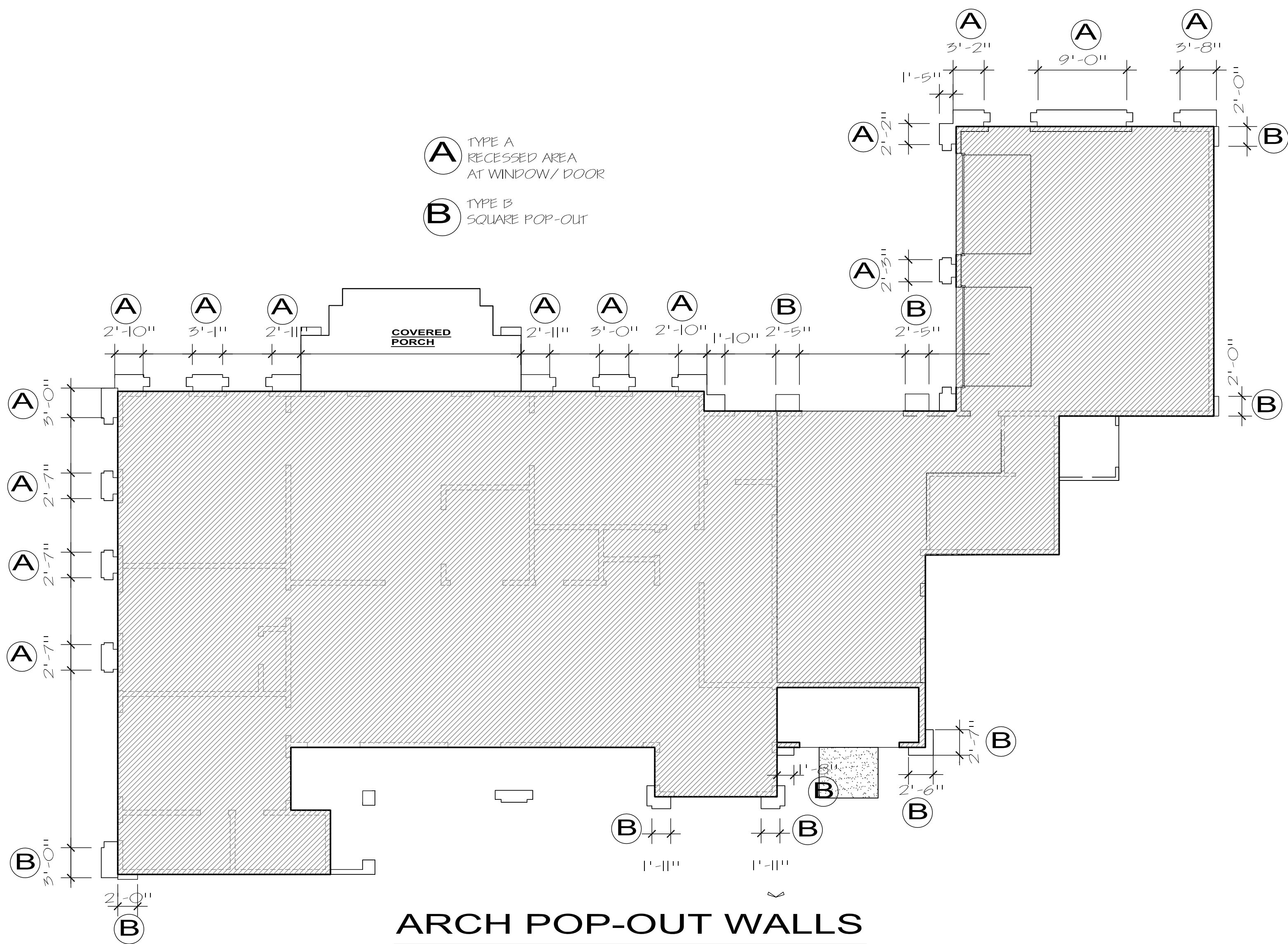
TRUSS CALCULATIONS-MAY BE DEFERRED
SOLAR PANELS-MAY BE DEFERRED
LANDSCAPING-MAY BE DEFERRED
FIRE SPRINKLERS-MAY BE DEFERRED
POOL PLANS- SEPARATE PERMIT



By: Dave Stetson
Scale: As Shown
Date: 1-31-2021
Sheet: **A-1.1**



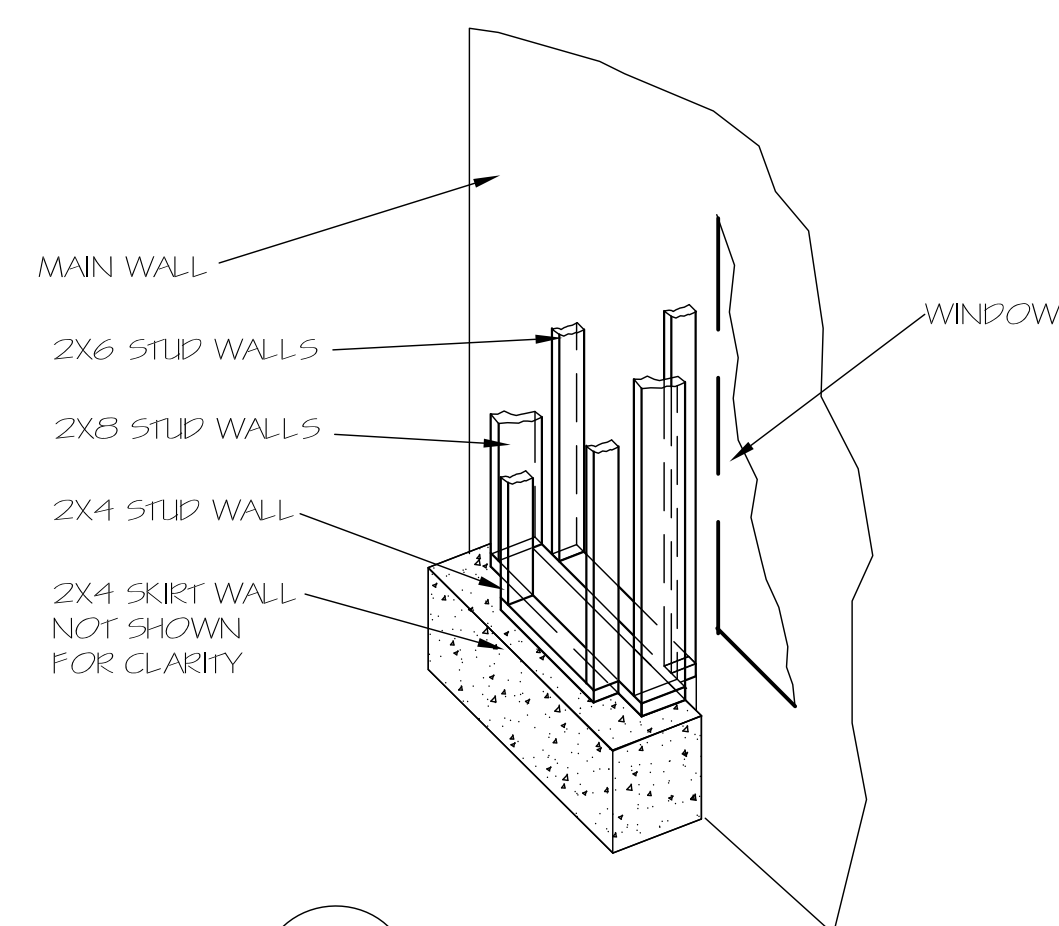
Sheet: A-1.2



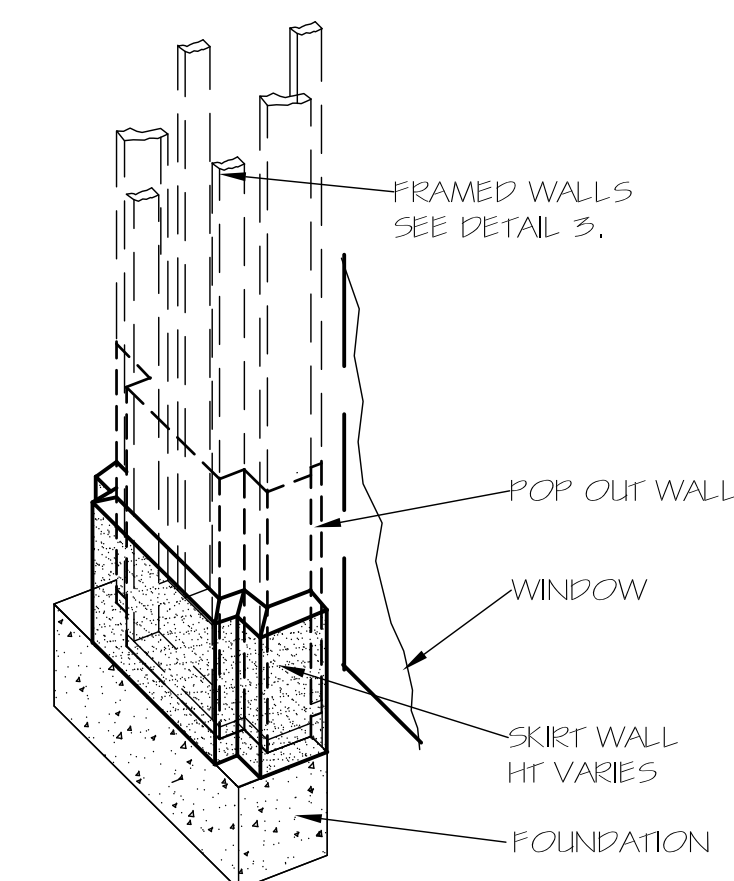
ARCHITECTURAL POP OUT WALLS

This residence has multiple pop-out architectural walls.

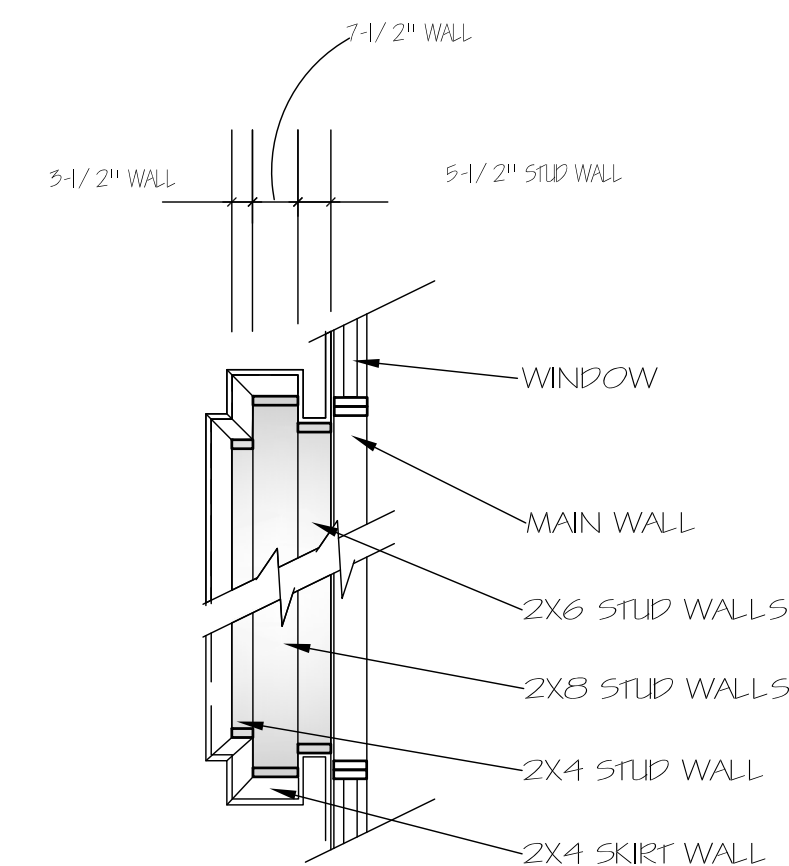
1. Framing and contractor and concrete contractor must coordinate the sizing, forming, and location of pads for the walls.
2. Layout of the windows must be done prior to placement of architectural walls. (after floor framing and OSB diaphragm)
3. The dimensions shown are approximate. Based on field layout the General Contractor and owner may increase or decrease the size.
4. Contractor doing slabs must allow for walls, and sheeting on the walls.
5. All pop out wall slabs shall be secured to main foundation.



1 POP OUT WALLS
FRAMING-NON STRUCTURAL
3/8" = 1'-0"

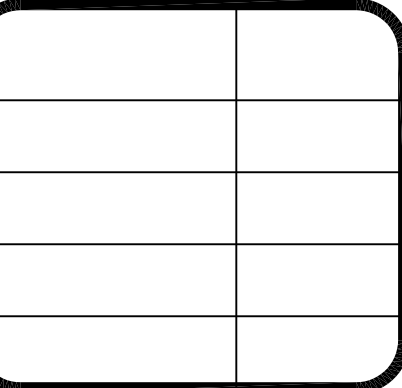


2 POP OUT WALL
SKIRT FRAMING 3/8" = 1'-0"



3 POP OUT WALL
PLAN VIEW 3/8" = 1'-0"

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Stetson Design & Drafting
Santa Maria, Ca.



CONTRACTOR:
HU SHEAUJUN
CONSTRUCTION
1204 W 16TH ST #34,
MERCED, CA 95340
LICENSE 1037965

LEI RESIDENCE
3941 SKYFARM
SANTA ROSA, CA

POP OUT
WALLS

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SANTA MARIA, CA
805 937-7666

By: Dave Stetson

Scale: As Shown

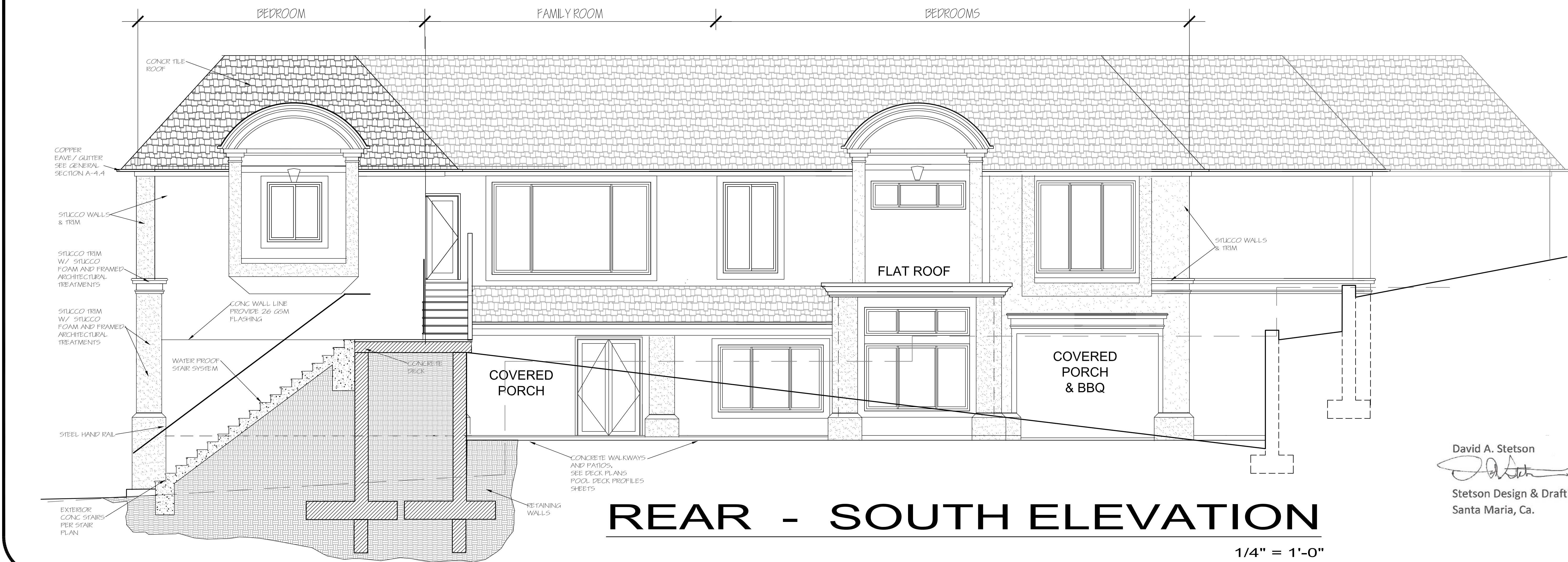
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Sheet: **A-2.7**



FRONT - NORTH ELEVATION

1/4" = 1'-0"



REAR - SOUTH ELEVATION

1/4" = 1'-0"

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SANTA ROSA, CA

ELEVATIONS
NORTH &
SOUTH

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Scale: As Shown
Date: 6-10-2020
Sheet: A-3.1



SIDE - WEST ELEV



SIDE - WEST ELEVATION

FLOOR VENTILATION METHOD

(UNVENTED SPACE- MECHANICAL)

PER R408.3 OF CALIFORNIA RESIDENTIAL CODE

Residence (MECH)	Ventilation
Square Footage (Total)	Area Required (Sq. Feet)
2700 (2698 sf ACTUAL)	2700 S.F.

Total ventilation area required:

RESIDENCE Floor Vents:
8 s.f. = VULCAN VENTS WITH MECH FANS

1. Use 8 vents at WEST elevation.
2. Use four fans to operate mechanical exhaust. Area 5568 cu ft/1650= 3.3 fans.
3. Install class 1 vapor retardant under floor system.

SPECIFICATIONS:

R408.3 Unvented crawl space. Ventilation openings in under-floor spaces specified in Sections R408.1 and R408.2 shall not be required where the following items are provided:

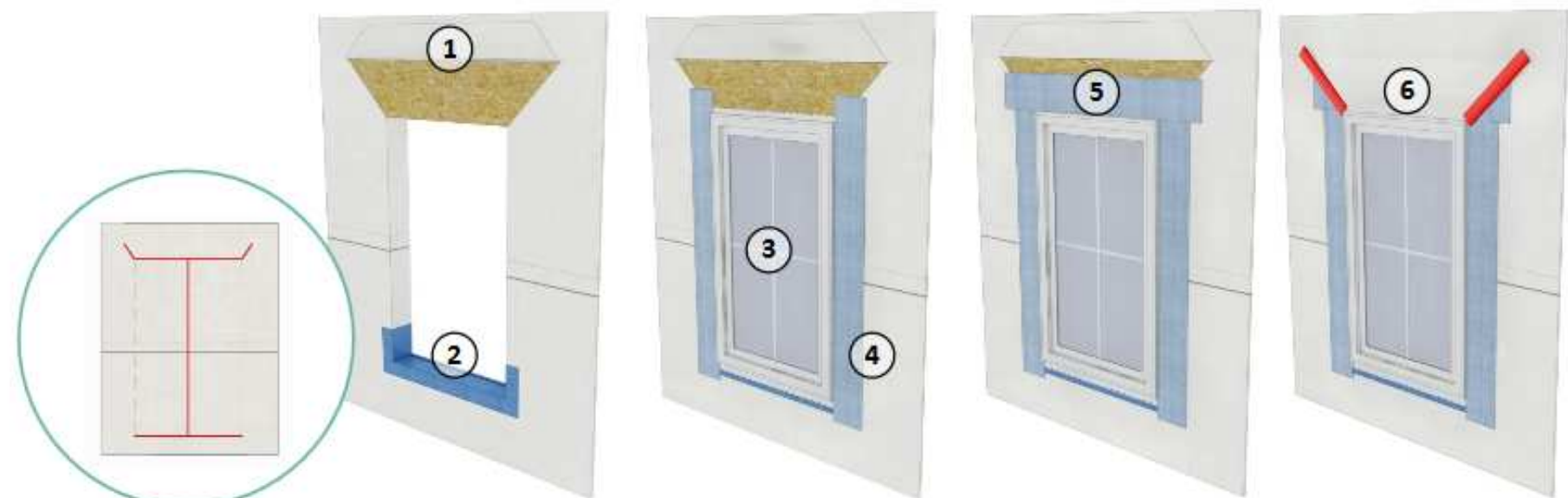
1. Exposed earth is covered with a continuous Class I vapor retarder. Joints of the vapor retarder shall overlap by 6 inches (152 mm) and shall be sealed or taped. The edges of the vapor retarder shall extend not less than 6 inches (152 mm) up the stem wall and shall be attached and sealed to the stem wall or insulation.

2. One of the following is provided for the under-floor space:

a. Continuously operated mechanical exhaust ventilation at a rate equal to 1 cubic foot per minute (0.47 L/s) for each 50 square feet (4.7 m²) of crawl space floor area, including an air pathway to the common area (such as a duct or transfer



Model	Colors	Size (in.)	Description	Ventilates in Cubic feet	QTY. CTN.	WT. CTN. (lbs.)
PCV1	BL	9 x 19 x 3	Polypropylene Plastic Powered Crawlspace Vent	1650	6	27.25



Step 1. Prepare the WRB at the rough opening: cut house wrap at red line (see inset), fold in at jambs, and fold up at head.

Step 2. Install pan flashing: cover the rough sill and extend onto the face of the wall/WRB.

Step 3. Install the window: according to manufacturer's instructions.

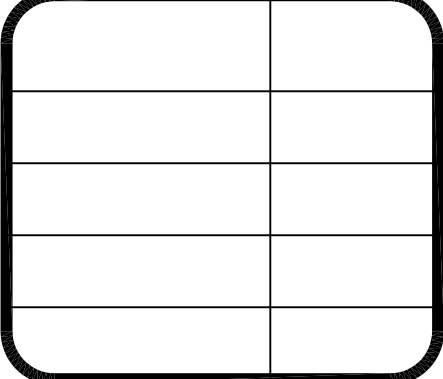
Step 4. Install the jamb flashing: over window flange and pan flashing and extend above the head flange.

Step 5. Install the head flashing: over and beyond the jamb flashing (and over the drip cap if installed).

Step 6. Integrate the WRB: fold down the house wrap flap and tape diagonal seams with construction tape.

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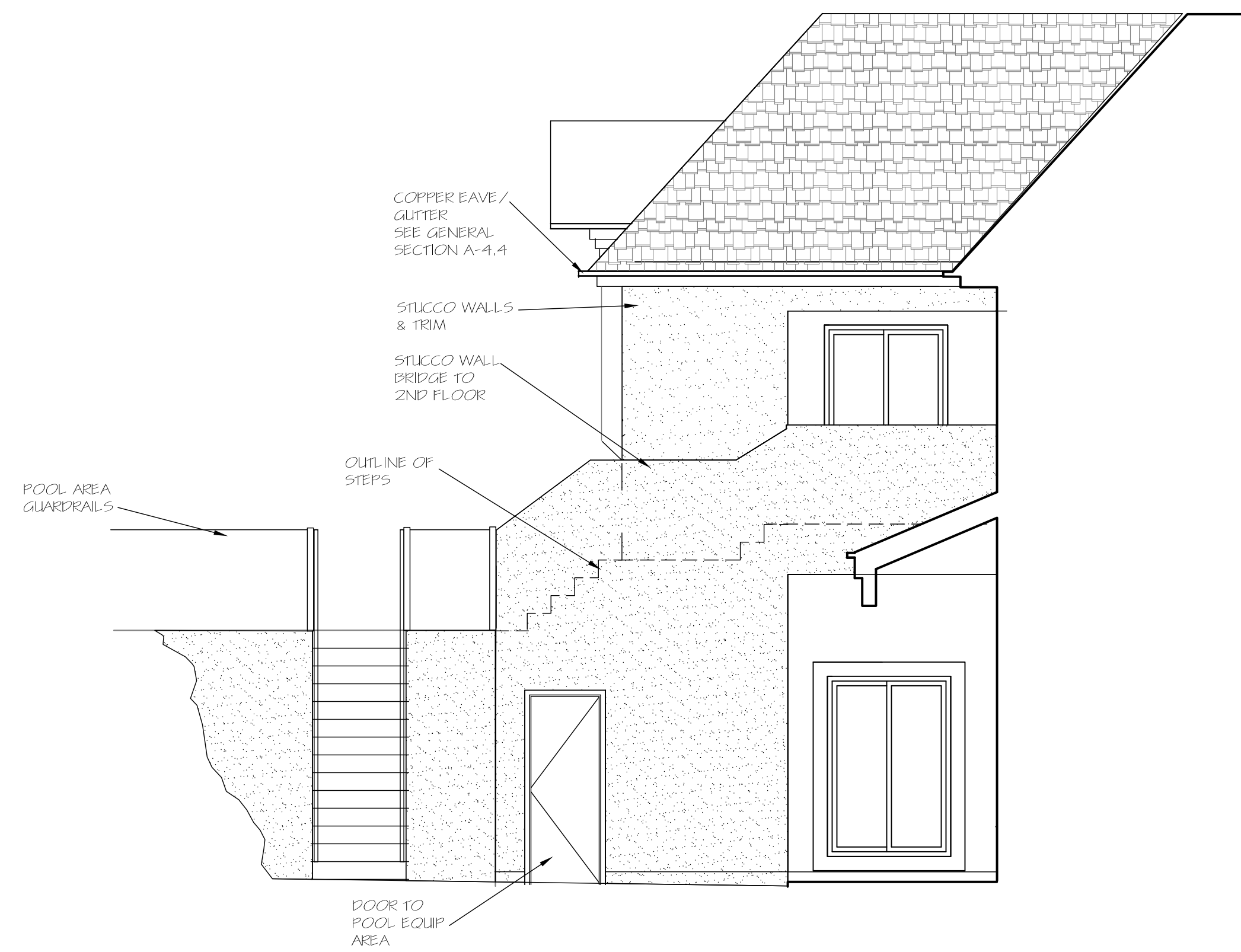
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MERCED, CA 95340
LICENSE 1037965

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SANTA ROSA, CA

ELEVATIONS
WEST

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SANTA MARIA, CA
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Scale: As Shown
Date: 6-10-2020
Sheet: A-3.2



SIDE - EAST ELEV
1/4" = 1'-0"



SIDE - EAST ELEVATION
1/4" = 1'-0"

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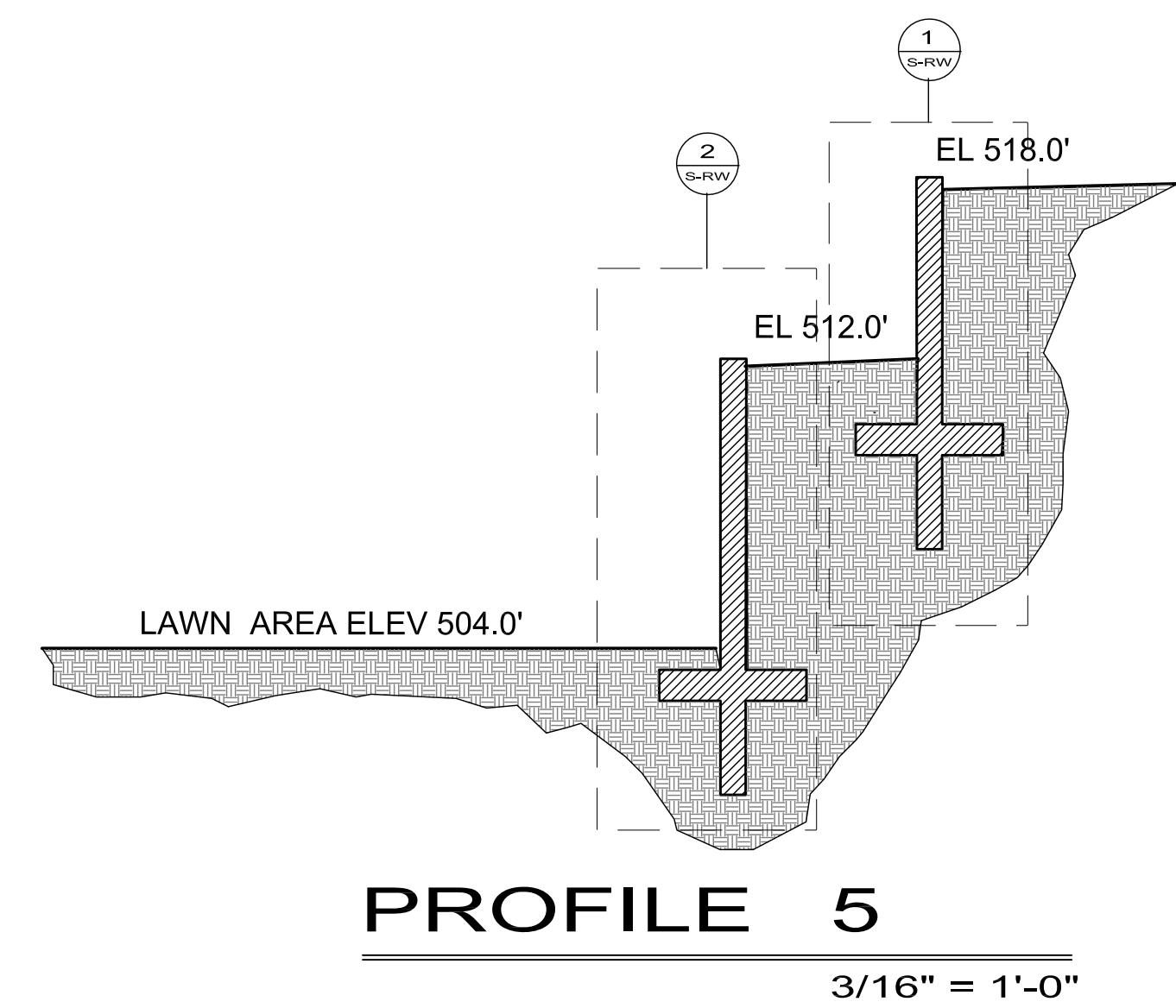
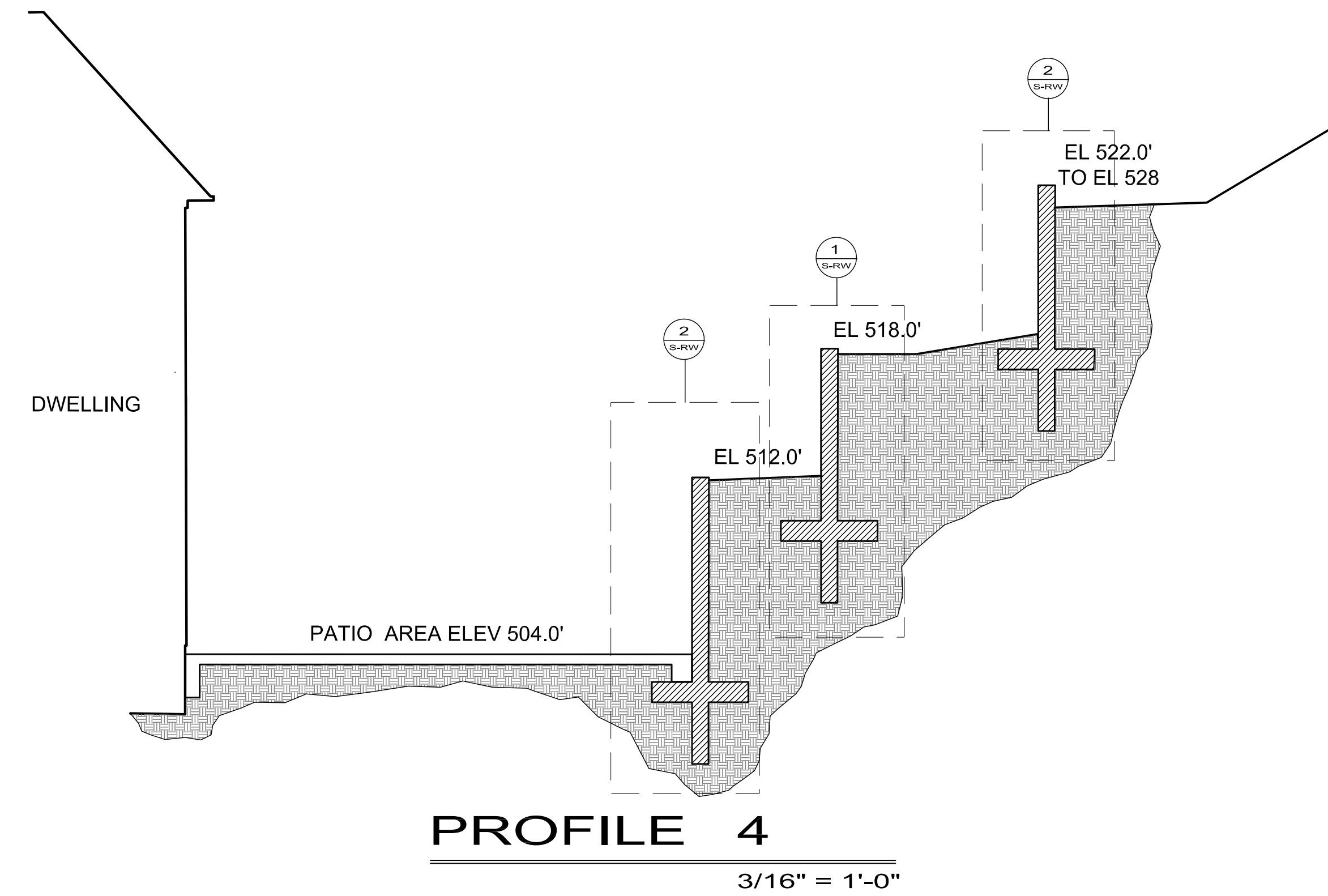
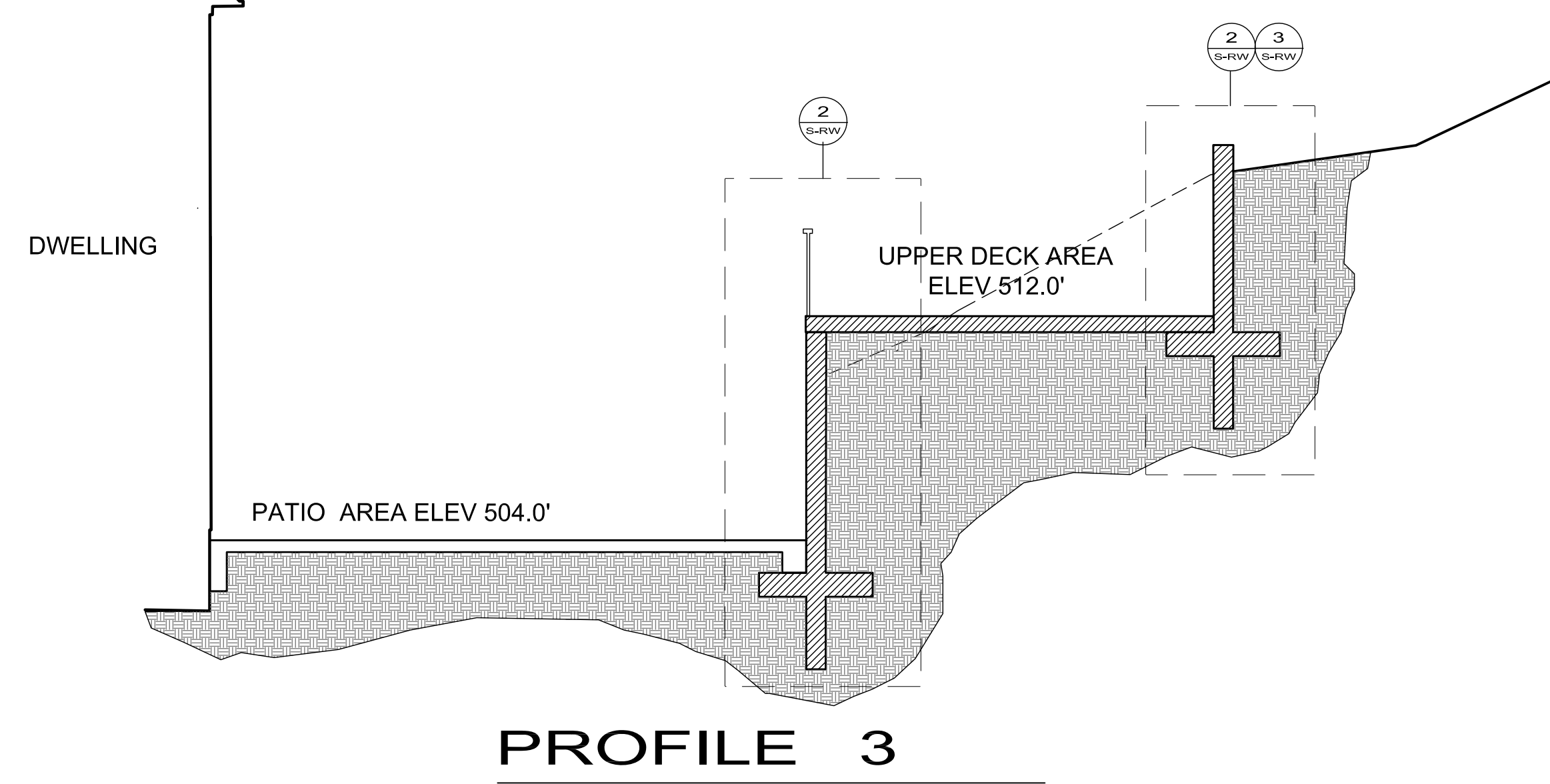
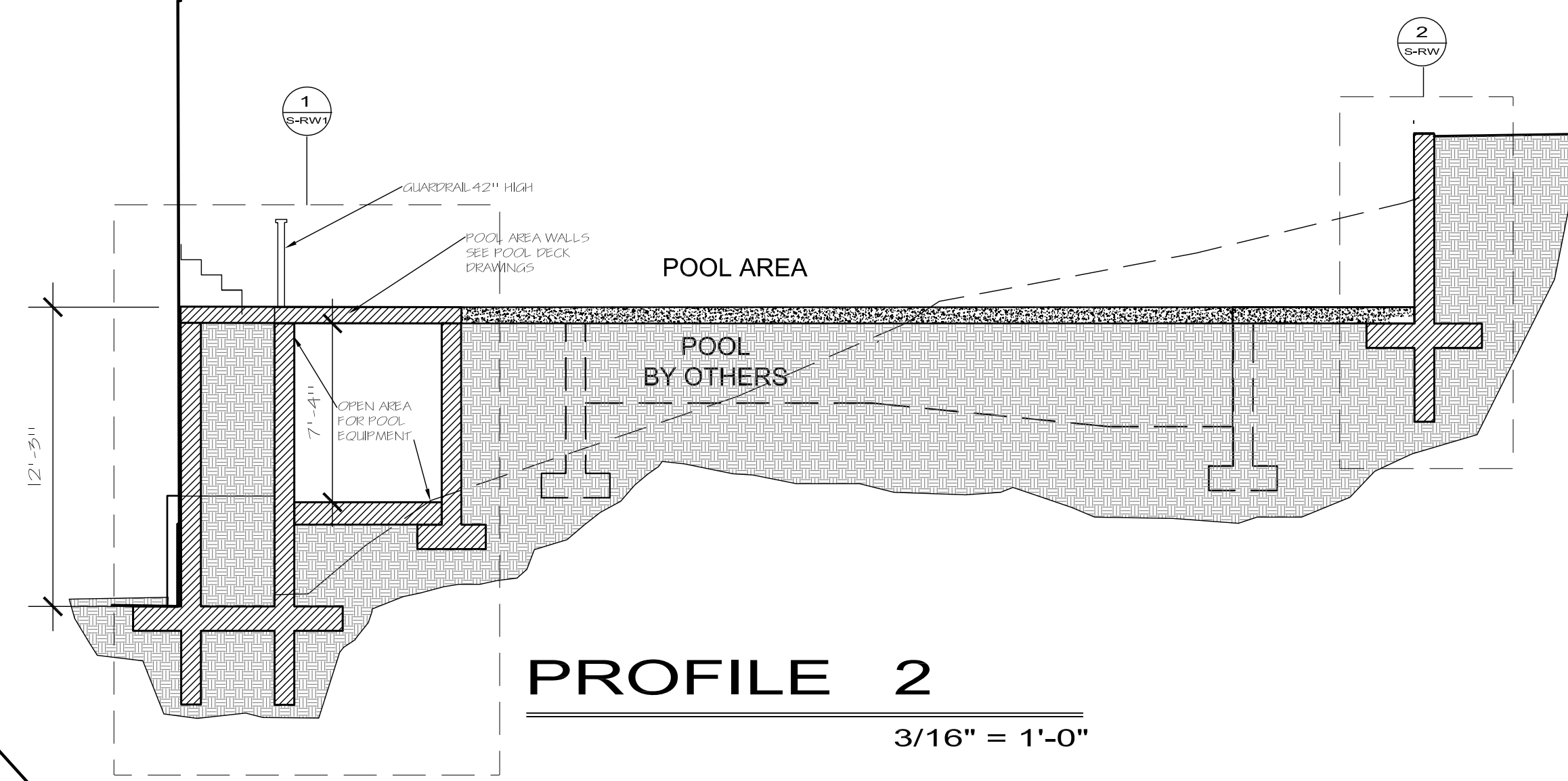
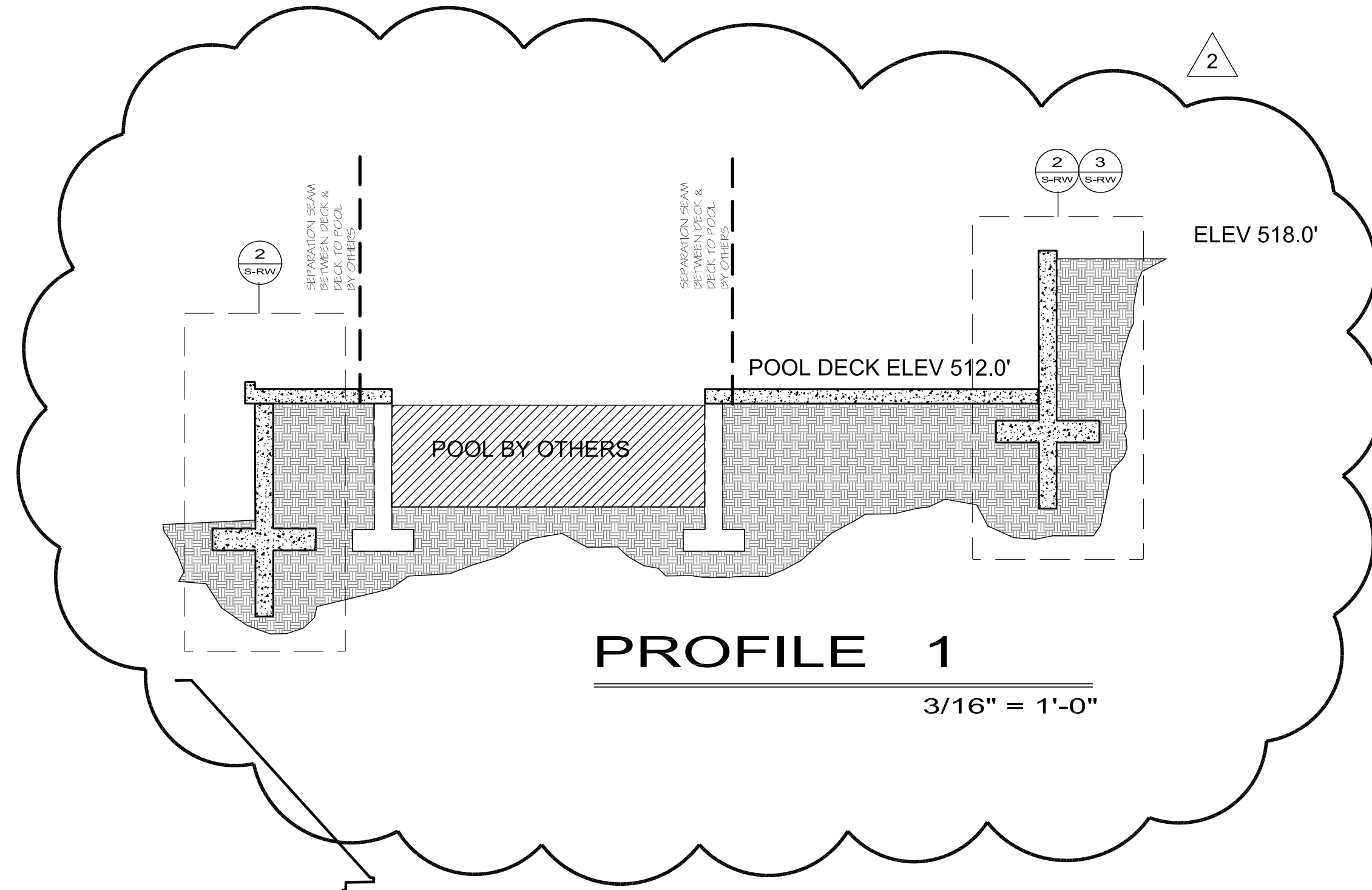
CONTRACTOR:
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1204 W 16TH ST #34
MERCED, CA 95340
LICENSE 1037965

3941 SKYFARM
SANTA ROSA, CA

ELEVATIONS
EAST

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805 937-7666

By: Dave Stetson
Scale: As Shown
Date: 3-5-2020
Sheet: **A-3.3**



DECK PLAN:
SEE SHEET A-2.5 FOR DECK
LAYOUT AND PROFILE REFERENCES.
SEE STRUCTURAL DRAWINGS FOR
DETAILS.

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David A. Stetson
Stetson Design & Drafting
Santa Maria, Ca.

CONTRACTOR:
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1204 W 16TH ST #34
MERCED, CA 95340
LICENSE 1037965

LEI RESIDENCE
3941 SKYFARM
SANTA ROSA, CA

PROFILES
AT
EXTERIOR
AREAS

STETSON DESIGN &
DRAFTING
SANTA MARIA, CA
805 937-7666

By: Dave Stetson
Scale: AS NOTED
Date: 8-10-2020
Sheet: **A-4.7**

R806.2 Minimum vent area

The minimum net free ventilating area shall be 1/150 of the area of the vented space.

Exception: The minimum net free **ventilation** area shall be 1/500 of the vented space provided one or more of the following conditions are met:

- In **Climate Zones 14 and 16**, a Class I or II vapor retarder is installed on the warm-in-winter side of the ceiling.

Not less than 40 percent and not more than 50 percent of the required ventilating area is provided by ventilators located in the upper portion of the **attic** or rafter space. Upper ventilators shall be located not more than 3 feet (914 mm) below the **ridge** or highest point of the space, measured vertically, with the balance of the required **ventilation** provided by eave or cornice **vents**. Where the location of wall or roof framing members conflicts with the installation of upper ventilators, installation more than 3 feet (914 mm) below the **ridge** or highest point of the space shall be permitted.

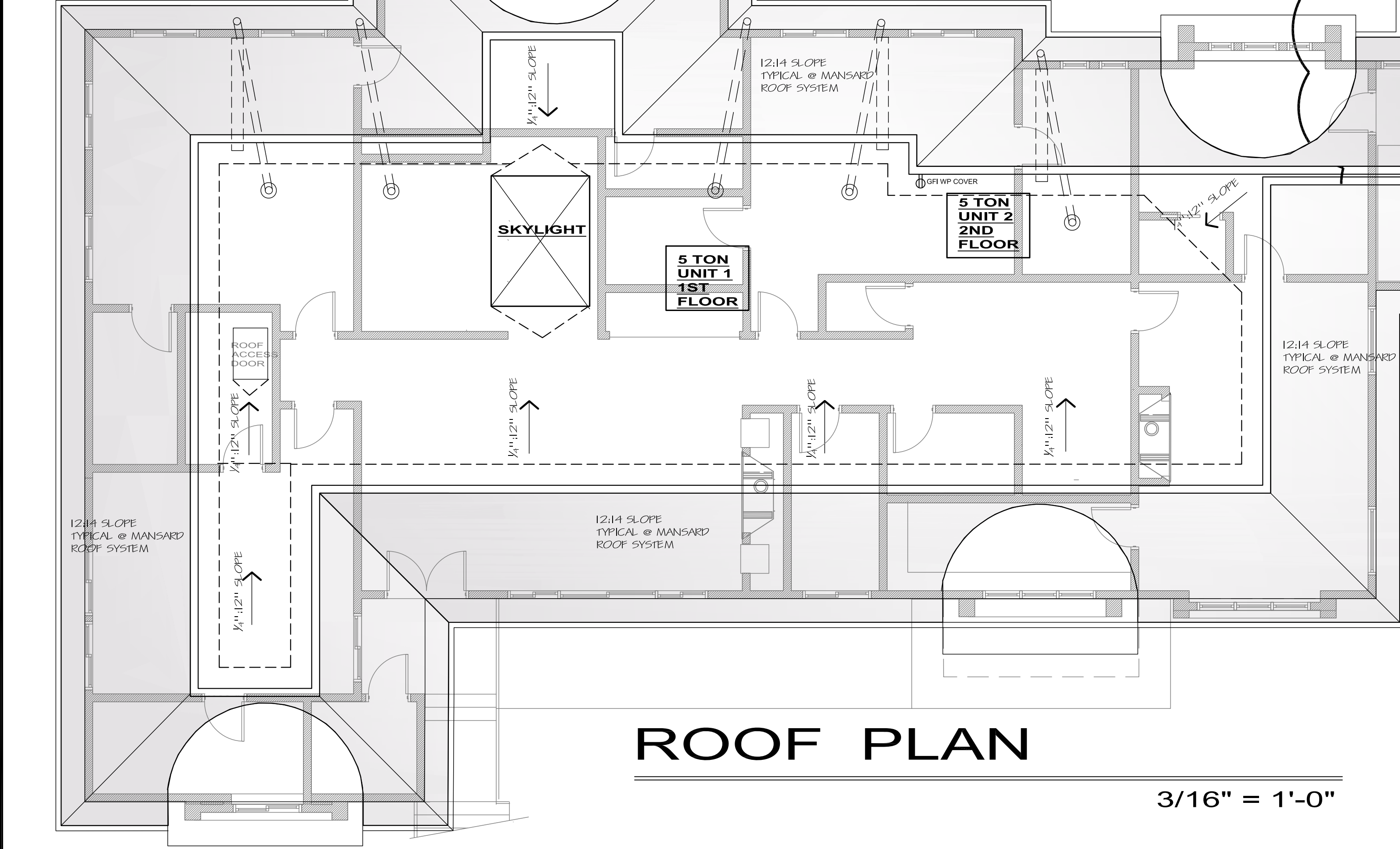
R806.1 Ventilation required

Enclosed **attics** and enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters shall have cross **ventilation** for each separate space by ventilating openings protected against the entrance of rain or snow. **Ventilation** openings shall have a least dimension of 1/16 inch (1.6 mm) minimum and 1/4 inch (6.4 mm) maximum. **Ventilation** openings having a least dimension larger than 1/4 inch (6.4 mm) shall be provided with corrosion-resistant wire cloth screening, hardware cloth or similar material with openings having a least dimension of 1/16 inch (1.6 mm) minimum and 1/4 inch (6.4 mm) maximum. Openings in roof framing members shall conform to the requirements of **Section R802.7**. Required **ventilation** openings shall open directly to the outside air.

VELUX GLASS TRIANGULAR SKYLIGHT:

VELUX ARCHITECTURAL SERIES SKYLIGHT-
SIZE 8' X 6', HT TO BE DETERMINED BY VENDOR.

PROVIDE CURB AND FLASSHING PER MANUFACTURER.



ROOF PLAN

3/16" = 1'-0"

ROOF/ATTIC VENTILATION CALCULATIONS CHART

(1/150 METHOD)

ALTERNATIVE VENT METHOD OPTION

Roof Area (1/150 Method) Square Footage (Total)	Ventilation Area Required (Sq. Feet)
AREA at Main House: (ZONE 1) 3800 / 150 = 25.3 s.f. = 26.0 s.f. 26 x 144 = 3744 sq. required.	

Use Vulcan 14" x 24" gable vents -115 s.i.
3744/115 = 32.5 vents required.
Use 33 vents
Place around perimeter of inside parapet walls at Residence Area.

AREA at ADU: (ZONE 2)
800 s.f. / 150 = 5.2
5.2 x 144 = 748 sq. required.
748/115 = 6.5 vents required.
Use 7 vents
Place around perimeter of inside parapet walls at Garage area,

SEE CALIFORNIA WILDFIRE
REQUIREMENTS ON
SHEET W-1.

David A. Stetson

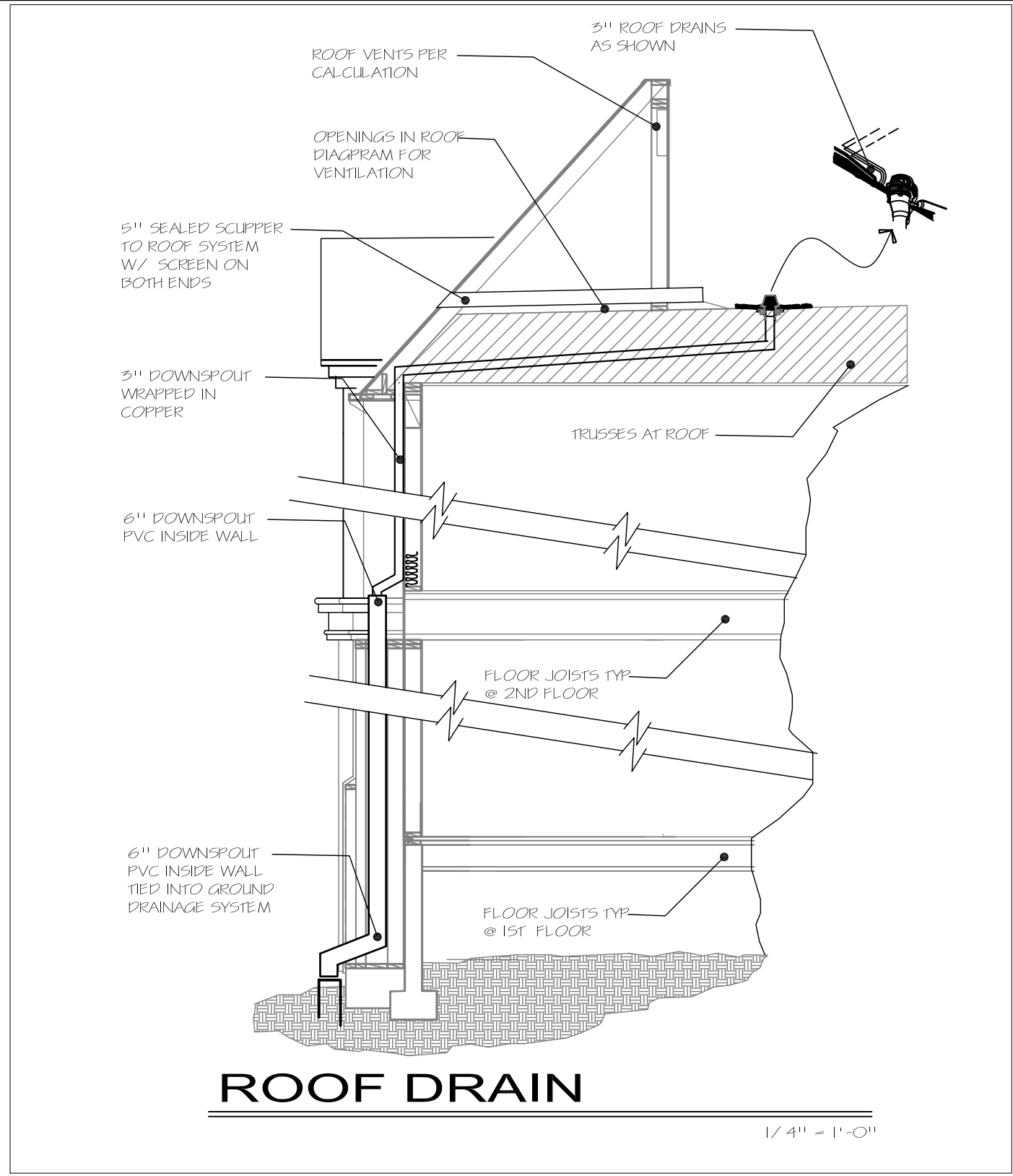
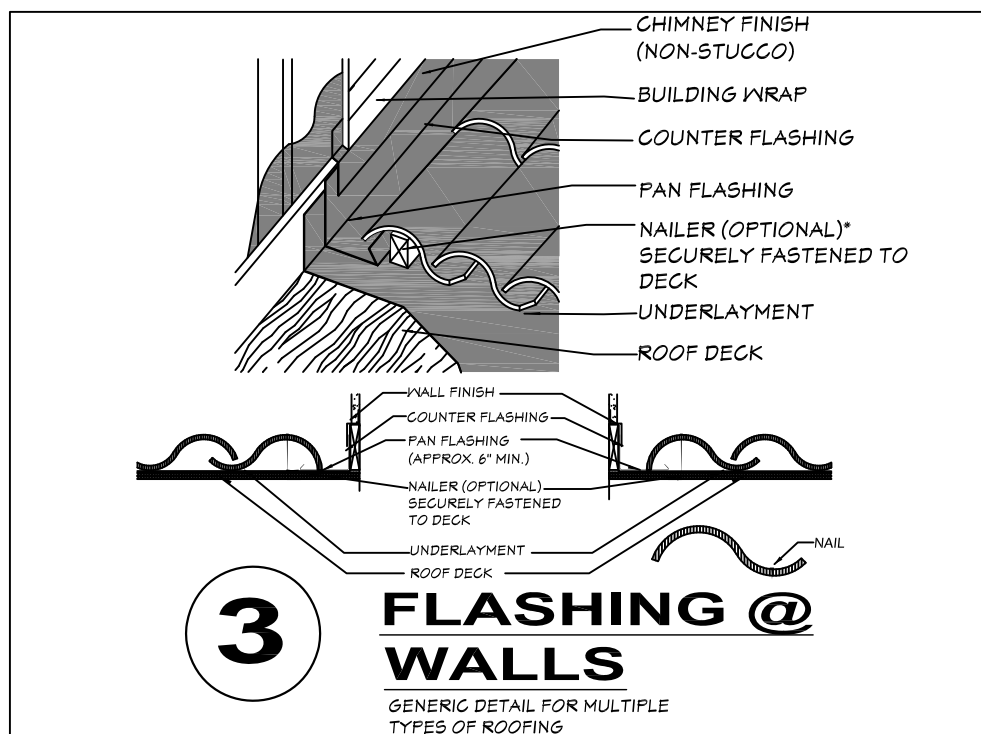
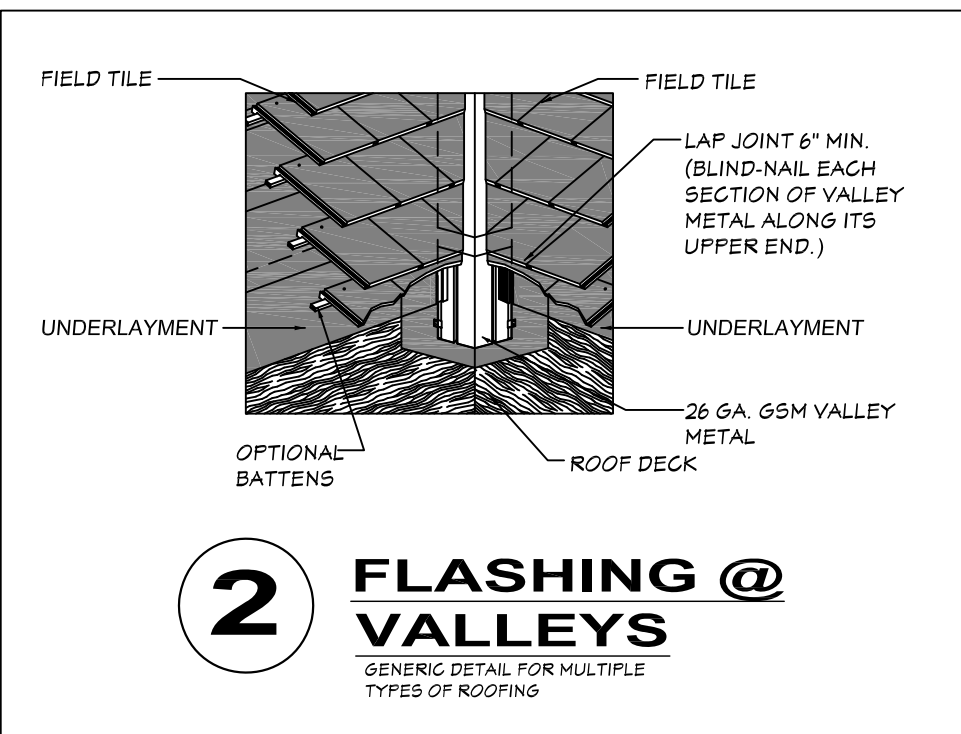
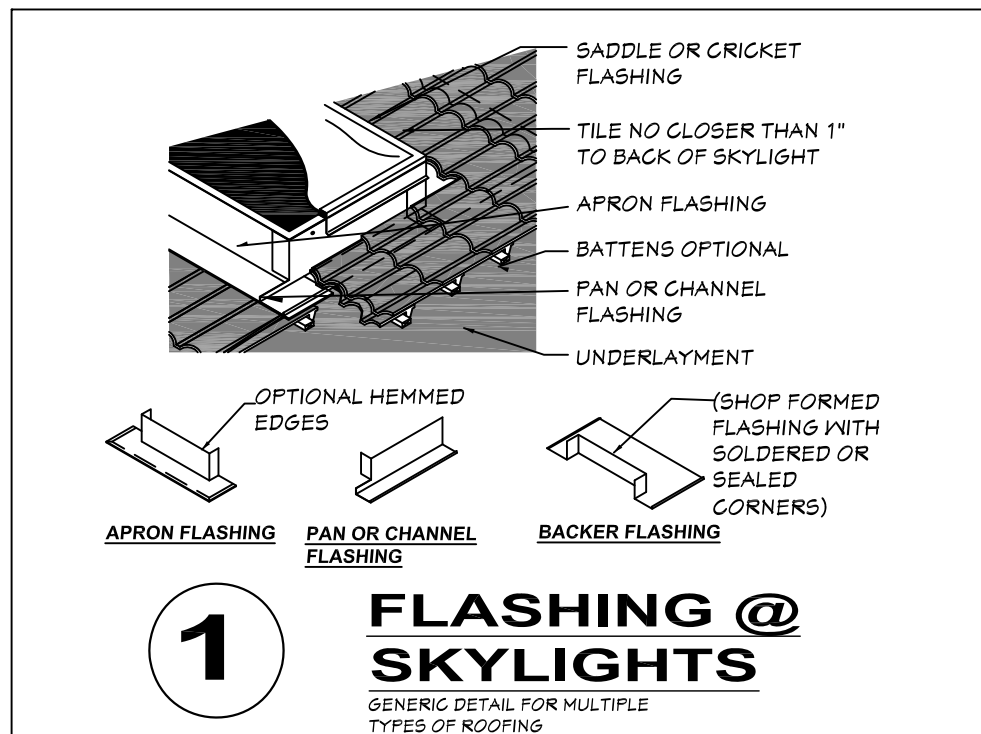
David A. Stetson

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Santa Maria, Ca.

ROOF DRAINAGE SYSTEM:

The roof drainage system is shown, Licensed contractor(s) to install drains, scupper, and roofing in accordance with good practices and industry codes.

All lines are to be tested.



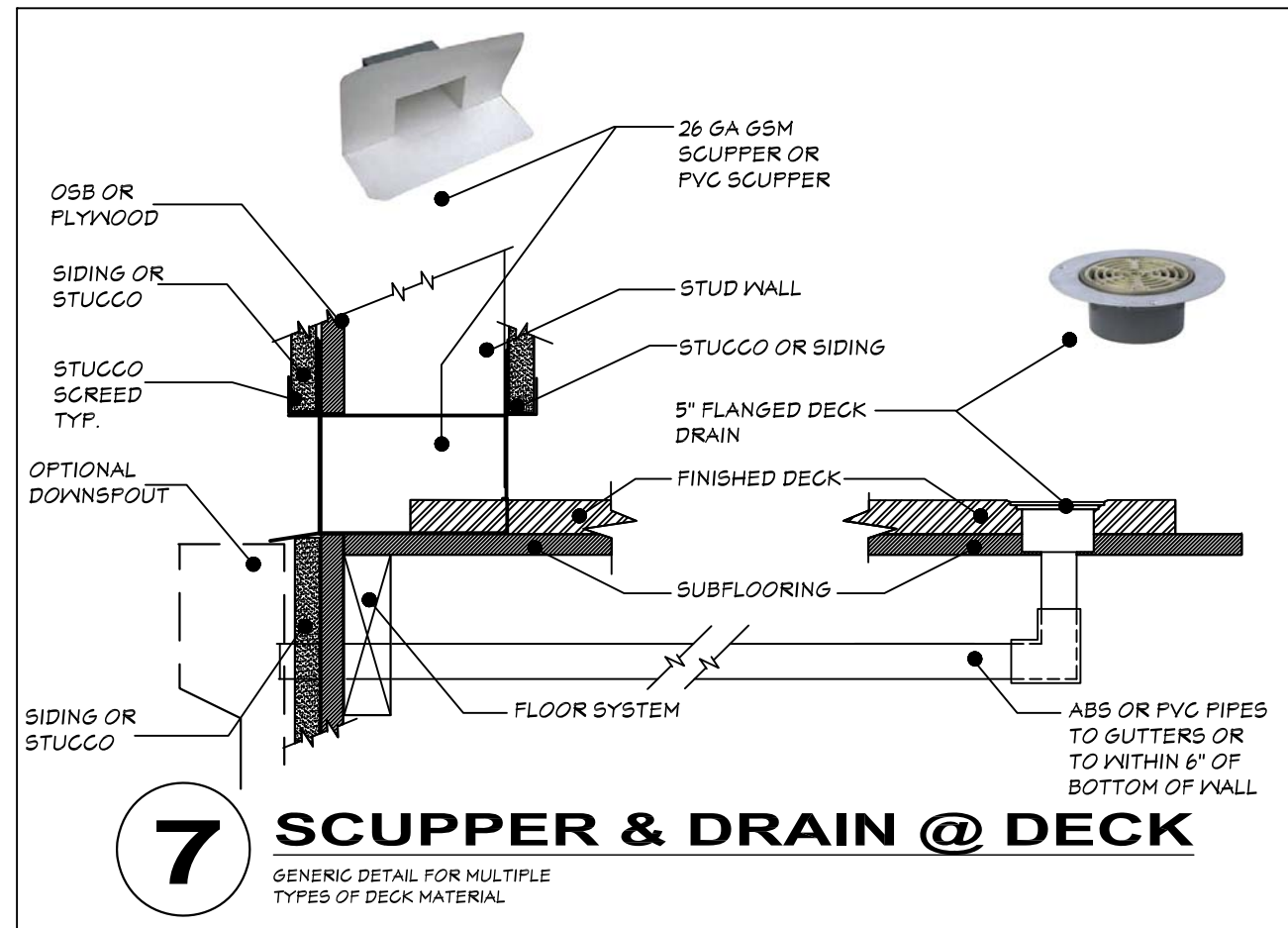
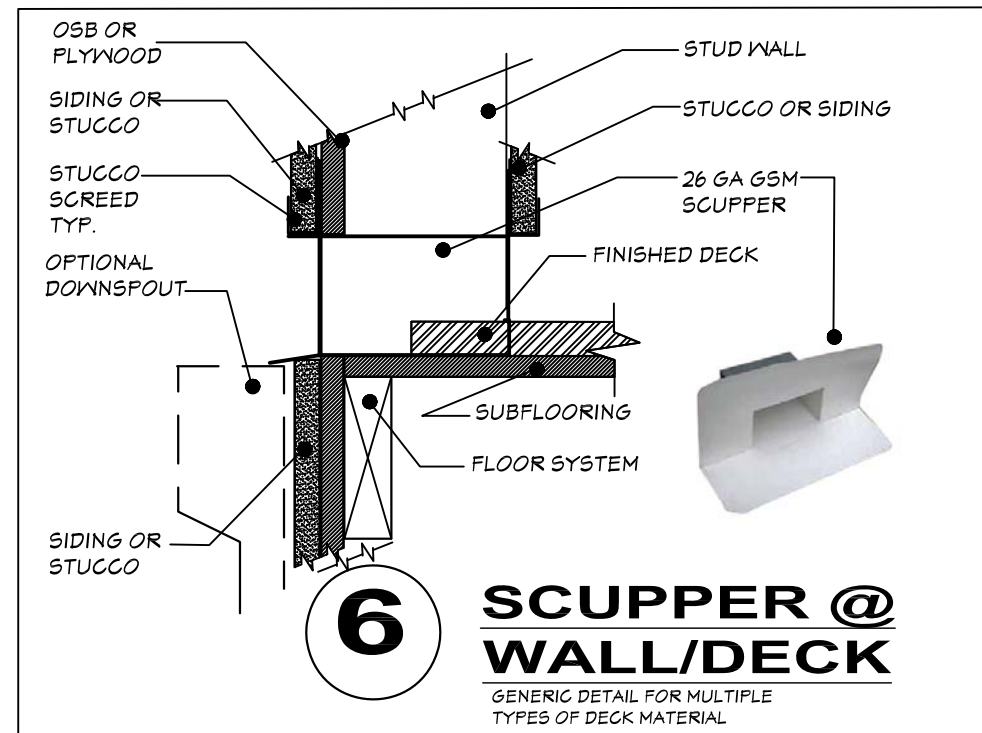
NYSTROM PERSONNEL ACCESS DOOR:

ROOF MOUNT ACCESS DOOR BY NYSTROM



SPECIFICATIONS

Model:	RHU
Material Steel:	14 gauge galvalneal
Aluminum:	11 gauge
Finish:	Powder coat (steel) or Mill (aluminum)
Color:	ANSI 70 Gray (steel)
Cover:	Formed metal cover with liner internally stiffened to withstand a live load of 40psf.
Curb:	Single wall curb with EZ tab counter flash and mounting flange with 5/8 inch and 3/16 inch holes.
Insulation:	1 inch polyiso R-6 in curb, 1 inch polystyrene in cover.
Gasket:	Extruded EPDM adhesive backed gasket sea l, continuous around cover.
Spring:	Gas spring with damper for smooth, controlled, counterbalanced lift assistance.
Hinge:	Heavy-duty pintle hinge with stainless steel hinge pin.
Hold Open Arm:	Zinc plated steel automat ic hold open arm locks cover in open position.
Latch:	Zinc plated steel slam latch with exterior and interior turn handles and padlock hasps; 20psf wind uplift.



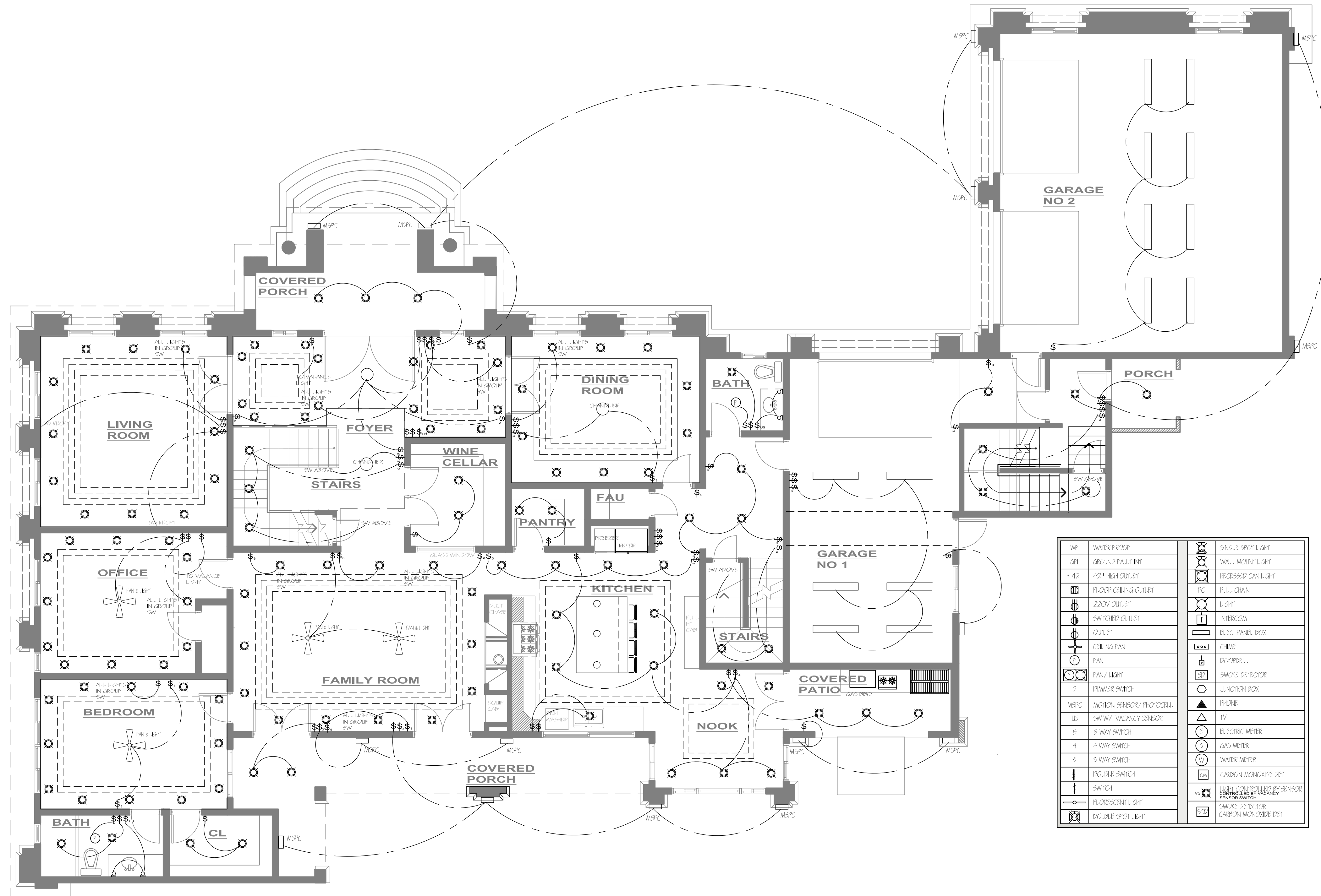
CONTRACTOR:
HU SHEAUJUN
CONSTRUCTION
1204 W 16TH ST #34,
MERCED, CA95340
LICENSE 1037965

LEI RESIDENCE
3941 SKYFARM
SANTA ROSA, CA

ROOF
PLAN

STETSON DESIGN
SANTA MARIA, CA
805 937-7666

By: Dave Stetson
Scale: As Shown
Date: 8-12-2020
Sheet: A-5.1



1ST FL LIGHTING PLAN

LIGHTING ELECTRICAL PLAN 3/16" = 1'-0"



Roseman Outdoor Wall Lantern

David A. Stetson
Stetson Design & Drafting
Santa Maria, Ca.

CONTRACTOR:
HU SHEAUJUN
1204 W 16TH ST #34
MERCED, CA 95340
LICENSE 1037965

LEI RESIDENCE
3941 SKYFARM
SANTA ROSA, CA
APN

1ST FLOOR
ELECTRICAL
LIGHTING
PLAN

STETSON DESIGN &
DRAFTING
SANTA MARIA, CA
805 937-7666

By: Dave Stetson

Scale: As Shown

Date: 3-12-2020

E-1.3



DATE SIGNED: 8/20/20

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PROJECT:

Lei Residence

DEVELOPER:

ARCHITECT:

Stetson Design & Drafting

LOCATION:

3941 Skyfarm Dr
Santa Rosa, CA 95403

REVISIONS

NO.	DATE	DESCRIPTION
1	08/10/2020	BLDG. DEPT. & ARCH. REV.

SHEET NAME:

POOL DECK & WALL PLANS

PROJECT NUMBER:

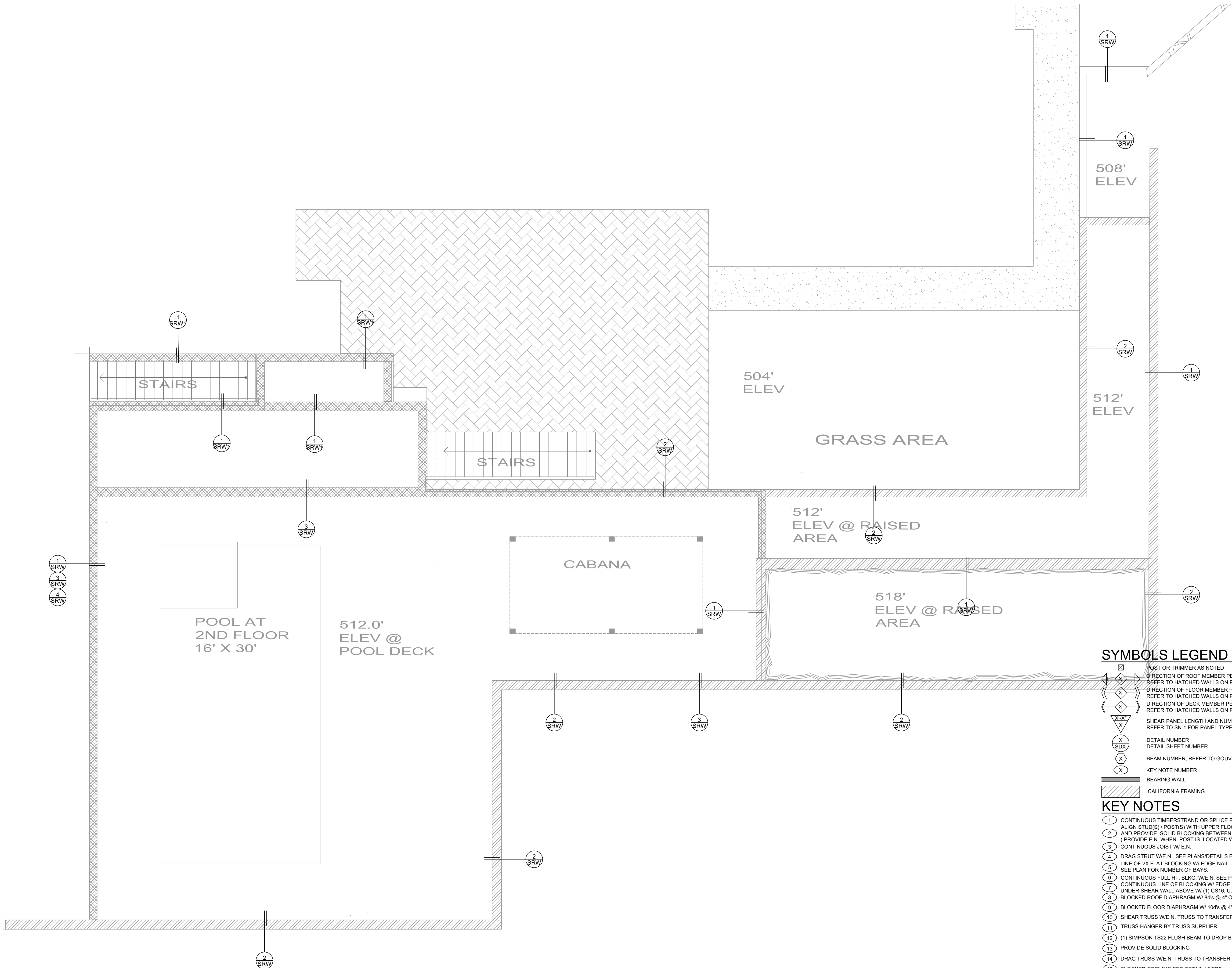
65423

ENGINEER: GE

DRAFTER: GE

SHEET NUMBER:

S-1.5



POOL DECK & WALL PLANS

SCALE : 1/4" = 1'-0"