

PROJECT DESCRIPTION & DESIGN CONCEPT

Casa Roseland is part of the larger Tierra De Rosas Master Plan Development that seeks to create a vibrant neighborhood center at the site of the former Roseland Village shopping center. The master development includes affordable housing, future market rate apartments, neighborhood park, Plaza with a Food Court and future Mercado building, as well as a future Community building.

Casa Roseland is a multi-family affordable apartment building totaling 75 units located on 1.53 acres. The apartment homes are a mix of one, two, and three-bedrooms. The main entrance along the proposed West Avenue welcomes residents to their homes, as well as to the building community room, learning center, teen room, bike storage, and in-building laundry facility. Adjacent to the learning center, residents can enjoy an outdoor space with landscaped barbeque and play areas. The ground level units have private porches with street access, and the entire building sits across the street from the new proposed park. There are 108 off-street parking spaces, 33 of which are located within the podium parking garage.

The building design is a contemporary interpretation of traditional Spanish style, employing simple, strong massing and forms, with large sloped roof forms facing the streets, lowering the building height, and creating an intimate residential streetscape which is accented by undulating roof lines, with a dynamic silhouette of the corner building feature. The building façade is a simple whitewashed exterior plaster and strong colorful accents at the recessed outdoor patios and balconies. The windows along the street are recessed with concrete sills while the corner horizontal windows give a sense of the contemporary southern and bay area midcentury modern character which fits with the heavy stucco building. At some key locations, deeply recessed windows emulate traditional solid walls, while the metalwork details reflect contemporary design with laser cut patterns selected with input from the community.

CASA ROSELAND COVER SHEET : DESIGN REVIEW SUBMITTAL

SANTA ROSA, CA | 10/20/20 | MIDPEN HOUSING #1819

RECEIVED By E07081 at 6:51 am, Jan 08, 2021

Attachment 7

The main building corner is a deep red color with sweeping roof form, creating a dynamic corner element viewed from the park. The undulating trellis mimics the roof form and provides a lower, pedestrian-scaled element with the warmth of clear stained wood along the base of the building corner.

While small in scale, the private open space is focused on a variety of play opportunities for the younger children of the residents. Extending from the Learning Center and the Teen Room, the outdoor area will be contemporary, providing active play area with chalk surfaces and climbing wall as well as unique mounding and topography echoing the natural beauty of the Santa rosa hills. The streetscape provides an urban vibe with street trees and small trellised porch/patios for ground level homes. Manifesting similarities to traditional communities, the open space is the village green/park directly across the street, presenting a place for the entire community to come together.

The all-electric building will be equipped with efficient systems, to allow for solar photovoltaic panels to offset as much of the energy load as possible, while also implementing the use of renewable green energy sources. Each unit will have an improved air quality through mechanical and filtered ventilation, which is especially needed in these times of airborne particulates and poor air quality due to wildfires. A backup power system will provide comfort to the residents during electric power outages. The stormwater will be collected and diverted to a central retainage basin located in the shared green area rather than individually handled at each parcel. The floor finishes will be primarily hard surfaces, minimizing dust collection and further improving the indoor air quality. Finish materials and adhesives with low or zero off-gassing as well as the formaldehydefree cabinetry will contribute to healthier interiors.

This project combines a contemporary interpretation of traditional architecture with modern energy efficient systems, to create a healthy living environment on a former toxic site, and help build a strong community.



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CORNER RIBBON WINDOWS



COLORS PRESENTED TO THE COMMUNITY



STRONG CONTEMPORARY ROOF FORM & CORNER ELEMENT



COLORS PRESENTED TO THE COMMUNITY



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JOB #: #1819

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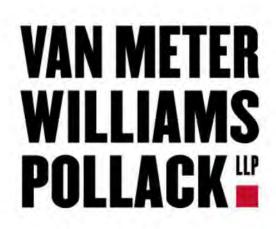
Client: MIDPEN HOUSING







VIEW FROM FUTURE PARK ACROSS THE STREET



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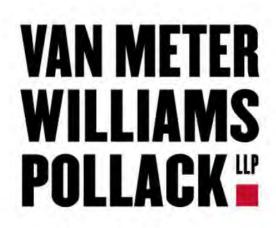
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PARTIAL EAST ELEVATION AT LOBBY ENTRY



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VIEW FROM SIDEWALK ALONG GROUND LEVEL PORCHES



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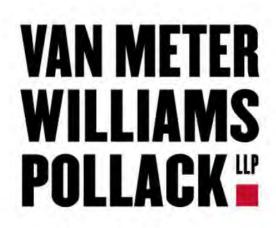
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RENDERING



PARTIAL SOUTH ELEVATION



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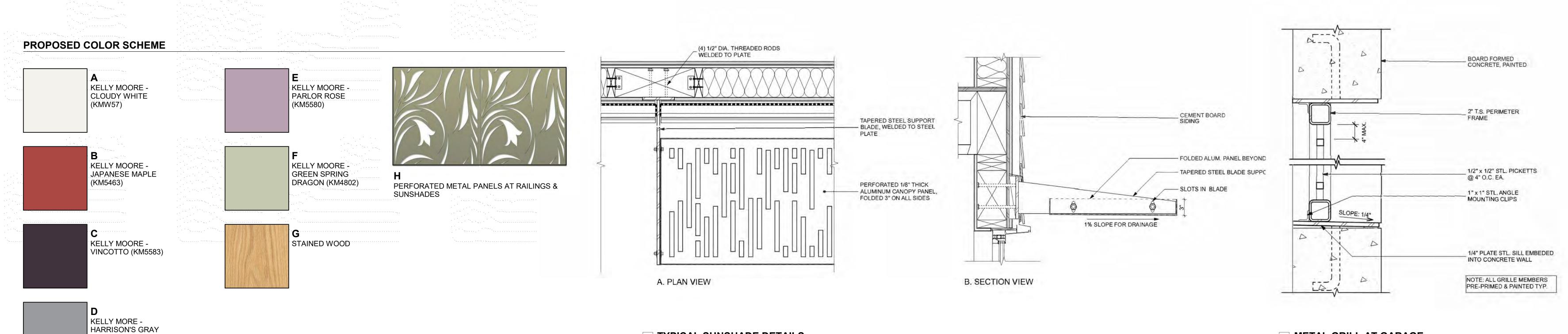
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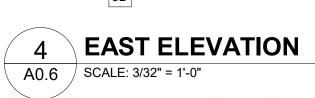


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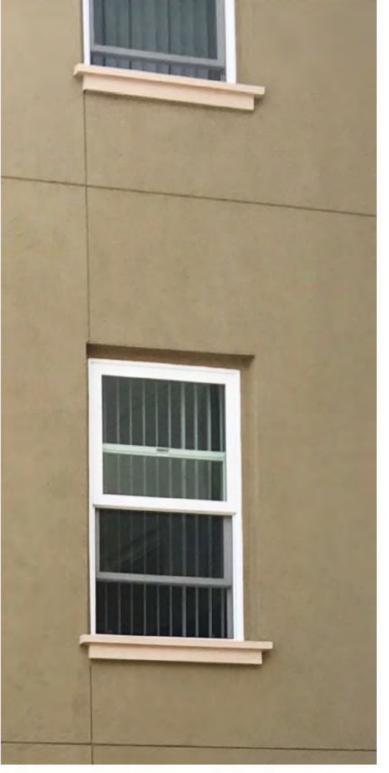




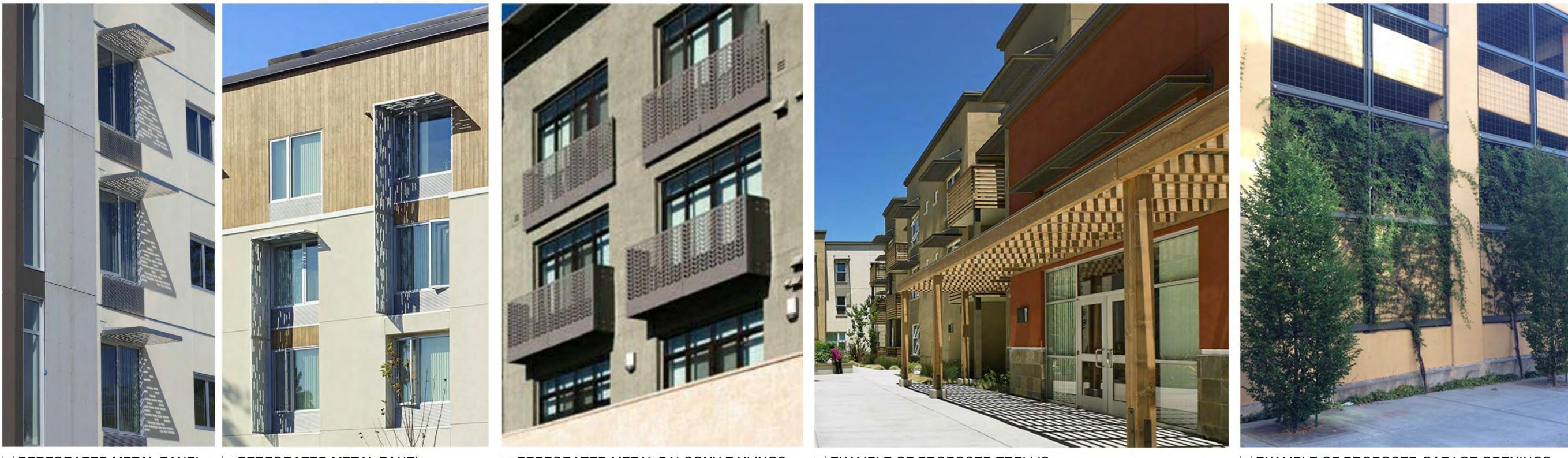


(KM5816)

3 CEMENT BOARD PANEL AT WINDOWS



4 PRECAST CONCRETE SILLS AGAINST STUCCO



5 PERFORATED METAL PANEL SUNSHADES

TYPICAL SUNSHADE DETAILS SCALE: 1 1/2" = 1'-0"

PERFORATED METAL PANEL CORNER SUNSHADES

7 PERFORATED METAL BALCONY RAILINGS

² METAL GRILL AT GARAGE SCALE: 3" = 1'-0"

KEY NOTES

- COMPONENTS 1 STUCCO
- PAINTED CONCRETE
- 3
- RECESSED CEMENT BOARD PANELS OR ACCENT COLOR STUCCO
- 4 PRECAST CONCRETE SILL
- 5 PERFORATED METAL SUNSHADE
- PERFORATED METAL SUNSHADE (CORNER)
- PERFORATED METAL RAILING
- 8 WOOD TRELLIS
- 9 GARAGE OPENING

COLORS

- A MAIN COLOR #1 CLOUDY WHITE
- MAIN COLOR #2 JAPANESE MAPLE
- MAIN COLOR #3 VINCOTTO
- MAIN COLOR #4 HARRISON'S GRAY
- ACCENT COLOR #1 PARLOR ROSE
- ACCENT COLOR #2 GREEN DRAGON SPRING
- STAINED WOOD
- H PERFORATED METAL PATTERN

B EXAMPLE OF PROPOSED TRELLIS

EXAMPLE OF PROPOSED GARAGE OPENINGS

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BUILDING COLORS, MATERIALS & SYSTEMS

JOB #: #1819 SCALE: As indicated

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APPLICABLE CODES

ALL WORK SHALL BE IN CONFORMANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY & CITY ORDINANCES AND REQUIREMENTS ESTABLISHED BY STATE AND LOCAL FIRE MARSHAL, AND THE RULES AND REGULATIONS OF THE UTILITY COMPANIES SERVING THIS PROJECT. IF CONFLICTS OCCUR, THE MORE STRINGENT REGULATION GOVERNS.

PART 2 - CALIFORNIA BUILDING CODE [CBC]	2019 EDITION
PART 3 - CALIFORNIA ELECTRICAL CODE	2019 EDITION
PART 4 - CALIFORNIA MECHANICAL CODE	2019 EDITION
PART 5 - CALIFORNIA PLUMBING CODE	2019 EDITION
PART 6 - CALIFORNIA ENERGY CODE	2019 EDITION
PART 7 - CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE	2019 EDITION
PART 9 - CALIFORNIA FIRE CODE	2019 EDITION
PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE [CALGreen]	2019 EDITION

CONSTRUCTION CLASSIFICATION	A second state of the seco
OCCUPANCY TYPE 75 RESIDENTIAL UNITS, 4 & 5 STORIES AT GRADE & OVER PODIUM	CONSTRUCTION CLASSIFICATION TYPE 5A OVER TYPE 1A [CBC TABLE 503]
R-2, S-2, U, B, & A-3	SEPARATED OCCUPANCIES PER PROVISION

FIRE SPRINKLER REQUIREMENTS

APPROVED AUTOMATIC SPRINKLER SYSTEM REQUIRED THROUGHOUT PER CBC 903.3.1.1 [NFPA 13] NOTE: SPRINKLER SYSTEM NOTES ARE FOR REFERENCE ONLY. SPRINKLER SYSTEM SHALL BE DESIGN / BUILD AND DRAW SEPARATE PERMIT.

ALLOWABLE HEIGHT & STORIES		ALLOWABLE STORIES & HEIGHT, TABLES 504.3 & 504.4		PROVIDED STORIES AND HEIGHT	
BUILDING / ZONE DESIGNATION	OCCUPANCY GROUP	BASIC ALLOWABLE STORIES, FIRE SPRINKLED W/OUT AREA INCREASE [CBC Table 504.4]	MAX. HEIGHT WITH AREA INCREASE [CBC Table 504.3]	PROVIDED STORIES	ACTUAL HEIGHT (TOP OF ROOF STRUCTURE)
BUILDING: TYPE 1A PORTION	S-2, A-3, B, U	UNLIMITED	UNLIMITED	1	
BUILDING: TYPE 5A PORTION	R-2, B, U	4 STORIES	60'	4	53'-9"

TOTAL ALLOWABLE AREAS PER TABLE 506.2

FLOOR	MAIN OCCUPANCY	CONSTRUCTION TYPE	At=BASE MAXIMUM SQFT W/OUT HEIGHT INCREASE TABLE 506.2	NS=BASE MAXIMUM SQFT TABLE 506.2 (FOR EQ. 5-2 BELOW)
FLOOR 1	S-2	1A	UNLIMITED	
FLOORS 1-5 RESIDENTIAL UNITS	R-2	5A	36,000	12,000

TYPE 5A BUILDING, LEVELS 1 THROUGH 5 = 85,200 > 90,000 Below maximum allowed bldg. area

SEPARATED OCCUPANCIES CALCULATIONS PER SECTION 508.4

PER CBC 508.4.2, IN EACH STORY, THE SUM OF RATIOS OF THE ACTUAL BUILDING AREA OF SEPARATED OCCUPANCIES, DIVIDED BY THE ALLOWABLE BUILDING AREA IS LESS THAN 1 ------

BUILDING: TYPE 5A PORTION				
GROUND FLOOR	R2 ACTUAL / R2 ALLOWABLE	8,280 / 36,000	0.23 < 1	
SECOND FLOOR	R2 ACTUAL / R2 ALLOWABLE	23,557 / 36,000	0.65 < 1	
THIRD FLOOR	R2 ACTUAL / R2 ALLOWABLE	23,298 / 36,000	0.65 < 1	
FOURTH FLOOR	R2 ACTUAL / R2 ALLOWABLE	18,773 / 36,000	0.52 < 1	
FIFTH FLOOR	R2 ACTUAL / R2 ALLOWABLE	7,595 / 36,000	0.21 < 1	

	Residential Units	Co
1st Floor *	3,868	
2nd Floor	17,829	
3rd Floor	17,597	
4th Floor	13,411	
5th Floor	4,371	
	57,076	

Number of patios: 5.

Sun deck: 606 Net Sq. Ft.

	1BR	2BR	3BR	Unit Count
1st Floor	1	3	1	5
2nd Floor	7	9	7	23
3rd Floor	7	10	6	23
4th Floor	6	8	4	18
5th Floor	3	1	2	6
TOTAL	24	31	20	75
Unit Type %	32%	41%	27%	100%
PARKING		Cov	vered/Garage	33
		Su	rface Parking	75

	ZONING & PL
CURRENT	ZONING
PROPOSEI	D ZONING
LOT AREA	
RESIDENT	AL UNITS
	MENT STANDARDS sa City Code Ch. 20-22, Table
MAXIMUM	DENSITY
MAXIMUM	FLOOR AREA RATIO
	.OT SIZE (SQ. FT.)
MINIMUM L	OT WIDTH (FT)
MAXIMUM	LOT COVERAGE (% OF LOT)
MAXIMUM	BUILDING HEIGHT (FT)
MINIMUM Y	ARD SETBACKS (FT)
	FRONT
	SIDE
	SIDE
	REAR
VEHICUL	AR PARKING
COMPACT Maximum 2	PARKING SPACES 9'-0" x 19'-0" PARKING SPACES 9'-0" x 16'-0" ' of the parking depth allowed to ove 1BR, 2 spaces per 2BR and 3BR
	LE SPACES 9'-0" x 18'-0"
	019, Table 11B-208.2, include at lea
- 10% of tot - EV Spaces - At least 1 s	V READY SPACES 9'-0" x 18'-0" al parking spaces per Cal Green 4. s size 9'-0" x 18'-0" min. per Cal Gre space adjacent to an 8' wide aisle p essible & 1 standard accessible per
BICYCLE	PARKING
	PARKING ER 8 UNITS (per Section 20-36.04)

1. Building Height Increase 2. Density Increase

	FIRE SPRINKLER REQUIREMENTS
	FIRE SPRINKLER REQUIREMENTS FIRE SPRINKLERS PER NFPA-13 REQUIRED
IS IN CBC 508.4 & 509.2	[수영사람이 명령 것 것 같을 것 하는 것도 것 같은 것 같은 것 같은 것 같은 것 같은 것 같이 있다. [또 전 [또 한 [또 한 [또 한 [또 한 [또 한 [
NS IN CBC 508.4 & 509.2	[수영사람이 명령 것 것 같을 것 하는 것도 것 같은 것 같은 것 같은 것 같은 것 같은 것 같이 있다. [또 전 [또 한 [또 한 [또 한 [또 한 [또 한 [





Common Areas	Circulation	Utilities	Garage	Gross Area ** in Sq. Ft.
3,578	3,318	2,164	11,058	25,950
	3,144	210	-	23,557
-	3,153	210	- C2-	23,298
-	3,153	210		18,773
4	1,944	256		7,595
3,578	14,712	3,050	11,058	99,173

portion: 17,670 Gross Sq. Ft.

TOTAL:

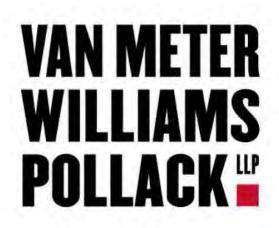
sun deck are not included in Gross Area

Typical balcony is 48 Net Sq. Ft. Number of balconies: 72 (Add Deduct: 70 balconies)

PLANNING	INFORMATION	&	ZONING	SUMMARY

108

PLANNING POLICY DOCUMENTS:	SANTA ROSA CITY CODE SANTA ROSA 2035 GENERAL PLAN	
	GC	
	66,647	Per 02/2019 Approved Tentative Map SQ. FT. = 1.53 ACRES
		UNITS TOTAL
		ONE-BEDROOM UNITS
	31	TWO-BEDROOM UNITS
	20	THREE-BEDROOM UNITS
	ALLOWED	PROPOSED
e 2-3, Table 2-5)	Service of the servic	0.2717707577
	30 du/ac	49 du/ac
	None Required	
	1 acre	1.53
	Determined by Subdivision Process	200/
	100% Allowed	39% 57'-3 to top of parapet
	55' to top of parapet	57 -5 to top of parapet
	None	6'-0" minimum
	None	3'-0" minimum
	None	20'-0" minimum
	None	20'-0" minimum
	REQUIRED	PROPOSED
" (Section 20-36.070 Table 3-6)		Per 02/2019 Approved Tentative Map:
overhang over landscape or walkway	126	Surface Parking: 12 Compact + 63 Standard = 7 Garage: 18 Compact + 15 Standard = 33 TOTAL PARKING SPACES: 108
	5	7
east one van-accessible; and Table	(including 1 van accessible)	(including 3 van accessible)
4.106.4.2.1	11	11
Green 4.106.4.2.2.2	(including 1 accessible &	(including 1 accessible &
per Cal Green 4.106.4.2.2.3 er Table 11B-228.3.2.1 & 11B-812	1 van accessible)	1 van accessible)
40 Table 3-4)	10	68
		4
2 X Z X	None Required	4
ALLOWED)		



ARCHITECTURE | URBAN DESIGN 🔳 SAN FRANCISCO | DENVER | MINNEAPOLIS 333 Bryant Street, Suite 300, San Francisco, CA 94107 T 415.974,5352

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TEL: 925.932.5505 x 203 CONTACT: Max Saiidnia, P.E. E-MAIL: Max@fard.com LANDSCAPE ARCHITECT QUADRIGA, INC. 1212 4th Street, Studio K Santa Rosa, CA 95404 TEL: 707.508.4483 CONTACT: Christine Talbot, Principal E-MAIL: christine@quadriga-inc.com

ID	DATE	NAME	

Project:



Client: MIDPEN HOUSING



PROJECT DATA

JOB #: #1819 -----SCALE: A0.7



#1 - VIEW ACROSS SEBASTOPOL RD. TOWARDS DOLLAR TREE STORE



#4 - LOOKING EAST TOWARDS ADJACENT AREA



#7 - JOE RODOTA TRAIL LOOKING WEST TOWARDS ADJACENT (E) BUILDING



#2 - VIEW LOOKING WEST ON SEBASTOPOL RD.



#5 - JOE RODOTA TRAIL LOOKING SOUTH



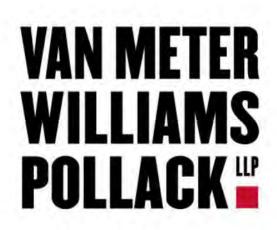
#3 - PROJECT SITE LOOKING WEST



#6 - JOE RODOTA TRAIL LOOKING NORTH



PROJECT VICINITY MAP



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п	DATE	
ID	DATE	NAME

Project:



Client: MIDPEN HOUSING



EXISTING CONDITIONS

JOB #: #1819 SCALE: As indicated



GENERAL NOTES

THE DESIGN PROFESSIONAL WHO PREPARED THESE DRAWINGS IS NOT RESPONSIBLE FOR THE MISUSE OF, OR UNAUTHORIZED CHANGES MADE TO THESE DRAWINGS. WRITTEN PERMISSION SHALL BE OBTAINED FROM THE DESIGN PROFESSIONAL WHO PREPARED THESE DRAWINGS PRIOR TO MAKING CHANGES.

FURNISH AND INSTALL MATERIALS IN ACCORDANCE WITH THE 2019 CALIFORNIA BUILDING CODE.

OBTAIN RELEVANT PERMITS AND APPROVALS REQUIRED BY GOVERNING AGENCIES PRIOR TO COMMENCING WORK.

VERIFY THAT THE OWNER HAS FILED A NOTICE OF INTENT WITH THE NORTH COAST REGIONAL WATER QUALITY CONTROL BOARD PRIOR TO CONDUCTING CONSTRUCTION ACTIVITY.

ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION FOR THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT APPLIES CONTINUOUSLY, AND IS NOT LIMITED TO NORMAL WORKING HOURS.

HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE DESIGN PROFESSIONAL, THEIR CONSULTANTS AND THE CITY OF SANTA ROSA, FROM LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE WILLFUL MISCONDUCT OR SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

SUBMIT A TRAFFIC CONTROL PLAN TO THE DEPARTMENT OF PUBLIC WORKS AND OBTAIN APPROVAL PRIOR TO COMMENCING WORK IN THE PUBLIC RIGHT OF WAY.

PROVIDE A PROPERLY SIGNED ALTERNATE ACCESSIBLE ROUTE OF TRAVEL IF CONSTRUCTION ACTIVITIES IMPACT PEDESTRIAN ACCESS. THIS REQUIREMENT APPLIES CONTINUOUSLY, AND IS NOT LIMITED TO NORMAL WORKING HOURS.

CONTACT UNDERGROUND SERVICE ALERT (800 642-2444) AT LEAST 48-HOURS BEFORE EXCAVATING.

PROPERLY MUFFLE EQUIPMENT AND LIMIT CONSTRUCTION HOURS TO 7:00 AM TO 7:00 PM MONDAY THRU FRIDAY, AND 8:00AM TO 7:00PM ON SATURDAY, EXCLUDING HOLIDAYS. THIS RESTRICTION INCLUDES THE STARTUP OF MOTOR VEHICLES AND OTHER HEAVY EQUIPMENT. NO NOISE GENERATING CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAYS OR HOLIDAYS.

REPAIR DAMAGE TO FACILITIES OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES TO RETURN THEM TO THEIR CONDITION PRIOR TO CONSTRUCTION. IF THE CONTRACTOR DOES NOT ACT PRUDENTLY, THE CITY OF SANTA ROSA MAY, AT ITS DISCRETION PERFORM THE CORRECTION AND CHARGE THE CONTRACTOR FOR COSTS INCURRED.

PROVIDE RECORD DRAWINGS TO THE OWNER'S REPRESENTATIVE WHICH INCLUDE IMPROVEMENTS WHICH DEVIATE FROM AND IMPROVEMENTS NOT SHOWN ON THE ORIGINAL DESIGN DRAWINGS.

GRADING NOTES

PROVIDE PROTECTIVE FENCE AROUND THE DRIP LINES OF TREES WHICH WILL REMAIN FOLLOWING CONSTRUCTION PRIOR TO PERFORMING GRADING OPERATIONS. RETAIN THE SERVICES OF A CITY OF SANTA ROSA APPROVED ARBORIST PRIOR TO DISTURBING EARTH WITHIN THE ROOT ZONES OF TREES WHICH WILL REMAIN FOLLOWING CONSTRUCTION. PERFORM CONSTRUCTION IN THE ROOT ZONES OF TREES UNDER THE OBSERVATION OF THE PROJECT ARBORIST.

PERFORM GRADING IN ACCORDANCE WITH CHAPTER 18 AND APPENDIX J, OF THE CALIFORNIA BUILDING CODE (THE VERSION IN EFFECT AS ADOPTED BY CITY ORDINANCE AT THE TIME OF PERMIT ISSUANCE), UNDER THE OBSERVATION OF THE GEOTECHNICAL ENGINEER AND IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT, PREPARED BY THE PRA GROUP, INC., DATED AUGUST 9, 2018.

PERFORM GRADING TO WITHIN 0.10-FEET OF THE LINES AND ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS.

PROVIDE A MOISTURE BARRIER IN AREAS WHERE CURB AND GUTTER ARE ADJACENT TO LANDSCAPING AND WHERE THE SOIL EXPANSION INDEX IS GREATER THAN 51.

REMOVE MATERIAL WHICH WILL NOT BE USED ON SITE AS IT IS EXCAVATED AND DISPOSE IN ACCORDANCE WITH THE GOVERNING AGENCY'S REQUIREMENTS.

MAINTAIN A CLEAN CONSTRUCTION SITE TO PREVENT THE INTRODUCTION OF FOREIGN MATERIALS INTO THE STORM WATER CONVEYANCE SYSTEM. ACTIVITY DURING CONSTRUCTION WHICH RESULTS IN THE DISCHARGE OF POLLUTANTS TO THE STORM WATER CONVEYANCE SYSTEM IS IN VIOLATION OF THE CITY OF SANTA ROSA STORM WATER ORDINANCE AND STATE OF CALIFORNIA'S NORTH COAST REGIONAL WATER QUALITY CONTROL BOARD'S REGULATIONS.

PROVIDE DUST CONTROL THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT TO MINIMIZE AIRBORNE POLLUTANTS.

STOP WORK IF CONTAMINATED MATERIAL IS ENCOUNTERED. PREPARE A WORK PLAN AND ACQUIRE APPROVAL IN WRITING FROM THE CITY OF SANTA ROSA FIRE DEPARTMENT AND THE STATE REGIONAL WATER QUALITY CONTROL BOARD PRIOR TO RESUMING WORK.

STOP WORK AND NOTIFY THE OWNERS REPRESENTATIVE AND THE CITY OF SANTA ROSA LIAISON IF REMAINS OF PREHISTORIC OR HISTORIC HUMAN ACTIVITIES ARE ENCOUNTERED. CONTACT THE SONOMA COUNTY CORONER IF HUMAN REMAINS ARE ENCOUNTERED. THE OWNER WILL RETAIN THE SERVICES OF A QUALIFIED ARCHAEOLOGIST APPROVED BY THE CITY OF SANTA ROSA TO EVALUATE THE SITUATION AND MAKE RECOMMENDATIONS FOR TREATMENT OF THE RESOURCE. THE CONTRACTOR SHALL PROCEED WITH WORK AT THE OWNERS DIRECTION IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE ARCHAEOLOGIST.

RETAIN THE SERVICES OF AN AUTHORIZED DESIGN PROFESSIONAL TO PREPARE A SEDIMENT CONTROL PLAN IF WORK WILL BE CONDUCTED BETWEEN OCTOBER 1 AND MAY 1 OF THE SUBSEQUENT YEAR.

THE CALIFORNIA BUILDING CODE REQUIRES THAT MATERIALS USED FOR THE CONSTRUCTION OF PERMANENT STRUCTURES LOCATED NEARER THAN 6-INCHES TO EARTH BE TREATED, OR OF NATURAL RESISTANCE TO DECAY. ELEVATIONS HAVE BEEN ESTABLISHED WITH THIS SET OF CIVIL DRAWINGS, WHICH MAY REQUIRE THE IMPLEMENTATION OF A RAISED CURB ALONG THE PERIMETER OF THE BUILDING WHERE ADJACENT TO LANDSCAPE AREAS. THE CONTRACTOR SHALL COORDINATE THE LOCATION(S) OF RAISED CURBS PRIOR TO POURING THE CONCRETE SLAB.

DRAINAGE SHALL NOT BE IMPEDED FROM EXISTING UPSTREAM PROPERTIES. STOCKPILES SHALL BE PLACED AWAY FROM CREEK SETBACKS, AWAY FROM VEGETATION DESIGNATED TO REMAIN, A MINIMUM OF 10-FEET FROM ADJACENT EXISTING RESIDENTIAL PARCELS. AND A MINIMUM OF 50-FEET FROM ADJACENT EXISTING RESIDENTIAL PARCELS WHERE THE STOCK PILE BENEATH THE CURB. DEPTH EXCEEDS 2.5-FEET.

A PROTECTION ZONE SHALL BE ESTABLISHED TO PROTECT NATURAL VEGETATION AND TREES (WHICH WILL REMAIN FOLLOWING CONSTRUCTION) FROM CONSTRUCTION ACTIVITIES. THE FOLLOWING CONDITIONS AND RESTRICTIONS SHALL APPLY:

- I. THE ZONE SHALL ENCOMPASS THE "PROTECTED PERIMETER" WHICH SHALL BE EITHER THE ROOT ZONE OR OTHER LIMIT AS ESTABLISHED IN THIS APPROVAL
- II. THE ZONE SHALL BE DELINEATED WITH A BRIGHTLY COLORED CONSTRUCTION FENCE. SUCH FENCES SHALL REMAIN CONTINUOUSLY IN PLACE FOR THE DURATION OF ALL WORK UNDERTAKEN ON THE SITE. III. NO STORAGE OR CONSTRUCTION ACTIVITIES (INCLUDING
- TRENCHING, GRADING OR FILLING) SHALL BE PERMITTED WITHIN THE PROTECTED ZONE. IV. NO BURNING OR USE OF EQUIPMENT WITH AN OPEN FLAME SHALL
- OCCUR NEAR OR WITHIN THE PROTECTED PERIMETER.

- ALL BRUSH, EARTH AND OTHER DEBRIS SHALL BE REMOVED IN A MANNER WHICH PREVENTS INJURY TO THE PROTECTED TREES AND/OR SHRUBS
- VI. NO OIL, GAS, CHEMICALS OR OTHER SUBSTANCES THAT MAY BE HARMFUL TO TREES SHALL BE STORED OR DUMPED WITHIN THE PROTECTED PERIMETER OR ANY OTHER LOCATION FROM WHICH SUBSTANCES MIGHT ENTER THE PERIMETER OF A PROTECTED TRFF

THE PROTECTION ZONE DELINEATED WITH THE BRIGHTLY COLORED CONSTRUCTION FENCE SHALL BE POSTED WITH SIGNS WHICH STATE "TREE/VEGETATION PROTECTION ZONE--NO CONSTRUCTION OR STORAGI PERMITTED."

ANY SPECIAL WORK, INCLUDING MITIGATION, WITHIN THE "PROTECTION ZONE" MUST BE DONE UNDER THE SUPERVISION OF A CITY APPROVED CERTIFIED ARBORIST.

EARTHWORK QUANTITIES ARE APPROXIMATE AND HAVE BEEN SUMMARIZED ON THESE DRAWINGS TO PROVIDE THE REVIEWING AGENCY WITH AN OPINION OF HOW MUCH MATERIAL MAY BE MOVED TO FACILITATE THE PROPOSED IMPROVEMENTS. WHILE THE DESIGN PROFESSIONAL ANTICIPATES THAT AS MUCH AS CY MAY BE IMPORTED/EXPORTED WITH THIS PROJECT ACTUAL VOLUMES ARE VARIABLE BASED ON THE SOILS ENGINEER'S ASSESSMENT OF THE SOIL ENCOUNTERED, THE CONTRACTOR'S METHOD OF STRIPPING, COMPACTION AND TRENCHING.

OPINION OF PROBABLE EARTHWORK QUANTITIES

ATERIAL MOVED ON SITE	C\
MPORT	C\
XPORT	CN

UTILITY NOTES

SEARCH FOR EXISTING WELLS AND SEPTIC SYSTEMS WITH THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO CONDUCTING CONSTRUCTION ACTIVITY.

ABANDON EXISTING SEPTIC SYSTEM(S) UNDER THE OBSERVATION OF THE PROJECT GEOTECHNICAL ENGINEER AS REQUIRED BY THE CITY OF SANTA ROSA AND THE SONOMA COUNTY PERMIT AND RESOURCE MANAGEMEN DEPARTMENT

ABANDON EXISTING WELLS IN ACCORDANCE WITH THE CITY OF SANTA ROSA WELL ORDINANCE.

EXPOSE EXISTING UTILITIES PRIOR TO TRENCHING TO VERIFY THE ALIGNMENTS AND ELEVATIONS OF THE UTILITIES, AND TO VERIFY DESIGN ASSUMPTIONS. EXISTING UTILITIES MAY REQUIRE RELOCATION AND/OR PROPOSED IMPROVEMENTS MAY REQUIRE GRADE OR ALIGNMENT REVISION DUE TO FIELD CONDITIONS. IF THE EXPOSED UTILITY IS DETERMINED TO BE IN A LOCATION WHICH IS NOT REFLECTED BY THE CONSTRUCTION DOCUMENTS, NOTIFY THE ENGINEER IN WRITING SO THAT APPROPRIATE ADJUSTMENTS CAN BE MADE.

REPORT UTILITY CONFLICTS TO THE OWNER'S REPRESENTATIVE IN WRITING AS THEY ARE ENCOUNTERED SO THAT THE OWNER AND OWNER'S REPRESENTATIVE CAN MAKE A DECISION AS TO HOW THE CONTRACTOR SHOULD PROCEED WITH THE WORK.

PROVIDE A TEMPORARY BLOW-OFF AND/OR METERED CONNECTION FOR WATER MAINS UNDER CONSTRUCTION IN ACCORDANCE WITH CITY OF SANTA ROSA STANDARD(S) 859 AND 860 PRIOR TO CONSTRUCTION OR THE STORAGE OF COMBUSTIBLE MATERIALS.

UNLESS OTHERWISE NOTED, PROVIDE CLASS III REINFORCED CONCRETE PIPE (RCP), OR HIGH DENSITY POLYETHYLENE PIPE (HDPE) WHERE ANNOTATED AS STORM DRAIN (SD) ON THE CONSTRUCTION DRAWINGS.

PROVIDE TRENCHING IN ACCORDANCE WITH CITY OF SANTA ROSA STANDARD 215 AND SECTION 19 OF THE CITY OF SANTA ROSA CONSTRUCTION SPECIFICATIONS.

COORDINATE WITH UTILITY COMPANIES, FURNISH, INSTALL, TEST AND OBTAIN INSPECTIONS FOR UNDERGROUND IMPROVEMENTS PRIOR TO SURFACING.

MANDREL PUBLIC PORTIONS OF THE SANITATION SYSTEM UNDER THE OBSERVATION OF THE CITY OF SANTA ROSA REPRESENTATIVE. RETAIN THE SERVICES OF AN INDEPENDENT TELEVISION INSPECTION SERVICE TO PERFORM A CLOSED CIRCUIT TELEVISION INSPECTION OF THE SANITATION SYSTEM IN ACCORDANCE WITH SECTION 71-1.08 OF THE CITY OF SANTA ROSA DESIGN AND CONSTRUCTION STANDARDS.

OTHER FORCES WILL BE ENGAGED IN INSTALLING, IN MAKING ADJUSTMENTS TO AND/OR IN RELOCATING VARIOUS FACILITIES THROUGHOUT THE PROJECT. WORK SHALL BE COORDINATED AROUND OTHER FORCES IN A MANNER THAT DOES NOT PROLONG THE CONTRACT TIME.

EXISTING UNDERGROUND FACILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND HAVE BEEN LOCATED BASED ON TOPOGRAPHIC FEATURES AND AVAILABLE INFORMATION. THE PROFESSIONAL PREPARING THIS MAP THE OWNER, AND THE CITY OF SANTA ROSA ASSUME NO RESPONSIBILITY FOR THE ACCURACY OF THESE FACILITIES OR FOR THE INADVERTENT OMISSION OF RELATED INFORMATION.

THE CONTRACTOR IS CAUTIONED NOT TO ORDER MATERIALS OR INSTALL IMPROVEMENTS UNTIL CONFLICTS ARE RESOLVED. IMPROVEMENTS INSTALLED OR MATERIALS ORDERED PRIOR TO CONFLICT RESOLUTION SHALL BE DONE SOLELY AT THE CONTRACTOR'S RISK AND AT NO EXPENSE TO THE OWNER, THE DESIGN PROFESSIONAL, OR THE CITY OF SANTA ROSA.

UTILITY CONFLICTS MAY OCCUR IN THOSE INSTANCES WHERE TWO GRAVITY UTILITIES CROSS AND LACK THE REQUIRED SEPARATION, OR IN THOSE INSTANCES WHERE AN EXISTING UTILITY HAS NOT BEEN IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.

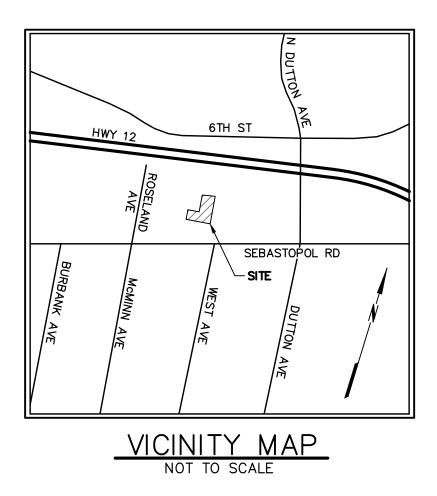
CROSSING UTILITIES WHICH HAVE BEEN IDENTIFIED IN THE CONSTRUCTION DOCUMENTS MAY NOT BE CONSTRUED AS UTILITY CONFLICTS. GRAVITY UTILITIES SHALL BE INSTALLED TO THE LINES AND ELEVATIONS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS AND OTHER UTILITIES SHALL BE INSTALLED ABOVE OR BELOW GRAVITY UTILITIES WHILE COMPLYING WITH THE MINIMUM COVER REQUIREMENTS FOR EACH UTILITY INSTALLED.

UTILITY LENGTHS SHOWN REFLECT ROUNDED LENGTHS MEASURED HORIZONTALLY BETWEEN THE CENTERS OF STRUCTURES. SLOPED UTILITY LENGTHS SHALL BE VERIFIED IN THE FIELD PRIOR TO ORDERING MATERIAL.

UNLESS OTHERWISE NOTED, PROVIDE DUCTILE IRON PIPE OR SDR35/SDR26 POLYVINYL CHLORIDE PIPE (PVC) WHERE ANNOTATED AS SEWER (SS) ON THE CONSTRUCTION DRAWINGS.

UPON COMPLETION OF THE CURB AND GUTTER, LEGIBLY INSCRIBE 4-INCH TALL LETTERS, "S" TO DESIGNATE SEWER AND "W" TO DESIGNATE WATER, INTO THE CURB FACE AT EACH LOCATION WHERE THE UTILITY CROSSES

SITE IMPROVEMENT PLANS FOR **ROSELAND VILLAGE SUBDIVISION** IN THE CITY OF SANTA ROSA PRJ17-075, MAJ17-006 & CUP18-018 APN 125-111-037 AND 125-101-031 **APRIL 2020**



INDEX OF DRAWINGS

- 1. PROJECT INFORMATION
- GRADING AND UTILITY PLAN 2.
- STRIPING PLAN
- EROSION CONTROL PLAN

MAPPING NOTES

PRESERVE AND PERPETUATE EXISTING SURVEY MONUMENTATION WHICH WILL BE DISTURBED OR REMOVED TO FACILITATE THE PROPOSED IMPROVEMENTS. IF WORK WILL BE CONDUCTED IN AN AREA WHICH RESULTS IN THE DISTURBANCE OF MONUMENTATION, RETAIN THE SERVICES OF A LICENSED LAND SURVEYOR TO LOCATE SAID MONUMENTATION PRIOR TO DISTURBANCE. ADDITIONALLY, RETAIN THE SERVICES OF A LICENSED LAND SURVEYOR TO RE-ESTABLISH MONUMENTATION WHICH HAS BEEN DISTURBED AS A RESULT OF PROJECT CONSTRUCTION AND TO FILE THE APPROPRIATE DOCUMENTATION, PURSUANT TO BUSINESS AND PROFESSIONS CODE SECTION 8771, WITH THE SONOMA COUNTY RECORDER ONCE CONSTRUCTION IS COMPLETE.

TOPOGRAPHIC INFORMATION SHOWN HEREON WAS MAPPED BY BKF ENGINEERS FOLLOWING A FIELD SURVEY ON MARCH 1, 2016.

TREE TRUNK DIAMETERS ARE APPROXIMATE AND WERE MEASURED AT CHEST HEIGHT (48"±). CONSULT A CERTIFIED TREE ARBORIST WHEN IT IS NECESSARY TO ACCURATELY DETERMINE PERTINENT TREE INFORMATION.

BENCHMARK: CITY OF SANTA ROSA BENCHMARK D-315. 3 ½" BRASS DISK IN WELL MONUMENT, STAMPED "SONOMA COUNTY DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS" IN SEBASTOPOL ROAD, APPROXIMATELY 100 FEET EAST OF WEST AVENUE - ELEV. 139.95 (DATUM NGVD 1929).

BASIS OF BEARINGS: BETWEEN FOUND MONUMENTS ALONG THE CENTERLINE OF SEBASTOPOL ROAD AS SHOWN ON THAT RECORD OF SURVEY FILED IN BOOK 588 OF MAPS, AT PAGES 18-25, SONOMA COUNTY RECORDS.

ABBREVIATIONS

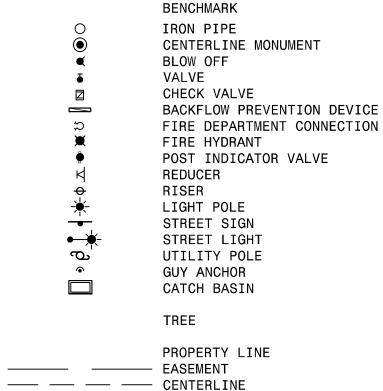
±	MORE OR LESS
∆	DELTA
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
APN	ASSESSOR'S PARCEL NUMBER
BC	BEGIN CURVE
BCT BFP BLDG	
BLRD	BOLLARD
BM	BENCHMARK
BO	BLOWOFF
BSL	BUILDING SETBACK LINE
CB	CATCH BASIN
CC	POINT OF COMPOUND CURVE
CL	CENTERLINE
CL2	CLASS II
CO	CLEAN OUT
CONC	CONCRETE
CY	CUBIC YARD
DDC	DOUBLE DETECTOR CHECK
DI	DROP INLET
DIA	DIAMETER
DN	DOCUMENT NUMBER
DW	DRIVEWAY
DYL	DOUBLE YELLOW LINE
E	ELECTRIC
ECT	END CURB TRANSITION
EG	EXISTING GROUND
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ER	EDGE OF ROAD
ESMT	EASEMENT
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	SURFACE FLOWLINE
FT	FOOT
G	GAS
GB	GRADE BREAK
GI	GRATE INLET
GM	GAS METER
HB	HOSE BIB
HDRL HORZ	HORIZONTAL
HT	HEIGHT
INV	BOTTOM INSIDE OF PIPE
IP	IRON PIPE
IR	IRRIGATION
L	LENGTH
LP	LIGHT POLE
MAX	MAXIMUM

MD	
MB	MAILBOX
MH	MANHOLE
MIN	MINIMUM
MON	MONUMENT
NO	NUMBER
NTS	NOT TO SCALE
ОН	OVERHEAD UTILITY LINE
OR	OFFICIAL RECORDS
PAD	PAD GRADE
PCC	PORTLAND CEMENT CONCRETE
PG&E	PACIFIC GAS & ELECTRIC
PIV	
PL	
PUE	PUBLIC UTILITY EASEMENT
PVI	POINT OF VERTICAL INTERSECTION
PVT	
R	RADIUS
RC	
RSPR	RIPRAP ROCK SLOPE PROTECTION
RTWL	RETAINING WALL
R/W	
•	
RWL	
S=	SLOPE
SD	STORM DRAIN
	STORM DRAIN CLEAN OUT
SDMH	
SF	
SL	STREETLIGHT
SS	SANITARY SEWER
SSCO	
	SANITARY SEWER MANHOLE
SSMH	
STA	STATION
STD	STANDARD
ТВ	TOP OF BOX
TC	TOP FACE OF CURB
TEL	TELECOMMUNICATION LINE
TF	TRANSFORMER
ΤG	TOP OF GRATE
TS	TRAFFIC SIGNAL
TV	TELEVISION
ΤW	TOP OF WALL
ТҮР	TYPICAL
UB	UTILITY BOX
UP	UTILITY POLE
UT	UNDERGROUND UTILITY LINE
VC	VERTICAL CURVE
VERT	VERTICAL
VLT	VAULT
W	WATER
WL	WHITE LINE
WM	WATER METER
WS	WATER SERVICE
	VARD DRATH

PROPOSED EXISTING ----⊶ģ-• 💥 b G { • } ____ _ _ ___ _____ _____ _____ _____ GRADE BREA _____ FLOW LINE → → → → → → → FENCE ____X___X____ **___X__**

SYMBOLS & LEGEND

<u>X</u> X	
SIZE"ss	
SIZE" SD	
SIZE" _W W	
W	
OH UT	
E	
G TEL	



STREET LIGHT UTILITY POLE GUY ANCHOR CATCH BASIN PROPERTY LINE

YD YARD DRAIN

SANITARY SEWER

STORM DRAIN SIZE" W-LENGTH WATER

· , · · ·

 \bigcirc

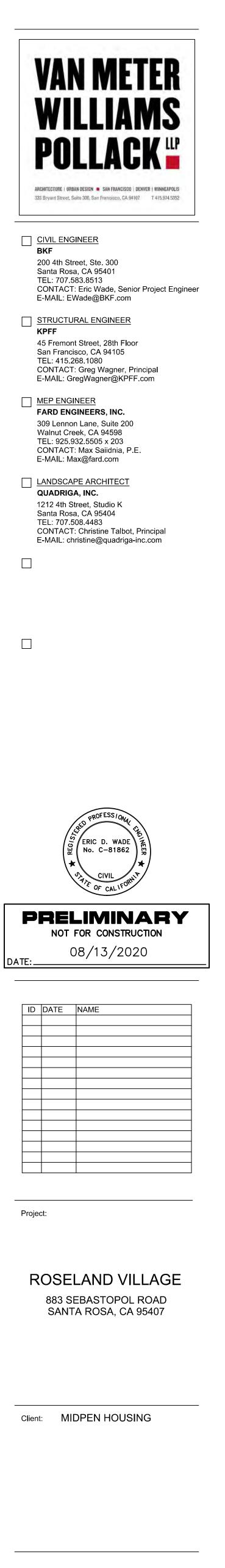
INV

OVERHEAD UTILITY LINE UNDERGROUND UTILITY LINE UNDERGROUND ELECTRIC LINE UNDERGROUND GAS LINE UNDERGROUND TELECOM LINE ASPHALT CONCRETE DETECTABLE WARNING

VALLEY GUTTER INVERT AT CLEANOUT

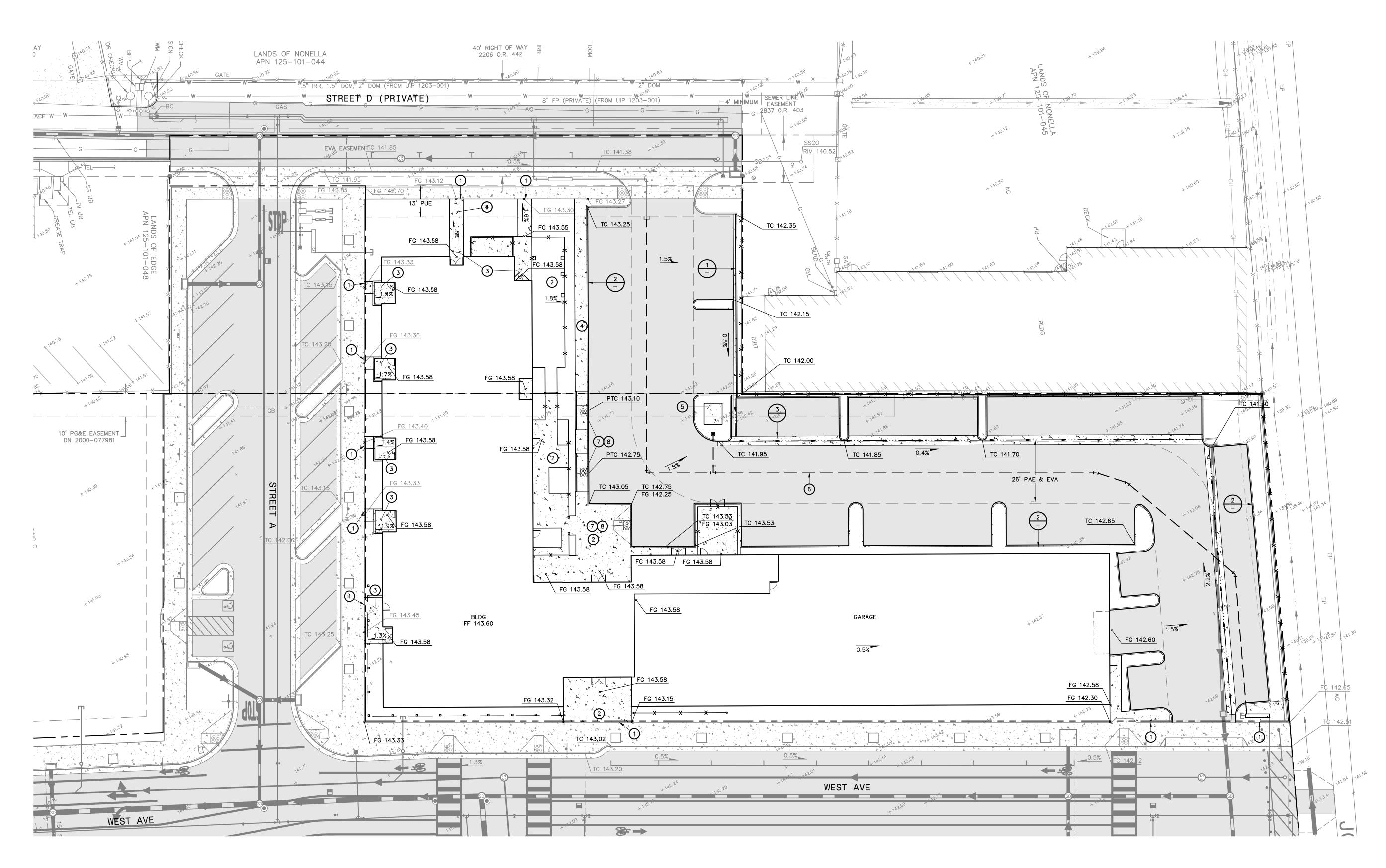
KEYNOTE ---- DETAIL IDENTIFICATION

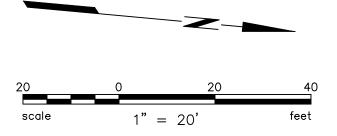
A CROSS SECTION IDENTIFICATION C2 - SHEET WHERE CROSS SECTION IS SHOWN





 #1819 AS SHOWN
04





					ELEVATION	IN	А	MANNER	WHICH	PROVIDES	А	UNIFORM
$\mathbf{\circ}$	TRANSITION	N BE	TWEEN SU	RFACES.								

- CBC.
- (4) WALKWAY HAVING A CROSS SLOPE WHICH DOES NOT EXCEED 2%.
- FOOTING BEFORE POURING CONCRETE.

- SURFACE TYPE LOCATION PARKING STALLS AND DRIVEW ASPHALT CONCRETE CONCRETE CONCRETE WALKWAYS

NOTES THE CONTRACTOR IS REQUIRED TO REVIEW THE SOILS REPORT PREPARED FOR THIS PROJECT TO CONFIRM THESE CONDITIONS AND TO REVIEW SAID REPORT FOR SITE PREPARATION AND GRADING RECOMMENDATIONS.

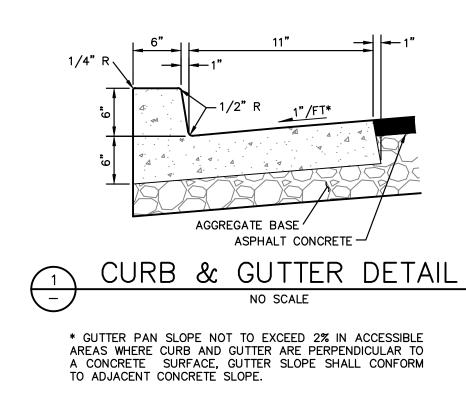
2 SLOPE SURFACE AT A GRADIENT NOT EXCEEDING 2% TO PROVIDE AN ACCESSIBLE PATH OF TRAVEL IN ACCORDANCE WITH SECTION 11B-403.3 OF THE 2019 CALIFORNIA BUILDING CODE (CBC) WHILE PROVIDING DRAINAGE AWAY FROM THE BUILDING IN ACCORDANCE WITH SECTION 1804.4 OF THE

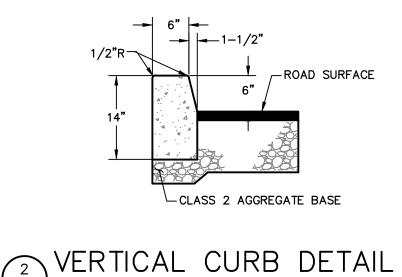
3 LANDING HAVING A SLOPE WHICH DOES NOT EXCEED 2% IN ANY DIRECTION IN ACCORDANCE WITH SECTION 11B-404.2.4.4 OF THE 2019 CALIFORNIA BUILDING CODE.

5 CONCRETE SLAB TRANSFORMER PAD. REFER TO THE ARCHITECTURAL DRAWINGS FOR ENCLOSURE 50 AND CONCRETE FOOTING DETAILS. COORDINATE THE LOCATION OF GENERATOR ENCLOSURE

THE CONFIGURATION OF THE UNDERGROUND PRIVATE FIRE MAIN IS SHOWN GRAPHICALLY FOR REFERENCE. DEFERRED PERMITS FOR THE UNDERGROUND PRIVATE FIRE MAIN AND BUILDING SPRINKLER SYSTEM WILL BE REQUIRED BY THE CITY OF SANTA ROSA FIRE DEPARTMENT. (7) CURB RAMP IN ACCORDANCE WITH SECTION 11B-406 OF THE 2019 CALIFORNIA BUILDING CODE.

8 PROVIDE AND INSTALL DETECTABLE WARNINGS IN ACCORDANCE WITH 2019 CBC 11B-705.1.

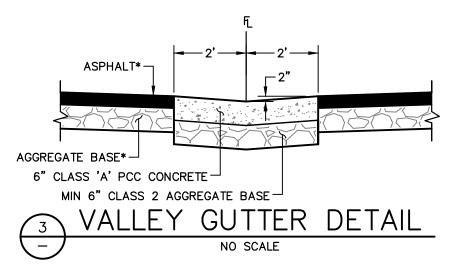


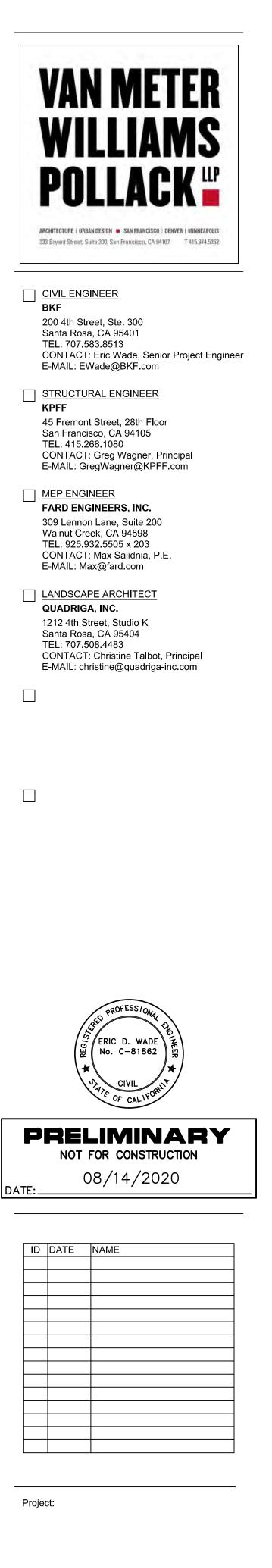


NO SCALE

MATERIALS TABLE

	THICKNESS	CL2 BASE ROCK	NOTE			
WAY	3"	10"				
	4"	4"				





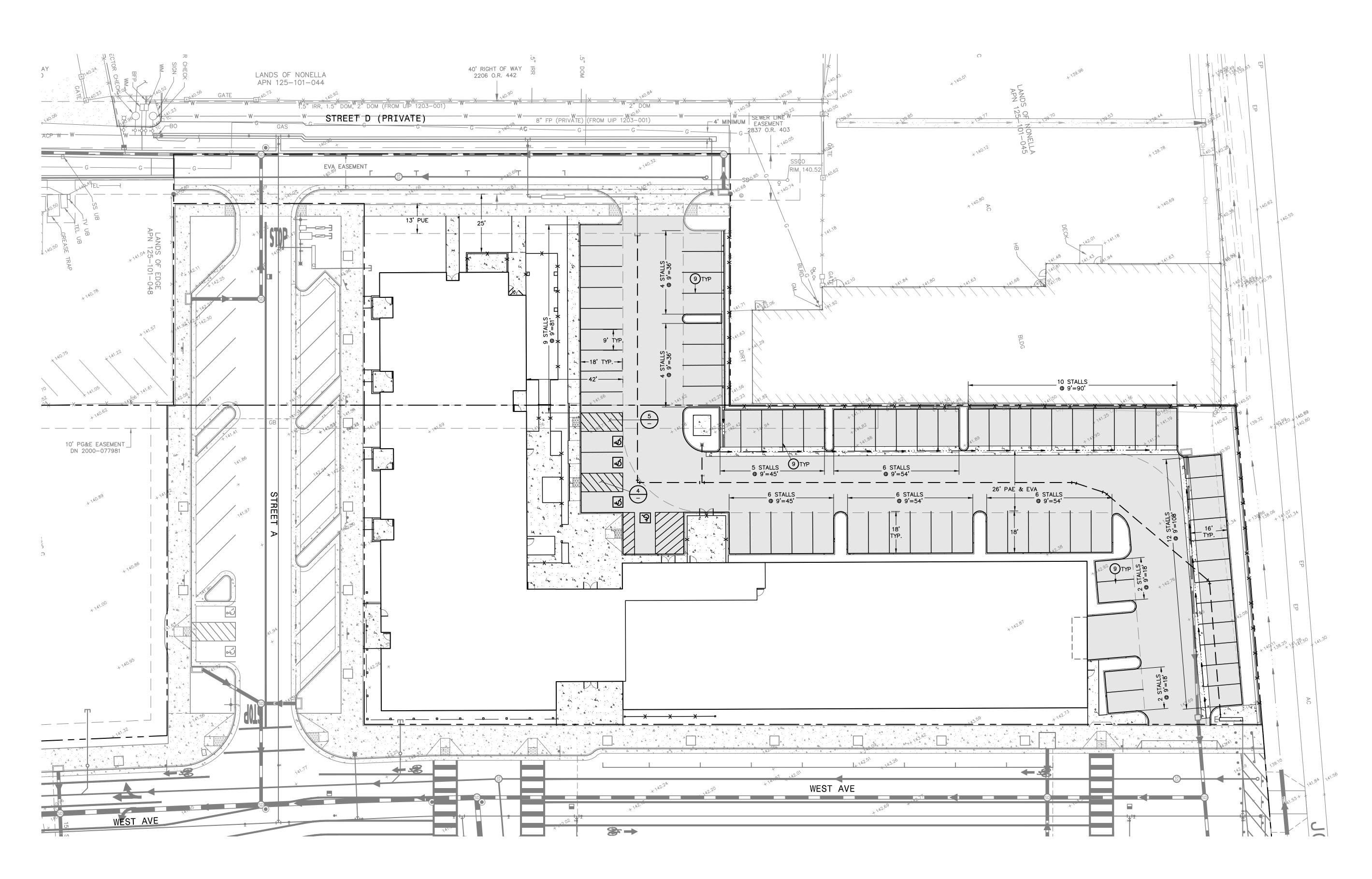
ROSELAND VILLAGE 883 SEBASTOPOL ROAD SANTA ROSA, CA 95407

Client: MIDPEN HOUSING

GRADING PLAN

62

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SCALE:	AS SHOWN
JOB #:	#1819

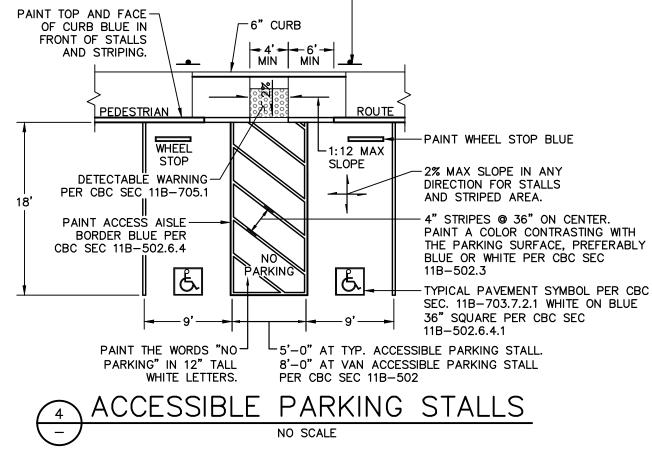


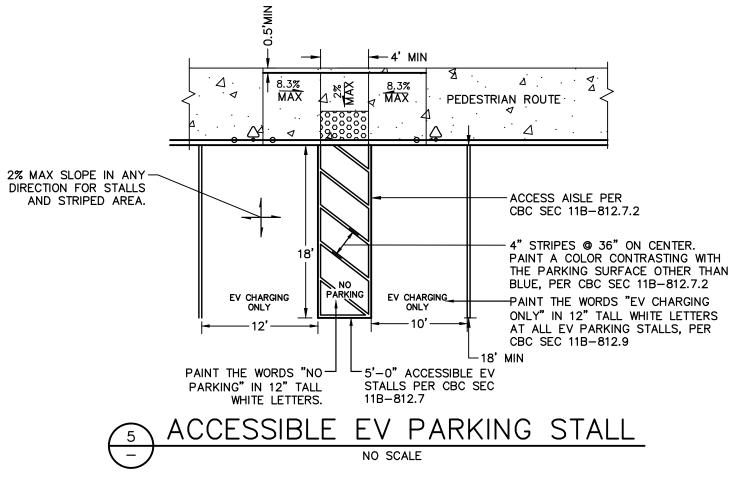
20 0 20 40scale 1" = 20' feet

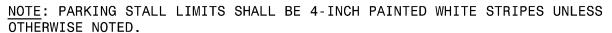
9 APPLY 3-INCH WIDE WHITE PAINTED PAVEMENT MARKINGS WHERE SHOWN ON PLAN.

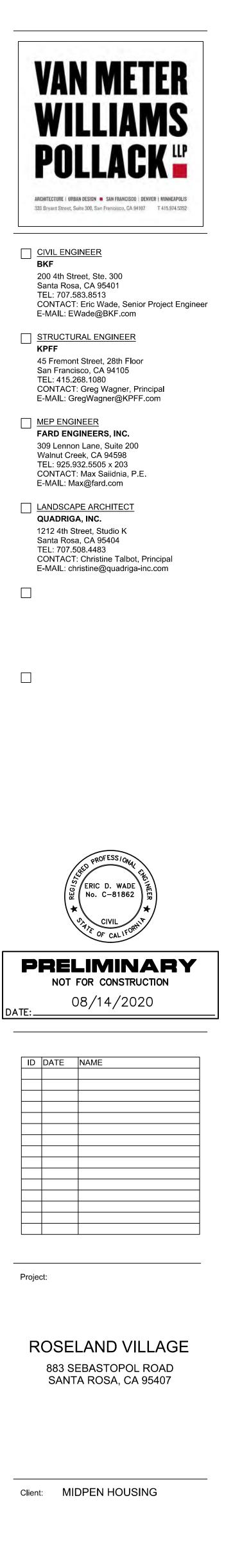
INSTALL SIGN NO LESS THAN 17" WIDE BY 22" HIGH POSTED EITHER 1) IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO AN OFF-STREET PARKING FACILITY OR 2) IMMEDIATELY ADJACENT TO ONSITE ACCESSIBLE PARKING AND VISIBLE FROM EACH PARKING SPACE WHICH READS "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNERS EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: OR BY TELEPHONING ______." (BLANK SPACES SHALL BE FILLED IN WITH APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN.)

70 SQ. IN. DARK BLUE REFLECTIVE PORCELAIN, ENAMEL STEEL SIGN WITH WHITE INTERNATIONAL SYMBOL OF ACCESSIBILITY MOUNTED 80" OFF F.G. ON 1.5" Ø STEEL POST. PROVIDE AN ADDITIONAL SIGN OR ADDITIONAL LANGUAGE BELOW THE SYMBOL OF ACCESSIBILITY WHICH READS "MINIMUM FINE \$250." VAN SPACE SHALL HAVE AN ADDITIONAL "VAN ACCESSIBLE" SIGN MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY PER CBC SEC 11B-502.6.









STRIPING PLAN

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SCALE:	AS SHOWN
JOB #:	#1819

SEDIMENT CONTROL NOTES

EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THESE DRAWINGS ARE GENERAL IN NATURE AND MAY NOT BE APPLICABLE DURING CERTAIN PHASES OF CONSTRUCTION. THE CRUSHED ROCK ENTRANCE DETAIL SHOWN ON THESE DRAWINGS REFLECTS A CONDITION PRIOR TO ROADS BEING CONSTRUCTED WHEREAS FILTERS AT STORM WATER INLETS REFLECTS A CONDITION AFTER THE STORM DRAIN SYSTEM HAS BEEN INSTALLED.

A SWPPP (STORM WATER POLLUTION PREVENTION PLAN) SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL, AND A NOTICE OF INTENT FILED WITH THE STATE WATER RESOURCES CONTROL BOARD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. A QUALIFIED SWPPP PRACTITIONER SHALL PREPARE A RAIN EVENT ACTION PLAN IN ACCORDANCE WITH THE STATE OF CALIFORNIA CONSTRUCTION GENERAL PERMIT TO ENSURE THAT SPECIFIC CONSTRUCTION BMPS (BEST MANAGEMENT PRACTICES) ARE IMPLEMENTED TO ACCOMMODATE EACH PHASE OF CONSTRUCTION.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE USED TO ENSURE THAT WATER ENTERING THE STORM DRAIN SYSTEM BELOW THE CONSTRUCTION SITE IS EQUIVALENT QUALITY AND CHARACTER AS THE WATER ABOVE THE SITE.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED IN FRONT OF INCOMPLETE STORM DRAIN SYSTEMS TO PREVENT DEBRIS AND SEDIMENT-LADEN WATER FROM ENTERING INTO THE PUBLIC STORM DRAIN SYSTEM. BEST MANAGEMENT PRACTICES SHALL BE USED WHEN DESIGNING AND INSTALLING SUCH DEVICES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTANT MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES TO THE SATISFACTION OF THE OWNER, QSD, QSP AND CITY OF SANTA ROSA. EROSION AND SEDIMENT CONTROL MEASURES AND THEIR INSTALLATION SHALL BE ACCOMPLISHED USING BEST MANAGEMENT PRACTICES.

IF THE STORM DRAIN SYSTEM IS NOT INSTALLED PRIOR TO A PRECIPITATION EVENT, ADDITIONAL MEASURES SHALL BE TAKEN SUCH AS TEMPORARY SETTLING BASINS WHICH MEET THE SATISFACTION OF THE OWNER, QSD, QSP AND THE CITY OF SANTA ROSA. SILT AND/OR CATCH BASINS MUST BE CLEANED OUT ON A REGULAR BASIS AFTER STORMS TO MAINTAIN DESIGN CAPACITY.

STORM WATER RUNOFF FROM THE CONSTRUCTION SITE SHALL BE DIRECTED TOWARD AN INLET WITH A SEDIMENT OR FILTRATION INTERCEPTOR PRIOR TO ENTERING THE STORM DRAIN SYSTEM.

THE CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING WATER THAT HAS BECOME POLLUTED DUE TO NOT TAKING NECESSARY EROSION AND SEDIMENT CONTROL ACTIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF MUD AND DEBRIS CARRIED ONTO SURROUNDING STREETS AND ROADS AS A RESULT OF CONSTRUCTION ACTIVITY ON THE SITE TO THE SATISFACTION OF THE CITY OF SANTA ROSA.

ANY DENUDED OR DISTURBED SOILS SHALL BE PROTECTED USING BEST MANAGEMENT PRACTICES.

PRIOR TO AND DURING A PRECIPITATION EVENT, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE IS TO BE MAINTAINED BY THE DEVELOPER, CONTRACTOR OR OWNER SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF LEAVES THE SITE.

THE CONTRACTOR IS TO INFORM ALL CONSTRUCTION SITE WORKERS ABOUT THE MAJOR PROVISIONS OF THE EROSION AND SEDIMENT CONTROL PLAN AND SEEK THEIR COOPERATION IN AVOIDING THE DISTURBANCE OF THESE CONTROL MEASURES.

BEST MANAGEMENT PRACTICES SHALL BE VISUALLY MONITORED ON A WEEKLY BASIS DURING THE DRY SEASON AND RECORDED IN AN INSPECTION CHECKLIST. RAIN EVENT VISUAL MONITORING SHALL BE PERFORMED WITHIN 48 HOURS PRIOR TO AN ANTICIPATED RAIN EVENT, DAILY DURING A RAIN EVENT AND WITHIN 48 HOURS FOLLOWING A RAIN EVENT. REMOVE SEDIMENTS WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE BARRIER AND REPLACE FILTER DEVICES AS NECESSARY TO ENSURE PROPER FUNCTION.

UNSTABILIZED AREAS WILL BE REPAIRED AS SOON AS POSSIBLE AFTER BEING DAMAGED.

ALL GRADED OR DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING IS COMPLETE.

ENTRANCE TO THE PROJECT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHT-OF-WAY. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE OF PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED ROCK THAT DRAINS INTO A SEDIMENT TRAP.

ALL SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY USING BEST MANAGEMENT PRACTICES.

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR PURPOSE SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED OR REPLACED WHEN THEY ARE NO LONGER FUNCTIONING PER BEST MANAGEMENT PRACTICES.

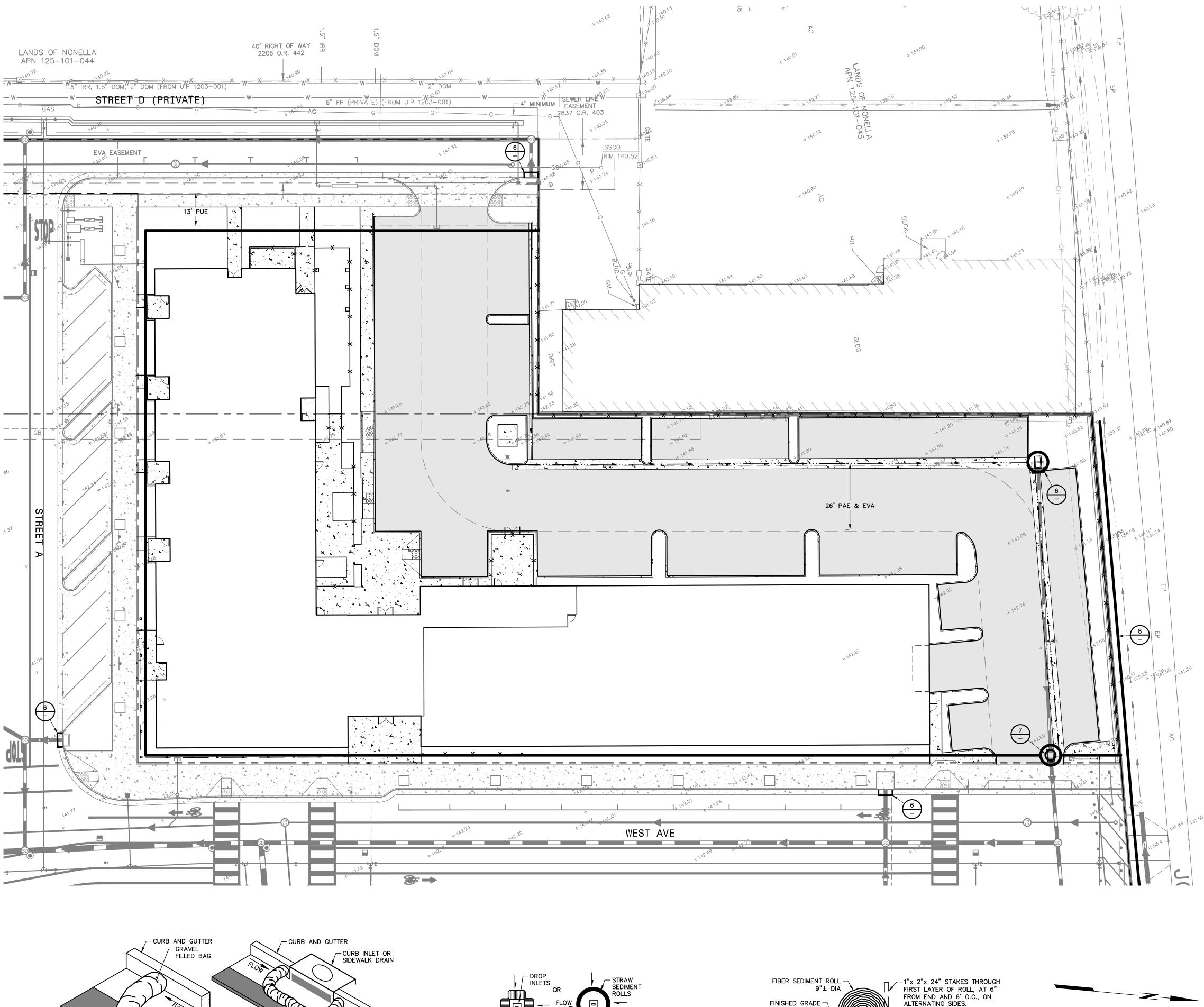
THE CONTRACTOR SHALL HAVE EROSION AND SEDIMENT CONTROL MEASURES ON SITE ADEQUATE TO PROTECT THE ENTIRE SITE SUCH THAT IT IS IMMEDIATELY AVAILABLE IN PREPARATION OF A PRECIPITATION EVENT.

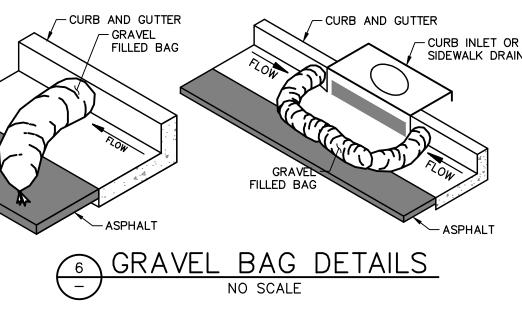
AFTER CONSTRUCTION IS COMPLETE ALL STORM DRAIN SYSTEMS ASSOCIATED WITH THIS PROJECT SHALL BE INSPECTED AND CLEARED OF ACCUMULATED SEDIMENTS AND DEBRIS.

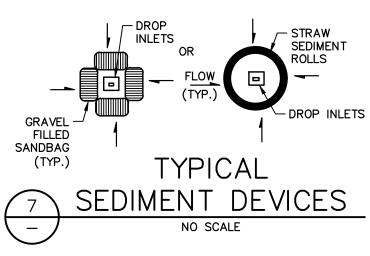
GRADED AREAS TO BE SEEDED FOR EROSION CONTROL SHALL USE GRASS SEED AT THE RATE OF 75-100/LBS. PER ACRE. SEEDED AREAS SHALL BE IRRIGATED TO ENSURE COVER IS ROOTED PRIOR TO RAINY SEASON.

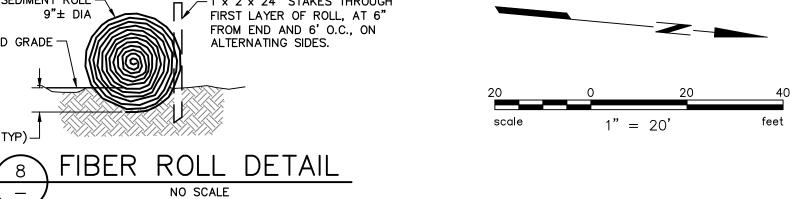
HYDROSEED SHALL BE EITHER APPLIED MECHANICALLY OR BY HYDROSEEDING. HYDROSEEDING REQUIRES THE APPLICATION OF FIBER AND STABILIZING EMULSION. MECHANICAL APPLICATION SHALL REQUIRE ROLLING, TAMPING, OR OTHERWISE WORKING THE SEED APPROXIMATELY 0.5 INCHES INTO THE TOPSOIL. STABILIZATION OF EXPOSED GRADED AREAS WITH STRAW MULCH SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE.

LANDS OF NONELLA

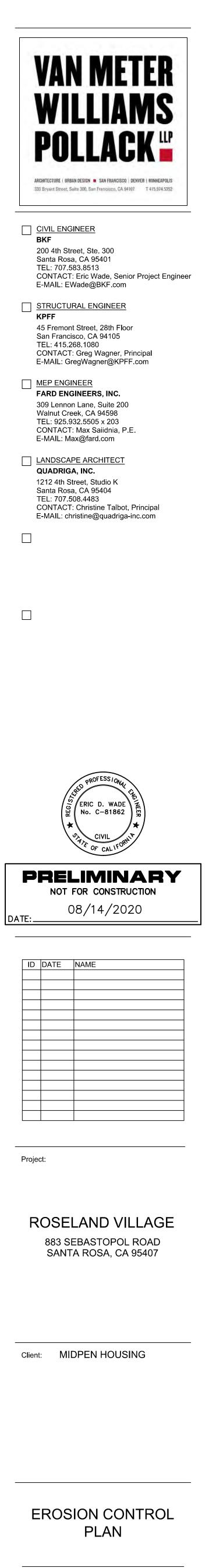








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JOB #:	#1819
SCALE:	AS SHOWN





<u>LEGEND</u>

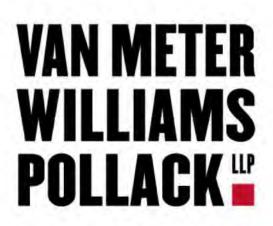
- 1 ENTRY LOBBY & 2nd LEVEL SUN
- 2 PRIVATE PATIOS
- 3 GROUND LEVEL GARAGE
- 4 BICYCLE STORAGE LONG-TERI
- 5 VERTICAL BIKE RACKS (3 space
- 6 BOLLARD BIKE RACKS (8 space
- 7 BBQ AREA (see sheet L2)
- 8 SPECIALTY CONCRETE PAVING

N DECK	9 PLAY AREA (see sheet L4)	16) 7ft WOOD
	MECHANICAL PAD WITH METAL MESH PANELS & VINE SCREENING	(17) 8.5ft META
		18 TRANSFOR
ERM	(11) GENERATOR WITH 7ft WOOD SCREENING FENCE WITH VINES	19 POLE LIGH
ces)	12) SHADE TREE	20 JOE RODO
ces)	13 SMALL TREE	21) PUBLIC IM
	(14) SCREENING SHRUBS	
G	15 COLUMNAR TREE	

DD SCREENING FENCE TAL MESH SCREENING

- ORMER PAD WITH BOLLARDS
- GHT (see Architectural Plans)
- DOTA TRAIL ACCESS (by others)
- MPROVEMENTS (by others)

REFER TO L3 FOR IMAGERY REFER TO L5 FOR PLANT LISTS REFER TO ARCHITECTURAL PLANS FOR LIGHTING AND PHOTOMETRICS



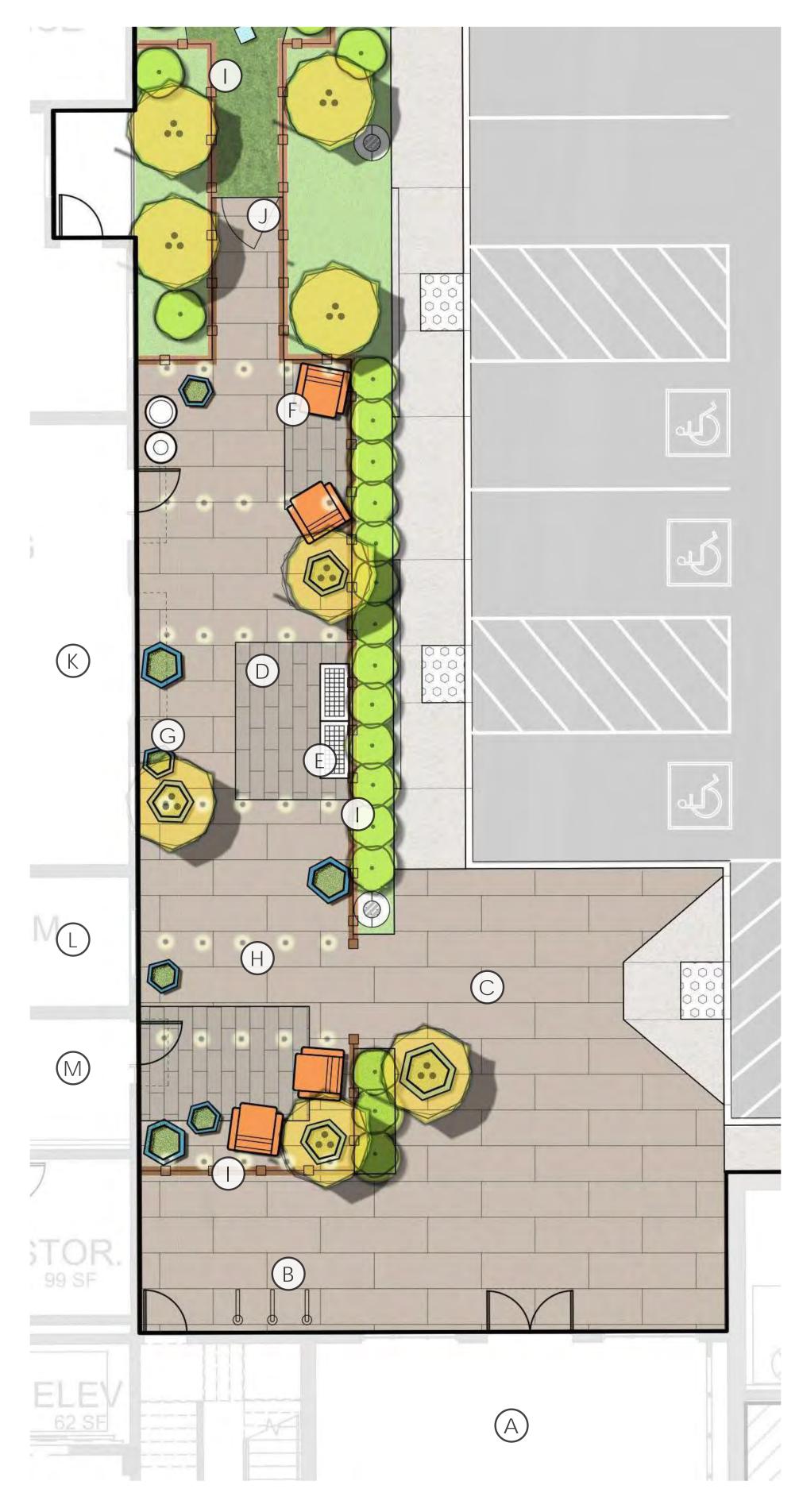
ARCHITECTURE | URBAN DESIGN . SAN FRANCISCO | DENVER | MINNEAPOLIS 333 Bryant Street, Suite 300, San Francisco, CA 94107 T 415,974,5352

CIVIL ENGINEER BKF 200 4th Street, Ste. 300 Santa Rosa, CA 95401 TEL: 707.583.8513 CONTACT: Eric Wade, Senior Project Engineer E-MAIL: EWade@BKF.com STRUCTURAL ENGINEER KPFF 45 Fremont Street, 28th Floor San Francisco, CA 94105 TEL: 415.268.1080 CONTACT: Greg Wagner, Principal E-MAIL: GregWagner@KPFF.com MEP ENGINEER FARD ENGINEERS, INC. 309 Lennon Lane, Suite 200 Walnut Creek, CA 94598 TEL: 925.932.5505 x 203 CONTACT: Max Saiidnia, P.E. E-MAIL: Max@fard.com LANDSCAPE ARCHITECT QUADRIGA, INC. 1212 4th Street, Studio K Santa Rosa, CA 95404 TEL: 707.508.4483 CONTACT: Christine Talbot, Principal E-MAIL: christine@quadriga-inc.com QUADRIGA landscape architecture and planning, inc. s a c r a m e n t o | s a n t a r o s a 707.546.3561 | www.quadriga-inc.com PRE 1/31/21 PRE 1/31/21 RENEW
 ID
 DATE
 NAME

 8/21/20
 Preliminary Design Review

Project:

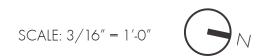




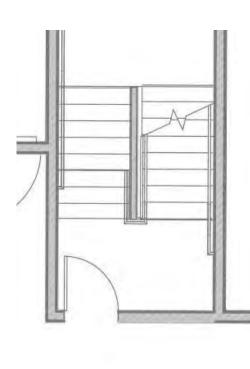
BBQ AREA

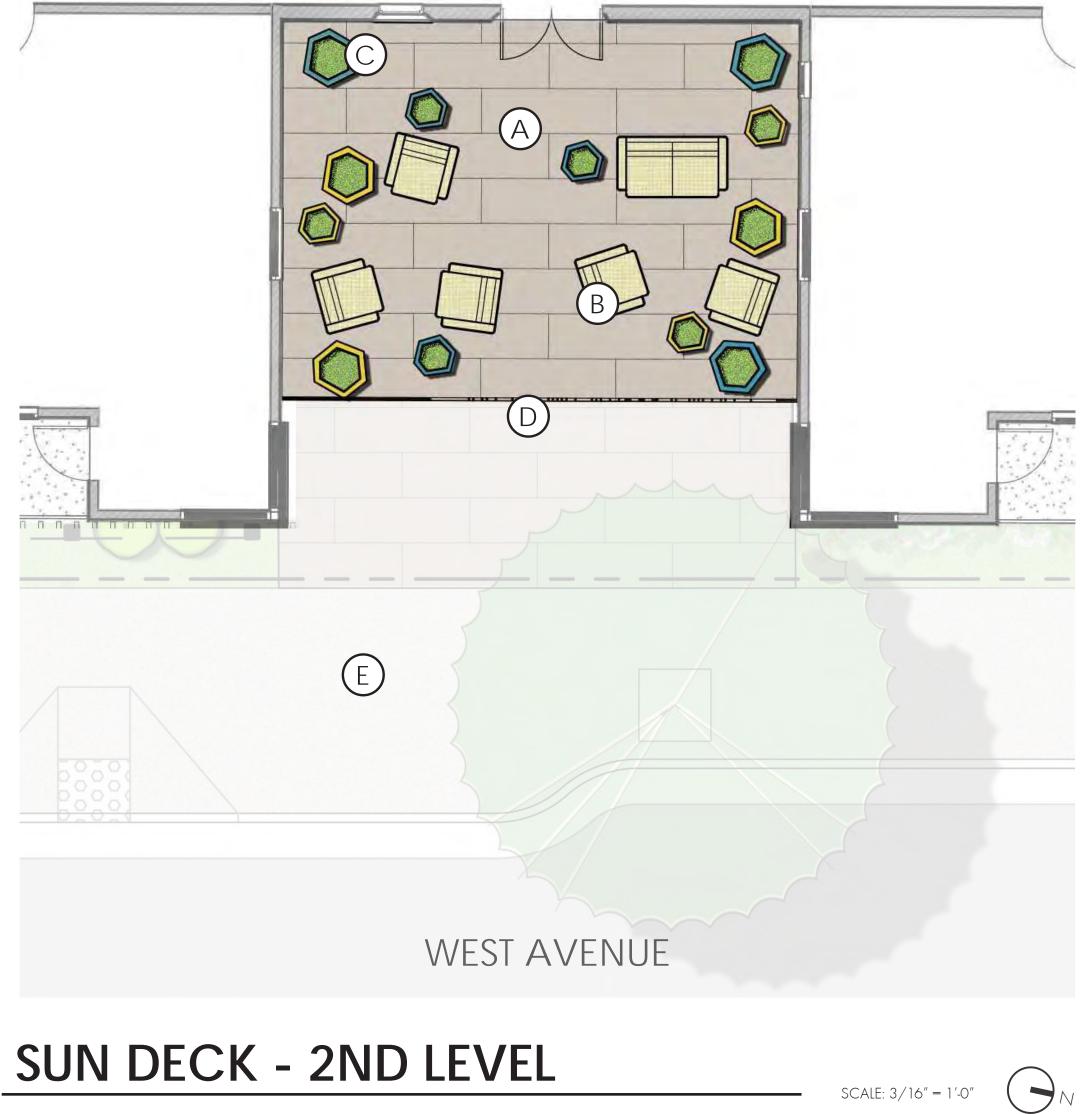
<u>LEGEND</u>

- A ENTRY LOBBY
- B VERTICAL BICYCLE RACKS
- © SPECIALTY CONCRETE "LARGE"
- D SPECIALTY CONCRETE "SMALL"
- E ELECTRIC BBQ GRILLS
- F LOUNGE CHAIRS
- G PLANTER POTS



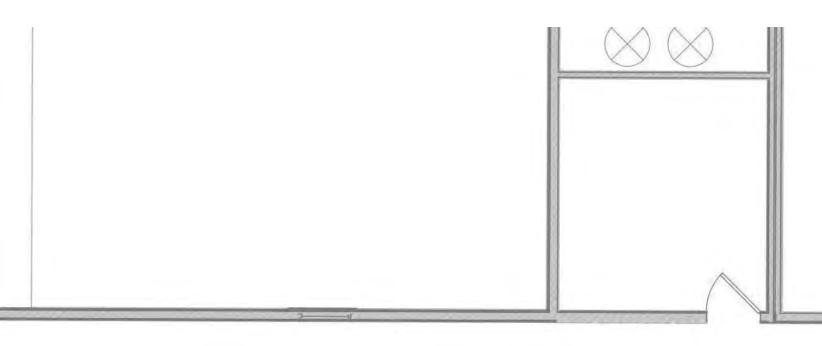
- H CATENARY LIGHTING (see Architectural Plans for Cutsheets)
- 1 4ft WOOD & WIRE MESH FENCE
- J GATED ACCESS
- K LEARNING CENTER
- L TEEN ROOM
- M LAUNDRY

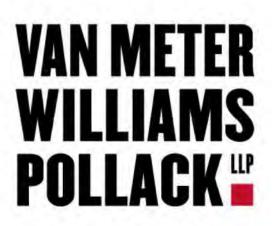




<u>LEGEND</u>

- A LARGE SCALE UNIT PAVERS
- B SUN DECK LOUNGE FURNITURE
- C PLANTER POTS
- D PERFORATED METAL PANEL/RAILING (see Architectural Plans)
- E PUBLIC IMPROVEMENTS (below; by Others)





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Project:





PLANTER POTS



BBQ AREA LOUNGE FURNISHINGS



TRASH AND RECYCLE RECEPTACLE



SPECIALTY CONCRETE COLOR AND FINISH







STAINLESS STEEL ELECTRIC BBQ GRILL

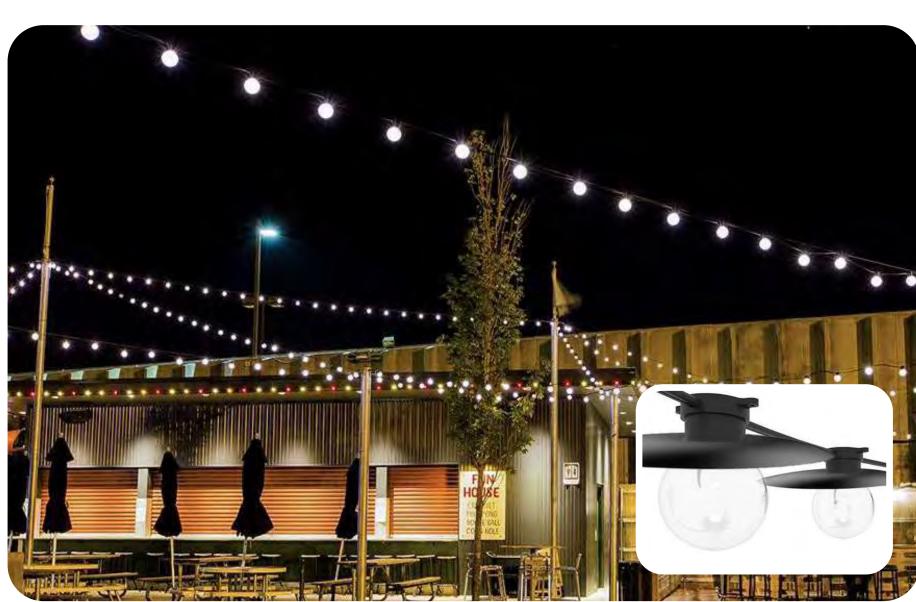
VERTICAL BIKE RACK

8.5ft METAL MESH SCREENING WITH VINES





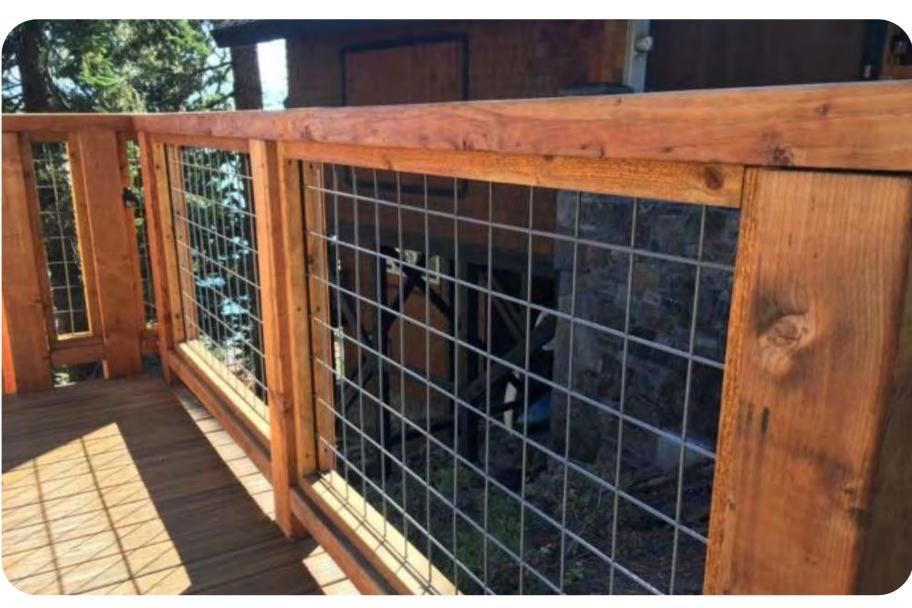
PLANTER POTS



TIVOLI CATENARY LIGHTING (see Architectural Plans for Cutsheets)



7ft WOOD SCREENING FENCE



4ft WOOD & WIRE MESH FENCE



BOLLARD BIKE RACK



BENCH - PLAY AREA

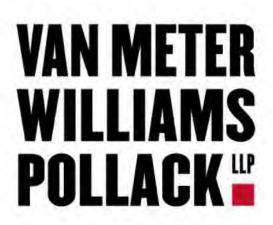


SUN DECK PAVERS - LARGE UNIT CONCRETE



SUN DECK LOUNGE FURNISHINGS

REFER TO L4 FOR PLAY AREA IMAGERY



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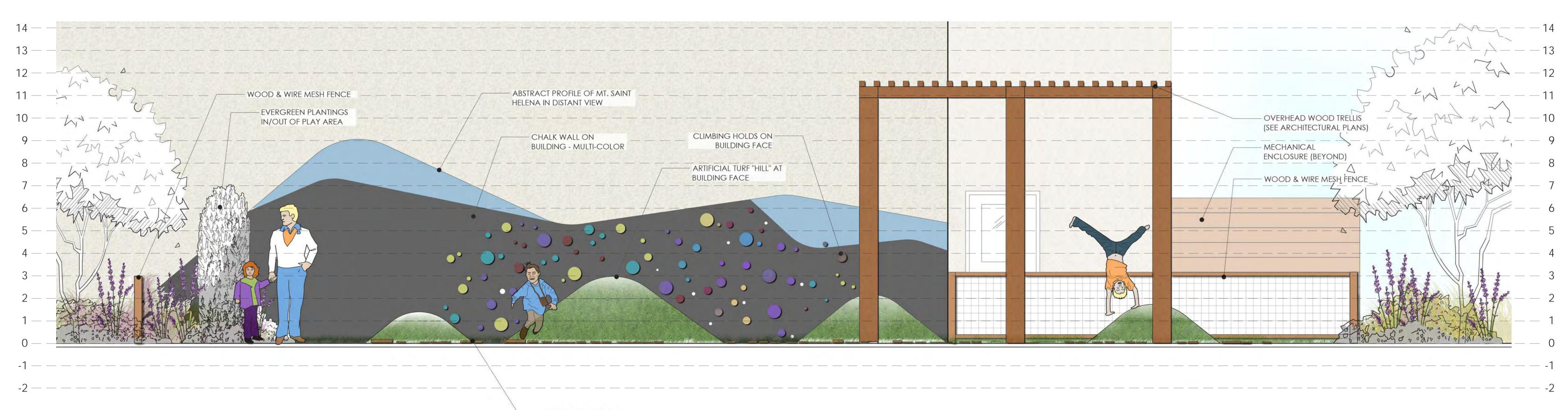
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Project:







NORTH ELEVATION - PLAY AREA



LOW-HEIGHT TRAVERSE CLIMBING WALL



CHALK WALL - IMAGINATIVE/CREATIVE







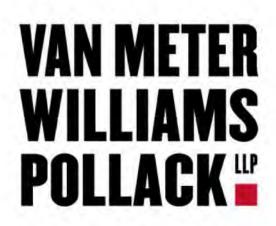
WIRE MESH FENCE - ART OPPORTUNITY

1/2'' = 1'-0''

HILLS AND VALLEY - MOTOR SKILLS

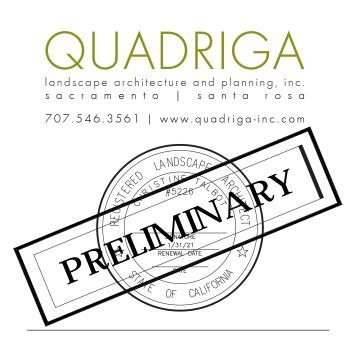


IMAGINATIVE PLAY PIECES - COGNITIVE



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Project:



IRRIGATION CONCEPT

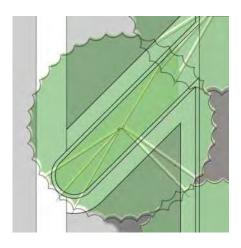
The irrigation system will be designed to meet City Standards and Local Water Use Ordinances. Zones will be controlled by remote control valves and drip zone kits with pressure regulation and filtering mechanisms. It will have a dedicated sub-meter and backflow preventer as well as master valve and flow sensor for system shutdown.

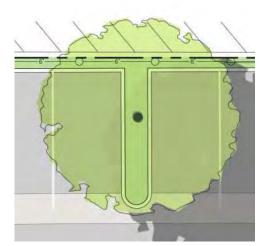
Quick couplers with locking lids will be placed throughout the site for supplemental watering and wash down needs by the Owner.

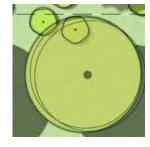
All trees and large shrubs will receive (1) 18" or 36" deep root-zone bubbler and (1) on-grade flood bubbler and will be on their own hydrozone.

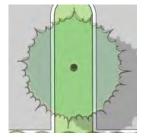
All other planting areas will received high-efficiency sub-surface drip irrigation where feasible. In narrow planting areas individual shrub bubblers may be used for efficiency.

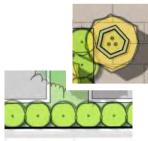
A Smart Controller and Weather Station will be provided to track ET and adjust for localized conditions. It will be located inside the building in a mechanical room or alternate location per the Owner's direction.













PLANT CANDIDATE LIST

STREET TREES

Botanical Name Acer x freemanii 'Autumn Blaze' Carpinus betulus 'Frans Fontaine' Celtis australis Chionanthus retusus Ginkgo biloba 'Princeton Sentry' Koelreuteria paniculata Pistacia chinensis

SHADE TREES

Botanical Name Acer x freemanii 'Autumn Blaze' Celtis australis Ginkgo biloba 'Autumn Gold' Nyssa sylvatica Pistacia chinensis Platanus x acerifolia 'Bloodgood' Ulmus 'Frontier' Zelkova serrata 'Green Vase'

COLUMNAR TREES

Botanical Name Acer x freemanii 'Armstrong' Carpinus betulus 'Frans Fontaine' Ginkgo biloba 'Princeton Sentry' Taxodium distichum 'Shawnee Brave'

SMALL TREES

Botanical Name Acer circinatum Arbutus menzziesii Cercidium hybrid 'Desert Museum' Cercis occidentalis Cornus 'Eddie's White Wonder' Cornus controversa 'Variegata' Cornus nuttallii Koelreuteria paniculata Prosopis x 'Leslie Roy'

SCREENING & ACCENT SHR Botanical Name

Abutilon x hybridum Arctostaphylos densiflora 'Howard McMinn' Calamagrostis x acutifolia 'Karl Foerster' Calycanthus occidentalis Cercis occidentalis Garrya elliptica 'James Roof' Heteromeles arbutifolia 'Davis Gold' llex crenata 'Sky Pencil' Ligustrum sinense 'Sunshine' Olea europaea 'Skylark Dwarf' Pittosporum tenuifolium 'Silver Sheen' Rhus ovata Sarcococca ruscifolia

SITE PLANTINGS

Botanical Name Acanthus mollis Arctostaphylos sp. Aspidistra elatior Astilbe chinensis 'Deutschland' Baccharis pilularis 'Pigeon Point' Calamagrostis x acutifolia 'Karl Foerster' Ceanothus rigidus Chondropetalum tectorum 'El Campo' Cornus sericea ssp. Occidentalis 'Tomales Ba Deschampsia caespitosa Dianella tasmanica Festuca californica 'Phil's Silver' Helleborus foetidus Hesperaloe parviflora Heuchera maxima Holodiscus discolor Juncus patens 'Elk Blue' Lavandula 'Provence' Ligustrum sinense 'Sunshine' Liriope platyphylla 'Kunming' Leymus condensatus 'Canyon Prince' Lomandra longifolia 'Breeze' Lomandra longifolia 'Platinum Beauty' Mahoia 'Soft Caress' Mahonia aqufolium 'Compacta' Muhlenbergia capillaris 'Regal Mist' Muhlenbergia rigens Polystichum californica Rosmarinus 'Boule' Salvia clevelandii 'Winifred Gilman' Salvia spathacea 'Las Pilitas' Sedum spectabile 'Autumn Joy' Sesleria autumnalis Verbascum 'Banana Custard' Woodwardia fimbriata Yucca 'Bright Star'

VINE PLANTINGS

Botanical Name Bignonia capreolata 'Tangerine Beauty' Clematis lanuginosa 'Candida' Distictis buccinatoria Lonicera japonica 'Halliana' Trachelospermum jasminoides

Star Jasmine

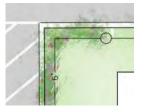
1 gal 5' O.C.

15-30'

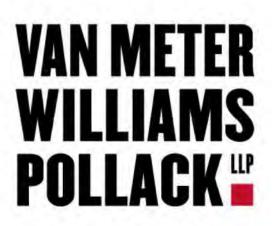
Moderate







<u>. LIJI</u>					
	Common Name Autumn Blaze Maple	Size 24" Box	Spacing 40'	HxW 50' x 40'	WUCOLS Moderate
	Columnar Hornbeam	24" Box 24" Box	40 20'	50' x 40'	Moderate
	European Hackberry	24" Box	30'	40-60' x 40'	Moderate
	Chinese fringetree Maidenhair Tree	24" Box 24" Box	20' 20'	20' x 20' 45' x 20'	Moderate Low
	Golden raintree	24" Box	30'	30' x 30'	Moderate
	Chinese Pistache	24" Box	25'	30' x 30'	Low
	Common Name	Size	Spacing	HxW	WUCOLS
	Autumn Blaze Maple	24" Box	40'	50' x 40'	Moderate
	European Hackberry Maidenhair Tree	15 gal 24" Box	30' 30'	40-60' x 40' 45' x 35'	Moderate Low
	Sour Gum, Tupelo	24" Box	25'	30-50' x 20-30'	Moderate
	Chinese Pistache	15 gal	25'	30' x 30'	Low
	Bloodgood London Plane Tree Frontier Elm	15 gal 24" Box	25' 25'	40-80' x 30-40' 30-40' x 20-30'	Moderate Moderate
	Green Vase Zelkova	24" Box	25'	30-40' x 20-30'	Moderate
	Common Name	Size	Spacing	HxW	WUCOLS
	Columnar Red Maple	24" Box	20'	50' x 20'	Moderate
	Columnar Hornbeam Maidenhair tree	15 gal 15 gal	20' 20'	50' x 20' 45' x 20'	Moderate Low
	Shawnee Brave Bald Cypress	15 gal	20'	50' x 20'	Moderate
	Common Name	Size	Spacing	HxW	WUCOLS
	Vine Maple	15 gal	15'	10-20' x 10-20'	Moderate
	Madrone Thornless Palo Verde	24" box 15 gal	15' 20'	15-50' x 10-25' 20-30' x 20-40'	Low Low
	Western Redbud	15 gal	20 15'	20-30 x 20-40 10-18' x 10-18'	Very Low
	Eddie's White Wonder Dogwood	15 gal	20'	20'-30'x20'-30'	Moderate
	Giant Dogwood Mountain Dogwood	15 gal 15 gal	30' 25'	30-40' x 30-40' 15-40' x 10-25'	Moderate Moderate
	Goldenrain Tree	15 gal	35'	20-35' x 25-40'	Moderate
	Leslie Roy Mesquite	15 gal	25'	25-30' x 20-30'	Low
RUBS					
	Common Name Flowering Maple	Size 5 gal	Spacing 8'	HxW 2-10' x 2-10'	WUCOLS Moderate
	Manzanita	5 gal	10'	6-10' x 6-12'	Low
	Feather Reed Grass Spice bush	1 gal 5 gal	2' 8'	3-5' x 2' 8-10' x 6-12'	Moderate Moderate
	Western Redbud	15 gal		10-18' x 10-18'	Very Low
	Silk Tassel	5 gal	15'	10' x 10'	Low
	Toyon Sky Pencil Japanese Holly	5 gal 5 gal	5' 3'	8' x 5' 10' x 3'	Low Moderate
	Sunshine Privet	5 gal	3'	6' x 4'	Moderate
	Skylark Dwarf Olive	5 gal	8'	12' x 8'	Low
	Sliver Sheen Kohuhu Sugar Bush	5 gal 5 gal	6' 6'	14' x 8' 6-10' x 8-10'	Moderate Low
	Fragrant Sweetbox	5 gal	4'	3-6' x 3-6'	Low
	Common Name	Size	Spacing	HxW	WUCOLS
	Bear's Breeches Manzanita	5 gal 1 gal	3' O.C. 4' O.C.	2' x 3' 1-3' x 4-8'	Moderate Low
	Cast Iron Plant	1 gal	3' O.C.	3' x 2'	Low
	False Goats Beard	1 gal	18" O.C.	1.5' x 1.5'	Moderate
	Coyote Bush Feather Reed Grass	1 gal 1 gal	4' O.C. 2' O.C.	2-3' x 8' 3-5' x 2'	Low Moderate
	White Monterey Lilac	1 gal	3' O.C.	3-5' x 3-5'	Low
ay'	Cape Rush Wester Red-twig Dogwood	5 gal 5 gal	3' O.C. 6' O.C.	2-3'x2-3' 6' x 6'	Low Moderate
ay	Tufted Hair Grass	1 gal	1' O.C.	1.5" x 2'	Low
	Blue Turf Lily	1 gal	3' O.C.	2' x 2'	Moderate
	California Fescue Bear's Foot	1 gal 1 gal	3' O.C. 3' O.C.	2' x 3' 2' x 2'	Low Low
	Red Yucca	1 gal	3.5' O.C.		Low
	Island Alum Root	1 gal	18" O.C.	2' x 2'	Moderate
	Cream Bush Elk Blue California Gray Rush	5 gal 5 gal	4' O.C. 2' O.C.	4' x 4' 2' x 2'	Low Moderate
	Lavender	1 gal	3' O.C.	3' x 3'	Low
	Sunshine Privet	5 gal	3' O.C.	6' x 4' 1 5' x 4'	Moderate
	Giant Liriope Canyon Price Wild Rye	1 gal 1 gal	18" O.C. 3' O.C.	1.5' x 4' 2-3' x 2-3'	Low Low
	Dwarf Mat Rush	1 gal	3' O.C.	3'x4'	Low
	Mat Rush Soft Caress Mahonia	1 gal	3' O.C. 3' O.C.	3' x 3' 3' x 3'	Low Low
	Compact Oregon Grape Holly	1 gal 1 gal	3 O.C. 3' O.C.	3 x 3 2-3' x 3-4'	Moderate
	Pink Muhly Grass	1 gal	4' O.C.	4' x 4'	Moderate
	Deer Grass Western Sword Fern	1 gal 1 gal	3' O.C. 2'-3' O.C.	3' x 3' 1.5' x 3'	Low Moderate
	Boule Rosemary	1 gal	3' O.C.	3' x 3'	Low
	Blue Sage	1 gal	3' O.C.	3' x 3'	Low
	Hummingbird Sage Autumn Joy Stonecrop	1 gal 1 gal	3' O.C. 2' O.C.	1-2' x 3' 2' x 2'	Low Low
	Autumn Moor Grass	1 gal	18" O.C.	1-2' x 1-2'	Moderate
	Hybrid Mullein	1 gal	3' O.C.	5-6' x 2'	Low
	Giant Pacific Chain Fiern Yucca gloriosa var. recurvifolia	1 gal 1 gal	3' O.C. 5' O.C.	3-5' x 3-5' 1-2' x 5'	Low Low
		. 901			*
	Common Name	Size	Spacing	Height	WUCOLS
	Cross vine White Flowering Clematis	1 gal	5' O.C.	10-30' 15-30'	Moderate Moderate
	White Flowering Clematis Scarlet Trumpet Vine	1 gal 1 gal	5' O.C. 5' O.C.	15-30' 30'+	Moderate Moderate
	Hall's Japanese Honeysuckle	1 gal	5' O.C.	15-30'	Moderate



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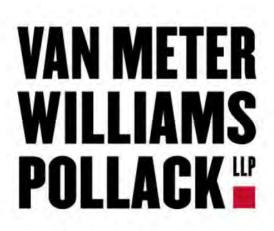
CIVIL ENGINEER BKF 200 4th Street, Ste. 300 Santa Rosa, CA 95401 TEL: 707.583.8513 CONTACT: Eric Wade, Senior Project Engineer E-MAIL: EWade@BKF.com STRUCTURAL ENGINEER KPFF 45 Fremont Street, 28th Floor San Francisco, CA 94105 TEL: 415.268.1080 CONTACT: Greg Wagner, Principal E-MAIL: GregWagner@KPFF.com MEP ENGINEER FARD ENGINEERS, INC. 309 Lennon Lane, Suite 200 Walnut Creek, CA 94598 TEL: 925.932.5505 x 203 CONTACT: Max Saiidnia, P.E E-MAIL: Max@fard.com LANDSCAPE ARCHITECT QUADRIGA, INC. 1212 4th Street, Studio K Santa Rosa, CA 95404 TEL: 707.508.4483 CONTACT: Christine Talbot, Principal E-MAIL: christine@quadriga-inc.com QUADRIGA landscape architecture and planning, inc sacramento | santa rosa 707.546.3561 | www.quadriga-inc.com PR RY ... ID DATE NAME 8/21/20 Preliminary Design Review _____

Project:





0' 8' 16' 32'



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Project:



JOB #: #1819

SCALE: As indicated

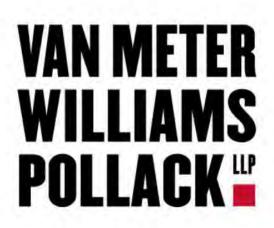
Client: MIDPEN HOUSING





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Client: MIDPEN HOUSING

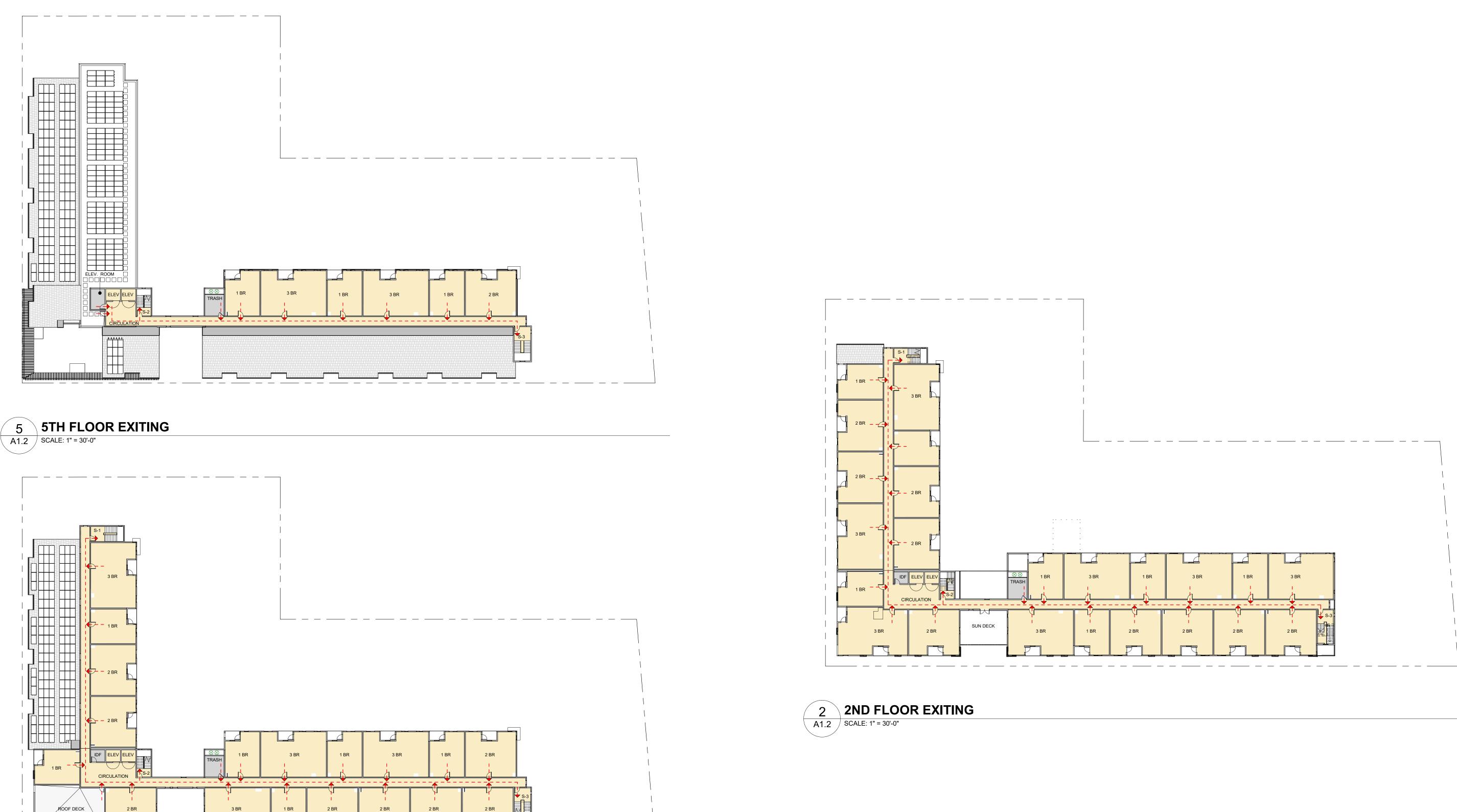


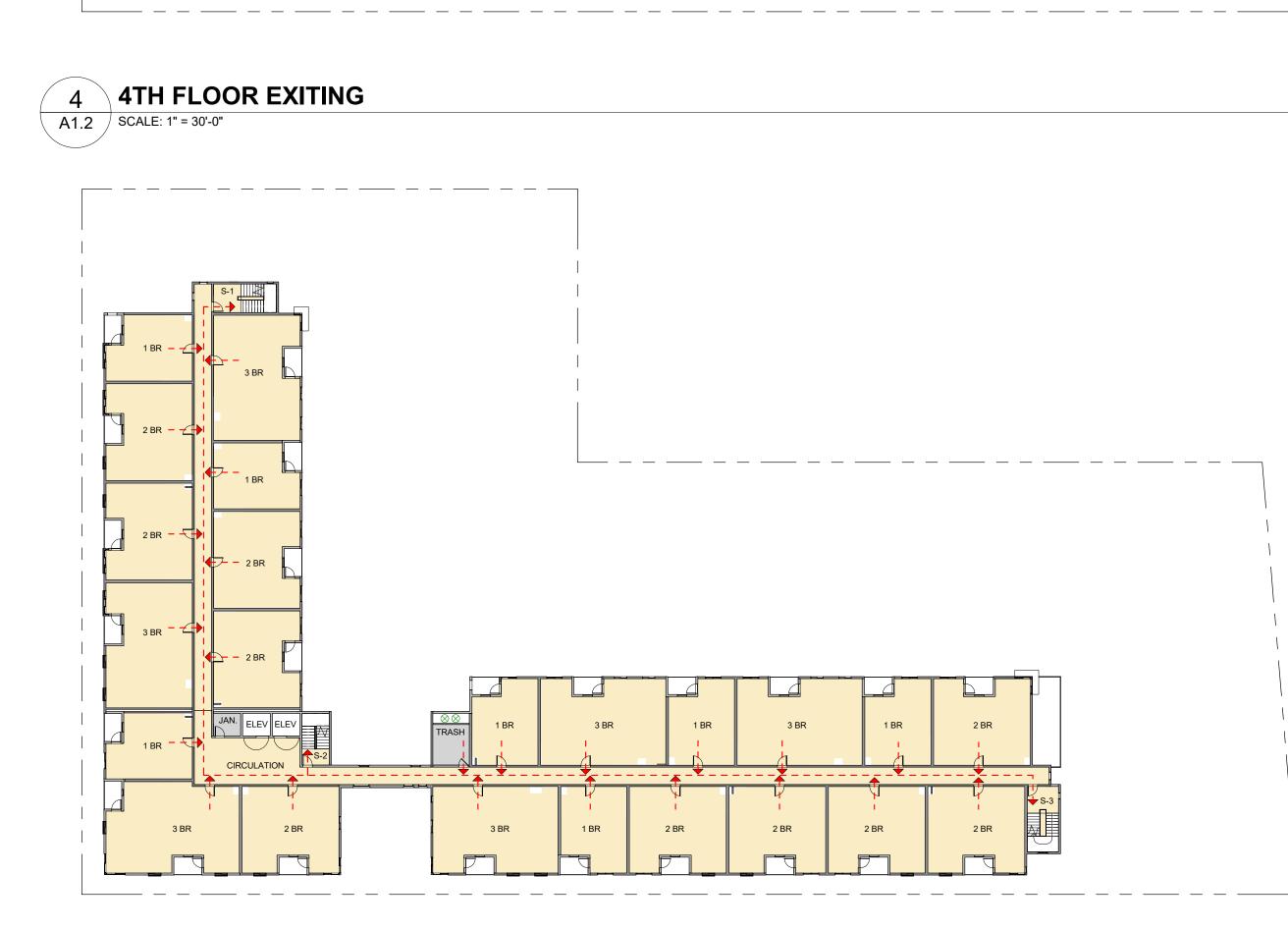
FIRE DEPARTMENT ACCESS DIAGRAMS

JOB #: #1819

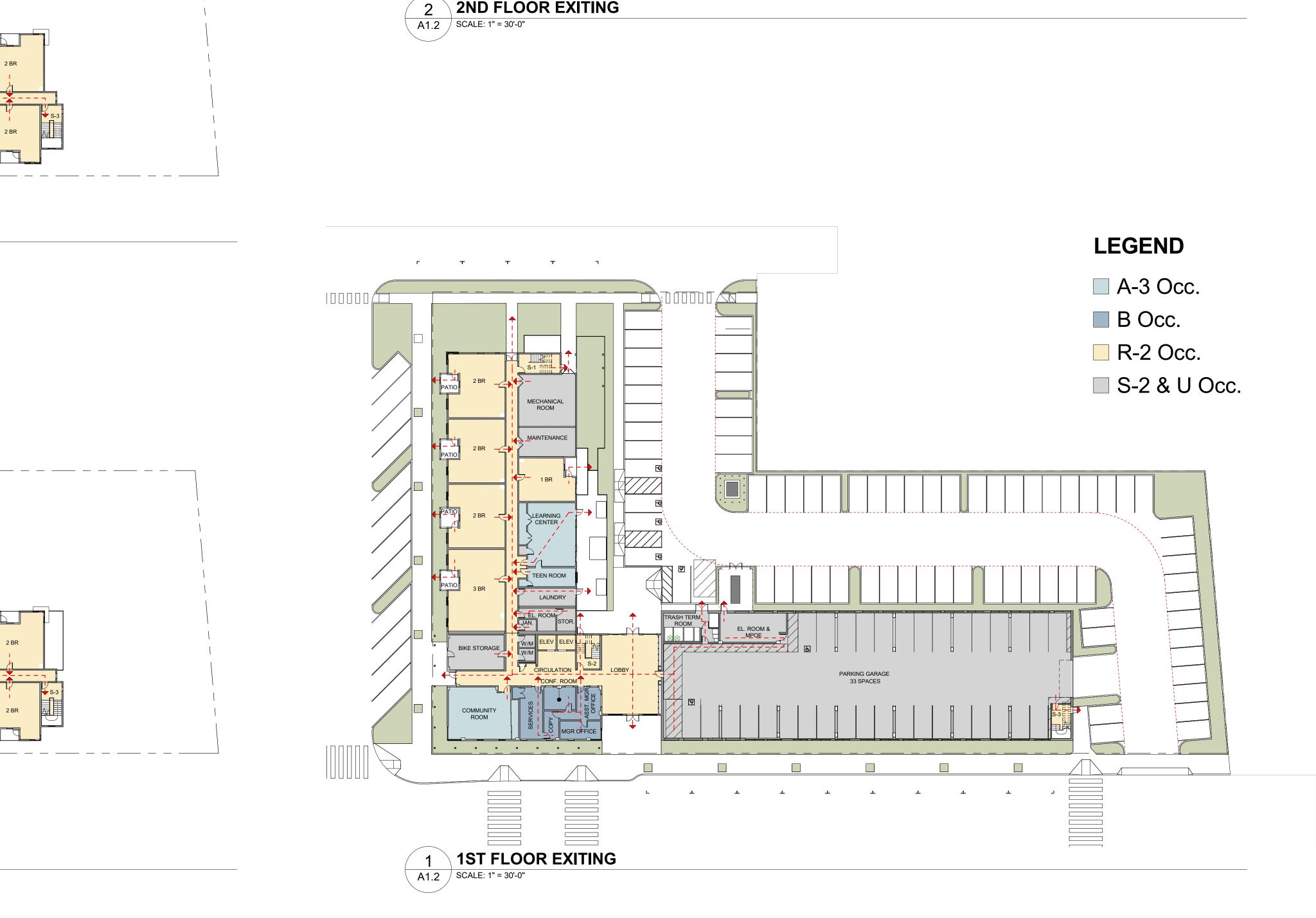
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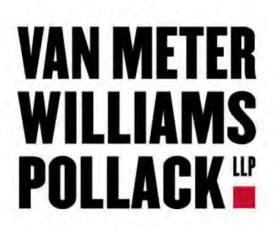












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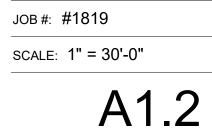
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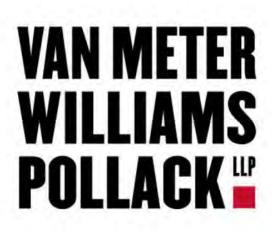


EXITING DIAGRAMS





0' 8' 16' 32'



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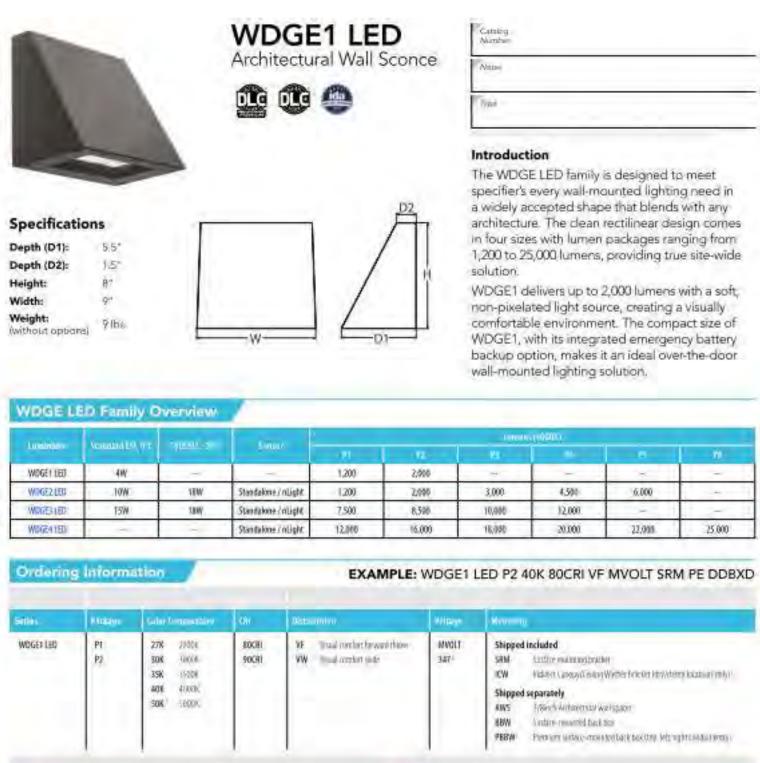
Client: MIDPEN HOUSING



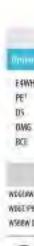


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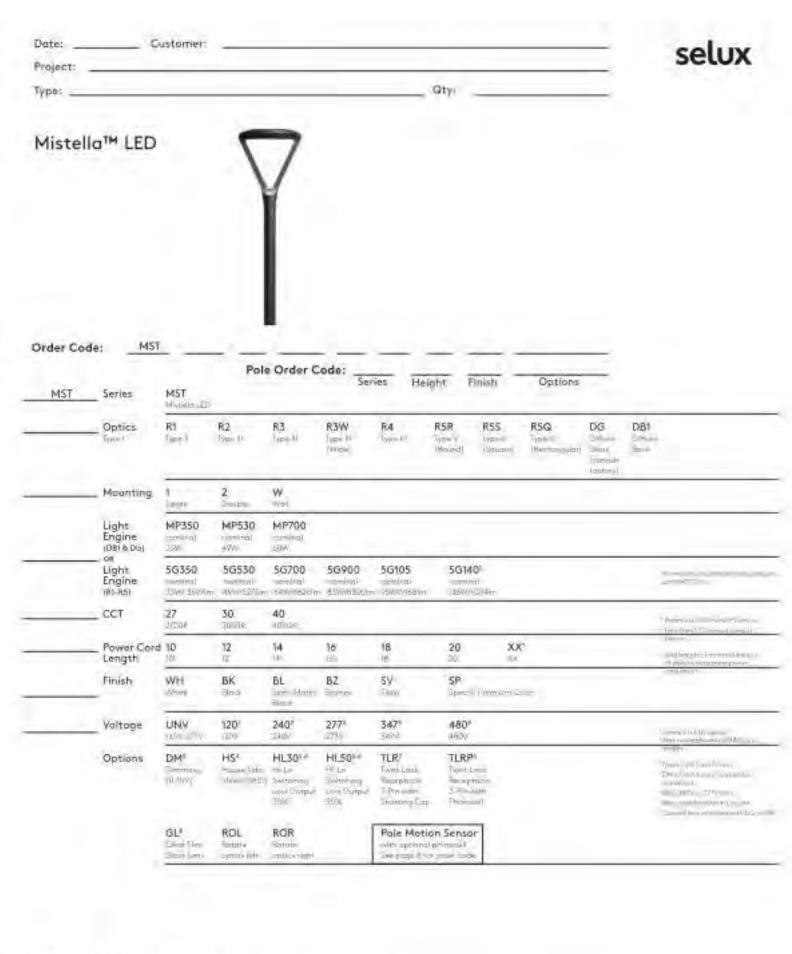
JOB #: #1819 SCALE: As indicated











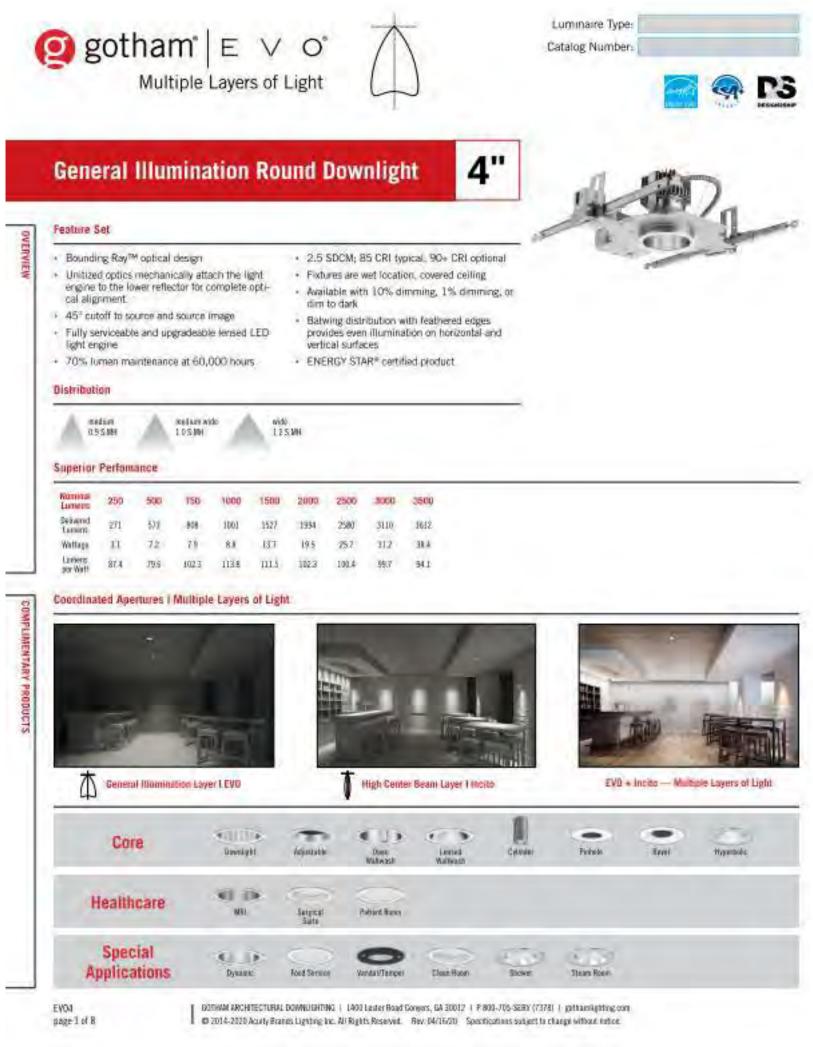


<u>TYPE B2 & B3</u> PRIVATE POLE FIXTURE IN COURTYARDS AND PARKING AREAS

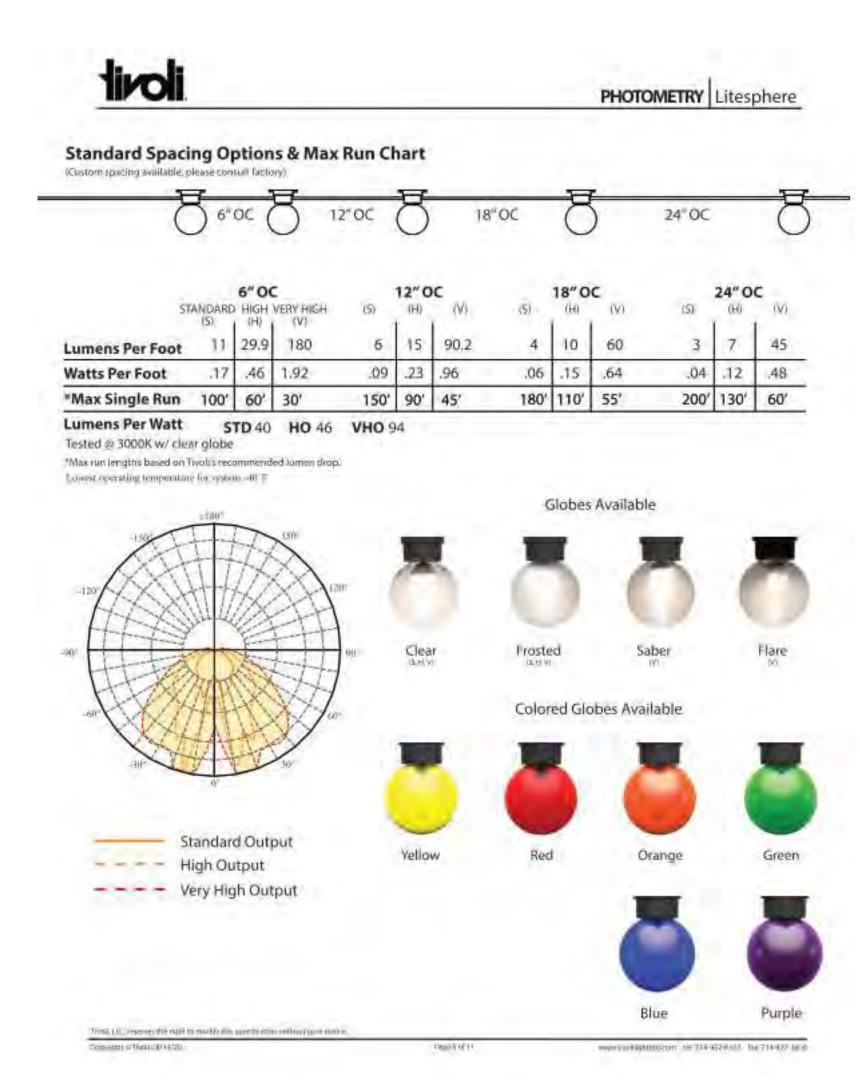




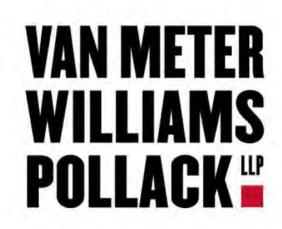
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<u>TYPE D1</u> CEILING MOUNTED RECESSED FIXTURE







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ID	DATE	NAME	
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Project:



Client: MIDPEN HOUSING



EXTERIOR LIGHT FIXTURES

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JOB #: #1819 SCALE: 1/4" = 1'-0"

Statistics											Note	leight: Va	rious ne	r Client	's Architect	ural Drawings	
Description	Symbo	l Avg	Max	Min	Max/Min	a Avg/M	in				Luminair		ng Height	: As No	oted in Plan		
Ground All 0'-0" AFG	+	2.0 fc				N/A	_								d in "Statist	ics"	
Parking North	ж	1.7 fc		0.1 fc		17.0::	_									report, whet	
Parking North West Parking South	* *	1.9 fc N/A	8.8 fc N/A	0.2 fc N/A	44.0:1 N/A	9.5:1 N/A	-				applicati	on assista	nce only.	. These	values wer	re for produc re developed	in
Parking West	*	2.0 fc		0.3 fc		6.7:1	-									al by, the des), and are NC	
											intended and base Inc. at th installed this repo accuracy liable for	for const ed on limit he time of performa ort. Please of the re	calculation calculation nce of the verify all port. 165 approval,	Becaus cation i on, 16 e lumin l data a 500 sha	e these values nformation 500, Inc. do naire(s) will and conditional neither b	provided to 1 provided to 1 pes not warra match that sons to assure e responsible rgency lightin	eximate 6500, nt the shown in the nor
											N.R.d.	Schedule					
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B2 @ 14' B2 @ 14' B2 @	14 60	ê 82 @ 14'	X 1001	B2 @ 14"	B2 6	14'		B2 @ 14'		1 to 3 to 2 to 1 1 'o 3 'o 1 'o 1			-	3	Selux	MST-X-R4-5G700	
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	1 60-29 1.7 1					and the second se	0.7 0.8 0.9 0.9 0.6 0.9 11 10			101 101 101		~		23	Lithonia Lighting	WDGE1 LED P2 30K 80CRI VF	WDGE1 LED WITH I - PERFORMANCE
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1.1 02 00	- 1	-	17	Ci @ 10.5	1 2		21 39 48 50			0.1 0.1 0.1			1	4	Gotham Architectural Lighting	EVO4 30/15 AR WD LSS	EVO 4IN ROUND DOWNLIGHT, 80 CF 3000K, 1500LM, WI
	7	N		18 13 75			27 52 63 55 29 65 6	CONTENT OF	the last has	01 01 01	- (J. 144	$ $ \bigcirc	D1		Lighting		DIST, CLEAR SEMI- SPEC
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		15		27. 30. 45	1 2 10 1	40° 45 29 20 20	0.6 11 21 37	5.3-6.8 50	2 4.0 2.8 1.9	1 13 12 12	0.9 00 0.4	08 0.9 TT T.	a 1.4 1.1 1.1	10 10	11 ×0.9 06 0.4 0	5 10.8 "IT TIT III	1 12 13 15 17 34
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	5.	- A	-	LA TRACER	B2@ 14(8 33 5	191	104 10.4 Ba 1061	5.5-108 ×08	05 05 4.4	×04 63 03	53 03 03	- 23 103 103 TO	3 03 03 03	*03 *03 *	2 63 23 23 6	3 02 03 04 05 0	7 11 40 31 78 62
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ber	Description	Filename	Lumens per Lamp	Lumen Multiplier	LLF	Wattage	Polar Plot	Rosa	actor Back APE APE
G700 V	Formed aluminum housing, slightly diffused lens, plastic o ptics	MST-R3W-X- 5G700-30-XX- XX-UNV.ies	7111	1	0.85	64	9	Santa R	18432
00-	Gray formed aluminum housing, clear/frosted plastic optics	MST-R4-X- 5G700-30-XX- XX-UNV-HS.ies	4808	1	0.85	61	Max: 2410cd	Road, S a	
1	WDGE1 LED WITH P2 - - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT FORWARD OPTIC	WDGE1_LED_P 2_30K_80CRI_ VF.ies	1872	1	0.85	15.0178	Max: 4221cd	istopol uadrig	l
i-	EVO 4IN ROUND DOWNLIGHT, 80 CRI, 3000K, 1500LM, WIDE DIST, CLEAR SEMI- SPEC	EVO4_30_15_A R_WD_LSS.ies	1262	1	0.85	13.7		883 Seba IWP Q	l
a a a a a	*0.0 0.0 0.0 0.0 0.0 0.0 0.0 01 0.1 0.1 0.1 0.1 0.1 0.1 0.2 0.1 0.1 0.1 0.1 0.1 0.1 0.3 0.3 0.2 0.2 0.2 0.2 0.7 0.6 0.4 0.2 0.2 0.2 0.5 0.1 0.5 0.1 0.5 0.5 2.63@:142.6 1.8 1.1 10 3.8 0.0 3.4 2.5 1.1 1.3 3.9 0.0 3.4 2.5 1.1 1.3	0.1 0.1 0.1 0.1 0.1 0.1 0.2 0.2 0.2 0.2 0.3 0.4 0.2 0.8 0.8 0.8 0= 0.5 1.0 1.5 10 1.1 18 2.6	01 01 01 02 02 01 00 02 05 10 02 05 10 15 10 15 10 1	0 00 00 0 0 01 01 0 0 01 01 0	0.0 ⁺ 0.0 0.0 ⁺ 0.0 0.1 ⁺ 0.0 0.1 ⁺ 0.1 0.2 ⁻ 0.1 0.2 ⁻ 0.1 0.4 0.2 0.5 ⁺ 0.3			Casa Roseland Client: VI	

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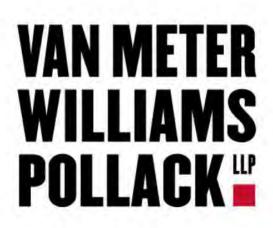
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52 4.6 21 07 03 02 02 02 04 08 16 29 58

Cr 145 20 07 03 02 02 02 04 09 23 45

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DATE	NAME
	DATE

Project:



JOB #: #1819

-----SCALE:

Designer TTK

2020-08-20 Scale As Noted Revision No. Rv 4 Summary

1 of 1

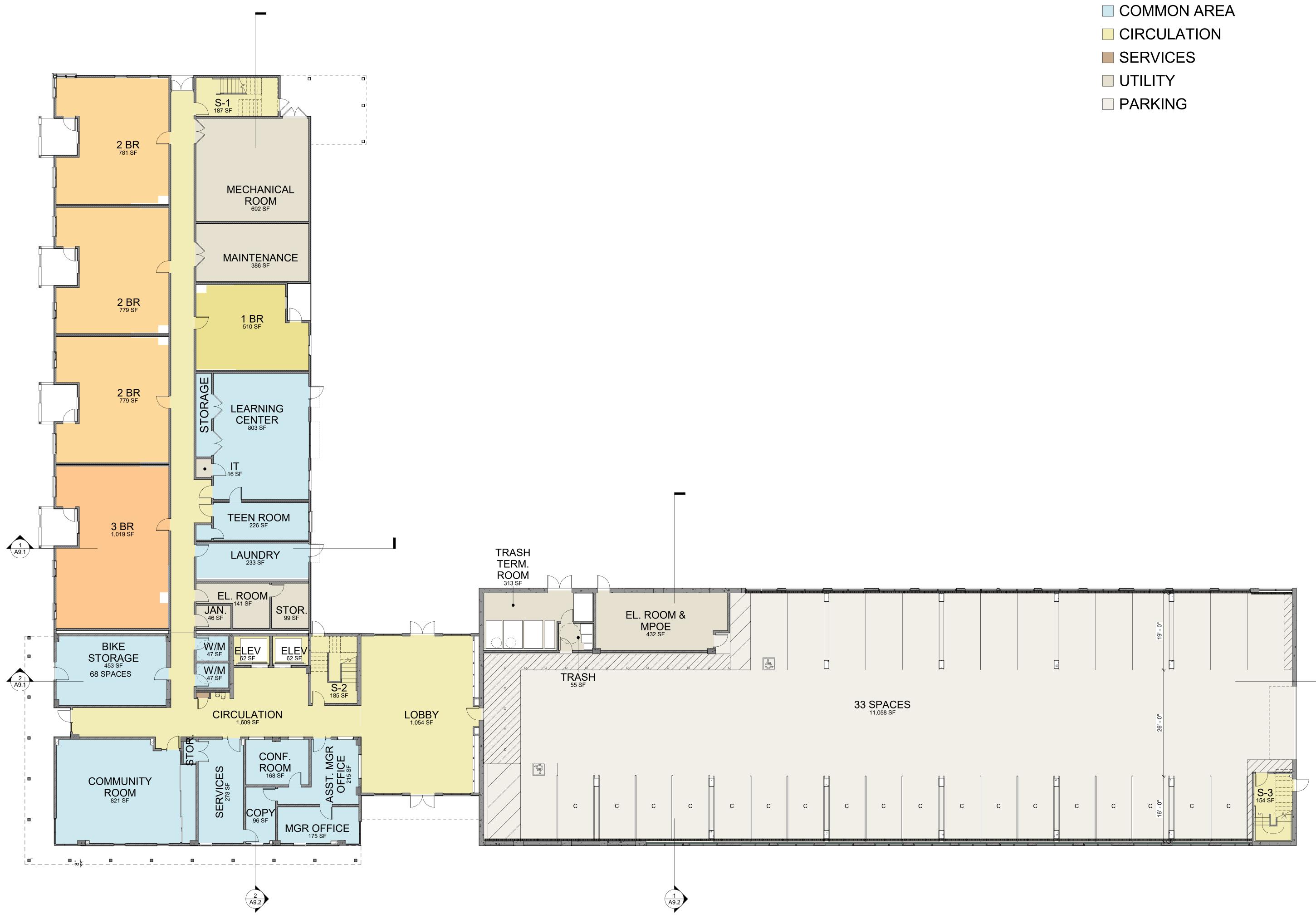
Date

Client: MIDPEN HOUSING



PHOTOMETRICS

A1.5

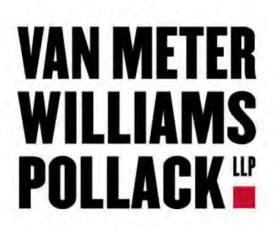


 1
 1ST FLOOR PLAN

 A2.0
 SCALE: 3/32" = 1'-0"

LEGEND

- 📃 1 BR
- 2 BR
- **3 BR**



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ID	DATE	NAME	

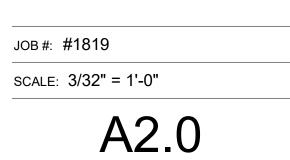
Project:



Client: MIDPEN HOUSING



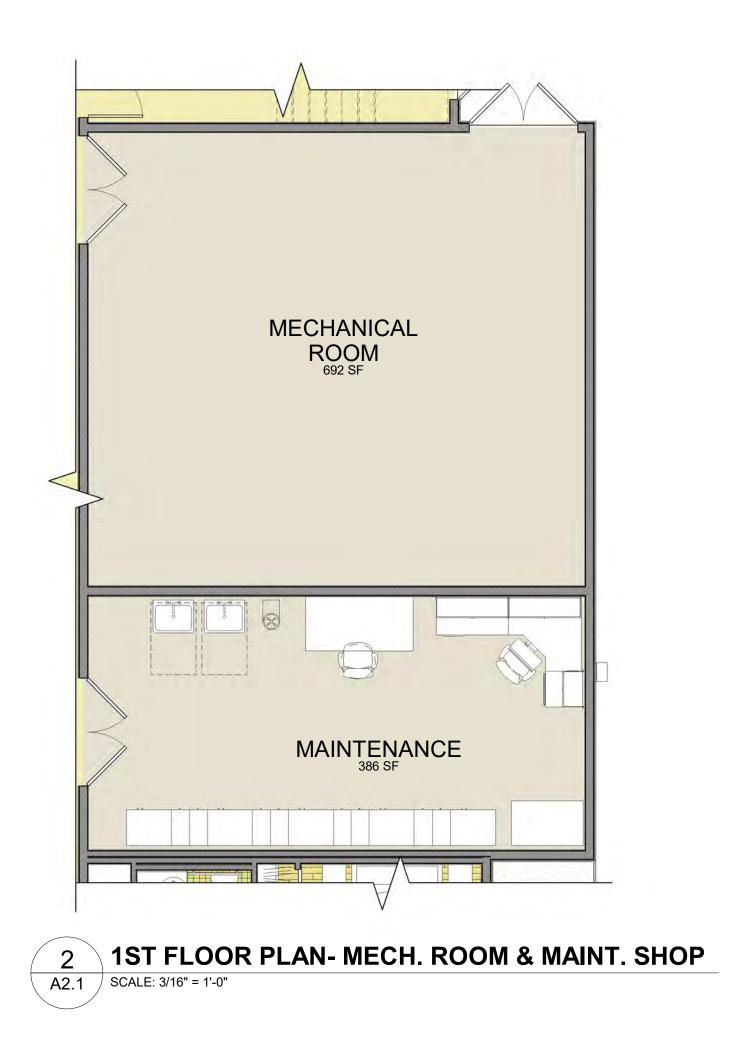
FIRST FLOOR PLAN

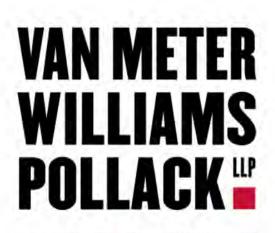




0' 4

1 1ST FLOOR PLAN - COMMON AREAS A2.1 SCALE: 3/16" = 1'-0"





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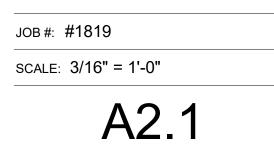
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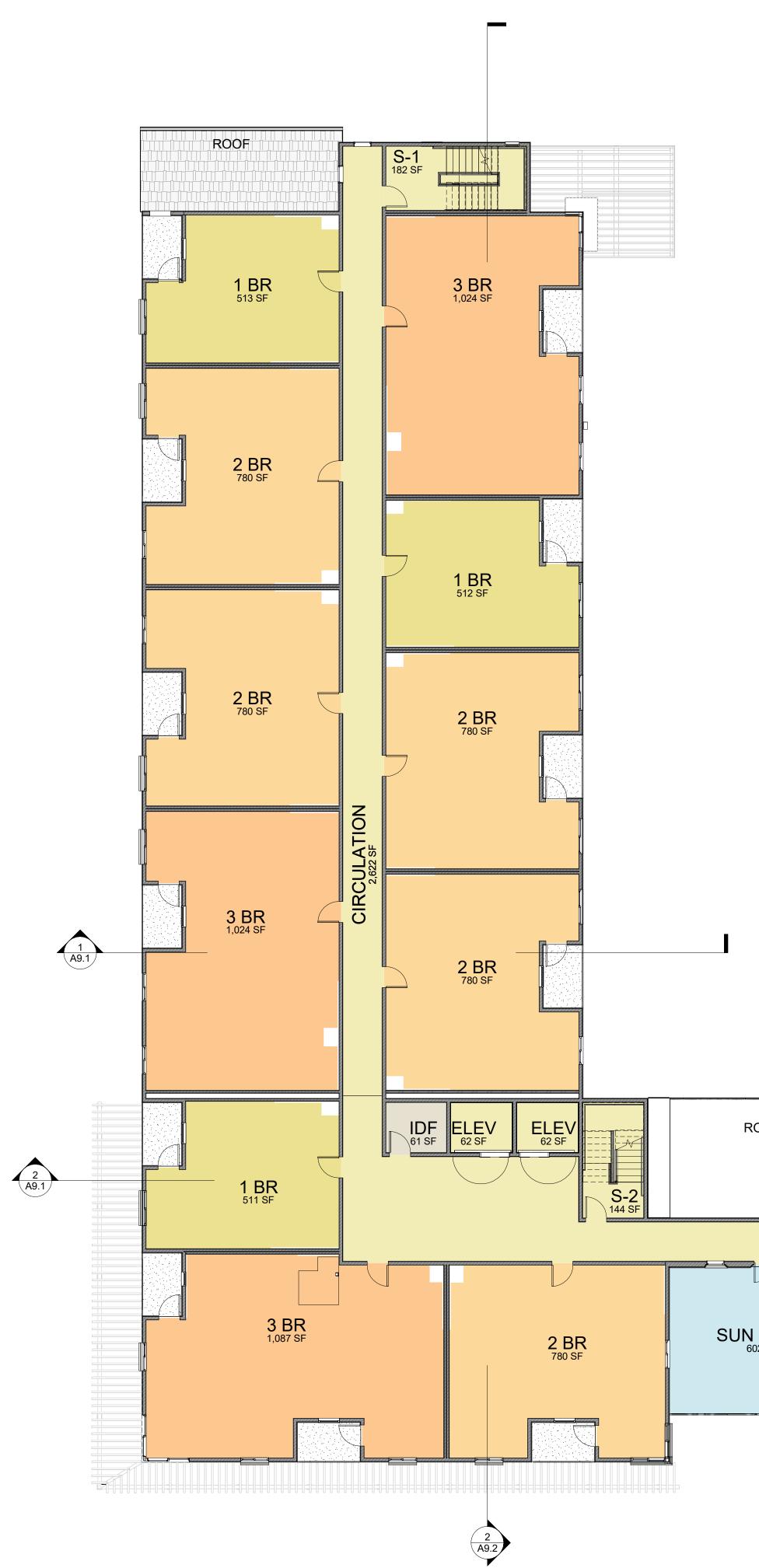
Client: MIDPEN HOUSING



ENLARGED PLANS -COMMON AREAS



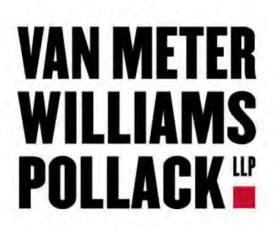




	· · · · · · · ·						
ROOF	ROOF	B BR 1,025 SF	1 BR 514 SF	A BR 1,025 SF	1 BR 514 SF	B BR 1,010 SF	
IN DECK 602 SF	3 BR 1,024 SF	1 BR 513 SF	2 BR 780 SF	2 BR 780 SF	2 BR 780 SF	2 BR 780 SF	S-3 197 SF
							ROOF

LEGEND

- 1 BR
- 2 BR
- 🗌 3 BR
- COMMON AREA
- CIRCULATION



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D	DATE	NAME
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Project:



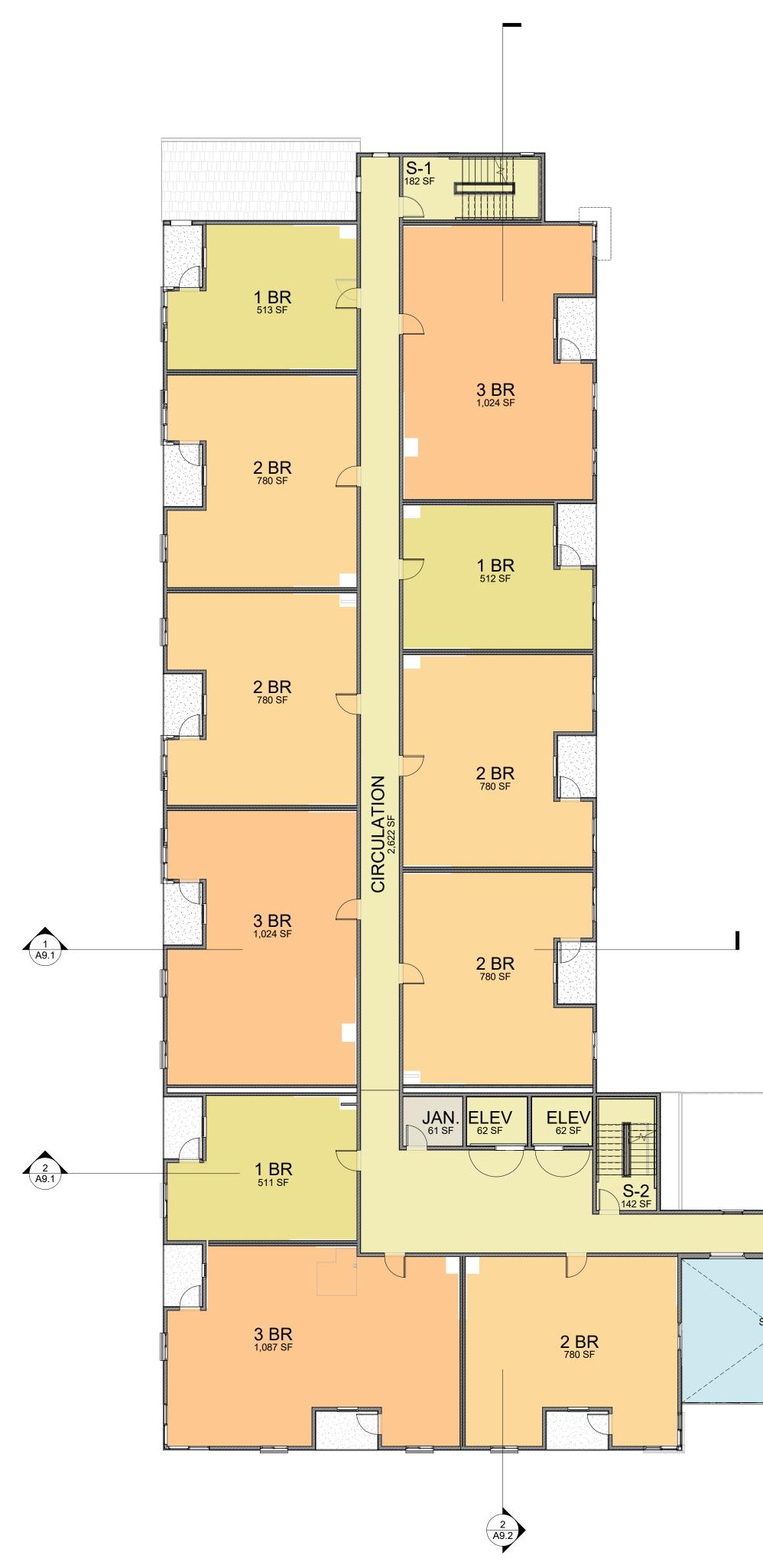
Client: MIDPEN HOUSING



SECOND FLOOR PLAN

JOB #: #1819 -SCALE: 3/32" = 1'-0"

A3.0

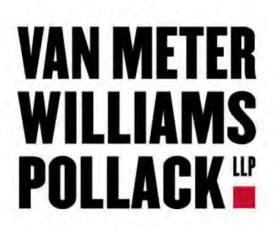


	Solution 1 BR 513 SF TRASH 149 SF	3 BR 1,025 SF	1 BR 514 SF	3 BR 1,025 SF	1 BR 514 SF	2 BR 780 SF	ROOF
SUN DECK BELQW	3 BR 1,022 SF	1 BR 513 SF	2 BR 780 SF	2 BR 778 SF	2 BR 780 SF	2 BR 780 SF	S-3 207 SF
	1,022 SF	513 SF	780 SF	778 SF	780 SF	780 SF	
		1 A9.2					

TRA 149	513 SF	3 BR 1,025 SF	1 BR 514 SF	3 BR 1,025 SF	1 BR 514 SF	2 BR 780 SF	ROOF	1
SUN DEĆK BĚĽOW	3 BR 1,022 SF	1 BR 513 SF	2 BR _{780 SF}	2 BR 778 SF	2 BR _{780 SF}	2 BR 780 SF	S-3 207 SF	

LEGEND

- **1** BR 2 BR **3 BR** COMMON AREA CIRCULATION



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п	DATE	
ID	DATE	NAME

Project:



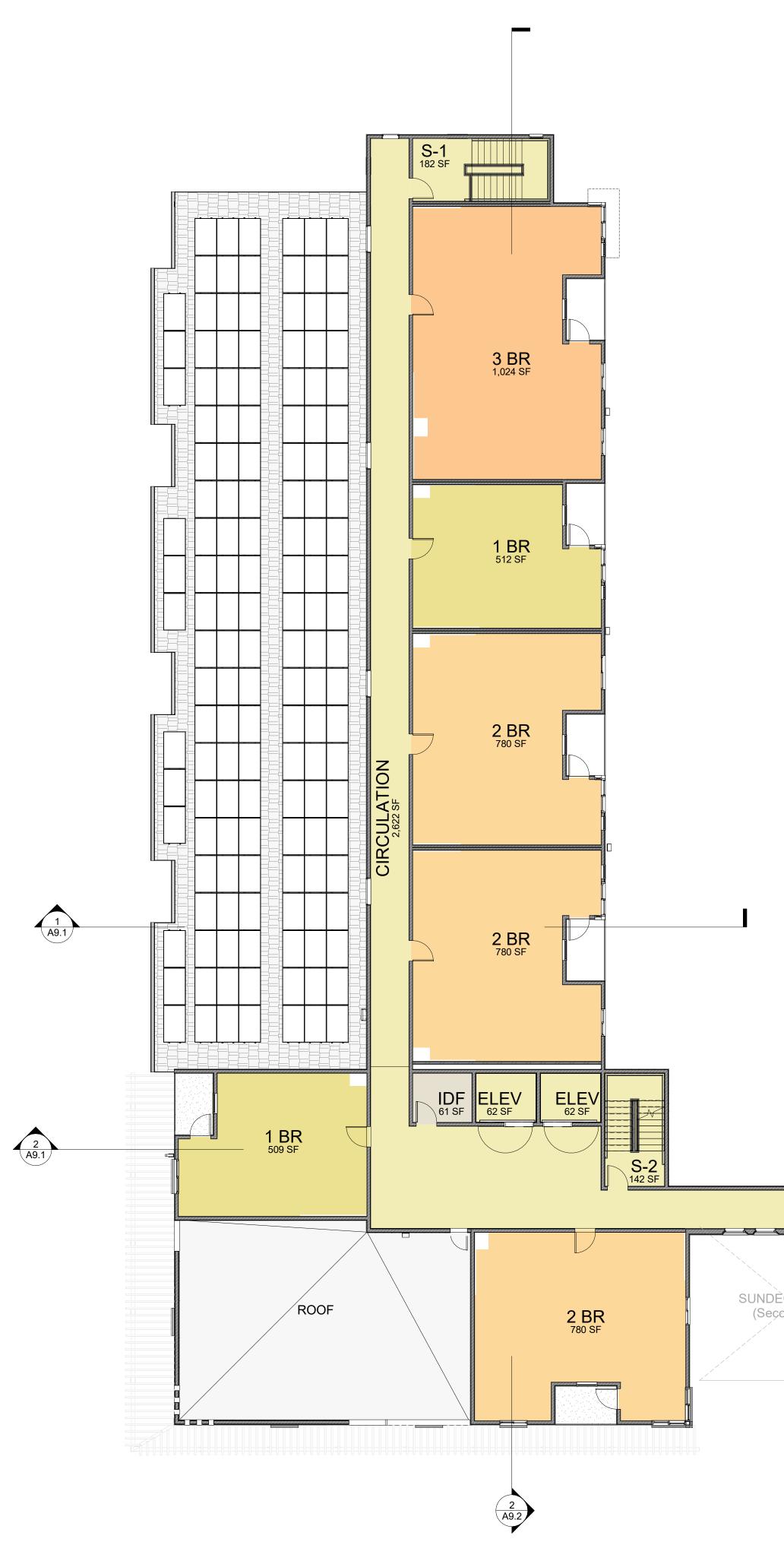
Client: MIDPEN HOUSING

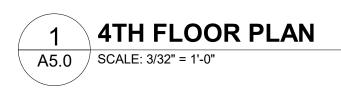


THIRD FLOOR PLAN

JOB #: #1819 -----SCALE: 3/32" = 1'-0"





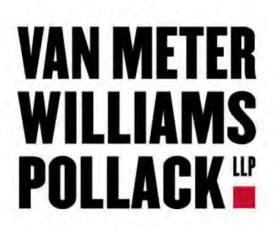


2 BR 780 SF

LEGEND

- 1 BR
- 2 BR
- 🗌 3 BR
- COMMON AREA
- CIRCULATION





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ID	DATE	NAME	
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Project:



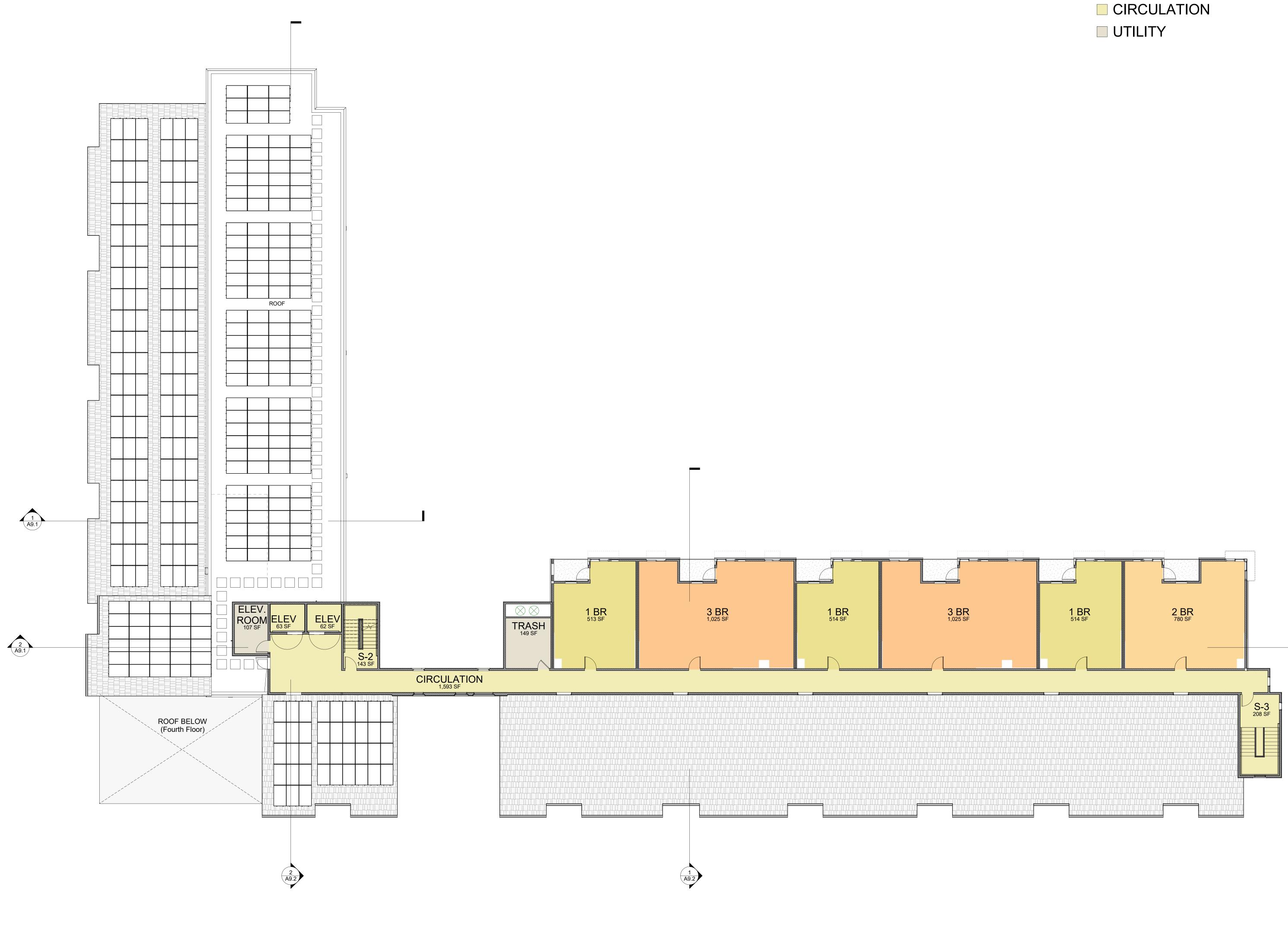
Client: MIDPEN HOUSING



FOURTH FLOOR PLAN

JOB #: #1819 _____ SCALE: 3/32" = 1'-0"





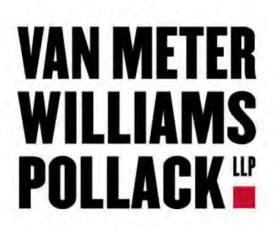
 1
 5TH FLOOR PLAN

 A6.0
 SCALE: 3/32" = 1'-0"

LEGEND

1 BR 2 BR **3 BR**

0' 6 12



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ID	DATE	NAME	

Project:



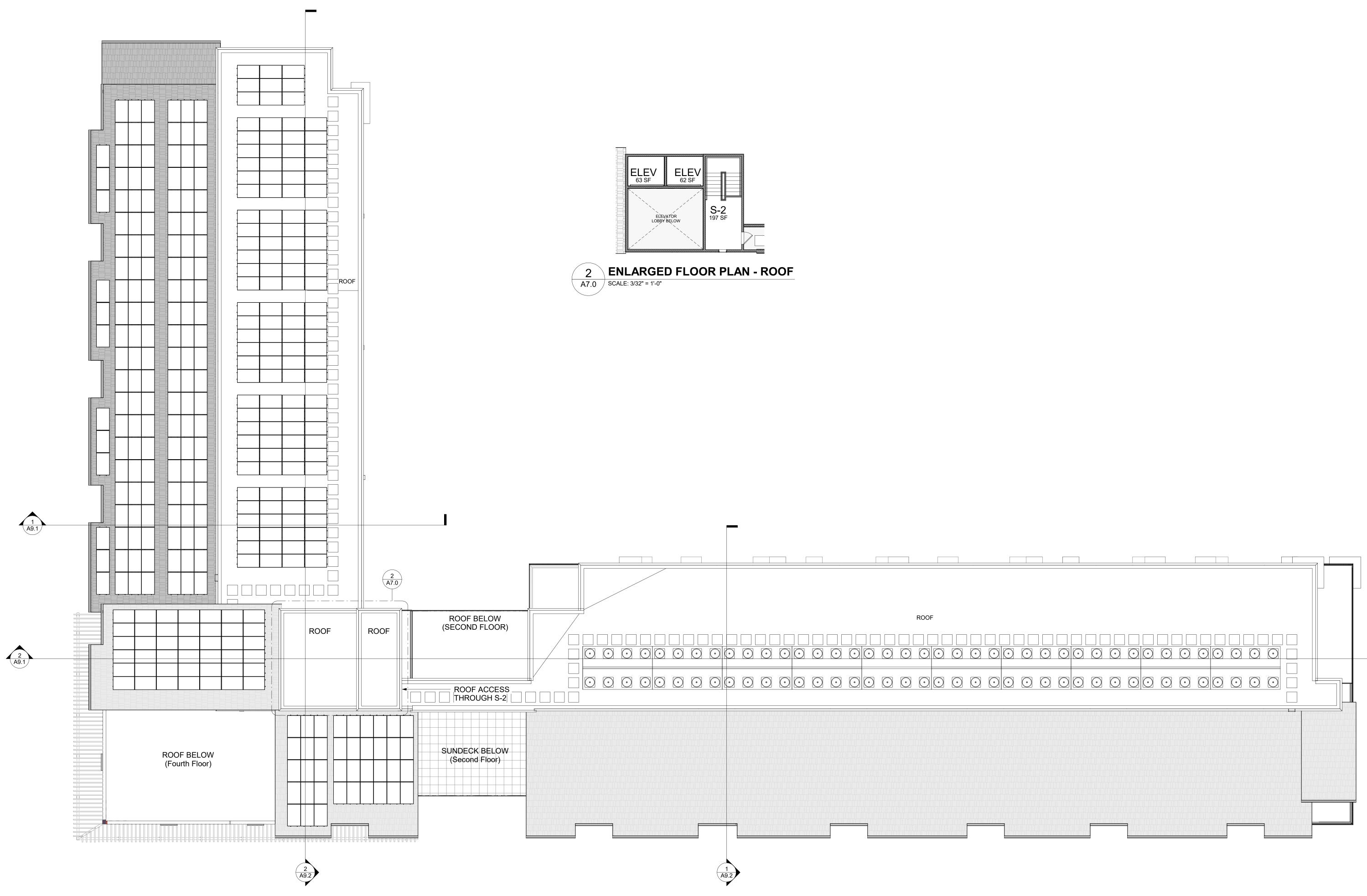
Client: MIDPEN HOUSING



FIFTH FLOOR PLAN

JOB #: #1819 -----SCALE: 3/32" = 1'-0"



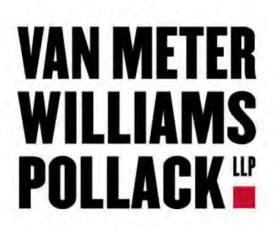




ELEV 63 SF	ELEV 62 SF		
ELL	EVATOR Y BELOW	S-2 197 SF	

24

0' 6 12



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ID	DATE	NAME	

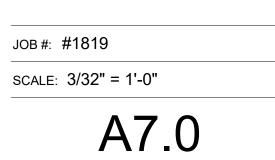
Project:



Client: MIDPEN HOUSING







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A8.1 SCALE: 3/32" = 1'-0"

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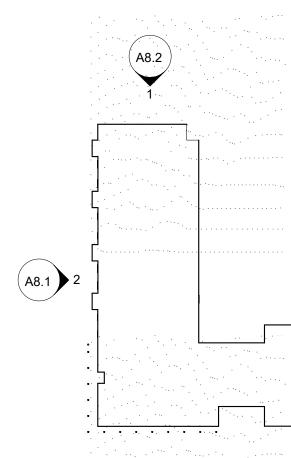
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6 KEY NOTES MATERIALS AND COMPONENTS 1 STUCCO 2 CONCRETE

- 3 VINYL WINDOWS, MILGARD, OR VPI, GREY COLOR
- 4 ASPHALT SHINGLES AT SLOPED ROOFS PERFORATED METAL RAILING
- 5 6 PERFORATED METAL SUNSHADE
- 7 PATIOS AT GROUND LEVEL UNITS
- 8 DOWNSPOUTS
- 9 WOOD TRELLIS
- 10 RECESSED FIBER CEMENT PANELS, OR ACCENT COLOR STUCCO
- 11 STOREFRONT DOORS & WINDOWS
- 12 GARAGE OPENINGS (FOR VENTILATION)
- 13 SECTIONAL GARAGE DOOR
- 14 METAL MESH SCREEN W/ CLIMBING PLANTS
- 15 PRECAST CONCRETE SILL





3 KEYPLAN - ELEVATIONS 1" = 60'-0"

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COLORS

MAIN COLOR #1: CLOUDY WHITE (KMW57)

MAIN COLOR #3: VINCOTTO (KM5583)

MAIN COLOR #2: JAPANESE MAPLE (KM5463)

<u>MAIN COLOR #4:</u> HARRISON'S GRAY (KM5816)

ACCENT COLOR #1: PARLOR ROSE (KM5580)

G STAINED WOOD

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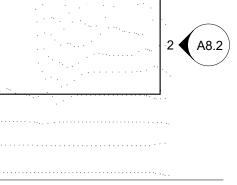
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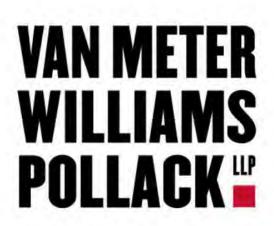
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<u>ACCENT COLOR #1:</u> PARLOR ROSE (KM5580)	
<u>ACCENT COLOR #2:</u> GREEN DRAGON SPRING (KM4802)	
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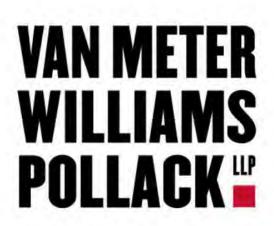
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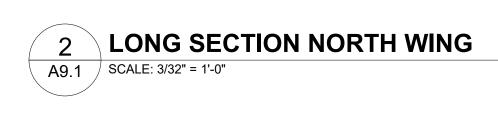


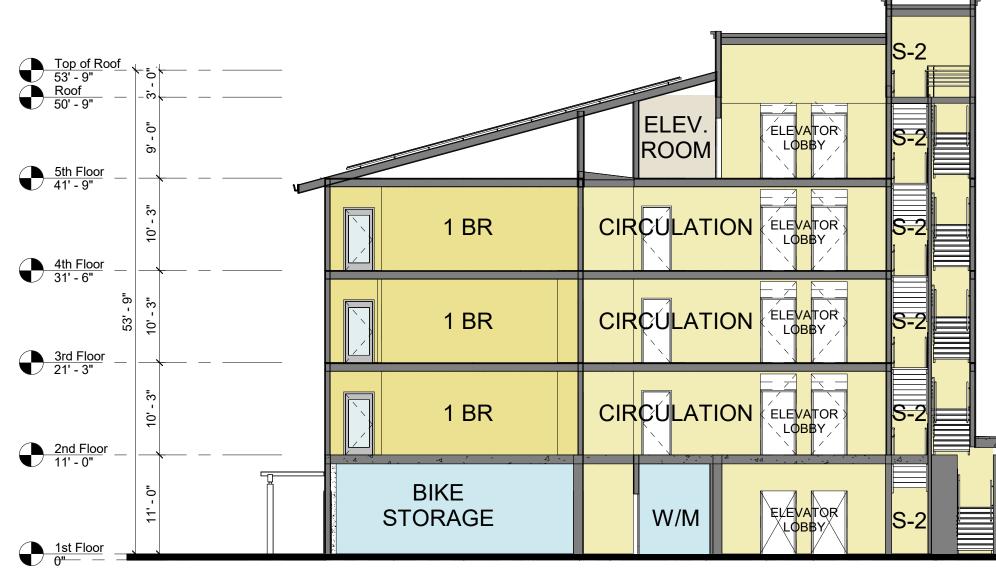
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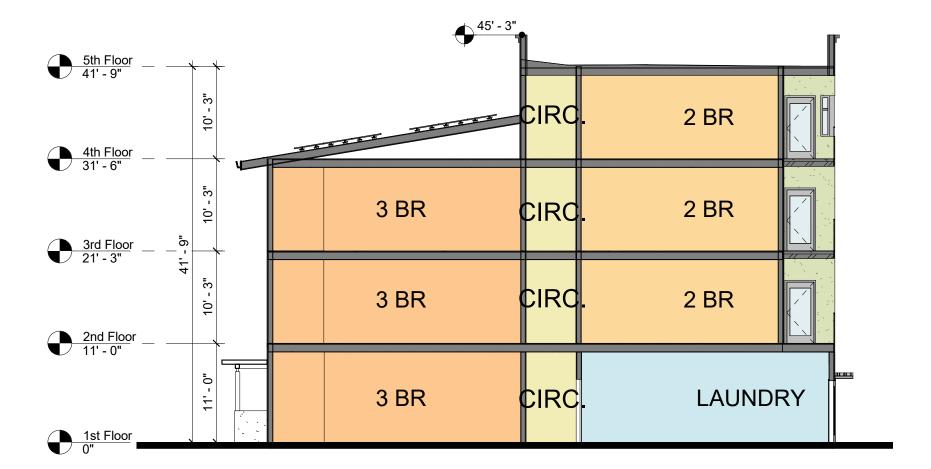




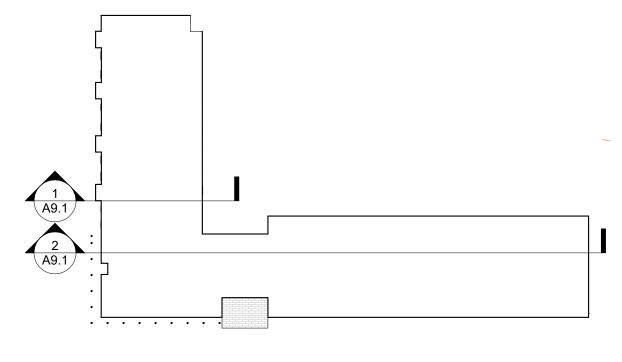
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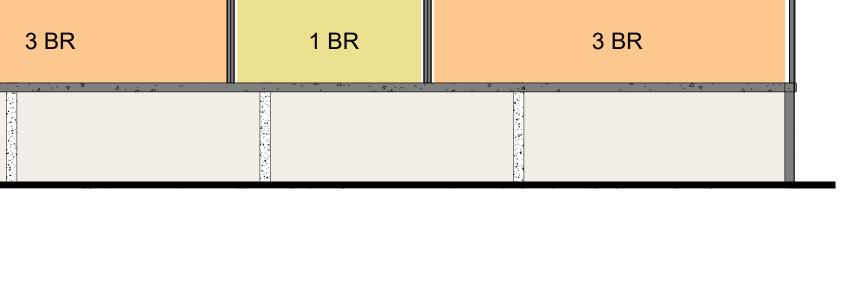


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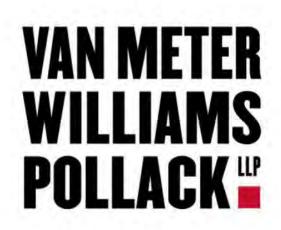


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3 BR	1 BR	2 BR



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Client: MIDPEN HOUSING

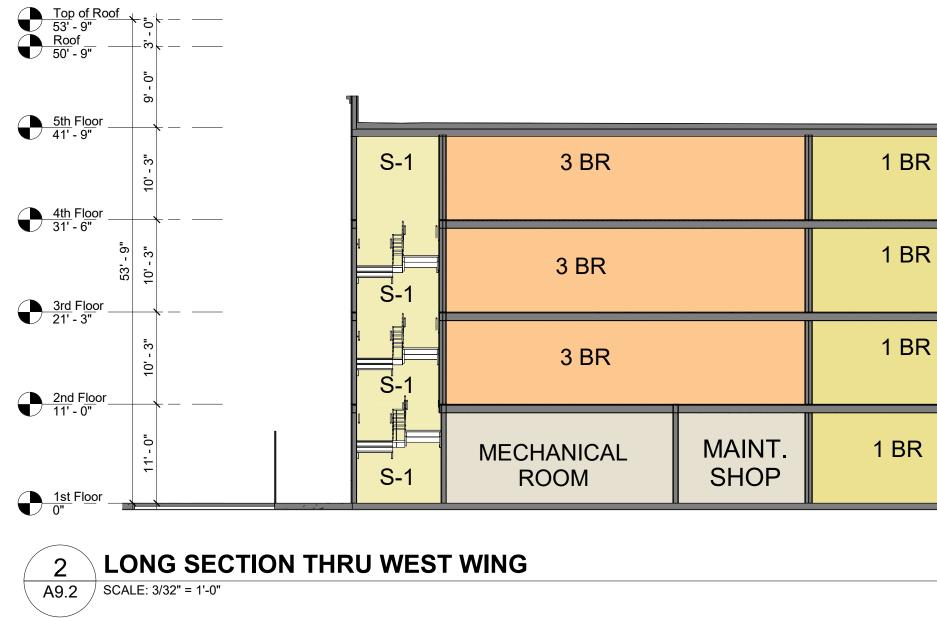


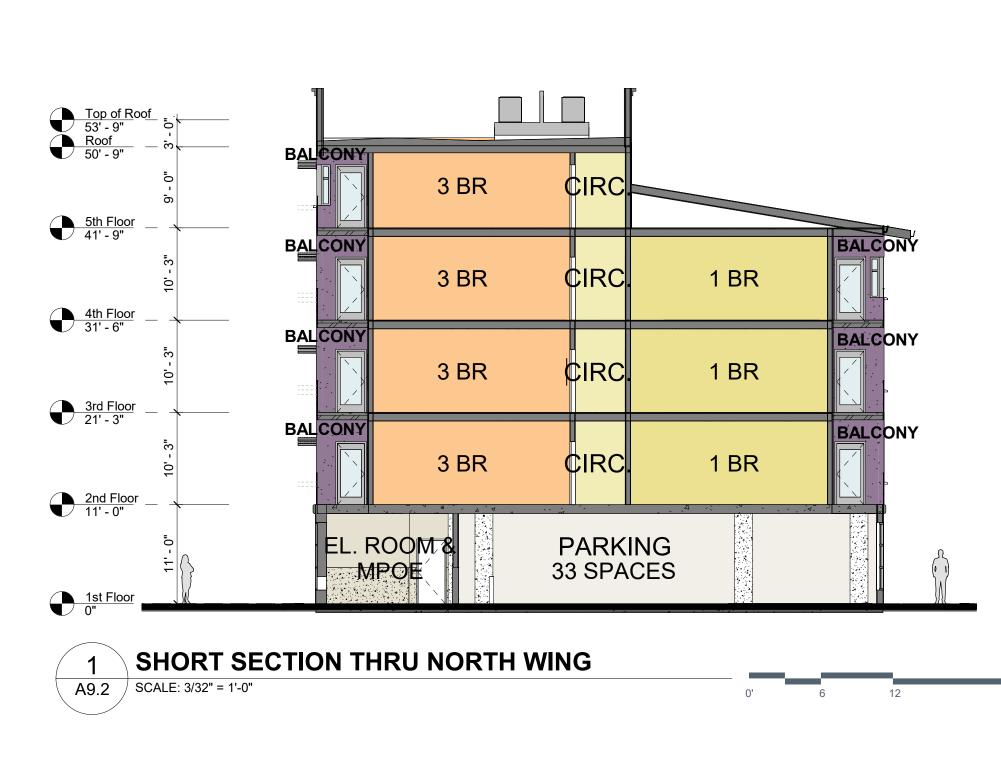
BUILDING SECTIONS

JOB #: #1819

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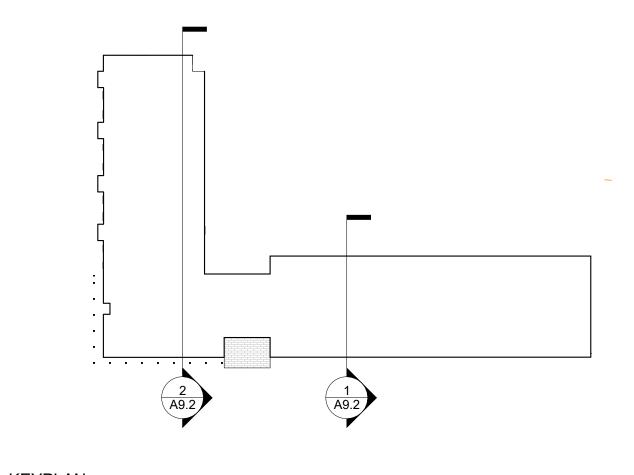
SCALE: As indicated

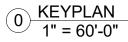




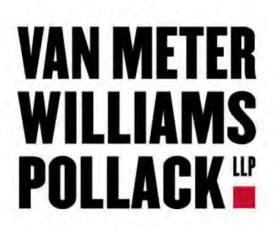
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ID	DATE	NAME	

Project:



Client: MIDPEN HOUSING



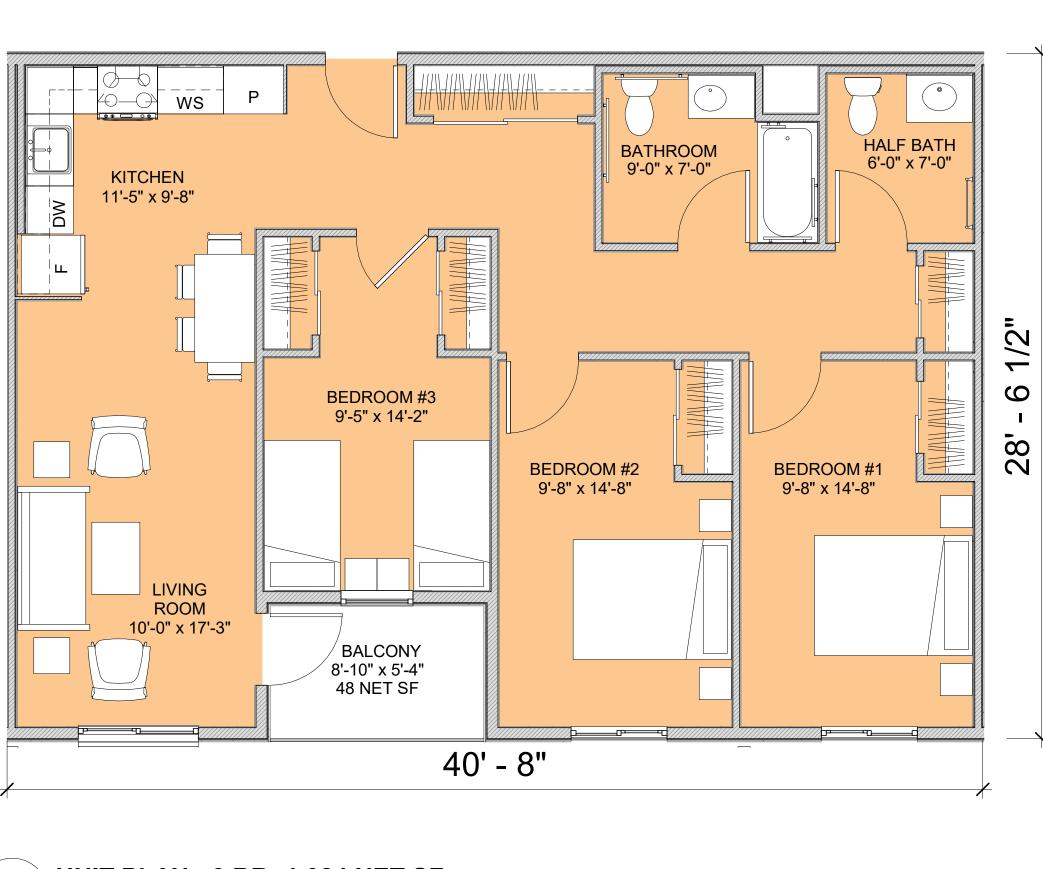
BUILDING SECTIONS

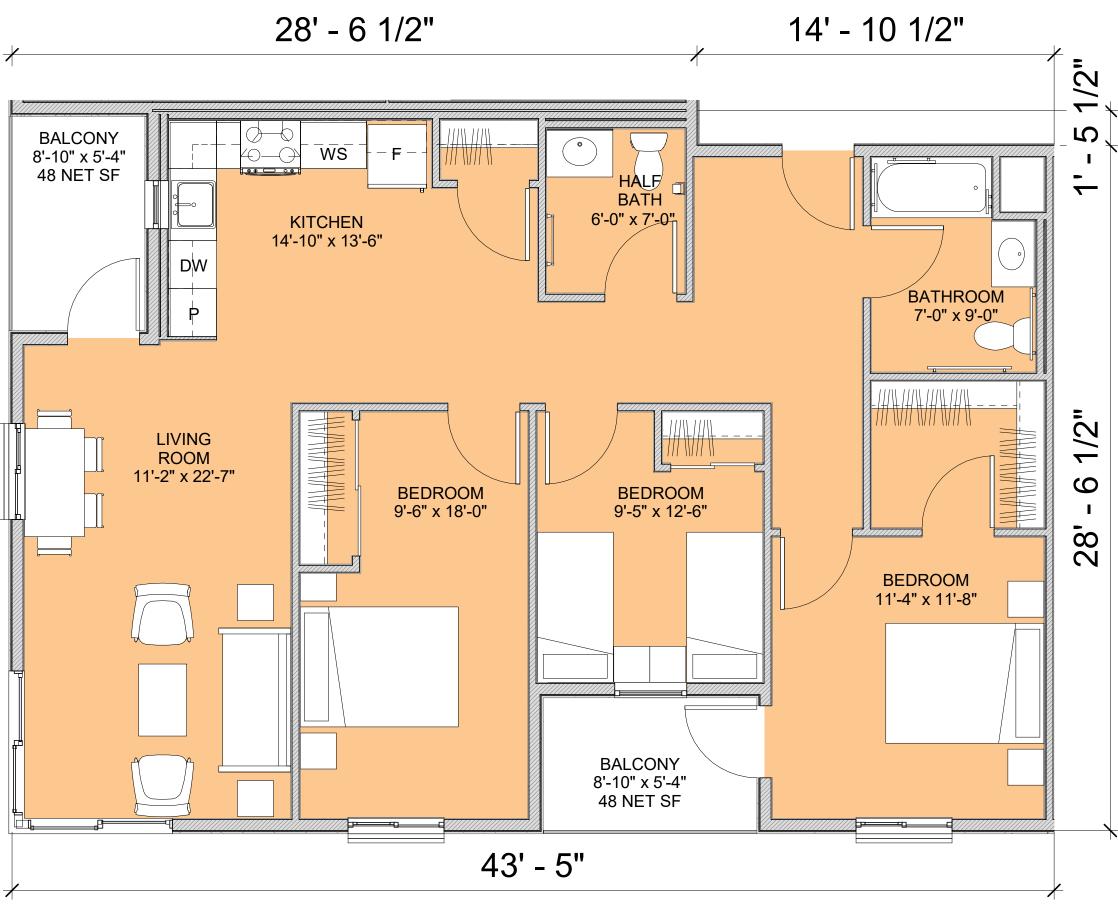
JOB #: #1819 SCALE: As indicated A9.2



4 UNIT PLAN - 3 BR CORNER: 1,088 NET SF

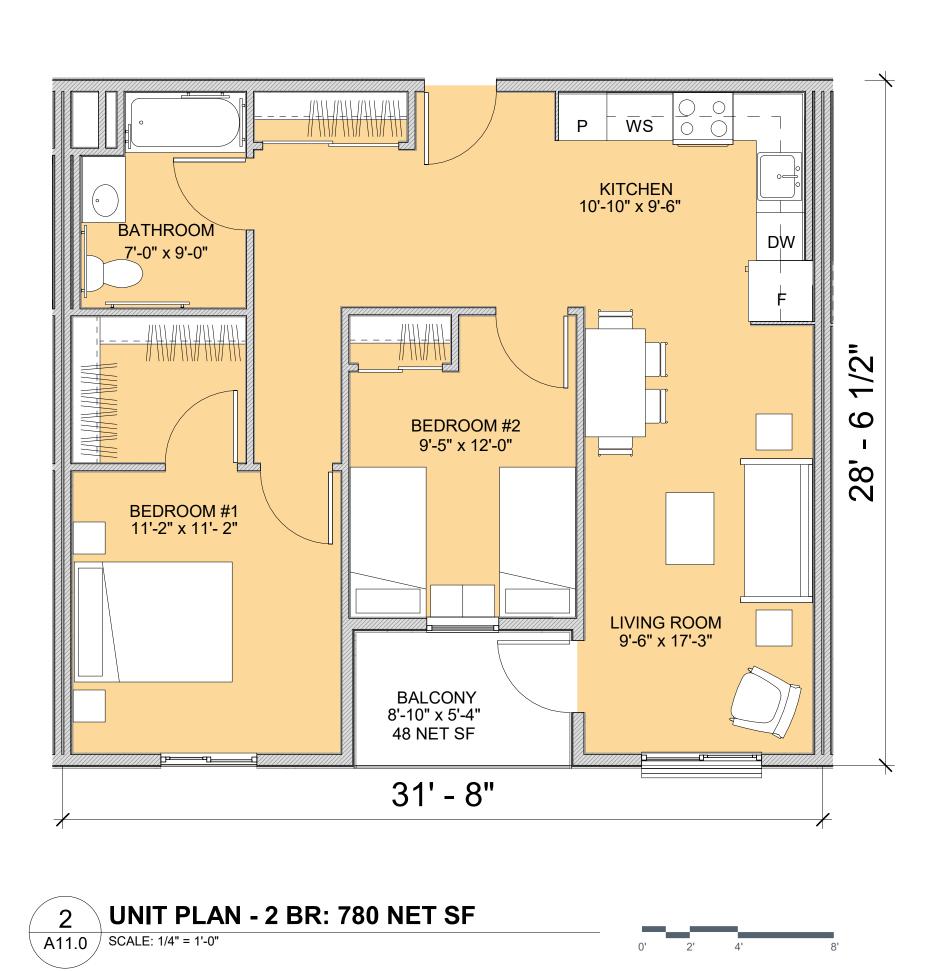
A11.0 SCALE: 1/4" = 1'-0"



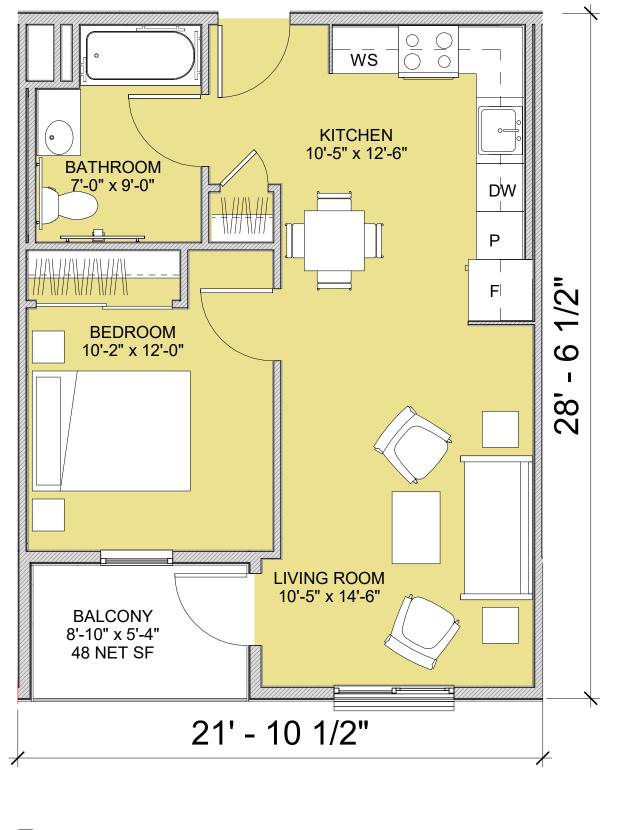


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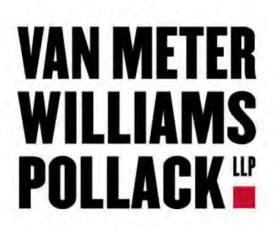
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1 UNIT PLAN - 1 BR: 510 NET SF A11.0 SCALE: 1/4" = 1'-0" 0' 2' 4' 8'



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ID	DATE	NAME	

Project:



Client: MIDPEN HOUSING



TYPICAL UNIT PLANS

JOB #: #1819 -----SCALE: 1/4" = 1'-0"

