

1. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION SHALL CONFORM TO THE CITY OF SANTA ROSA MOST RECENTLY ADOPTED EDITION OF THE STANDARD PLANS AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
2. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL CONSTRUCTION PERMITS REQUIRED BY THE CITY OF SANTA ROSA (SUCH AS ENCROACHMENT, GRADING, BUILDING, DEMOLITION ETC.) PRIOR TO COMMENCEMENT OF WORK. AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
4. RAILROAD LEADERS, STORM DRAIN, AND EACH OTHER UTILITY ARE TO BE CONTACTED BY DEVELOPER TO STORM DRAIN SYSTEM OR DRAINAGE BLOCK. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION AND SIZE. NO CONCENTRATED LOT DRAINAGE SHALL FLOW ACROSS SIDEWALKS.
5. CONTRACTOR SHALL SECURE A TRENCH PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO EXCAVATION OF ANY TRENCH OVER FIVE FEET IN DEPTH.
6. IF ANY CONTAMINATED MATERIAL IS ENCOUNTERED DURING CONSTRUCTION, WORK MUST STOP UNTIL A WORK PLAN HAS BEEN APPROVED IN WRITING BY THE CITY FIRE DEPARTMENT AND THE STATE REGIONAL WATER QUALITY CONTROL BOARD.
7. ALL TRENCH SPOILS SHALL BE REMOVED AS THEY ARE GENERATED AND DISPOSED OF ON SITE PER THE CITY PERMIT OR AT A SITE APPROVED BY A GRADING PERMIT FROM THE DEPARTMENT OF COMMUNITY DEVELOPMENT.
8. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE DESIGN PROFESSIONAL AND THEIR CONSULTANTS, AND THE CITY OF SANTA ROSA, AND EACH OF THEIR OFFICES, EMPLOYEES, AND AGENTS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
9. THE LOCATIONS OF UNDERGROUND OBSTRUCTIONS SHOWN ON THE PLANS ARE APPROXIMATE ONLY AND SHOULD NOT BE TAKEN AS FINAL OR ALL INCLUSIVE. THE CONTRACTOR IS CAUTIONED THAT THE PLANS MAY NOT INCLUDE ALL EXISTING UTILITIES AND THAT THE OWNER, THE CITY OF SANTA ROSA AND DESIGN PROFESSIONAL ASSUME NO RESPONSIBILITY OF OBSTRUCTIONS WHICH MAY BE ENCOUNTERED.
10. THE CONTRACTOR SHALL EXPOSE ALL EXISTING UTILITIES INCLUDING SEWERS AND STORM DRAINS PRIOR TO ANY TRENCHING TO ALLOW THE ENGINEER TO VERIFY THE GRADE AND ALIGNMENT OF THE UTILITIES, AND TO DESIGN AND EXISTING UTILITIES AND EXACT LOCATION. EXISTING UTILITIES MAY REQUIRE SITE RELOCATION AND/OR PROPOSED IMPROVEMENTS MAY REQUIRE GRADE OR ALIGNMENT REVISION DUE TO FIELD CONDITIONS. THE ENGINEER WILL NOT MARK ANY GRADE STAKES UNTIL AFTER THE EXACT LOCATION OF ALL EXISTING UTILITIES HAS BEEN VERIFIED.
11. THE CONTRACTOR SHALL RECOGNIZE THAT UNDERGROUND FACILITIES NOT SHOWN AS CIVIL IMPROVEMENTS (P&GE, TELEPHONE, TV, IRRIGATION, ETC.) SHALL BE COORDINATED AND CONSTRUCTED PRIOR TO PLACEMENT OF BASE ROCK AND PAVING.
12. CONTRACTOR IS RESPONSIBLE FOR PRESERVATION AND/OR REMOVAL OF ALL EXISTING SURVEY MONUMENTS (IRON PIPES ON LOT LINES AND CORNER, CENTERLINE WELD DISKS, ETC.), WHICH CONTROL SUBDIVISIONS, TRACTS, BOUNDARIES, STREETS, HIGHWAYS, OR OTHER RIGHT-OF-WAY, EASEMENTS, OR PROVIDE SURVEY CONTROL WHICH WILL BE DISTURBED OR REMOVED DUE TO CONTRACTOR'S WORK. CONTRACTOR SHALL PROVIDE A MINIMUM OF 10 (TEN) WORKING DAYS NOTICE TO THE ENGINEER/SURVEYOR PRIOR TO DISTURBANCE OR REMOVAL OF EXISTING MONUMENTS.
13. CONSTRUCTION HOURS SHALL BE LIMITED TO 7 AM TO 7 PM MONDAY THRU SATURDAY, EXCLUDING HOLIDAYS. THE CITY OF SANTA ROSA DOES NOT ALLOW ANY MOTOR VEHICLES OR OTHER HEAVY EQUIPMENT. ALL CONTRACTOR'S EQUIPMENT SHALL BE PROPERLY MUFFLED AND SHALL BE SHUT DOWN WHEN NOT IN USE.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE OR DETERIORATION OCCURRING TO EXISTING PUBLIC IMPROVEMENTS AS A DIRECT RESULT OF CONSTRUCTION ACTIVITY RELATED TO CONSTRUCTION OF THE COMMON IMPROVEMENTS (GRADING, ROAD CONSTRUCTION, UTILITY INSTALLATION, ETC.). REQUIRED REPAIR MAY REQUIRE PATCHING, SEALING OR OVERLAYING AFFECTED AREAS AS APPROPRIATE TO RETURN THE ROADS TO AS GOOD A CONDITION AS THEY WERE PRIOR TO CONSTRUCTION. IF THE CONTRACTOR DOES NOT ACT PRUDENTLY IN A TIMELY MANNER, THE CITY MAY, AT ITS DISCRETION PERFORM THE CORRECTION AND CHARGE THE CONTRACTOR FOR ALL COSTS AND OVERHEAD INCURRED.
15. A TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS FOR APPROVAL PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
16. CONSTRUCTION SITE WASTE MANAGEMENT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR. THE CONSTRUCTION SITE MUST BE KEPT CLEAN AND FREE FROM NON-STORM WATER MATERIAL DISCHARGES, INCLUDING BUT NOT LIMITED TO SOLID WASTE SUCH AS PACKAGING MATERIALS, WOOD, PAPER, AND PLASTIC; SCRAP OR SURPLUS BUILDING MATERIALS SUCH AS METALS, RUBBER, PLASTIC, GLASS AND MASONRY PRODUCTS; DOMESTIC WASTES SUCH AS FOOD CONTAINERS, COFFEE CUPS, PAPER BAGS, AND CIGARETTES; CONSTRUCTION AND LANDSCAPING MATERIALS; AND HAZARDOUS WASTE SUCH AS PETROLEUM PRODUCTS, WOOD PRESERVATIVES, PAINTS, MORTARS, AND SOLVENTS. ANY ACTIVITY DURING CONSTRUCTION WHICH ACTUALLY AND/OR MAY POTENTIALLY RESULT IN THE DISCHARGE OF SUCH POLLUTANTS INTO THE CITY'S STORM WATER SYSTEM IS IN VIOLATION OF CITY OF SANTA ROSA STORM WATER ORDINANCE AND STATE OF CALIFORNIA NON-POINT SOURCE REGIONAL WATER QUALITY CONTROL BOARD REGULATION. THE SITE SHALL REMAIN NEAT AND FREE FROM ANY SUCH POLLUTANTS. THE SITE MUST HAVE AN ADEQUATE NUMBER OF WATERTIGHT CONTAINERS WITH LIDS OR COVERS THAT CAN BE PLACED OVER THE CONTAINER TO KEEP OUT RAIN OR TO PREVENT LOSS OF WASTE DUE TO WIND. THE CONTRACTOR MUST COLLECT SITE TRASH DAILY AND ARRANGE FOR REGULAR WASTE COLLECTION BEFORE CONTAINER OVERFLOWS.
17. THE LOCATION AND INSTALLATION OF THE MAIL BOX SHALL BE COORDINATED BETWEEN THE DEVELOPER AND THE US POST OFFICE.
18. MAIL BOXES CONFORMING TO CITY STANDARD 271 MAY BE INSTALLED IN THE RIGHT-OF-WAY.
19. PERMANENT MONUMENTS AS SHOWN IN THE PLANS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND THE CITY OF SANTA ROSA MONUMENT LOCATION SHALL BE AS SHOWN AND STAKED IN THE FIELD BY THE ENGINEER OR SURVEYOR.
20. ENGINEER/SURVEYOR SHALL COORDINATE WITH THE CONTRACTOR TO RESET MONUMENTS OR PROVIDE PERMANENT WITNESS MONUMENTS AND FILE THE REQUIRED DOCUMENTATION WITH THE COUNTY SURVEYOR, PURSUANT TO BUSINESS AND PROFESSIONS CODE SECTION 8771.
21. THE DEVELOPER ASSUMES ALL RESPONSIBILITY FOR THE APPROVAL OF MAILBOX LOCATIONS BY THE LOCAL BRANCH OF THE UNITED STATES POST OFFICE.
22. IN THE EVENT THAT ANY REMAINS OF PREHISTORIC OR HISTORIC HUMAN ACTIVITIES ARE ENCOUNTERED DURING PROJECT-RELATED ACTIVITIES, WORK IN THE IMMEDIATE VICINITY OF THE FINDS SHALL HALT AND THE COUNTY CORNER SHALL IMMEDIATELY NOTIFY THE DISTRICT ATTORNEY AND THE CITY OF SANTA ROSA INSPECTOR. WORK SHALL NOT RESUME UNTIL A QUALIFIED ARCHAEOLOGIST OR HISTORIC ARCHAEOLOGIST, AS APPROPRIATE, APPROVED BY THE CITY OF SANTA ROSA, HAS EVALUATED THE SITUATION AND MADE RECOMMENDATIONS FOR TREATMENT OF THE RESOURCE, AND WHOSE RECOMMENDATIONS ARE CARRIED OUT. IF HUMAN BURIALS ARE ENCOUNTERED, THE CONTRACTOR MUST ALSO CONTACT THE COUNTY CORNER.

1. TOPOGRAPHIC MAPPING PROVIDED BY JON WHEAT AND ASSOCIATES, FIELD SURVEYED OCTOBER 10, 2019. REPRESENTS THE VISUAL SURFACE CONDITIONS AS OF AFORESAID DATE.
2. JWA CONTROL POINT #1 - ELEVATION=841.04' (NAVD88). ALL ELEVATIONS SHOWN HEREON WERE DETERMINED BY GPS OBSERVATIONS UTILIZING ORTHOMETRIC HEIGHT DERIVED FROM GPS OBSERVATIONS.
3. THE AGES OF BEAMS FOR THIS SURVEY IS THE LINE BEING NORTH 19°41'14" WEST AS DETERMINED BETWEEN FOUND MONUMENTS ALONG CHANTERELLE CIRCLE, SHOWN IN BOOK 593 OF MAPS AT PAGE 39, SCR.

THE ABOVE LISTED QUANTITIES REFLECT THE ENGINEER'S ESTIMATE OF THE VOLUMES. THESE QUANTITIES DO NOT ACCOUNT FOR EXPANSION DURING CONSTRUCTION AND/OR THE CONTRACTOR'S CONSTRUCTION PRACTICES. THE EARTHWORK CONTRACTOR SHALL DEVELOP THEIR OWN QUANTITY TAKE OFF ESTIMATES FOR BIDDING AND CONSTRUCTION PURPOSES.

DEMOLITION NOTES	
No. ○	DESCRIPTION
1	EX CONCRETE TO BE REMOVED
2	PORTION OF EXISTING POOL TO REMAIN
3	PORTION OF EXISTING POOL TO BE REMOVED
4	EX CURB TO BE REMOVED
5	EX DRWY TO REMAIN
6	EX CONCRETE RETAINING WALL & PAVERS TO REMAIN
7	EX ROCK WALL TO BE REMOVED
8	EX ROCK WALL TO REMAIN
9	EX SPA & CONCRETE TO REMAIN
10	EX WALL TO REMAIN
11	EX CONCRETE STAIRS TO REMAIN
12	EX CONCRETE WALL TO BE REMOVED
13	REMOVE EX CURB & GUTTER; SAWCUT 1' (min) FROM LIP OF GUTTER
14	REMOVE EX CONCRETE AT EX JOINT
15	REMOVE EX ROCK STAIRS

**BALATTI**  
DN 2003-048594  
APN 173-490-049  
LOT 15  
593 MAPS 39

DEMOLITION PLAN

1" = 20'

GRAPHIC SCALE  
( IN FEET )  
1 inch = 20 ft.



1 COVER SHEET and DEMOLITION PLAN  
2 SITE PLAN  
3 SITE SECTIONS  
4 EROSION CONTROL PLAN

6-28-21

**COVER SHEET and  
DEMOLITION PLAN**

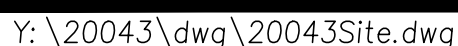
SINGH, RESIDENCE  
3926 CHANTERELLE CIRCLE (APN 173-490-049)  
SANTA ROSA SONOMA COUNTY CALIFORNIA

SHEET 1  
OF  
4 SHEETS

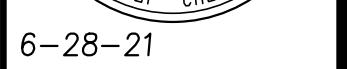
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JOB No.  
20043





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**SITE PLAN**

SINGH RESIDENCE  
3926 CHANTERELLE CIRCLE (APN 173-490-049)  
SANTA ROSA SONOMA COUNTY CALIFORNIA

SHEET 2  
OF  
4 SHEETS  
JOB No.  
20043



DATE: Jun 2021  
SCALE: As Shown  
DESIGNED: MBR  
DRAWN: JS  
CHECKED: MBR  
PROJ.ENGR.: JS  
PROJ.MGR.: MBR

No.	DATE	REVISION
1	1-27-21	City Comments #

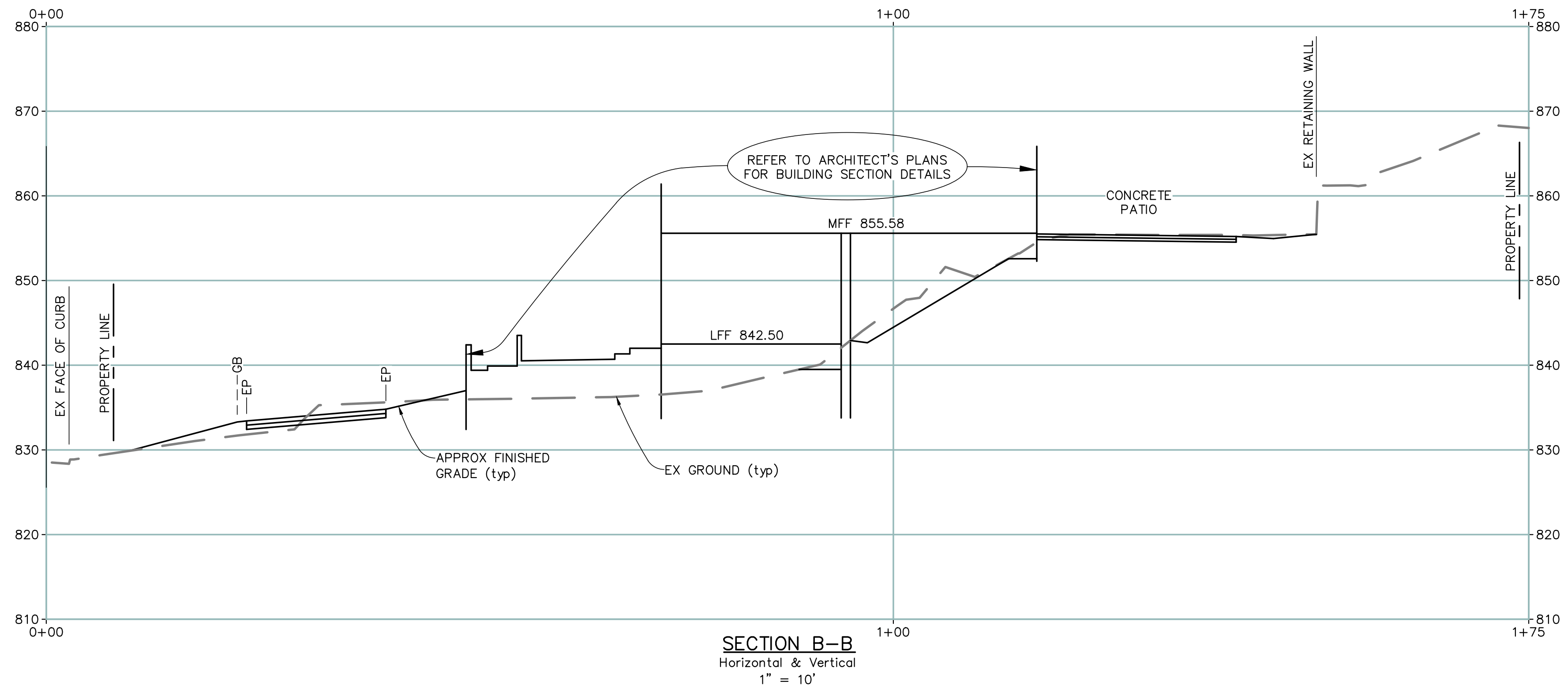
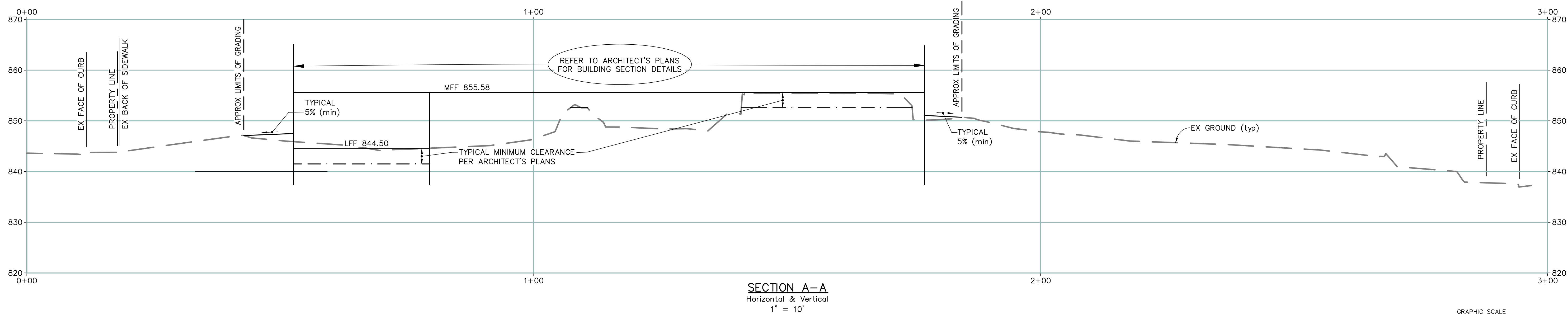


6-28-21

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Tel 707.523.7490 Fax 707.523.7499  
E-mail office@robertsonengineering.net

**SITE SECTIONS**  
SINGH RESIDENCE  
3926 CHANTERELLE CIRCLE (APN 173-490-049)  
SANTA ROSA SONOMA COUNTY CALIFORNIA

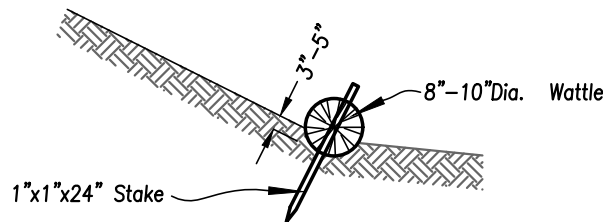
SHEET 3 OF 4 SHEETS  
JOB No. 20043



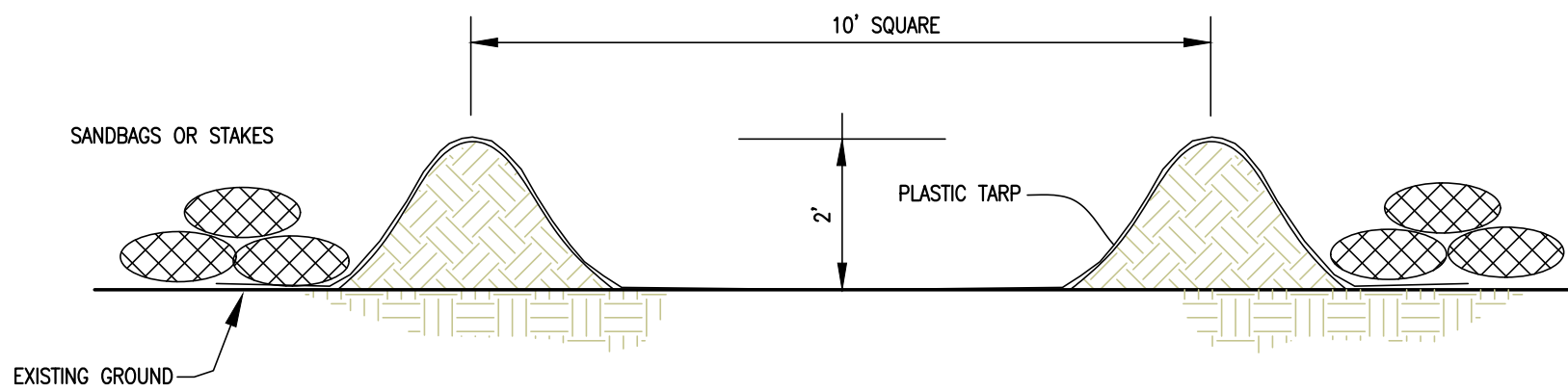


EROSION CONTROL NOTES

1. EROSION AND SEDIMENT CONTROL SHOWN ON THIS SHEET ASSUMES STREET, CURB, GUTTER AND STORM DRAINS ARE COMPLETED PRIOR TO RAINS. PROJECT ENGINEER SHALL PREPARE INTERIM DRAINAGE AND EROSION AND SEDIMENT CONTROL PLAN BASED ON WINTER CONDITIONS FOR CITY APPROVAL PRIOR TO CONTRACTOR INSTALLATION. A CURRENT EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED AND KEPT ON THE JOB SITE.
2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE USED TO ENSURE THAT WATER ENTERING THE STORM DRAIN SYSTEM BELOW THE CONSTRUCTION SITE IS EQUIVALENT QUALITY AND CHARACTER AS THE WATER ABOVE THE SITE.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED IN FRONT OF INCOMPLETE STORM DRAIN SYSTEMS TO PREVENT DEBRIS AND SEDIMENT LADEN WATER FROM ENTERING INTO THE PUBLIC STORM DRAIN SYSTEM. BEST MANAGEMENT PRACTICES SHALL BE USED WHEN DESIGNING AND INSTALLING SUCH DEVICES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTANT MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES TO THE SATISFACTION OF THE ENGINEER AND CITY OF SANTA ROSA. EROSION AND SEDIMENT CONTROL MEASURES AND THEIR INSTALLATION SHALL BE ACCOMPLISHED USING BEST MANAGEMENT PRACTICES.
5. IF THE STORM DRAIN SYSTEM IS NOT IN PLACE BY OCTOBER 1, ADDITIONAL MEASURES SHALL BE TAKEN SUCH AS TEMPORARY SETTLING BASINS WHICH MEET THE SATISFACTION OF THE ENGINEER AND THE CITY OF SANTA ROSA. SILT AND/OR CATCH BASINS MUST BE CLEANED OUT ON A REGULAR BASIS AFTER STORMS TO MAINTAIN DESIGN CAPACITY.
6. STORM WATER RUNOFF FROM THE CONSTRUCTION SITE SHALL BE DIRECTED TOWARD AN INLET WITH A SEDIMENT OR FILTRATION INTERCEPTOR PRIOR TO ENTERING THE STORM DRAIN SYSTEM.
7. THE CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING WATER THAT HAS BECOME POLLUTED DUE TO NOT TAKING NECESSARY EROSION AND SEDIMENT CONTROL ACTIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OR MUD AND DEBRIS CARRIED ONTO SURROUNDING STREETS AND ROADS AS A RESULT OF CONSTRUCTION ACTIVITY ON THE SITE TO THE SATISFACTION OF THE CITY OF SANTA ROSA.
9. ANY DENUDEO OR DISTURBED SOILS SHALL BE PROTECTED USING BEST MANAGEMENT PRACTICES.
10. BETWEEN OCTOBER 1 AND MAY 1, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE TO BE MAINTAINED BY THE DEVELOPER, CONTRACTOR OR OWNER SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF LEAVES THE SITE.
11. THE CONTRACTOR IS TO INFORM ALL CONSTRUCTION SITE WORKERS ABOUT THE MAJOR PROVISIONS OF THE EROSION AND SEDIMENT CONTROL PLAN AND SEEK THEIR COOPERATION IN AVOIDING THE DISTURBANCE OF THESE CONTROL MEASURES.
12. DURING THE RAINY SEASON (TYPICALLY OCTOBER 1 TO MAY 1) ALL SEDIMENT BARRIERS ARE TO BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY AND, IN ADDITION, AFTER EACH STORM. CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL MEASURES AND INLETS AFTER EACH SIGNIFICANT RAINFALL AND DAILY DURING PROLONGED STORM EVENTS. REMOVE SEDIMENT WHEN ACCUMULATIONS REACH 1/2 THE HEIGHT OF THE BARRIER AND REPLACE FILTER DEVICES AS NECESSARY TO ENSURE PROPER FUNCTION.
13. UNSTABILIZED AREAS WILL BE REPAIRED AS SOON AS POSSIBLE AFTER BEING DAMAGED.
14. ALL GRADED OR DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING IS COMPLETE.
15. ENTRANCE TO THE PROJECT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHT OF WAY. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE OF PUBLIC RIGHTS OF WAY. WHEN WASHING IS REQUIRED IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED ROCK THAT DRAINS INTO A SEDIMENT TRAP.
16. ALL SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO PUBLIC RIGHTS OF WAY SHALL BE REMOVED IMMEDIATELY USING BEST MANAGEMENT PRACTICES.
17. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR PURPOSE SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
18. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED OR REPLACED WHEN THEY ARE NO LONGER FUNCTIONING PER BEST MANAGEMENT PRACTICES.
19. THE CONTRACTOR SHALL HAVE EROSION AND SEDIMENT CONTROL MEASURES ON SITE ADEQUATE TO PROTECT THE ENTIRE SITE PRIOR TO THE OCTOBER 1 DATE SUCH THAT IT IS IMMEDIATELY AVAILABLE IN PREPARATION OF THE UPCOMING WINTER SEASON OR IN THE EVENT OF AN EARLY RAIN.
20. AFTER CONSTRUCTION IS COMPLETE ALL STORM DRAIN SYSTEMS ASSOCIATED WITH THIS PROJECT SHALL BE INSPECTED AND CLEARED OF ACCUMULATED SEDIMENTS AND DEBRIS.
21. GRADED AREAS TO BE SEEDED FOR EROSION CONTROL SHALL USE GRASS SEED AT THE RATE OF 75-100 POUNDS PER ACRE. SEEDED AREAS SHALL BE IRRIGATED TO ENSURE COVER IS ROOTED PRIOR TO RAINY SEASON.
22. HYDROSEED SHALL BE EITHER APPLIED MECHANICALLY OR BY HYDROSEEDING. HYDROSEEDING REQUIRES THE APPLICATION OF FIBER AND STABILIZING EMULSION. MECHANICAL APPLICATION SHALL REQUIRE ROLLING, TAMPING, OR OTHERWISE WORKING THE SEED APPROXIMATELY 0.5 INCHES INTO THE TOP SOIL.
23. STABILIZATION OF EXPOSED GRADED AREAS WITH STRAW MULCH SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE.



WATTLE INSTALLATION DETAIL  
NO SCALE

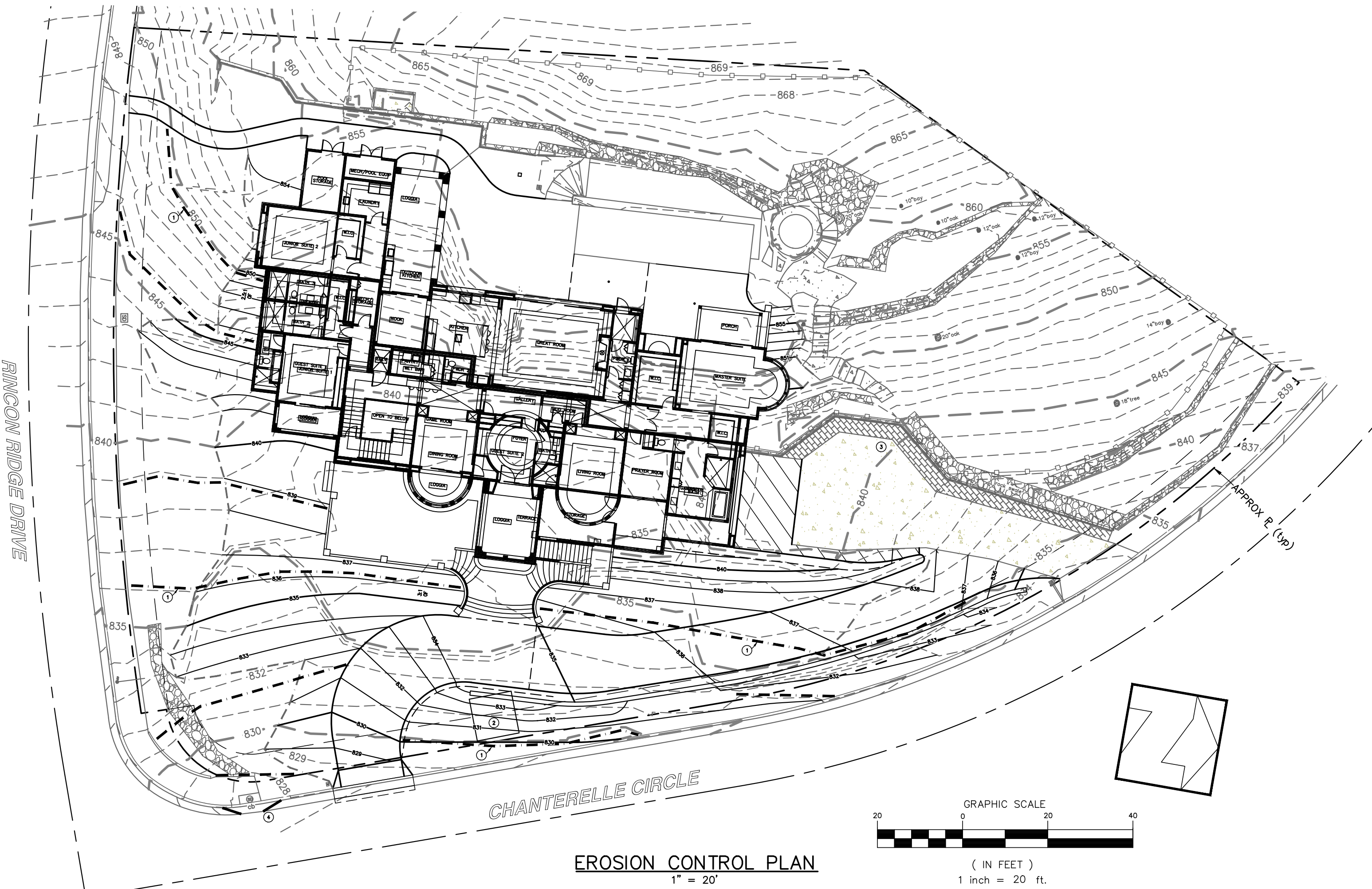


CONCRETE WASHOUT PIT  
NO SCALE

- NOTES:
1. CONTRACTOR TO LOCATE PIT, AS NEEDED, AND WHERE SPACE IS AVAILABLE DURING ALL PHASES OF CONSTRUCTION.
  2. PUMP WATER IN TANKER FOR DISPOSAL
  3. DISPOSE OF HARDENED CONCRETE

EROSION CONTROL NOTES

No.	DESCRIPTION
1	INSTALL STRAW WATTLES (typ). REFER TO DETAIL, THIS SHT
2	INSTALL CONCRETE WASHOUT AREA, REFER TO DETAIL, THIS SHT
3	PORT--A--POTTY AREA
4	INSTALL INLET PROTECTION, STRAW WATTLE, DANDY BAG, SAND BAGS OR OTHER APPROVED METHOD



DATE: Jun 2021  
SCALE: As Shown  
DESIGNED: MBR  
DRAWN: JS  
CHECKED: MBR  
PROJ.ENGR.: JS  
PROJ.MGR.: MBR

REVISION

No. DATE

PROFESSIONAL  
ENGINEER  
No. 29640  
CIVIL  
STATE OF CALIFORNIA

6-28-21

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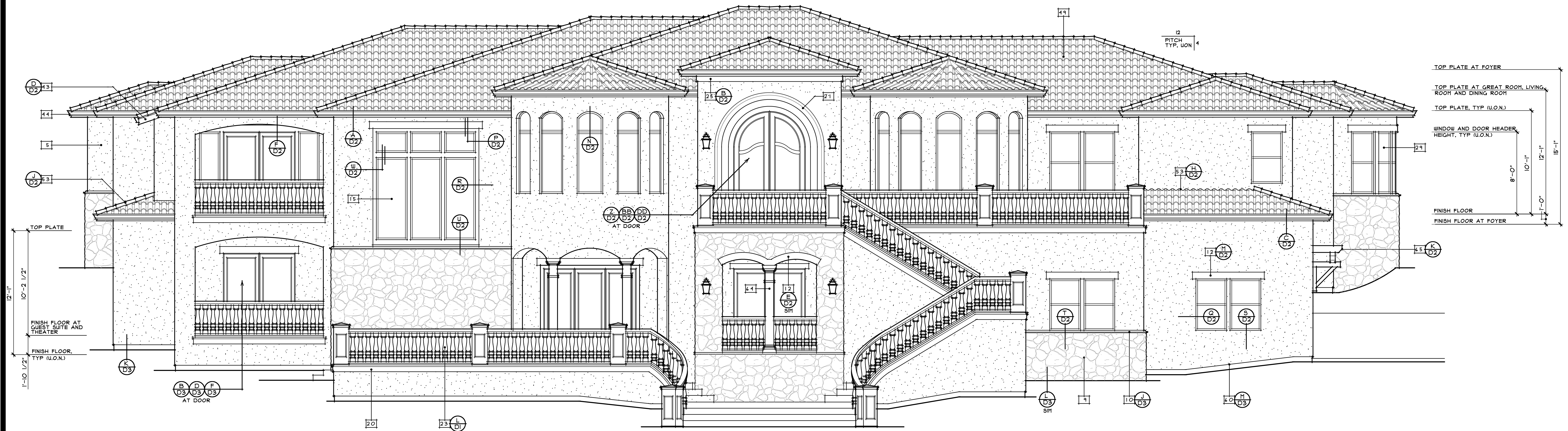
EROSION CONTROL PLAN

SINGH RESIDENCE  
3926 CHANTERELLE CIRCLE (APN 173-490-049)  
SANTA ROSA SONOMA COUNTY CALIFORNIA

SHEET 4  
OF 4 SHEETS

JOB No.  
20043



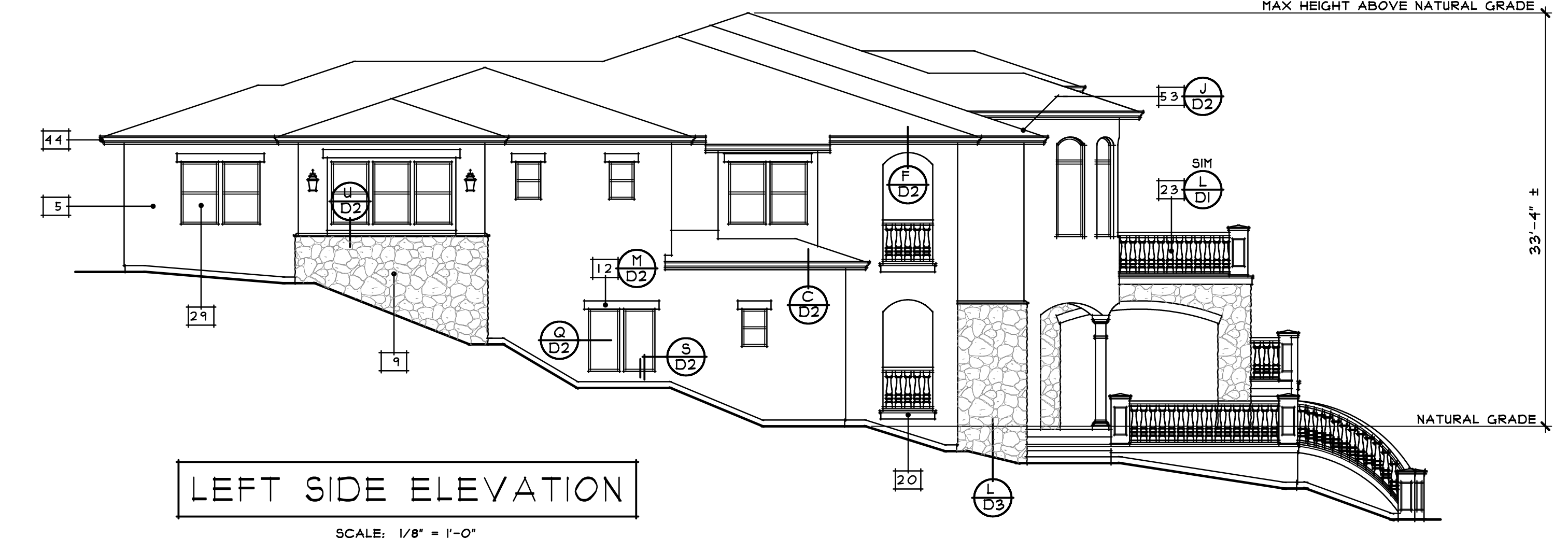


FRONT ELEVATION

SCALE: 1/4" = 1'-0"

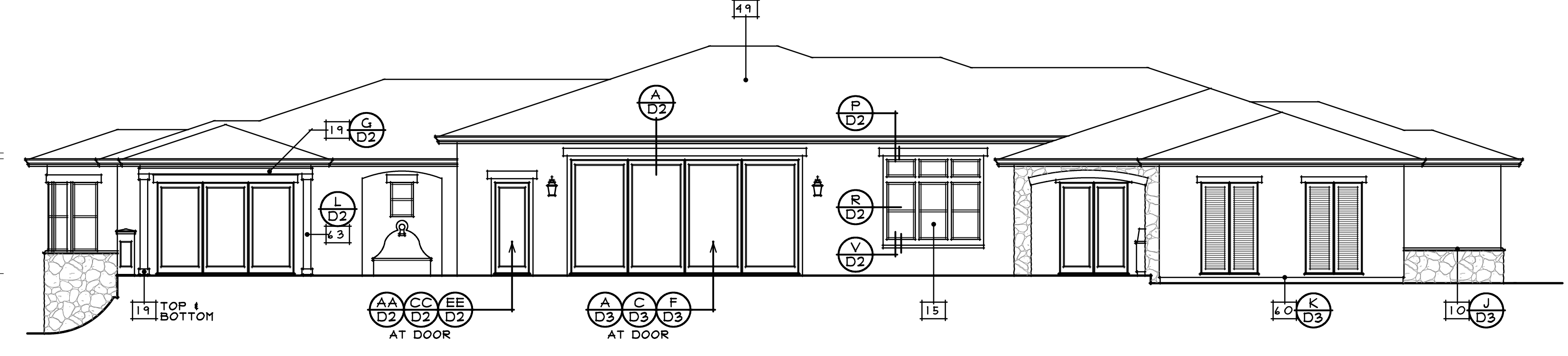
ELEVATION NOTES

- SMOOTH STUCCO EXTERIOR: MIN. 1/8" W/1/3 COATS O/ MTL.
  - LATH 1/2" LAYERS OF GRADE D BUILDING PAPER OVER STRUCTURAL SHEATHING PER SHEAR WALL SCHEDULE "4/S1" (LA) U.O.N.
  - PROVIDE 24 GA. G.S.M. WEEP SCREED PER DETAIL.
  - ADHERED STONE VENEER AT AREAS INDICATED APPLIED USING TYPE N OR S MORTAR OVER A 1/2" INCH SCRATCH COAT OVER METAL LATH OVER BUILDING PAPER PER CBC SECTION 2510.4 AND STRUCTURAL SHEATHING PER SHEAR WALL SCHEDULE "4/S1" (LA) U.O.N. LATH IS ATTACHED TO THE SUPPORTING STUDS USING GALVANIZED FURRING NAILS SPACED 4" INCHES O.C. THE SCRATCH COAT MUST BE ALLOWED TO CURE NOT LESS THAN 48 HOURS BEFORE APPLYING THE VENEER. SEE ADHERED STONE VENEER NOTES ON COVERSHEET. MFR'S SPECIFICATIONS AND ICC REPORT ESR-1215 FOR ADDITIONAL APPLICATION INSTRUCTIONS.
  - (SHEATHING BENEATH STONE VENEER SHALL BE LOUISIANA PACIFIC "C" LP SHARPSIDE PRECISION SERIES" EXTERIOR PANEL SIDING IN COMPLIANCE WITH SPM LISTING 8140-2021-0002 OR SIMILAR).
  - SLOPED STONE SILL.
  - 2 X 8 PRECAST STONE HEADER TRIM, TYP U.O.N.
  - RECESSED WINDOW. SEE PLAN FOR LOCATIONS AND DIMENSIONS.
  - 2 X 4 HORIZONTAL BAND.
  - PRECAST STONE TRIM.
  - 3 X 8 PRECAST STONE TRIM, PROFILE PER OWNER.
  - PRECAST BALUSTERS AND RAILING PER MFR'S SPECIFICATIONS.
  - 2 X 12 FOAM FRIEZE BOARD W/ STUCCO OVER.
  - WOOD SECTIONAL GARAGE DOOR.
  - MILGARD ULTRA FIBERGLASS WINDOWS W/ MUNTIN BARS WHERE INDICATED. MINIMUM ONE TEMPERED PANE, TYP AT ALL GLAZING.
  - 2 X 8 BARGE RAFTER.
  - GSI "OCEFF" OUTLET OVER 2 X 8 FASCIA BOARD. INCLUDE DEBRIS GUARD PER WILDLAND URBAN INTERFACE REQUIREMENTS.
  - HAGIN ROOF VENT. SEE VENT SCHEDULE.
  - LOWANCO RIDGE VENT. SEE VENT SCHEDULE.
  - CONCRETE MISSION "S" TILE ROOF CLASS "A" RATED TILES.
  - 24 GA GSI FLASHING W VALLEYS WITH UNDERLAYMENT PER WILDLAND URBAN INTERFACE REQUIREMENTS.
  - 24 GA GSI FLASHING W WALLS ABOVE ROOF. SEE DETAIL.
  - 3" DIAMETER GSI DOWNSPOUT TYP. CONNECT ALL DOWNSPOUTS TO CLOSED CONDUITS DISCHARGING EROSION RESISTANT AREA AWAY FROM STRUCTURE.
  - LINE OF WALLS BELOW.
  - PROVIDE STUCCO WEEP SCREED NOT LESS THAN 4" FROM GRADE.
  - DECORATIVE WOOD COLUMN.
  - DECORATIVE PRECAST COLUMN CASING WITH STUCCO OVER.
  - DECORATIVE WOOD TRELLIS. SEE DETAIL.
  - RETAINING WALL. SEE SITE PLAN.
- NOTE: ALL EXTERIOR TRIM TO BE APPROVED STYROFOAM WITH METAL LATH AND SMOOTH STUCCO OVER, U.O.N.
- NOTE: DIVERT PLUMBING VENTS, ROOF VENTS, SOLAR TUBES AND OTHER ROOF PENETRATIONS TO BACK SIDE OF RIDGE WHEREVER POSSIBLE.
- NOTE: COMPLY WITH WUI REQUIREMENTS FOR ALL EXTERIOR ASSEMBLIES. SEE COVERSHEET FOR NOTES.



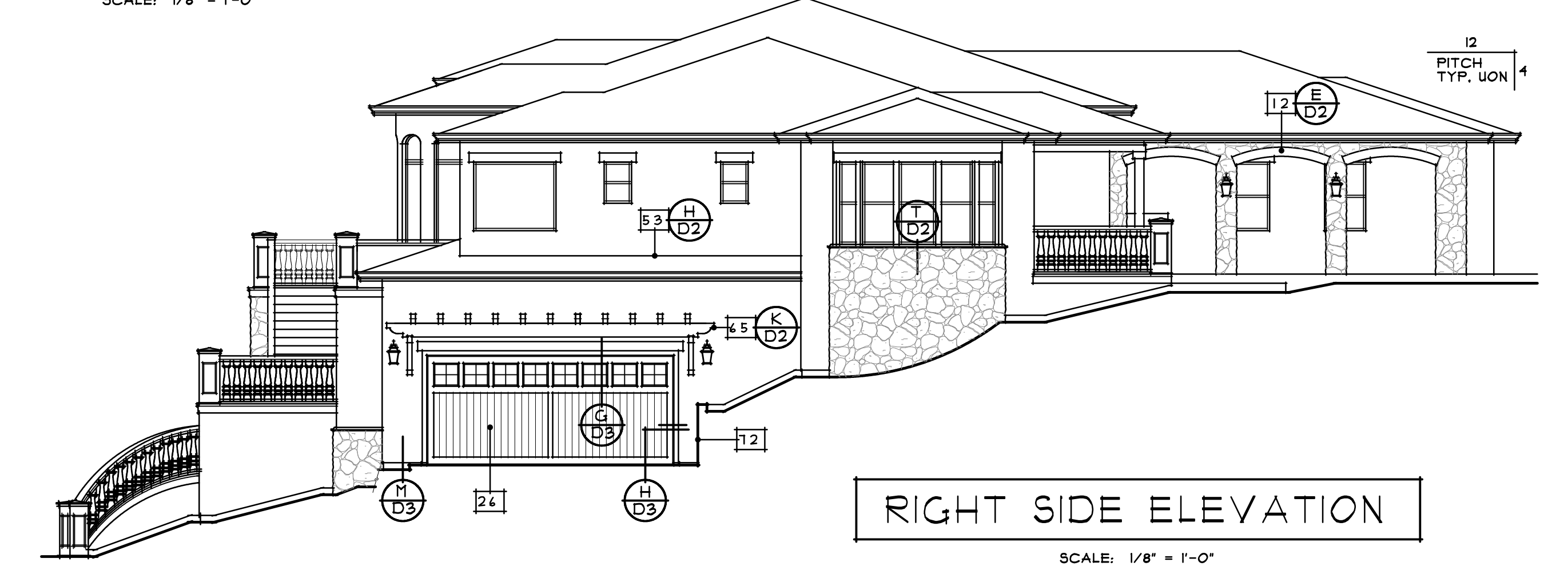
LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



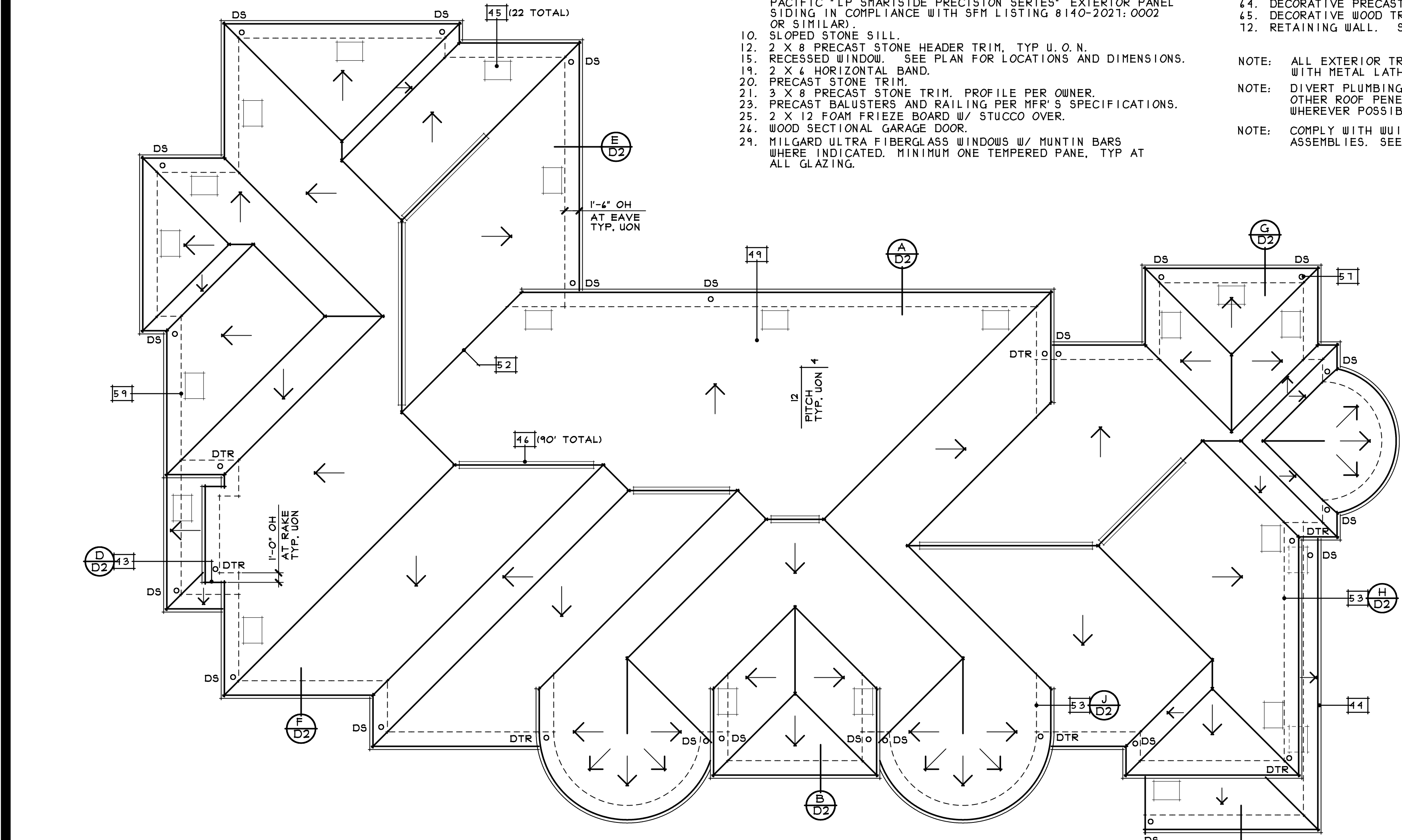
REAR ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"



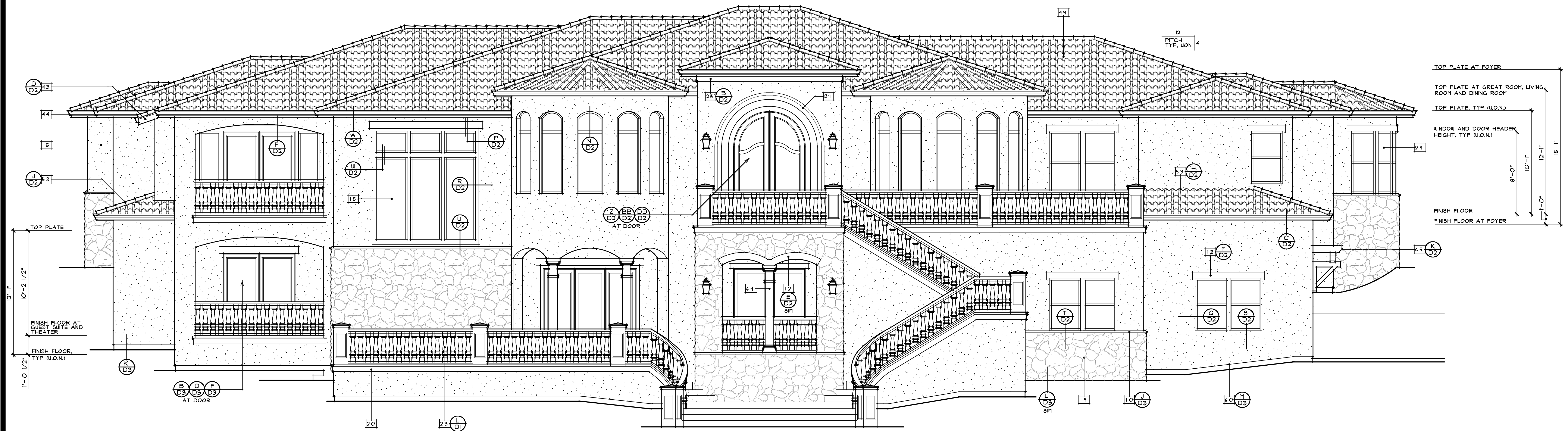


# SINGH RESIDENCE

3926 CHANTERELLE  
SANTA ROSA, CALIFORNIA

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FRONT ELEVATION

SCALE: 1/4" = 1'-0"

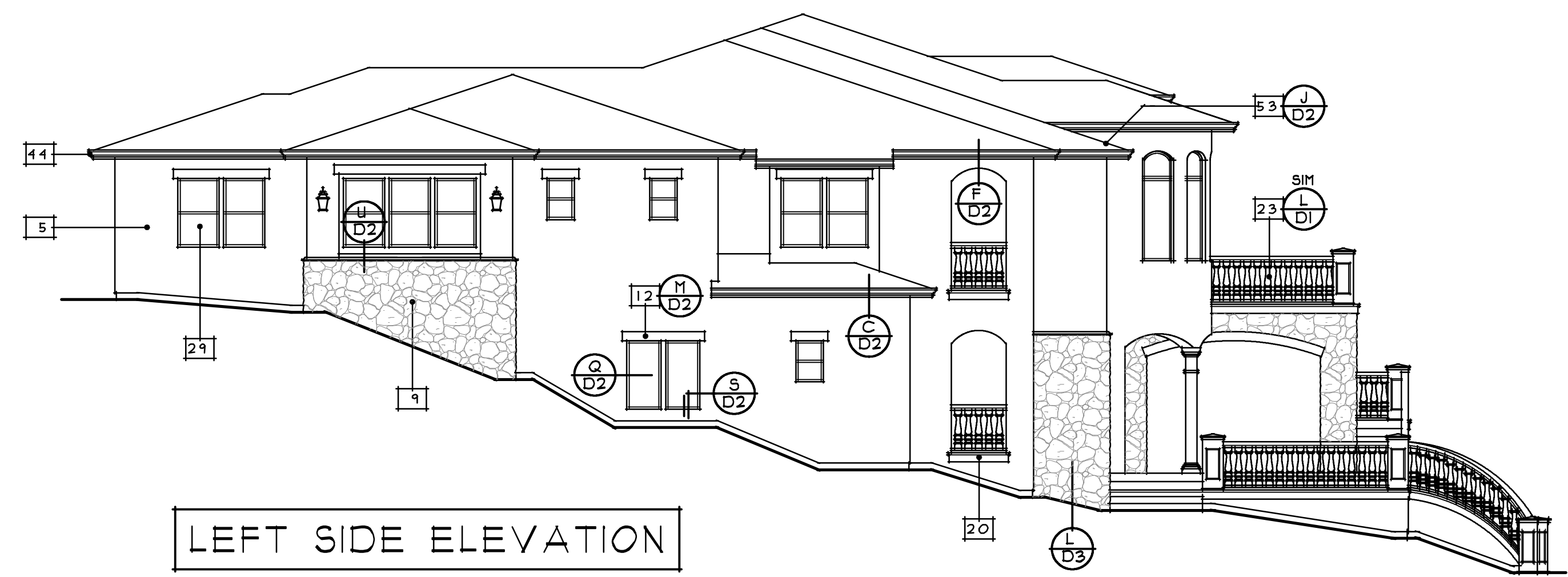
ELEVATION NOTES

- SMOOTH STUCCO EXTERIOR: MIN. 1/8" W/13 COATS O/ MTL.
- LATH 1/2" LAYERS OF GRADE D BUILDING PAPER OVER STRUCTURAL SHEATHING PER SHEAR WALL SCHEDULE "4/S1" (A) U.O.N. PROVIDE 24 GA. G.S.M. WEEP SCREED PER DETAIL.
- ADHERED STONE VENEER AT AREAS INDICATED APPLIED USING TYPE N OR S MORTAR OVER A 1/2" INCH SCRATCH COAT OVER METAL LATH OVER BUILDING PAPER PER CBC SECTION 2510.4 AND STRUCTURAL SHEATHING PER SHEAR WALL SCHEDULE "4/S1" (A) U.O.N. LATH IS ATTACHED TO THE SUPPORTING STUDS USING GALVANIZED FURRING NAILS SPACED 4" INCHES O.C. THE SCRATCH COAT MUST BE ALLOWED TO CURE NOT LESS THAN 48 HOURS BEFORE APPLYING THE VENEER. SEE ADHERED STONE VENEER NOTES ON COVERSHEET. MFR'S SPECIFICATIONS AND ICC REPORT ESR-1215 FOR ADDITIONAL APPLICATION INSTRUCTIONS.
- SHEATHING BENEATH STONE VENEER SHALL BE LOUISIANA PACIFIC "IC" LP SHARPSIDE PRECISION SERIES" EXTERIOR PANEL SIDING IN COMPLIANCE WITH SPM LISTING 8140-2021-0002 OR SIMILAR.
- SLOPED STONE SILL.
- 2 X 8 PRECAST STONE HEADER TRIM, TYP U.O.N.
- RECESSED WINDOW. SEE PLAN FOR LOCATIONS AND DIMENSIONS.
- 2 X 4 HORIZONTAL BAND.
- PRECAST STONE TRIM.
- 3 X 8 PRECAST STONE TRIM, PROFILE PER OWNER.
- PRECAST BALUSTERS AND RAILING PER MFR'S SPECIFICATIONS.
- 2 X 12 FOAM FRIEZE BOARD W/ STUCCO OVER.
- WOOD SECTIONAL GARAGE DOOR.
- MILGARD ULTRA FIBERGLASS WINDOWS W/ MUNTIN BARS WHERE INDICATED. MINIMUM ONE TEMPERED PANE, TYP AT ALL GLAZING.
- 2 X 8 BARGE RAFTER.
- GSM "OCEFF" OUTLET OVER 2 X 8 FASCIA BOARD. INCLUDE DEBRIS GUARD PER WILDLAND URBAN INTERFACE REQUIREMENTS.
- HAGIN ROOF VENT. SEE VENT SCHEDULE.
- LOWANCO RIDGE VENT. SEE VENT SCHEDULE.
- CONCRETE MISSION "S" TILE ROOF CLASS "A" RATED TILES.
- 24 GA GSM FLASHING \* VALLEYS WITH UNDERLAYMENT PER WILDLAND URBAN INTERFACE REQUIREMENTS.
- 24 GA GSM FLASHING \* WALLS ABOVE ROOF. SEE DETAIL.
- 3" DIAMETER GSM DOWNSPOUT TYP. CONNECT ALL DOWNSPOUTS TO CLOSED CONDUITS DISCHARGING \* EROSION RESISTANT AREA AWAY FROM STRUCTURE.
- LINE OF WALLS BELOW.
- PROVIDE STUCCO WEEP SCREED NOT LESS THAN 4" FROM GRADE.
- DECORATIVE WOOD COLUMN.
- DECORATIVE PRECAST COLUMN CASING WITH STUCCO OVER.
- DECORATIVE WOOD TRELLIS. SEE DETAIL.
- RETAINING WALL. SEE SITE PLAN.

NOTE: ALL EXTERIOR TRIM TO BE APPROVED STYROFOAM WITH METAL LATH AND SMOOTH STUCCO OVER, U.O.N.

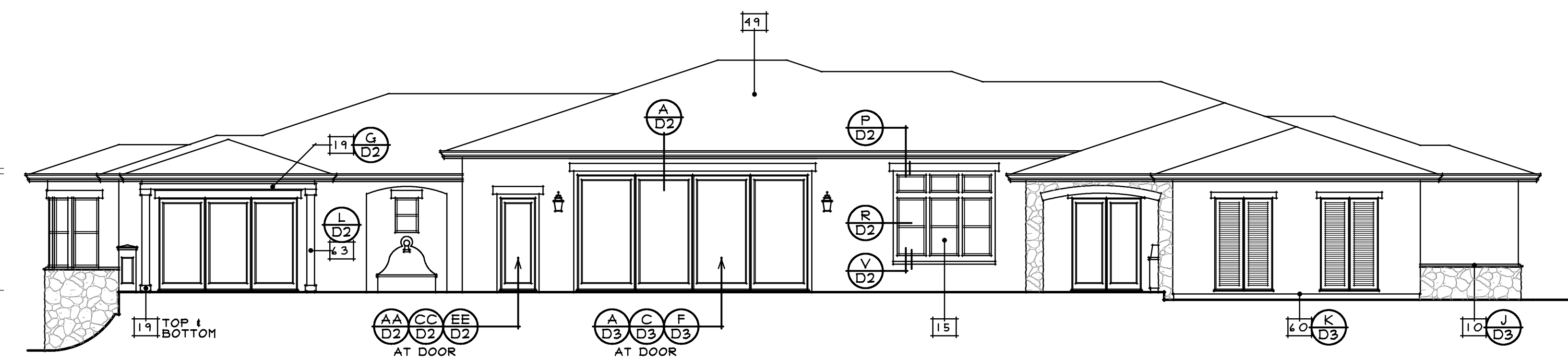
NOTE: DIVERT PLUMBING VENTS, ROOF VENTS, SOLAR TUBES AND OTHER ROOF PENETRATIONS TO BACK SIDE OF RIDGE WHEREVER POSSIBLE.

NOTE: COMPLY WITH WUI REQUIREMENTS FOR ALL EXTERIOR ASSEMBLIES. SEE COVERSHEET FOR NOTES.



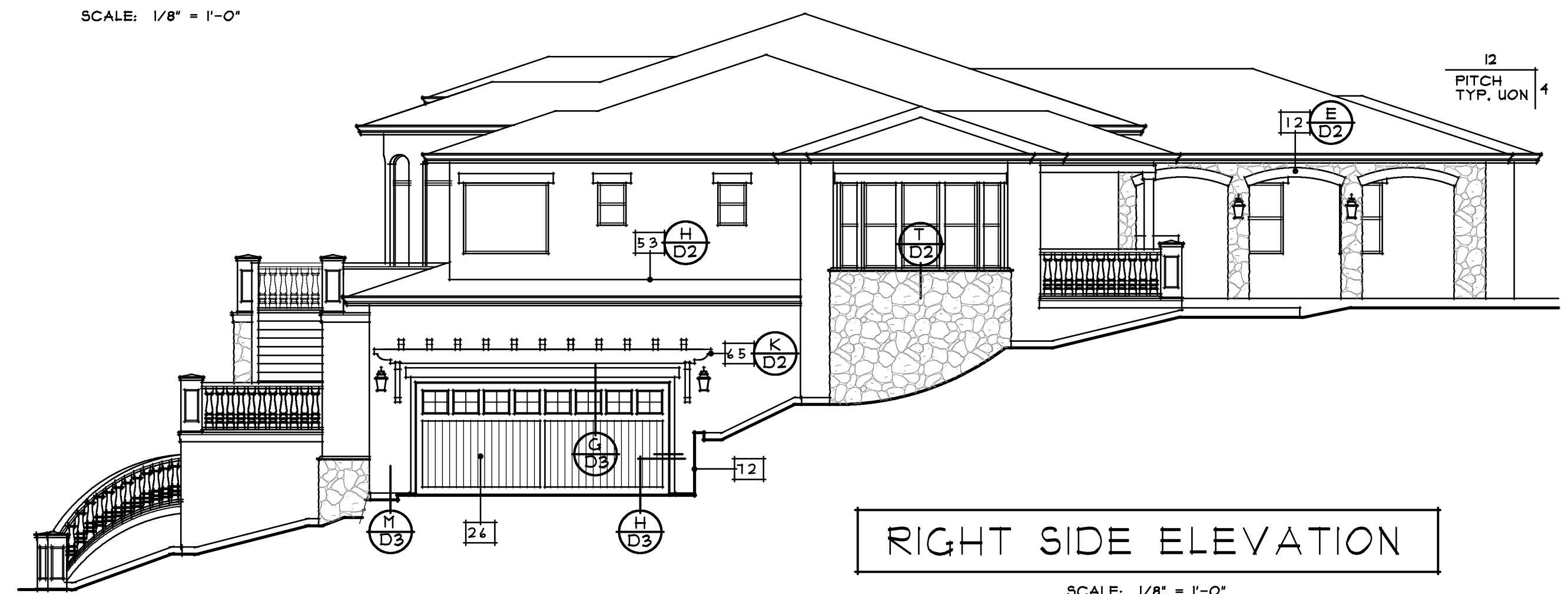
LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



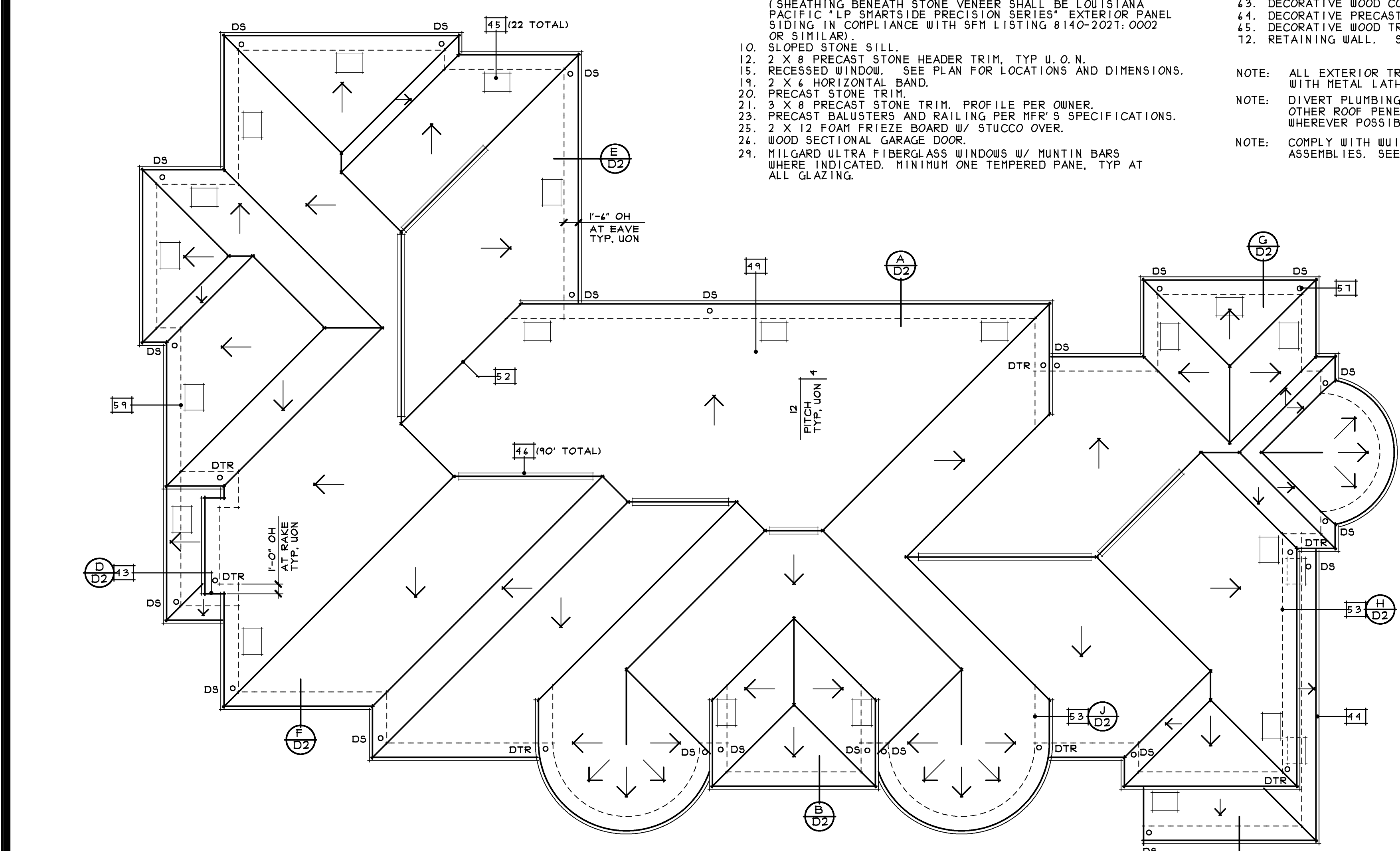
REAR ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"

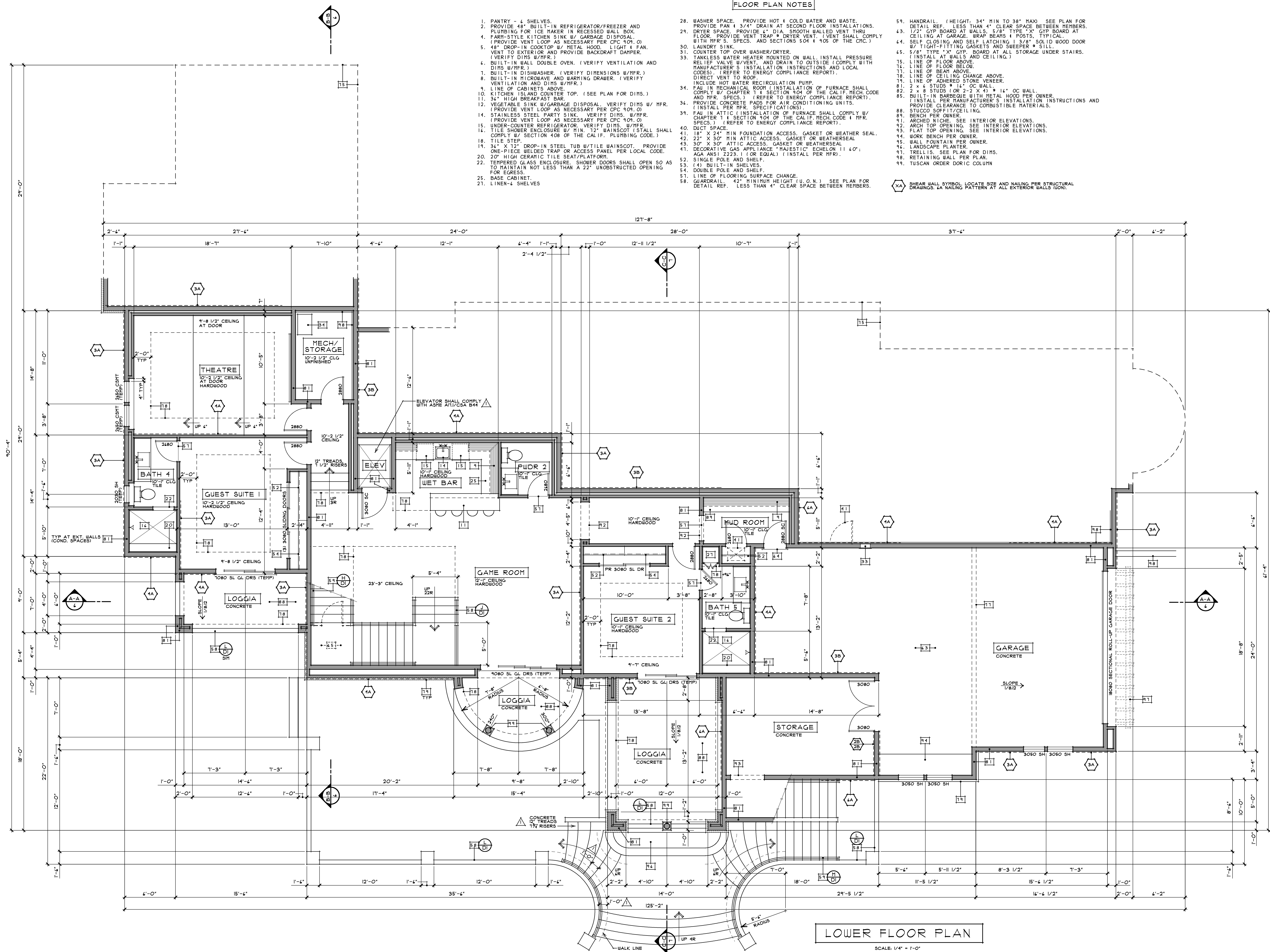






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










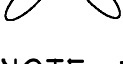
LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"














NOTE: NOT NECESSARILY ALL  
SYMBOLS ON THIS DRAWING.

	WALL MOUNTED LED GOOSENECK LIGHT FIXTURE WITH 18" LIGHT SHADE DIAMETER
	EXTERIOR WALL MOUNTED LIGHT FIXTURE CONTROLLED BY MOTION SENSOR WITH INTEGRAL PHOTOCONTROL
	SPOTLIGHT
	LED LIGHT FIXTURE
	LED PHOTO CONTROLLED LIGHT FIXTURE
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	SWITCH WITH MANUAL-ON VACANCY SENSOR
	PUSH BUTTON COUNTERTOP SWITCH
	110 VOLT SMOKE ALARM W/BATTERY BACK-UP (PER VOLT SMOKE SECTION R314 AND/OR NFPA 120)
	CARBON MONOXIDE/SMOKE ALARM COMBO W/ BATTERY BACK-UP (PER 1013/ SMOKE SECT. R314 AND/OR NFPA 120)
	PHONE JACK
	RESIDENTIAL CABLE SYSTEM JACK
	PUSH BUTTON FOR GARAGE DOOR OPENER

	PUSH BUTTON FOR DOOR BELL
	CHIMES
	SECURITY SYSTEM PANEL
	SECURITY CAMERA, PROVIDE POWER AND ETHERNET
	SPEAKER
	ENCL. STAR RATED EXHAUST FAN CAPABLE OF PROVIDING 50 CFM MINIMUM W/ BACKDRAFT DAMPER (SEE GREEN REQUIREMENTS FOR SPECIFIC FAN CFM)
	THERMOSTAT
	ILLUMINATED ADDRESS SIGN
	ELECTRIC SUB-PANEL
	CABLE/DATA
	ELECTRIC METER
	JUNCTION BOX
	LOW VOLTAGE ACCENT LIGHT (LANDSCAPE)
	FOOT PATH LIGHT (ON PHOTO CONTROL SENSOR)
	SPECIALTY OUTLET
	SOLAR TUBE
	CEILING FAN

NOTE: ALL OUTLETS TO BE LISTED AS "TAMPER RESISTANT" PER CEC ARTICLE 404.12

NOTE: NOT NECESSARILY ALL  
SYMBOLS ON THIS DRAWING

	CEILING HEAT REGISTER
	FLOOR HEAT REGISTER
	HEAT REGISTER HIGH ON WALL
	RETURN AIR GRILL IN CEILING
	RETURN AIR GRILL IN WALL
	FUEL GAS STUB OUT
	HOSE BIBB WITH NON-REMOVABLE BACKFLOW PREVENTION DEVICE
	ICE MAKER STUB OUT
	GAS METER
	DRYER VENT (TERMINATION OF VENT SHOULD COMPLY WITH 504.6 & SECTION 504 AND 505.0 OF THE C.M.C.)
	FOUNDATION VENT PER VENTILATION CALCS

NOTE: ALL DUCTS (SEND & RETURN) SHALL BE CLOSED  
SYSTEMS WITHOUT THE USE OF BUILDING CAVITIES.  
ALL DUCT CONNECTIONS SHALL BE INSTALLED WITH  
MECHANICAL FASTENERS.  
PROVIDE WEATHERSTRIP OR SEAL AT THE ATTIC  
ACCESS PANEL.

SCALE 1/4" = 1'-0"

PROVIDE A 240V 40 AMP DEDICATED CIRCUIT FOR FUTURE ELECTRICAL VEHICLE CHARGING EQUIPMENT. INSTALL RACEWAY AND JUNCTION BOX AT PROBABLE CHARGING LOCATION.



## ELECTRICAL SYMBOLS

NOTE: NOT NECESSARILY ALL SYMBOLS ON THIS DRAWING.

- 1/2 HOT DUPLEX CONV. OUTLET W/  
ARC FAULT CIRCUIT INTERRUPTER  
FULLY SWITCHED OUTLET W/  
GROUND FAULT INTERRUPTER  
DUPLEX CONV. OUTLET W/  
GROUND FAULT INTERRUPTER  
DUPLEX CONV. OUTLET W/  
ARC FAULT CIRCUIT INTERRUPTER  
UNDER COUNTER OUTLET W/  
ARC FAULT CIRCUIT INTERRUPTER  
220 VOLT OUTLET W/  
ARC FAULT CIRCUIT INTERRUPTER  
OUTLET ABOVE FOR GARAGE DOOR OPENER  
W/ ARC FAULT CIRCUIT INTERRUPTER  
240 VOLT OUTLET DEDICATED FOR ELECTRIC  
VEHICLE SERVICE EQUIPMENT  
CEILING LED LIGHT FIXTURE  
4" RECESSED LED LIGHT  
(40 LUMENS/WATT OR BETTER)  
4" RECESSED PHOTO CONTROLLED LED LIGHT  
(40 LUMENS/WATT OR BETTER)  
4" LED WATERPROOF RECESSED LIGHT W/  
"SUITABLE FOR DAMP LOCATIONS" LABEL  
RECESSED AIMABLE SPOTLIGHT  
WALL MOUNTED LED LIGHT FIXTURE

- WALL MOUNTED LED GOOSENECK LIGHT FIXTURE  
WITH 18" LIGHT SHADE DIAMETER  
EXTERIOR WALL MOUNTED LIGHT FIXTURE  
CONTROLLED BY MOTION SENSOR WITH  
INTEGRAL PHOTOCONTROL  
SPOTLIGHT  
LED LIGHT FIXTURE  
LED PHOTO CONTROLLED LIGHT FIXTURE  
SINGLE POLE SWITCH  
THREE WAY SWITCH  
FOUR WAY SWITCH  
DIMMER SWITCH  
SWITCH WITH MANUAL-ON VACANCY SENSOR  
PUSH BUTTON COUNTERTOP SWITCH  
110 VOLT SMOKE ALARM W/BATTERY BACK-UP  
(PER 2013 CRC SECTION R314 AND/OR NFPA 120)  
CARBON MONOXIDE/SMOKE ALARM COMBO W/ BATTERY  
BACK-UP (PER 2013 CRC SECT. R314 AND/OR NFPA 120)  
PHONE JACK  
RESIDENTIAL CABLE SYSTEM JACK  
PUSH BUTTON FOR GARAGE DOOR  
OPENER

- PUSH BUTTON FOR DOOR BELL  
CHIMES  
SECURITY SYSTEM PANEL  
SECURITY CAMERA, PROVIDE POWER AND ETHERNET  
SPEAKER  
ENERGY STAR RATED EXHAUST FAN CAPABLE OF  
PROVIDING 50 CFM MINIMUM W/ BACKDRAFT DAMPER  
(SEE GREEN REQUIREMENTS FOR SPECIFIC FAN CFM)  
THERMOSTAT  
ILLUMINATED ADDRESS SIGN  
ELECTRIC SUB-PANEL  
CABLE/DATA  
ELECTRIC METER  
JUNCTION BOX  
LOW VOLTAGE ACCENT LIGHT (LANDSCAPE)  
FOOT PATH LIGHT (ON PHOTO CONTROL SENSOR)  
SPECIALTY OUTLET  
SOLAR TUBE  
CEILING FAN

NOTE: ALL OUTLETS TO BE LISTED AS "TAMPER RESISTANT"  
PER CEC, ARTICLE 104.12.

## MECHANICAL SYMBOLS

NOTE: NOT NECESSARILY ALL SYMBOLS ON THIS DRAWING.

- CEILING HEAT REGISTER  
FLOOR HEAT REGISTER  
HEAT REGISTER HIGH ON WALL  
RETURN AIR GRILL IN CEILING  
RETURN AIR GRILL IN WALL  
FUEL GAS STUB OUT  
HOSE BIBB WITH NON-REMOVABLE  
BACKFLOW PREVENTION DEVICE  
ICE MAKER STUB OUT  
GAS METER  
DRYER VENT (TERMINATION OF VENT  
SHALL COMPLY W/SECTION 904.4  
SECTION 904 AND 905.0 OF THE C.M.C.)  
FOUNDATION VENT PER VENTILATION CALC'S

NOTE: ALL DUCTS (SEND & RETURN) SHALL BE CLOSED  
SYSTEMS WITHOUT THE USE OF BUILDING CAVITIES.  
ALL DUCT CONNECTIONS SHALL BE INSTALLED WITH  
MECHANICAL FASTENERS.  
PROVIDE WEATHERSTRIP OR SEAL AT THE ATTIC  
ACCESS PANEL.

## 2019 CALIFORNIA ENERGY STANDARD LIGHTING OVERVIEW:

KITCHEN: ALL OF THE INSTALLED WATTAGE OF LIGHTS IN KITCHENS SHALL BE  
HIGH EFFICACYBATHROOMS: ALL LUMINAIRES IN EACH BATHROOM MUST BE HIGH EFFICACY. AT  
LEAST ONE LUMINAIRE MUST BE CONTROLLED BY VACANCY SENSORS.GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS: ALL LUMINAIRES MUST BE HIGH  
EFFICACY AND MUST BE CONTROLLED BY A VACANCY SENSOR.OTHER ROOMS: ALL LIGHT FIXTURES SHALL BE HIGH EFFICACY AND SHALL BE  
CONTROLLED BY A VACANCY SENSOR OR DIMMER. CLOSETS THAT ARE LESS  
THAN 10 SQUARE FEET ARE EXEMPT FROM THIS REQUIREMENT.OUTDOOR LIGHTING: ALL LIGHT FIXTURES MOUNTED TO THE BUILDING OR TO  
OTHER BUILDINGS ON THE SAME LOT SHALL HAVE HIGH EFFICACY LIGHT  
FIXTURES AND SHALL BE CONTROLLED BY A PHOTOCONTROL / MOTION SENSOR  
COMBINATIONRECESSED LUMINAIRES IN INSULATED CEILINGS: LUMINAIRES THAT ARE RECESSED  
INTO INSULATED CEILINGS ARE REQUIRED TO BE RATED FOR INSULATION  
CONTACT (IC-RATED), SEIK LEAKAGE SEALING, AND HAVE A JAB-2014-E LIGHT  
FIXTURE. THE HOUSING OF THE LIGHT FIXTURE SHALL PREVENT AIR LEAKAGE  
AND BE SEALED.HIGH EFFICACY: LUMINAIRES TO BE JAB-2014 QUALIFIES PER TABLE 150.0-A  
LUMINAIRES INSTALLED TO MEET THE 40 LUMENS PER WATT REQUIREMENTS SHALL  
NOT CONTAIN MEDIUM BASE SOCKETS AND SHALL BE ON SEPARATE SWITCHES  
FROM ANY INCANDESCENT LIGHTING.

## VENTILATION NOTES:

KITCHEN HOOD EXHAUST FAN MUST BE INSTALLED AND DELIVER VENTILATION AIRFLOW  
AT 100 CFM OR GREATER PER SECTION 150.0 OF CALIFORNIA ENERGY CODE AND  
ANSI/ASHRE STANDARD 42.2. 5" DUCT DIAMETER, 35' MAX LENGTH FLEX DUCT OR 85'  
MAX LENGTH SMOOTH DUCT (DEDUCT 15' OF ALLOWABLE LENGTH FOR EACH ELBOW).ALL BATHROOMS CONTAINING BATHTUB, SHOWERS, SPAS AND SIMILAR BATHING  
FIXTURES SHALL BE MECHANICALLY VENTILATED IN ACCORDANCE WITH SECTION 403.1  
OF C.M.C. OR SECTION R303.3 OF CRC AND SECTION 150.0 OF CALIFORNIA ENERGY  
CODE AND ANSI/ASHRE STANDARD 42.2. BATHROOM FAN VENTILATION AIRFLOW SHALL  
BE 50 CFM OR GREATER. 4" DUCT DIAMETER, 10' MAX LENGTH FLEX DUCT OR 105'  
MAX LENGTH SMOOTH DUCT (DEDUCT 15' OF ALLOWABLE DUCT LENGTH FOR EACH  
ELBOW). ALL BATH FANS SHALL HAVE A HUMIDISTAT CONTROL WHEN NOT PART OF  
THE WHOLE HOUSE VENTILATION SYSTEM.PRIMARY WHOLE HOUSE VENTILATION FAN AT MASTER BATH OR LAUNDRY MUST BE 144  
CFM OR GREATER, BE ENERGY STAR RATED, SET UP FOR CONTINUOUS OPERATION  
AND COMPLY WITH DUCT DIAMETER AND LENGTH AS FOLLOWS: 5" MIN DUCT DIAMETER  
WITH 10' MAX LENGTH FLEX DUCT, OR 4" MAX DUCT DIAMETER WITH 35' MAX LENGTH  
SMOOTH DUCT. (DEDUCT 15' OF ALLOWABLE DUCT LENGTH FOR EACH ELBOW). LABEL  
THE FAN SWITCH WITH THE FOLLOWING VERBAGE: TO MAINTAIN MINIMUM LEVELS OF  
OUTSIDE AIR VENTILATION REQUIRED FOR GOOD HEALTH, THE FAN CONTROL SHOULD  
BE ON AT ALL TIMES WHEN THE BUILDING IS OCCUPIED, UNLESS THERE IS SEVERE  
OUTDOOR AIR CONTAMINATION.NOTE: WHOLE HOUSE VENTILATION RATE AND PRESCRIPTIVE DUCT SIZING FOR SINGLE  
FAN EXHAUST SYSTEMS FROM ANSI/ASHRE STANDARD 42.2 TABLE 1.1.

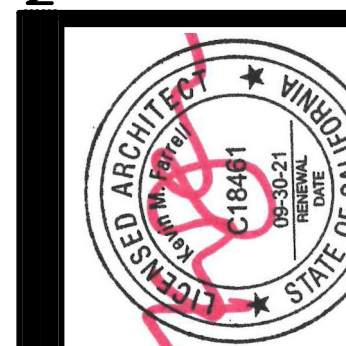
## LOWER FLOOR ELECT/MECH PLAN

SCALE: 1/4" = 1'-0"

DATE 7/20

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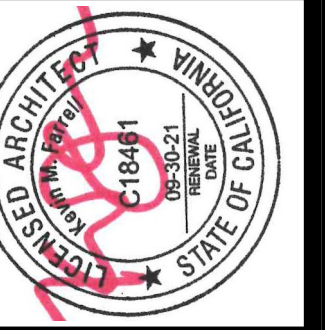
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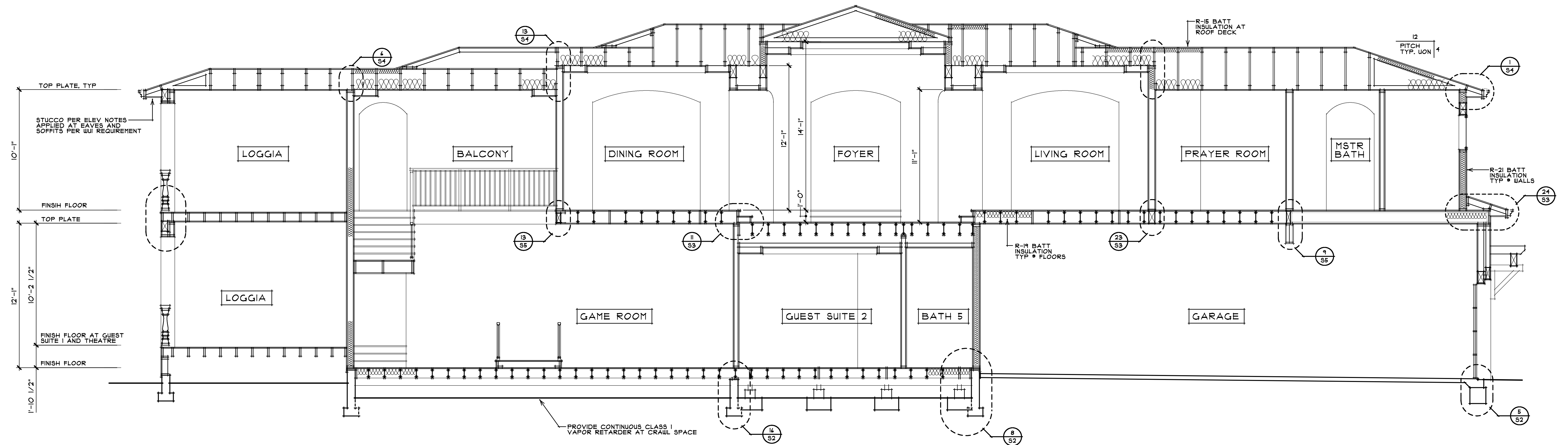
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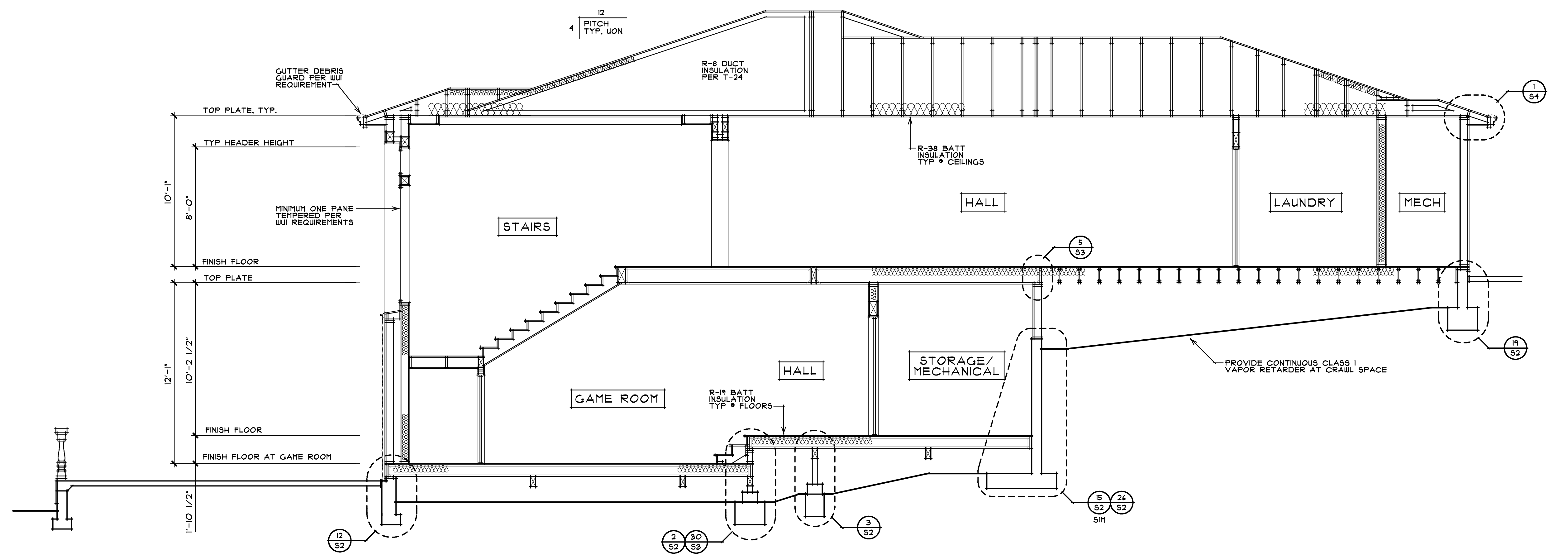
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SECTION A-A

SCALE: 1/4" = 1'-0"



SECTION B-B

SCALE: 1/4" = 1'-0"

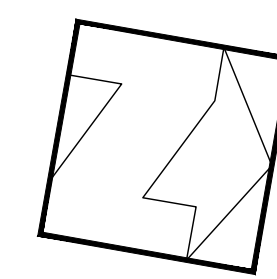
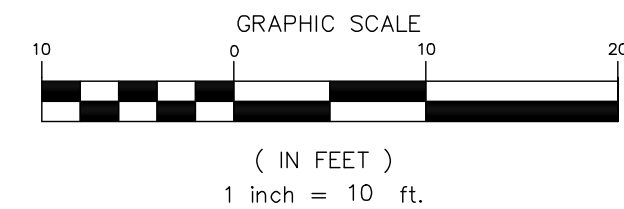




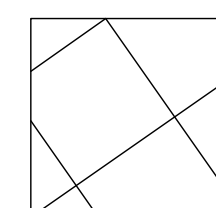




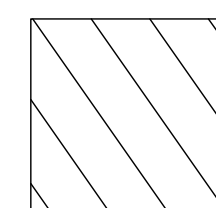
CHANTERELLE CIRCLE



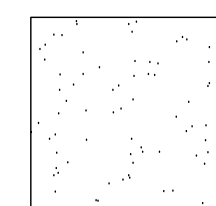
SLOPE LEGEND



SLOPES LESS than 10%



SLOPES 10 - 25%



SLOPES 25 and UP

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