GENERAL NOTES

- ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION SHALL CONFORM TO THE CITY OF SANTA ROSA MOST RECENTLY ADOPTED EDITION OF THE STANDARD PLANS AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL CONSTRUCTION PERMITS REQUIRED BY THE CITY OF SANTA ROSA (SUCH AS ENCROACHMENT, GRADING, BUILDING, DEMOLITION ETC.) PRIOR TO COMMENCEMENT OF WORK. AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PLANNING AND ECONOMIC DEVELOPMENT
- DEPARTMENT PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. 4. RAIN WATER LEADERS AND ROOF DRAINS ARE TO BE CONNECTED BY DEVELOPER TO STORM DRAIN SYSTEM OR
- SPLASH BLOCK. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION AND SIZE. NO CONCENTRATED LOT DRAINAGE SHALL FLOW ACROSS SIDEWALKS. CONTRACTOR SHALL SECURE A TRENCH PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR
- TO EXCAVATION OF ANY TRENCH OVER FIVE FEET IN DEPTH. 6. IF ANY CONTAMINATED MATERIAL IS ENCOUNTERED DURING CONSTRUCTION, WORK MUST STOP UNTIL A WORK
- PLAN HAS BEEN APPROVED IN WRITING BY THE CITY FIRE DEPARTMENT AND THE STATE REGIONAL WATER QUALITY CONTROL BOARD.
- ALL TRENCH SPOILS SHALL BE REMOVED AS THEY ARE GENERATED AND DISPOSED OF ON SITE PER THE GRADING PERMIT OR AT A SITE APPROVED BY A GRADING PERMIT FROM THE DEPARTMENT OF COMMUNITY DEVELOPMENT.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE DESIGN PROFESSIONAL AND THEIR CONSULTANTS, AND THE CITY OF SANTA ROSA, AND EACH OF THEIR OFFICERS, EMPLOYEES, AND AGENTS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- 9. THE LOCATIONS OF UNDERGROUND OBSTRUCTIONS SHOWN ON THE PLANS ARE APPROXIMATE ONLY AND SHOULD NOT BE TAKEN AS FINAL OR ALL INCLUSIVE. THE CONTRACTOR IS CAUTIONED THAT THE PLANS MAY NOT INCLUDE ALL EXISTING UTILITIES AND THAT THE OWNER, THE CITY OF SANTA ROSA AND DESIGN PROFESSIONAL ASSUME NO RESPONSIBILITY OF OBSTRUCTIONS WHICH MAY BE ENCOUNTERED.
- 10. THE CONTRACTOR SHALL EXPOSE ALL EXISTING UTILITIES INCLUDING SEWERS AND STORM DRAINS PRIOR TO ANY TRENCHING TO ALLOW THE ENGINEER TO VERIFY THE GRADE AND ALIGNMENT OF THE UTILITIES, AND TO VERIFY DESIGN ASSUMPTIONS AND EXACT FIELD LOCATION. EXISTING UTILITIES MAY REQUIRE RELOCATION AND/OR PROPOSED IMPROVEMENTS MAY REQUIRE GRADE OR ALIGNMENT REVISION DUE TO FIELD CONDITIONS. THE ENGINEER WILL NOT MARK ANY GRADE STAKES UNTIL AFTER THE EXACT LOCATION OF ALL EXISTING UTILITIES HAS BEEN VERIFIED.
- 11. THE CONTRACTOR SHALL RECOGNIZE THAT UNDERGROUND FACILITIES NOT SHOWN AS CIVIL IMPROVEMENTS (PG&E, TELEPHONE, TV, IRRIGATION, ETC.) SHALL BE COORDINATED AND CONSTRUCTED PRIOR TO PLACEMENT OF BASE ROCK AND PAVING.
- 12. CONTRACTOR IS RESPONSIBLE FOR PRESERVATION AND/OR PERPETUATION OF ALL EXISTING SURVEY MONUMENTS (IRON PIPES ON LOT LINES AND CORNER, CENTERLINE WELL DISKS, ETC.), WHICH CONTROL SUBDIVISIONS, TRACTS, BOUNDARIES, STREETS, HIGHWAYS, OR OTHER RIGHT-OF-WAY, EASEMENTS, OR PROVIDE SURVEY CONTROL WHICH WILL BE DISTURBED OR REMOVED DUE TO CONTRACTOR'S WORK CONTRACTOR SHALL PROVIDE A MINIMUM OF 10 (TEN) WORKING DAYS NOTICE TO THE ENGINEER/SURVEYOR PRIOR TO DISTURBANCE OR REMOVAL OF EXISTING MONUMENTS
- 13. CONSTRUCTION HOURS SHALL BE LIMITED TO 7 AM TO 7 PM MONDAY THRU SATURDAY, EXCLUDING HOLIDAYS. THIS RESTRICTION INCLUDES THE START UP OF ANY MOTOR VEHICLES OR OTHER HEAVY EQUIPMENT. ALL CONTRACTORS EQUIPMENT SHALL BE PROPERLY MUFFLED AND SHALL BE SHUT DOWN WHEN NOT IN USE.
- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE OR DETERIORATION OCCURRING TO EXISTING PUBLIC IMPROVEMENTS AS A DIRECT RESULT OF CONSTRUCTION ACTIVITY RELATED TO CONSTRUCTION OF THE COMMON IMPROVEMENTS (GRADING, ROAD CONSTRUCTION, UTILITY INSTALLATION, ETC.). REQUIRED REPAIR MAY REQUIRE PATCHING, SEALING OR OVERLAYING AFFECTED AREAS AS APPROPRIATE TO RETURN THE ROADS TO AS GOOD A CONDITION AS THEY WERE PRIOR TO CONSTRUCTION. IF THE CONTRACTOR DOES NOT ACT PRUDENTLY IN A TIMELY MANNER, THE CITY MAY, AT ITS DISCRETION PERFORM THE CORRECTION AND CHARGE THE CONTRACTOR FOR ALL COSTS AND OVERHEAD INCURRED
- 15. A TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS FOR APPROVAL PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- 16. CONSTRUCTION SITE WASTE MANAGEMENT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR. THE CONSTRUCTION SITE MUST BE KEPT CLEAN AND FREE FROM NON-STORM WATER MATERIAL DISCHARGES, INCLUDING BUT NOT LIMITED TO SOLID WASTE SUCH AS PACKAGING MATERIALS, WOOD, PAPER, AND PLASTIC SCRAP OR SURPLUS BUILDING MATERIALS SUCH AS METALS, RUBBER, PLASTIC, GLASS AND MASONRY PRODUCTS; DOMESTIC WASTES SUCH AS FOOD CONTAINERS, COFFEE CUPS, PAPER BAGS, AND CIGARETTES CONSTRUCTION AND LANDSCAPING MATERIALS; AND HAZARDOUS WASTE SUCH AS PETROLEUM PRODUCTS, WOOD PRESERVATIVES, PAINTS, MORTARS, AND SOLVENTS. ANY ACTIVITY DURING CONSTRUCTION WHICH ACTUALLY AND/OR MAY POTENTIALLY RESULT IN THE DISCHARGE OF SUCH POLLUTANTS INTO THE CITY'S STORM WATER SYSTEM IS IN VIOLATION OF CITY OF SANTA ROSA STORM WATER ORDINANCE AND STATE OF CALIFORNIA NORTH COAST REGIONAL WATER QUALITY CONTROL BOARD REGULATIONS. THE SITE SHALL REMAIN NEAT AND FREE FROM ANY SUCH POLLUTANTS. THE SITE MUST HAVE AN ADEQUATE NUMBER OF WATERTIGHT CONTAINERS WITH LIDS OR COVERS THAT CAN BE PLACED OVER THE CONTAINER TO KEEP OUT RAIN OR TO PREVENT LOSS OF WASTE DUE TO WIND. THE CONTRACTOR MUST COLLECT SITE TRASH DAILY AND ARRANGE FOR REGULAR WASTE COLLECTION BEFORE CONTAINER OVERFLOWS.
- 17. THE LOCATION AND INSTALLATION OF THE MAIL BOX SHALL BE COORDINATED BETWEEN THE DEVELOPER AND THE US POST OFFICE.
- 18. MAIL BOXES CONFORMING TO CITY STANDARD 271 MAY BE INSTALLED IN THE RIGHT-OF-WAY. 19. PERMANENT MONUMENTS AS SHOWN ON THE PLANS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE STANDARD PLANS AFTER COMPLETION OF STREET IMPROVEMENTS. THE
- MONUMENT LOCATION SHALL BE AS SHOWN AND STAKED IN THE FIELD BY THE ENGINEER OR SURVEYOR. 20. ENGINEER/SURVEYOR SHALL COORDINATE WITH THE CONTRACTOR TO RESET MONUMENTS OR PROVIDE PERMANENT WITNESS MONUMENTS AND FILE THE REQUIRED DOCUMENTATION WITH THE COUNTY SURVEYOR.
- PURSUANT TO BUSINESS AND PROFESSIONS CODE SECTION 8771. 21. THE DEVELOPER ASSUMES ALL RESPONSIBILITY FOR THE APPROVAL OF MAILBOX LOCATIONS BY THE LOCAL BRANCH OF THE UNITED STATES POST OFFICE.
- 22. IN THE EVENT THAT ANY REMAINS OF PREHISTORIC OR HISTORIC HUMAN ACTIVITIES ARE ENCOUNTERED DURING PROJECT-RELATED ACTIVITIES, WORK IN THE IMMEDIATE VICINITY OF THE FINDS SHALL HALT AND THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT SUPERINTENDENT AND THE CITY OF SANTA ROSA INSPECTOR. WORK SHALL NOT RESUME UNTIL A QUALIFIED ARCHAEOLOGIST OR HISTORIC ARCHAEOLOGIST, AS APPROPRIATE, APPROVED BY THE CITY OF SANTA ROSA, HAS EVALUATED THE SITUATION AND MADE RECOMMENDATIONS FOR TREATMENT OF THE RESOURCE. AND WHOSE RECOMMENDATIONS ARE CARRIED OUT. IF HUMAN BURIALS ARE ENCOUNTERED, THE CONTRACTOR MUST ALSO CONTACT THE COUNTY CORONER.

<u>TOPOGRAPHIC NOTES:</u>

- TOPOGRAPHIC MAPPING PROVIDED BY JON WHEAT AND ASSOCIATES. FIELD SURVEYED OCTOBER 10, 2019. REPRESENTS THE VISUAL SURFACE
- CONDITIONS AS OF AFORESAID DATE 2. JWA CONTROL POINT #1 - ELEVATION=841.04' (NAVD88). ALL ELEVATIONS
- SHOWN HEREON WERE" DETERMINED BY GPS OBSERVATIONS UTILIZING ORTHOMETRIC HEIGHTS DERIVED BY NGS OPUS SOLUTIONS. 3. THE BASIS OF BEARINGS FOR THIS SURVEY IS THE LINE BEING NORTH 19°41'14" WEST AS DETERMINED BETWEEN FOUND MONUMENTS ALONG

CHANTERELLE CIRCLE SHOWN IN BOOK 593 OF MAPS AT PAGE 39, SCR.

ESTIMATED EARTHWORK QUANTITIES

105 CY 165 CY FILL:

THE ABOVE LISTED QUANTITIES REFLECT THE ENGINEER'S ESTIMATE OF THE VOLUMES. THESE QUANTITIES DO NOT ACCOUNT FOR EXPANSION DURING CONSTRUCTION AND/OR' THE CONTRACTOR'S CONSTRUCTION PRACTICES. THE EARTHWORK CONTRACTOR SHALL DEVELOP THEIR OWN QUANTITY TAKE OFF ESTIMATES FOR BIDDING AND CONSTRUCTION PURPOSES.

GRADING NOTES

- 1. NO GRADING, CLEARING OR GRUBBING SHALL BE PERFORMED PRIOR TO ISSUANCE OF A GRADING PERMIT FROM THE CITY OF SANTA ROSA
- CONTRACTOR SHALL OBTAIN A DE-WATERING PERMIT FROM THE NORTH COAST REGIONAL WATER QUALITY CONTROL BOARD FOR ANY DE-WATERING OPERATIONS THAT ARE USED TO MANAGE THE REMOVAL OF GROUND WATER FROM EXCAVATIONS WITH THE INTENT OF DOWNSTREAM DISCHARGE TO THE WATERS OF THE STATE OR THE STORM DRAIN SYSTEM. WHEN GROUNDWATER IS TO BE DISCHARGED TO THE SEWER APPROVAL MUST BE OBTAINED FROM THE CITY OF SANTA ROSA INDUSTRIAL WASTE DIVISION.
- A NOTICE OF INTENT TO COMPLY WITH THE TERMS OF THE GENERAL PERMIT TO DISCHARGE STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITY MUST BE FILED WITH THE NORTH COAST REGIONAL WATER QUALITY CONTROL BOARD PRIOR TO THE ISSUANCE OF ANY GRADING PERMIT (CALL 707-576-2220 FOR INFORMATION).
- 4. TEMPORARY STOCKPILE SHALL NOT BE WITHIN CREEK SETBACK AREAS, PROTECTED VEGETATION/TREE AREAS OR WITHIN 10 FEET OF AN ADJACENT RESIDENTIAL PROPERTY LINE. STOCKPILES HIGHER THAN 2.5 FEET SHALL NOT BE WITHIN 50 FEET OF AN ADJACENT RESIDENTIAL PROPERTY LINE.
- 5. TEMPORARY STOCKPILES MUST BE REMOVED BY COMPLETION OF GRADING ACTIVITIES. OTHERWISE A SEPARATE
- TEMPORARY USE PERMIT AND GRADING PERMIT IS REQUIRED FOR THE STOCKPILE. DUST CONTROL SHALL BE PROVIDED BY CONTRACTOR DURING ALL PHASES OF CONSTRUCTION
- GRADING SHALL OCCUR ONLY BETWEEN MAY 1 AND OCTOBER 1 UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER OR CHIEF BUILDING OFFICIAL IN CONJUNCTION WITH AN APPROVED EROSION AND SEDIMENT CONTROL PLAN AND A GRADING SCHEDULE TO BE SUBMITTED TO COMMUNITY DEVELOPMENT ENGINEERING WITH THE
- GRADING PERMIT APPLICATION. WINTERIZATION OF THE PROJECT SHALL BE THE FIRST ORDER OF WORK. 8. SITE GRADING SHALL BE DONE UNDER DIRECTIONS OF THE SOILS ENGINEER AND SHALL BE IN COMPLIANCE WITH CHAPTER 18 AND APPENDIX J, OF THE 2019 CALIFORNIA BUILDING CODE AND, THE GEOTECHNICAL STUDY REPORT PREPARED BY RGH CONSULTANTS, DATED JANUARY 13, 2021, PROJECT NUMBER 4635.01.13.1.
- 9. EXISTING NON-COMPLYING FILLS SHALL BE REMOVED OR BROUGHT INTO COMPLIANCE WITH CHAPTER 33 AND 18, AND APPENDIX J, OF THE 2019 CALIFORNIA BUILDING CODE, AND THE SATISFACTION OF THE SOILS ENGINEER.
- 10. ANY EXCESS AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE TO AN AREA APPROVED BY THE CITY BUILDING DIVISION AND CITY FIRE DEPARTMENT. APPROVALS MUST BE IN WRITING PRIOR TO REMOVAL OF MATERIAL
- 11. DRAINAGE FROM UPSTREAM PROPERTIES SHALL NOT BE BLOCKED BY GRADING OR CONSTRUCTION OF IMPROVEMENTS. 12. CONTRACTOR SHALL PROTECT EXISTING DRAINAGE FACILITIES FROM SEDIMENTATION DURING ALL PHASES OF
- CONSTRUCTION. 13. ALL HAZARDOUS MATERIAL SHALL BE REMOVED AND DISPOSED OF ACCORDING TO THE REQUIREMENTS OF THE CITY'S FIRE DEPARTMENT. THE APPLICANT IS REQUIRED TO DEMONSTRATE COMPLIANCE WITH STATE AND

LOCAL CODES FOR REMOVAL OF ASBSTOS CONTAINING MATERIALS DURING DEMOLITION OF THE STRUCTURES

- ON THE PROJECT SITE. 14. PRIOR TO ANY GRADING OPERATION, THE CONTRACTOR SHALL INSTALL PROTECTIVE FENCING AROUND THE DRIP LINE OF TREES TO BE SAVED IN COMPLIANCE WITH THE CITY TREE ORDINANCE. CUTTING, FILLING, PAVING OR TRENCHING WITHIN ROOT ZONES OR TREES TO BE SAVED MUST BE REVIEWED AND APPROVED BY A CITY
- APPROVED ARBORIST AND DONE UNDER THEIR ON SITE SUPERVISION. 15. DRIP LINES OF TREES OVERHANGING THE PROPERTY LINE SHALL BE AFFORDED THE SAME LEVEL OF PROTECTION AS TREES ON SITE THAT ARE TO REMAIN.
- 16. ALL PADS SHALL BE CONSTRUCTED TO A TOLERANCE OF 0.1 FEET $\pm/-$ FROM SHOWN PAD ELEVATION. 17. PROPOSED DEVELOPMENT MUST CONFORM TO 40 CFR (CODE OF FEDERAL REGULATIONS) PARTS 122, 123 AND 124 NATIONAL POLLUTANT DISCHARGE ELIMINATIONS SYSTEM (NPDES) PERMIT APPLICATIONS FOR STORM WATER DISCHARGE. PROJECT MUST ALSO CONFORM WITH ANY DESIGN AND CONSTRUCTION POLICIES ADOPTED
- BY THE CITY TO CONFORM WITH THESE REGULATIONS. 18. UNDER 40 CFR, CONSTRUCTION ACTIVITY INCLUDES CLEARING, GRADING AND EXCAVATION ACTIVITIES. THESE ACTIVITIES REQUIRE OBTAINING AN NPDES PERMIT FROM THE STATE WATER RESOURCES CONTROL BOARD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITY.
- 19. BLASTING (IF REQUIRED) REQUIRES A PERMIT FROM THE CITY FIRE DEPARTMENT.
- 20. PRIOR TO ANY GRADING OPERATION THE GRADING CONTRACTOR SHALL JOINTLY SEARCH THE SITE FOR EXISTING WELLS AND SEPTIC SYSTEMS.
- 21. ALL SEPTIC SYSTEMS SHALL BE ABANDONED PER CITY OF SANTA ROSA AND SONOMA COUNTY PERMITS AND RESOURCE MANAGEMENT DEPARTMENT REQUIREMENTS. PERMITS SHALL BE OBTAINED FROM SONOMA COUNTY PERMITS AND RESOURCE MANAGEMENT DEPARTMENT. SEPTIC SYSTEMS SHALL BE REMOVED AND BACKFILLED UNDER THE OBSERVATION OF THE SOILS ENGINEER AND INSPECTION BY THE SONOMA COUNTY PERMITS AND RESOURCE MANAGEMENT DEPARTMENT.
- 22. ANY EXISTING WELLS TO BE ABANDONED SHALL BE DONE IN ACCORDANCE WITH THE CITY WELL ORDINANCE AS ADMINISTERED BY THE CITY BUILDING OFFICIAL. PERMITS ARE REQUIRED FROM THE SONOMA COUNTY PERMITS & RESOURCE MANAGEMENT DEPARTMENT.
- 23. REMOVAL OF ANY STRUCTURE REQUIRES A DEMOLITION PERMIT FROM THE CITY BUILDING DIVISION.

DEMOLITION NOTES

DESCRIPTION

EX CONCRETE TO BE REMOVED

PORTION OF EXISTING POOL TO

PORTION OF EXISTING POOL TO

EX CONCRETE RETAINING WALL &

EX ROCK WALL TO BE REMOVED

9 EX SPA & CONCRETE TO REMAIN

11 EX CONCRETE STAIRS TO REMAIN

EX CONCRETE WALL TO BE

REMOVE EX CURB & GUTTER; SAWCUT 1' (min) FROM LIP OF

REMOVE EX CONCRETE AT EX

REMOVE EX ROCK STAIRS

EX CURB TO BE REMOVED

REMAIN

BE REMOVED

5 | EX DRWY TO REMAIN

10 EX WALL TO REMAIN

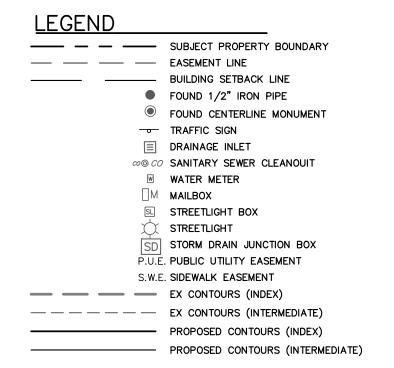
REMOVED

GUTTER

JOINT

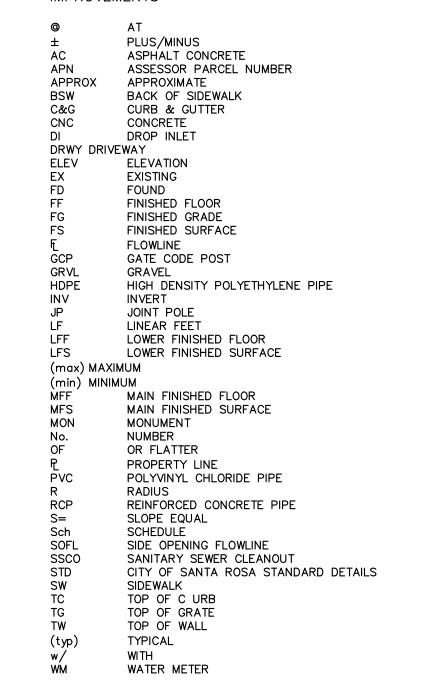
PAVERS TO REMAIN

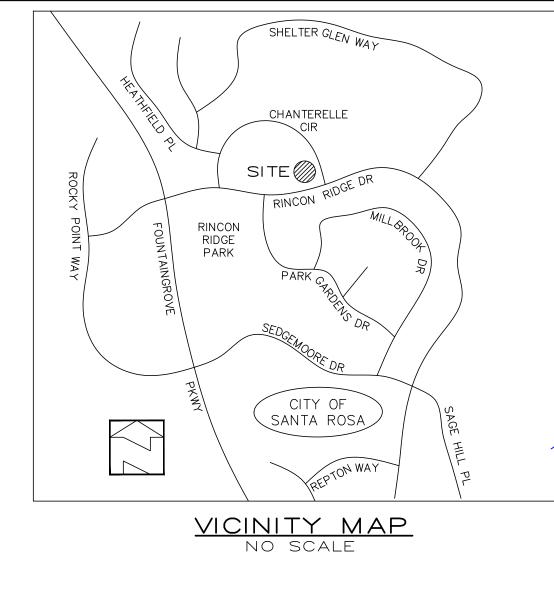
8 | EX ROCK WALL TO REMAIN



ABBREVIATIONS

SCREENED and/or lower case DENOTES EXISTING **IMPROVEMENTS**





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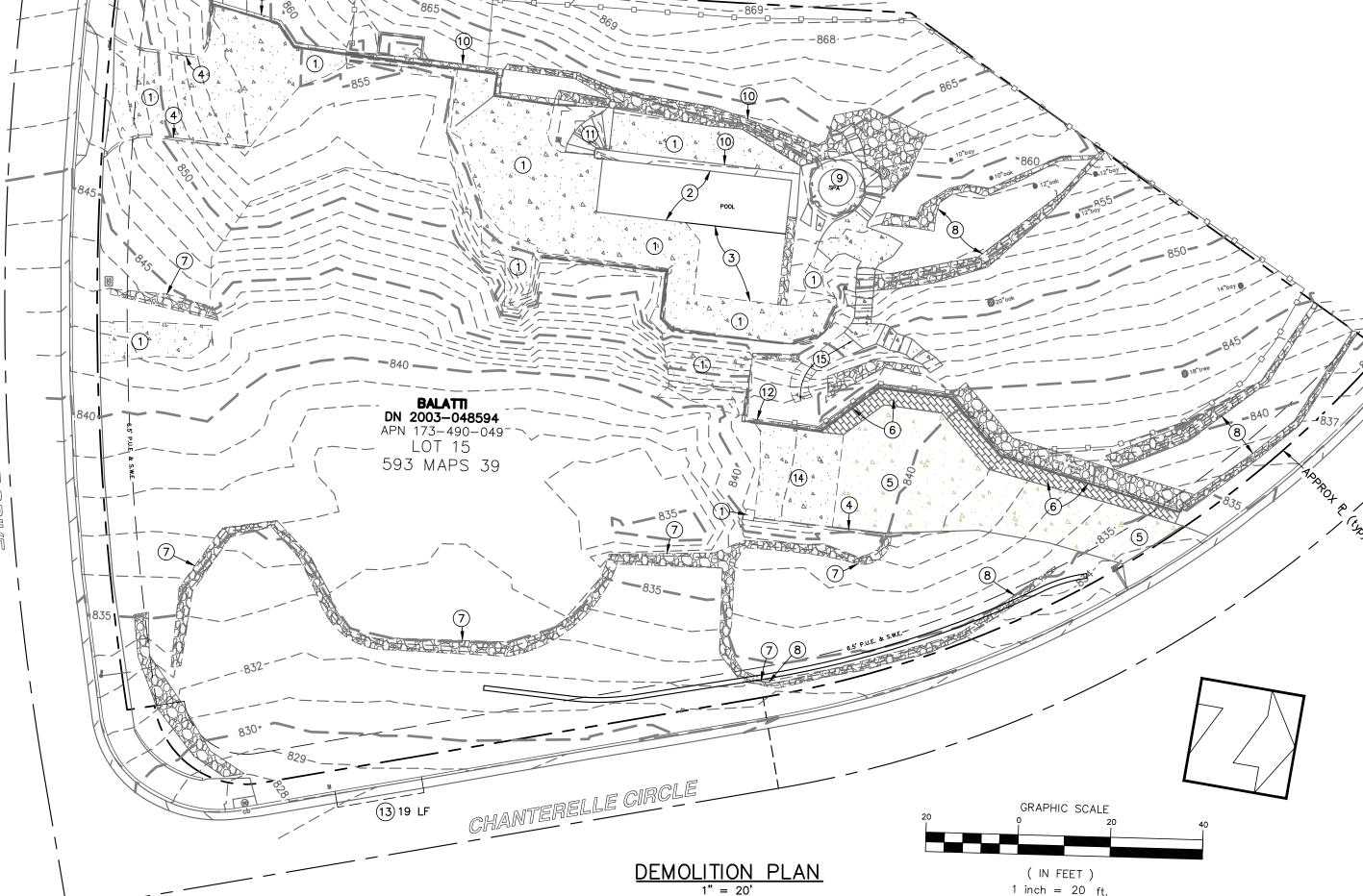
City of Santa Rosa

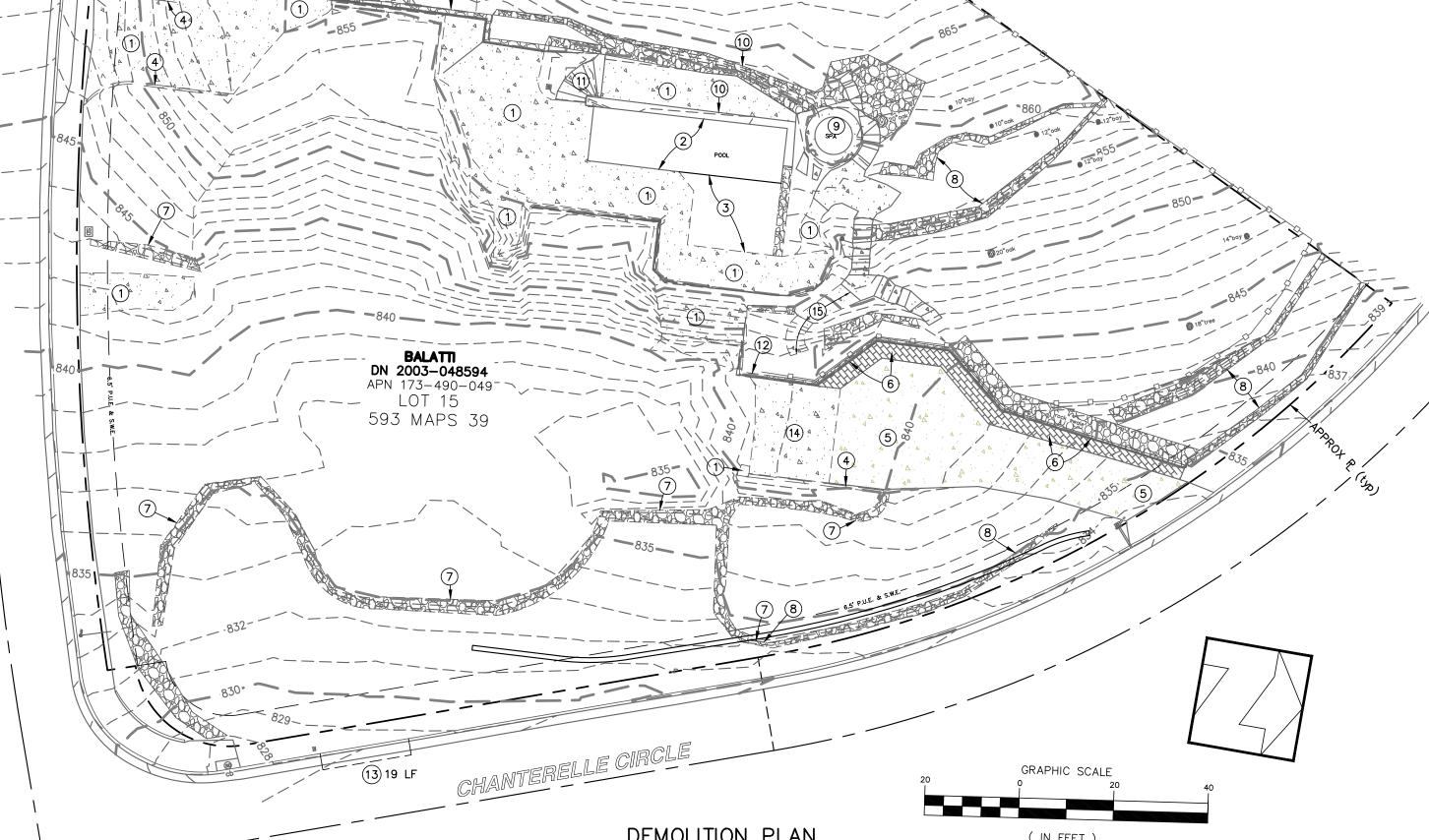
June 28/2021

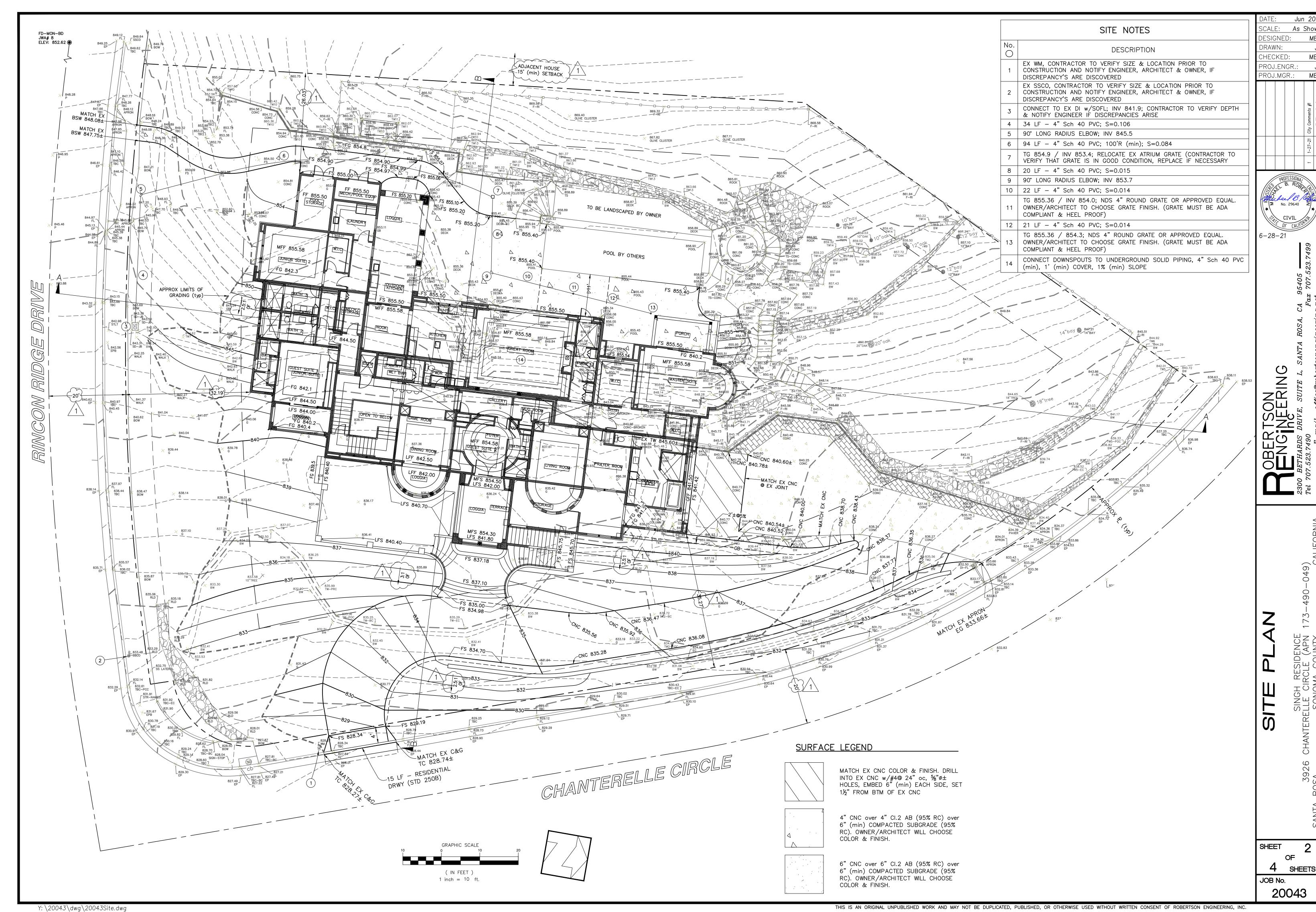
Planning & Economic Development Department

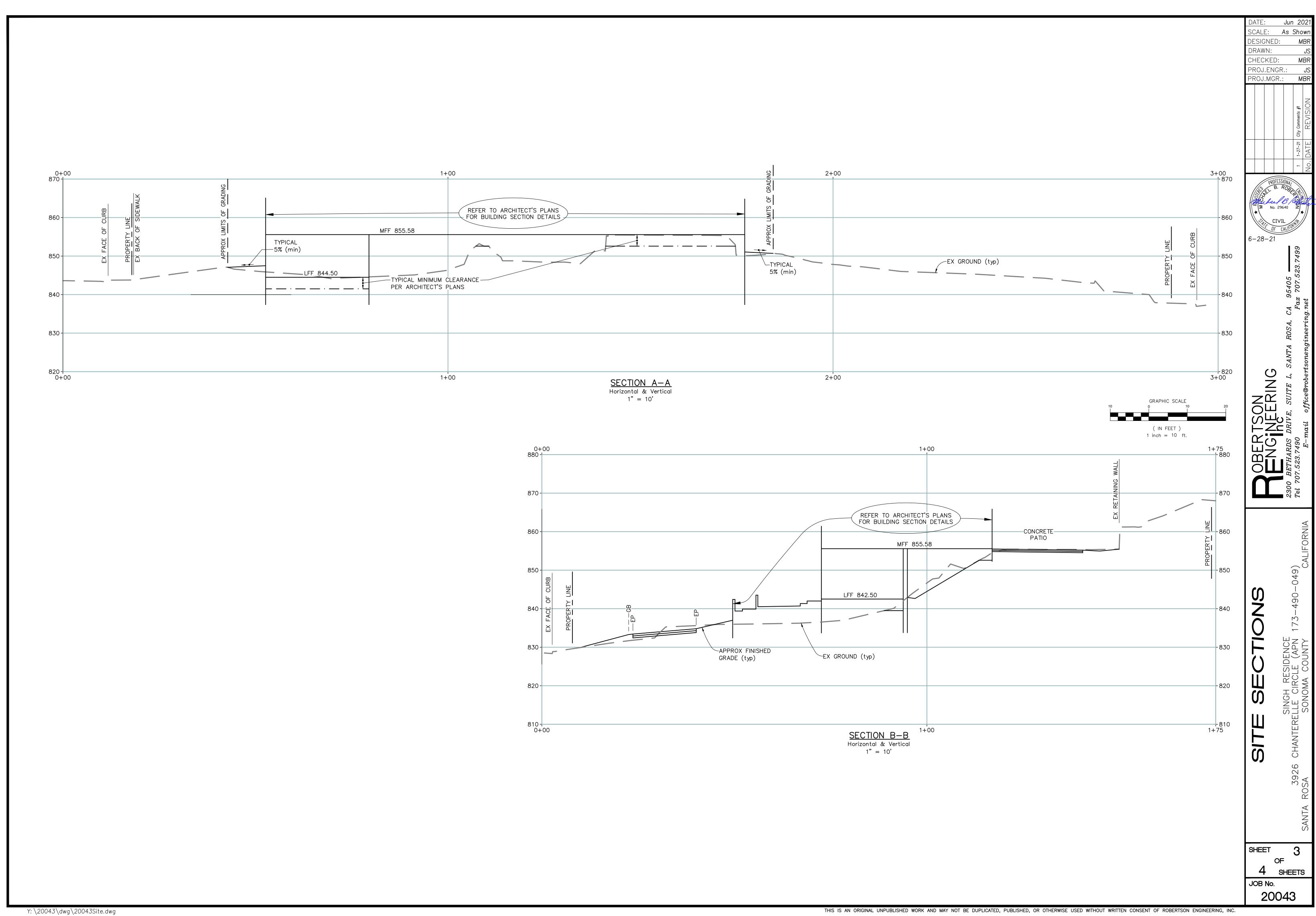
> <u>SHEET INDEX:</u> SITE PLAN SITE SECTIONS

EROSION CONTROL PLAN

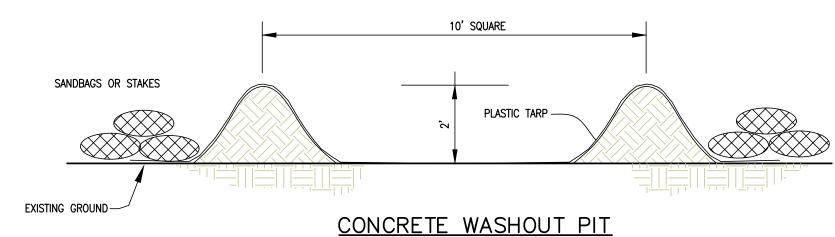








WATTLE INSTALLATION DETAIL



NO SCALE

NOTES:

1. CONTRACTOR TO LOCATE PIT, AS NEEDED, AND WHERE SPACE IS AVAILABLE DURING ALL PHASES OF CONSTRUCTION.

2. PUMP WATER IN TANKER FOR DISPOSAL

3. DISPOSE OF HARDENED CONCRETE

EROSION CONTROL NOTES		
No.	DESCRIPTION	
1	INSTALL STRAW WATTLES (typ), REFER TO DETAIL, THIS SHT	
2	INSTALL CONCRETE WASHOUT AREA, REFER TO DETAIL, THIS SHT	
3	PORT-A-POTTY AREA	
4	INSTALL INLET PROTECTION, STRAW WATTLE, DANDY BAG, SAND BAGS OR OTHER APPROVED METHOD	

EROSION CONTROL NOTES

- 1. EROSION AND SEDIMENT CONTROL SHOWN ON THIS SHEET ASSUMES STREET, CURB, GUTTER AND STORM DRAINS ARE COMPLETED PRIOR TO RAINS. PROJECT ENGINEER SHALL PREPARE INTERIM DRAINAGE AND EROSION AND SEDIMENT CONTROL PLAN BASED ON WINTER CONDITIONS FOR CITY APPROVAL PRIOR TO CONTRACTOR INSTALLATION. A CURRENT EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED AND KEPT ON THE JOB SITE.
- 2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE USED TO ENSURE THAT WATER ENTERING THE STORM DRAIN SYSTEM BELOW THE CONSTRUCTION SITE IS EQUIVALENT QUALITY AND CHARACTER AS THE WATER ABOVE THE SITE.
- 3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED IN FRONT OF INCOMPLETE STORM DRAIN SYSTEMS TO PREVENT DEBRIS AND SEDIMENT LADEN WATER FROM ENTERING INTO THE PUBLIC STORM DRAIN SYSTEM. BEST MANAGEMENT PRACTICES SHALL BE USED WHEN DESIGNING AND INSTALLING SUCH DEVICES.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTANT MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES TO THE SATISFACTION OF THE ENGINEER AND CITY OF SANTA ROSA. EROSION AND SEDIMENT CONTROL MEASURES AND THEIR INSTALLATION SHALL BE ACCOMPLISHED USING BEST MANAGEMENT PRACTICES.
- 5. IF THE STORM DRAIN SYSTEM IS NOT IN PLACE BY OCTOBER 1, ADDITIONAL MEASURES SHALL BE TAKEN SUCH AS TEMPORARY SETTLING BASINS WHICH MEET THE SATISFACTION OF THE ENGINEER AND THE CITY OF SANTA ROSA. SILT AND/OR CATCH BASINS MUST BE CLEANED OUT ON A REGULAR BASIS AFTER STORMS TO MAINTAIN DESIGN CAPACITY.
- 6. STORM WATER RUNOFF FROM THE CONSTRUCTION SITE SHALL BE DIRECTED TOWARD AN INLET WITH A
- SEDIMENT OR FILTRATION INTERCEPTOR PRIOR TO ENTERING THE STORM DRAIN SYSTEM.

 7. THE CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING WATER THAT HAS BECOME POLLUTED DUE TO NOT
- TAKING NECESSARY EROSION AND SEDIMENT CONTROL ACTIONS.

 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OR MUD AND DEBRIS CARRIED ONTO SURROUNDING STREETS AND ROADS AS A RESULT OF CONSTRUCTION ACTIVITY ON THE SITE TO THE SATISFACTION OF THE CITY OF SANTA ROSA.
- 9. ANY DENUDED OR DISTURBED SOILS SHALL BE PROTECTED USING BEST MANAGEMENT PRACTICES.

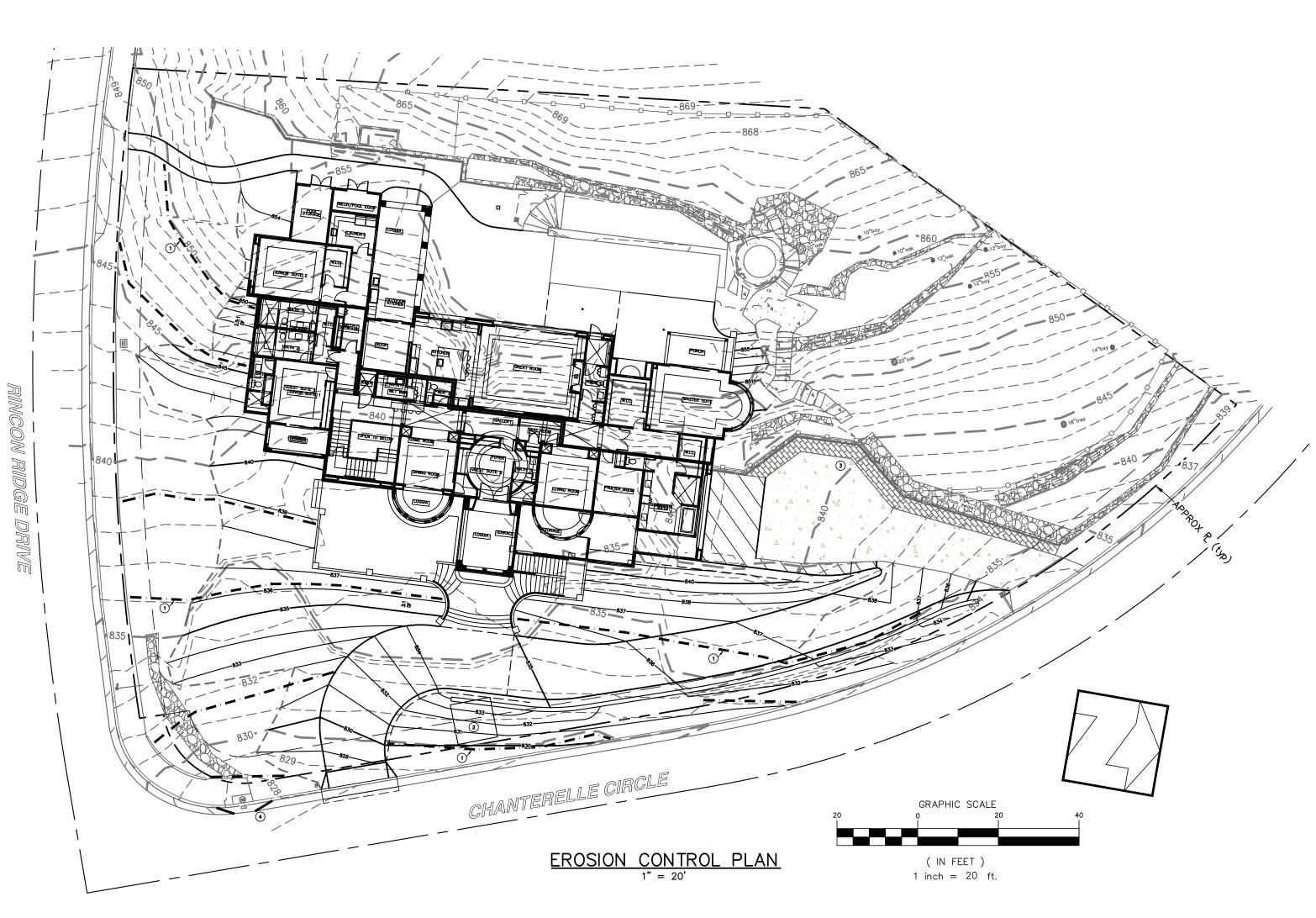
 10. BETWEEN OCTOBER 1 AND MAY 1, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS.

 THE SITE TO BE MAINTAINED BY THE DEVELOPER, CONTRACTOR OR OWNER SO THAT A MINIMUM OF
- SEDIMENT-LADEN RUNOFF LEAVES THE SITE.

 11. THE CONTRACTOR IS TO INFORM ALL CONSTRUCTION SITE WORKERS ABOUT THE MAJOR PROVISIONS OF THE EROSION AND SEDIMENT CONTROL PLAN AND SEEK THEIR COOPERATION IN AVOIDING THE DISTURBANCE OF THESE CONTROL MEASURES.
- 12. DURING THE RAINY SEASON (TYPICALLY OCTOBER 1 TO MAY 1) ALL SEDIMENT BARRIERS ARE TO BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY AND, IN ADDITION, AFTER EACH STORM. CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL MEASURES AND INLETS AFTER EACH SIGNIFICANT RAINFALL AND DAILY DURING PROLONGED STORM EVENTS. REMOVE SEDIMENT WHEN ACCUMULATIONS REACH ½ THE HEIGHT OF THE BARRIER AND REPLACE FILTER DEVICES AS NECESSARY TO ENSURE PROPER FUNCTION.
- 13. UNSTABILIZED AREAS WILL BE REPAIRED AS SOON AS POSSIBLE AFTER BEING DAMAGED.
- 14. ALL GRADED OR DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING IS COMPLETE.
 15. ENTRANCE TO THE PROJECT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR
 FLOWING OF SEDIMENT INTO PUBLIC RIGHT OF WAY. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO
 REMOVE SEDIMENT PRIOR TO ENTRANCE OF PUBLIC RIGHTS OF WAY. WHEN WASHING IS REQUIRED IT SHALL BE
 DONE IN AN AREA STABILIZED WITH CRUSHED ROCK THAT DRAINS INTO A SEDIMENT TRAP.
- 16. ALL SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO PUBLIC RIGHTS OF WAY SHALL BE REMOVED
- IMMEDIATELY USING BEST MANAGEMENT PRACTICES.

 17. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR
- PURPOSE SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

 18. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED OR REPLACED WHEN THEY ARE NO LONGER FUNCTIONING PER BEST MANAGEMENT PRACTICES.
- 19. THE CONTRACTOR SHALL HAVE EROSION AND SEDIMENT CONTROL MEASURES ON SITE ADEQUATE TO PROTECT THE ENTIRE SITE PRIOR TO THE OCTOBER 1 DATE SUCH THAT IT IS IMMEDIATELY AVAILABLE IN PREPARATION OF THE UPCOMING WINTER SEASON OR IN THE EVENT OF AN EARLY RAIN.
- 20. AFTER CONSTRUCTION IS COMPLETE ALL STORM DRAIN SYSTEMS ASSOCIATED WITH THIS PROJECT SHALL BE INSPECTED AND CLEARED OF ACCUMULATED SEDIMENTS AND DEBRIS.
- 21. GRADED AREAS TO BE SEEDED FOR EROSION CONTROL SHALL USE GRASS SEED AT THE RATE OF 75–100 POUNDS PER ACRE. SEEDED AREAS SHALL BE IRRIGATED TO ENSURE COVER IS ROOTED PRIOR TO RAINY SEASON
- 22. HYDROSEED SHALL BE EITHER APPLIED MECHANICALLY OR BY HYDROSEEDING. HYDROSEEDING REQUIRES THE APPLICATION OF FIBER AND STABILIZING EMULSION. MECHANICAL APPLICATION SHALL REQUIRE ROLLING, TAMPING, OR OTHERWISE WORKING THE SEED APPROXIMATELY 0.5 INCHES INTO THE TOP SOIL.
- 23. STABILIZATION OF EXPOSED GRADED AREAS WITH STRAW MULCH SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE.



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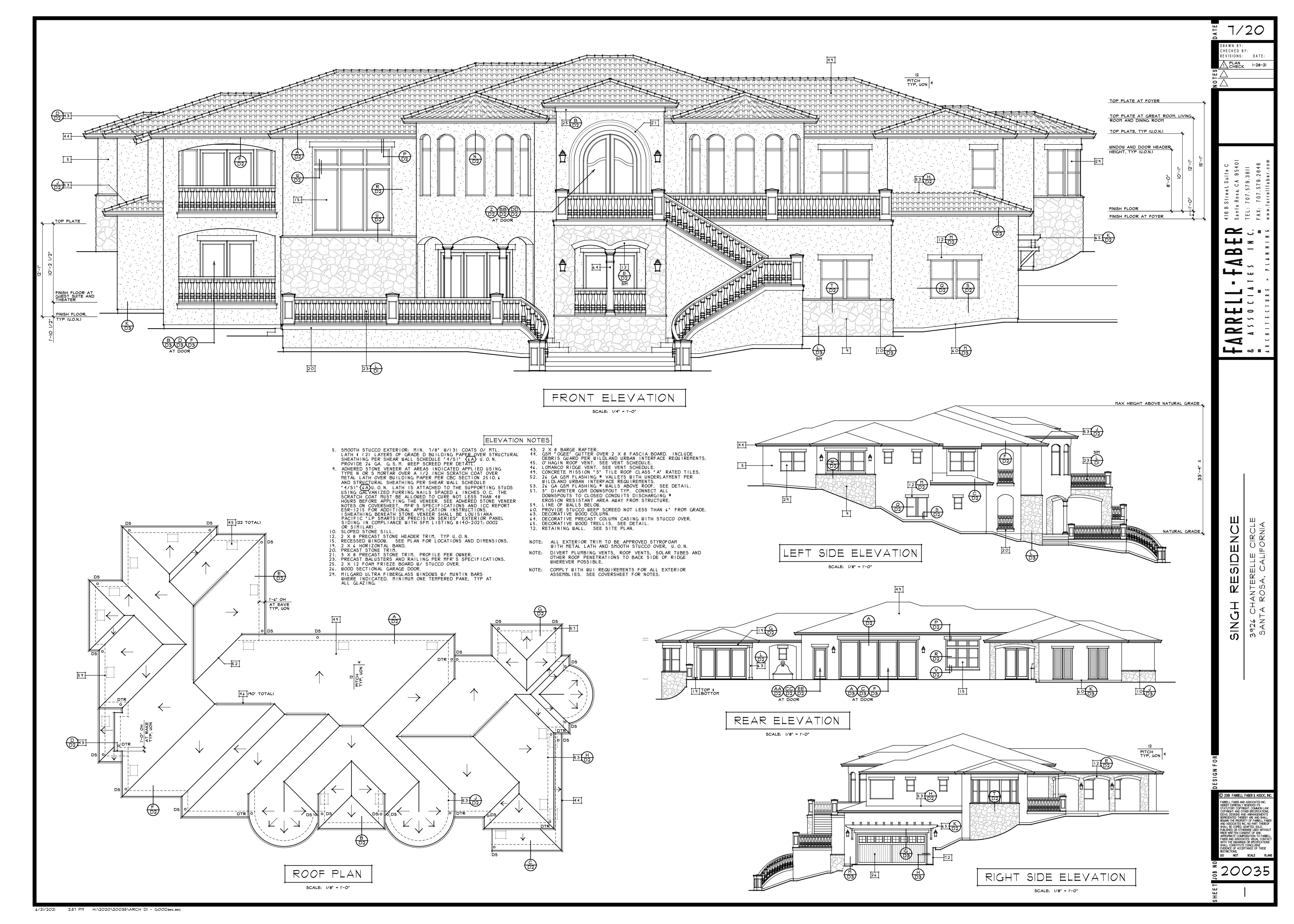
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CIVIL
OF CALIFORNIA

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E L, SANTA ROSA, CA 95405 - Fax 707.52.

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LOWER FLOOR ELECTRICAL/MECHANICAL PLAN

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ELEVATIONS AND ROOF PLAN

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COVER SHEET

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STANDARD STRUCTURAL DETAILS

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SINGH RESIDENCE

3926 CHANTERELLE SANTA ROSA, CALIFORNIA

NOTES		
GENERAL NOTES: 1. COMPLY WITH ALL PROVISIONS OF THE 2019 CBC, CRC, CPC, CMC, CEC, TITLE 24, CALIFORNIA GREEN BUILDING, STANDARDS CODE AND ALL LOCAL CODE AND ORDINANCES. 2. THESE PLANS ARE NOT INTENDED TO SHOW THE METHOD AND MEANS OF EXECUTION OF THE WORK WHICH IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. 2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE FULL COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES. 4. ALL SUBCONTRACTORS SHALL BID AND PERFORM THER WORK BASED ON THE COMPLETE SET OF PLANS. IT IS THE RESPONSIBILITY OF THE SUBCONTRACTOR TO NOTIFY THE GENERAL CONTRACTOR OF ANY POSSIBLE CONFLICTS BETWEEN PORTIONS OF THE DRAWINGS, AND/OR SPECIFICATIONS. 5. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REVIEW AND FAMILIARIZE HINSELF WITH THE DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO STARTING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONTACT THE ARCHITECT, PRIOR TO PERFORMANCE, IF ANY CONFLICTS EXIST BETWEEN ANY PORTION OF THE DRAWINGS, SPECIFICATIONS AND/OR SITE CONDITIONS. 5. DRAWINGS ARE NOT TO BE SCALED, ALL WORK SHALL BE GOVERNED BY THE DIMENSIONS ON THE DRAWINGS, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. ALL DIMENSIONS RELATED TO EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR. 1. DETAILS NOT SPECIFICALLY SHOWN SHALL BE THE SAME NATURE AS SIMILAR CONDITIONS. 2. ALL STRUCTURAL FASTENING/NAILING NOT SPECIFICALLY CALLED OUT ON PLANS SHALL BE PER 2019 CRC TABLE REOLS. 3. SEE TITLE 24 ENERGY CALCULATIONS FOR GLAZING AREAS. ALL GLAZING SHALL BE DOUBLE THE SAME NATURE AS SIMILAR CONDITIONS, (INCLUDING FURRED SPACES, STAIR OPENING (IF APPLICABLE), CEILINGS, FLOOR (INCLUDING FURRED SPACES, STAIR OPENING (IF APPLICABLE), CEILINGS, FLOOR (INCLUDING FURRED SPACES, STAIR OPENING (IF APPLICABLE), CEILINGS, FLOOR (INCLUDING FURRED SPACES, STAIR OPENING (IF APPLICABLE), CEILINGS, FLOOR (INCLUDING FURRED SPACES, STAIR OPENING (IF APPLICABLE), CEILINGS, FLOOR (INCLUDING FURRED SPACES, STAIR OPENING (IF APPLICABLE)	PLUMBING NOTES: 1. PROVIDE A NON-REMOVABLE BACKFLOW PREVENTION DEVICE OR VACUUM DEVICE ON ALL EXTERIOR HOSE BIBBS, AND LAWN SPRINKLER/IRRIGATION REQUIRED BY CPC SECTION 403.4.4 2. PROVIDE SHOWERS AND TUB-SHOWER COMBINATIONS WITH INDIVIDUAL CONVALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PROVIDED SHOWERS AND TUB-SHOWER COMBINATION OF BALANCE/THERMOSTATIC MIXING VALVE TYPE, CONFORMING TO ASSE IOIA. INSTALLER SHALL ADJUST SUCH VALVES PER MANUFACTURERS'S INSTRUCTION DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES F, CPC 408.3 3. SHOWER RECEPTORS (OTHER THAN TUBS) SHALL BE OF AN APPROVED TY CONFORM TO CPC SECTION 408.1 IF SHOWER RECEPTOR IS CONSTRUCTED IT SHALL BE CONSTRUCTED TO CONFORM TO CPC SECTION 408.1. 4. SHOWER STALL DESIGN - POSITION SHOWER CONTROL VALVES SO THAT TO CAN ADJUST THE VALVES WITHOUT STEPPING INTO THE SHOWER SPRAY. 5. WATER HAMMER CONTROL SHALL BE PROVIDED AT CLOTHES WASHER AND DISHWASHER PER CPC 409.10. 4. ALL UNDERGROUND COPPER PIPELINES TO BE SCHEDULE "L" WITH NO JOINT 1. THE MINIMUM WIDTH REQUIREMENT FOR INSTALLATION OF WATER CLOSETS FA02.5 OF CPC OR SECTION R301 OF CRC IS 15" FROM ITS CENTER TO ANY OR OBSTRUCTION, NO CLOSER THAN 30" CENTER TO CENTER TO ANY SIM OR OBSTRUCTION, NO CLOSER THAN 30" CENTER TO CENTER TO ANY SIM OR OBSTRUCTION, NO CLOSER THAN 30" CENTER TO CENTER TO ANY SIM OR OBSTRUCTION, NO CLOSER THAN 30" CENTER TO CENTER TO ANY SIM OR OBSTRUCTION, NO CLOSER THAN 30" CENTER TO THE SELECTED ELECTIVE MEASURES INCLUDED AS PART OF THESE PLANS. 2. ALL SUBCONTRACTORS SHALL COMPLY WITH THE PROJECTS CONSTRUCTION MANAGEMENT (CWIN) PLAN AND SUBCONTRACTOR FOREMAN SHALL SIGN THE ACKNOWLEDGEMENT SHEET.	
5. PROVIDE FIREBLOCKING AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT SOFFITS, DROP CEILINGS AND COVE CEILINGS. 4. PROVIDE FIREBLOCKING IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. 7. GYP BOARD SHALL BE AS FOLLOWS: 8. WALLS AND CEILING: FRAMING AT 16" OC - 1/2" GYP BOARD 9. ENCLOSED USEABLE SPACE UNDER STAIRS - 1/2" GYP BOARD 9. C. GARAGE WALLS AND CEILINGS - 1/2" GYP BOARD 9. C. GARAGE CEILING WITH HABITABLE ROOMS ABOVE - 5/8" TYPE "X" GYP BOARD 10. GARAGE CEILING WITH HABITABLE ROOMS ABOVE - 5/8" TYPE "X" GYP BOARD 11. GARAGE WALLS AND BEAMS, TYPICAL) 12. D. PROVIDE WATER RESISTANT GYPSUM BOARD UNDER TIDE AND SHOWER ENCLOSURE 13. MATERIALS OR APPROVED BACKER BOARD UNDER TIDE TO A HEIGHT OF 12" 14. MIN. ABOVE FLOOR. INSTALLATION AND APPLICATION SHALL COMPLY WITH CRC 15. ROOZ.3.1. IF APPLICABLE, TILE SHALL BE INSTALLED PER THE TILE COUNCIL 16. OF AMERICA STANDARDS (INCLUDING WATERPROOFING WHERE APPLICABLE). 17. E. ALL INTERIOR WALLS AND CEILINGS TO BE TAPED AND TEXTURED, U.O.N. OUTSIDE 18. CORNERS TO BE ROUNDED TO APPROX. 3/4" RADIUS WITH "BEADEX SOFTLINE" 18. CORNERS OR EQUAL. 18. F. ALL GARAGE WALLS AND CEILINGS TO BE TEXTURED, U.O.N. 18. ALL INSULATION MATERIAL SHALL HAVE A FLAME SPREAD RATING NOT TO 18. EXCEED 25 AND A SMOKE DENSITY RATING NOT TO EXCEED 450 19. MAINTAIN IS INCHES CLEAR FROM LIGHT FIXTURE TO COMBUSTIBLE MATERIALS 18. AT ALL WALK-IN CLOSETS.	ILLUMINATED ADDRESS SIGN REQUIREMENTS: ILLUMINATION: I. LIGHT SOURCES USED TO COMPLY WITH THIS SECTION SHALL BE CONTROLLED BY PHOTOELECTRIC DEVICE OR BY A CIRCUIT SUPPLIED BY A HOUSE METER WHICH IS USED TO PROVIDE OTHER REQUIRED LIGHTING DURING HOURS OF DARKNESS. NO SWITCH OR OTHER SIMILAR DEVICE SHALL BE INSTALLED, LOCATION: 2. THE NUMBERS SHALL BE AT A HEIGHT AND LOCATION THAT ENSURES THE ADDRESS IS PLAINLY VISIBLE AND LEGIBLE TO EMERGENCY VEHICLES APPROACHING FROM EITHER DIRECTION ALONG THE STREET OR ROAD FRONTING THE PROPERTY. OTHER CRITERIA: 3. THE NUMBERS SHALL BE A MINIMUM 4 INCHES IN SIZE AND COLORS OF NUMBERS SHALL CONTRAST THE BUILDING BACKGROUND COLOR.	
PROVIDE ADEQUATE VOLUME OF OUTSIDE COMBUSTION AIR TO ALL APPLIANCES PER CMC SECTION 101. 2. ALL AIR DUCTS PENETRATING SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL SHALL BE 26 GA MINIMUM PER CRC R302.5.2. 3. ALL SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE 110V WITH BATTERY BACK-UP. 4. HOME SECURITY SYSTEMS SHALL COMPLY WITH ALL LOCAL CODES AND ORDINACES. 5. ALL SHOWERS AND TUBS SHALL HAVE A PRESSURE BALANCED OR THERMOSTATIC MIXING VALVE. 4. METAL CHIMNEYS SHALL BE ANCHORED AT EACH FLOOR AND ROOF WITH TWO 1 1/2" x 1/8"	DEFERRED SUBMITT	
METAL STRAPS LOOPED AROUND THE OUTSIDE OF THE CHIMNEY INSTALLATION AND NAILED WITH NOT LESS THAN SIX 8d NAILS PER STRAP AT EACH JOIST. PROVIDE BONDING FROM COLD TO HOT WATER PIPING PER CEC ARTICLE 250. COMBUSTIBLE MATERIALS SHALL NOT BE PLACED WITHIN 2 INCHES OF FIREPLACE SMOKE CHAMBER, CHIMNEY WALLS OR WITHIN 6 INCHES OF FIREPLACE OPENING. PROVIDE FIREBLOCKING AT THE FOLLOWING OPENINGS: AIR VENTS, PIPES, DUCTS, CHIMNEYS AND ALL OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS. MALLS, OR PORTIONS THEREOF, RETAINING EARTH AND ENCLOSING INTERIOR SPACES AND FLOORS BELOW GRADE SHALL BE WATER OR DAMP-PROOFED PER CRC SECTION R406. ALL CONDITIONS WHERE BLDG PAPER MEETS "J" MOLD CAULKING TO BE APPLIED TO MOLD. ATTACHMENT OF CLAY OR CONCRETE TILES (ALSO SEE DETAILS) AS FOLLOWS: USE CORROSION-RESISTANT NAILS NOT LESS THAN NO. II GA, 5/16" HEAD. FASTENERS SHALL COMPLY WITH THE REQUIREMENTS OF CRC SECTION R905.3.6. FASTENERS SHALL BE LONG ENOUGH TO PENETRATE INTO THE BATTENS (THE NOSES OF EAVE COURSE TILES TO BE FASTENED WITH A SPECIAL CLIP) OR SHEATHING 3/4" OR THROUGH THE THICKNESS OF THE SHEATHING, WHICHEVER IS LESS. A ATTACHING WIRE FOR CLAY OR CONCRETE TILE SHALL NOT BE SMALLER THAN .083 INCH (No. 14 B.W.GA). HORIZONTAL BATTENS ARE REQUIRED ON SOLID SHT'G FOR 1:12 SLOPES AND OVER. FREMCH THE PROVE OF THE SHEATHING, WHICHEVER IS LESS. A TRIM TILE INTO A CONTINUOUS BEAD OF COLOR-MATCHED MORTAR HELD AWAY FROM RIDGE BOARD THAN TILE COVERS FIELD TILE A MINIMUM OF 3 INCHES. MASTIC TILE TO ADJACENT PLACE OF WPPER TILE WHERE REQUIRED TO PREVENT	LETTERS REQUESTING DEFERRALS FOR THE FOLLOW ITEMS SHALL BE INCLUDED WITH SUBMITTAL PACKAGE TO THE CITY OF SANTA ROSA BUILDING DIVISION: * TRUSS DESIGNS AND CALCULATIONS * LANDSCAPE & IRRIGATION DESIGN LANDSCAPE PLANS PER WELO CHAPTER 14-30 ARE DEFERRED. PLANS BE SUBMITTED AND APPROVED BEFORE SHEETROCK INSPECTION. DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN SUBMITTAL BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE THE BUILDING. THE SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD, REVIEW AND APPROVE THEM. THE DEFERRED SUBMITTAL DOCUMENTS BE SENT TO THE BUILDING INSPECTOR WITH A NOTATION INDICATING THAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL HAVE BEEN APPROVED BY THE BUILDING INSPECTOR.	
TILE SLIPPAGE AROUND PENETRATIONS OR OTHER FLASHING CONDITIONS. k. WHEN TILES MUST BE CUT TO THE EXTENT THAT ANCHOR LUGS AND NAIL HOLES ARE ELIMINATED THE REMAINING PORTION MUST BE SUPPORTED ON AN EVEN PLANE WITH THE FIELD TILES. THE TILES SHOULD BE FASTENED TO THE PREVIOUS COURSE OF TILES WITH ROOF MASTIC. m. MAXIMUM TILE EXPOSURE OF 14 INCHES AT ALL FIELD, EAVE AND RIDGE TILES. (THIS WILL IMPROVE THE PERFORMANCE OF THE TILE ASSEMBLY AND INCREASE RESISTANCE TO WATER INTRUSION FROM WIND DRIVEN RAIN THAT COULD REACH THE UNDERLAYMENT).	CODE ANALYSIS	
DRIVEN RAIN THAT COULD REACH THE UNDERLAYMENT). n. PROVIDE DOUBLE UNDERLAYMENT FOR ROOFS WITH A SLOPE LESS THAN 4:12 PER CRC SECTION R905.2.2. 23. IS# FELT UNDERLAYMENT FOR ROOF COVERING MATERIAL SPECIFIED ON DRAWING. ALL UNDERLAYMENT MATERIAL SHALL COMPLY WITH CRC SECTION R905. 24. ALL BEDROOMS, BASEMENTS OR ROOMS USED FOR SLEEPING SHALL HAVE EMERGENCY RESCUE WINDOWS OR DOORS PER CRC SECTION 3IO. ALL WINDOWS TO BE LABELED "EGRESS" ON FLOOR PLANS AND SHALL COMPLY WITH THE FOLLOWING CODE REQ'S; a) SHALL HAVE A MIN NET CLEAR OPENING OF 5.0 SQ. FT.) b) SHALL HAVE A NET CLEAR OPENING WITH OF 24"; d) SHALL HAVE A NET CLEAR OPENING HEIGHT OF 24"; d) SHALL HAVE A CLEAR OPENING HEIGHT NOT MORE THAN 44" ABOVE THE FINISH FLOOR. 25. ALL EXHAUST AND INTAKE OPENINGS TERMINATING OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS, OR GRILLES WITH OPENINGS OF A 1/4" - 1/2" IN ANY DIMENSION PER CRC SECTION R303.6. 26. EGRESS DOORS SHALL BE OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT PER CRC SECTION R311.2. 27. ALL REGULATED APPLIANCES SHALL COMPLY WITH TITLE 12 CALIFORNIA CODE OF REGULATIONS, 2019 APPLIANCE EFFICIENCY REGULATIONS.	CALIFORNIA RESIDENTIAL CODE, 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA ENERGY STANDARDS CODE, 2019 CALIFORNIA FIRE CODE, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE, 2011 INCLUDING TIER I LEVEL VOLUNTARY MEASURES	

PLUMBING NOTES: PROVIDE A NON-REMOVABLE BACKFLOW PREVENTION DEVICE OR VACUUM BREAKER DEVICE ON ALL EXTERIOR HOSE BIBBS, AND LAWN SPRINKLER/IRRIGATION SYSTEMS AS REQUIRED BY CPC SECTION 603.4.6 PROVIDE SHOWERS AND TUB-SHOWER COMBINATIONS WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE, CONFORMING TO ASSE IOI6. INSTALLER SHALL ADJUST SUCH VALVES PER MANUFACTURER'S INSTRUCTIONS TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES F, CPC 408.3 SHOWER RECEPTORS (OTHER THAN TUBS) SHALL BE OF AN APPROVED TYPE AND CONFORM TO CPC SECTION 408. IF SHOWER RECEPTOR IS CONSTRUCTED ON-SITE IT SHALL BE CONSTRUCTED TO CONFORM TO CPC SECTION 408.1. SHOWER STALL DESIGN - POSITION SHOWER CONTROL VALVES SO THAT THE BATHER CAN ADJUST THE VALVES WITHOUT STEPPING INTO THE SHOWER SPRAY. WATER HAMMER CONTROL SHALL BE PROVIDED AT CLOTHES WASHER AND DISHWASHER PER CPC 409.10.

ALL UNDERGROUND COPPER PIPELINES TO BE SCHEDULE "L" WITH NO JOINTS. THE MINIMUM WIDTH REQUIREMENT FOR INSTALLATION OF WATER CLOSETS PER SECTION 402.5 OF CPC OR SECTION R301 OF CRC IS IS" FROM ITS CENTER TO ANY SIMILAR FIXTURE. A 4" SEWER LATERAL IS REQUIRED FOR RESIDENTS THAT HAVE 4 OR MORE 4 4" SEWER LATERAL IS REQUIRED FOR RESIDENTS THAT HAVE 4 OR MORE REEN BUILDING PROGRAM: HIS PROJECT IS SUBJECT TO THE CITY OF SANTA ROSA GREEN BUILDING ORDINANCE IND SHALL COMPLY WITH THE CITY REVISED 2019 CALGREEN + TIER I CHECKLIST AND ELECTED ELECTIVE MEASURES INCLUDED AS PART OF THESE PLANS. ILL SUBCONTRACTORS SHALL COMPLY WITH THE PROJECTS CONSTRUCTION WASTE ANAGEMENT (CWM) PLAN AND SUBCONTRACTOR FOREMAN SHALL SIGN THE CWM PLAN CKNOWLEDGEMENT SHEET. LLUMINATED ADDRESS SIGN REQUIREMENTS: LUMINATION:
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THE NUMBERS SHALL BE A MINIMUM 4 INCHES IN SIZE AND COLORS OF NUMBERS SHALL CONTRAST THE BUILDING BACKGROUND COLOR. FERRED SUBMITTALS RS REQUESTING DEFERRALS FOR THE FOLLOWING SHALL BE INCLUDED WITH SUBMITTAL PACKAGE E CITY OF SANTA ROSA BUILDING DIVISION: DESIGNS AND CALCULATIONS CAPE & IRRIGATION DESIGN APE PLANS PER WELO CHAPTER 14-30 ARE DEFERRED. PLANS SHALL 11TTED AND APPROVED BEFORE SHEETROCK INSPECTION. ED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND AL BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF TTAL BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF UILDING. THE SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD, WHO SHALL WAND APPROVE THEM. THE DEFERRED SUBMITTAL DOCUMENTS SHALL THEN NOT AT THE BUILDING INSPECTOR WITH A NOTATION INDICATING THAT THEY BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL DRIMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS BEEN APPROVED BY THE BUILDING INSPECTOR.

FIRE CODE WILDLAND-URBAN INTERFACE REQUIREMENTS ALL PROPOSED CONSTRUCTION SHALL MEET THE REQUIREMENTS OF CRC SECTION R337 FOR WILDLAND-URBAN INTERFACE AREAS AS DESCRIBED BELOW: ROOF COVERINGS, VALLEYS AND GUTTERS:
ROOF COVERINGS SHALL BE CLASS 'A' PER CITY OF SANTA ROSA CODE. WHERE THE ROOF
PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACES
SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS, BE FIRESTOPPED
WITH APPROVED MATERIALS, OR HAVE ONE LAYER OF MINIMUM 12 POUND (32.4 KG) MINERAL—
SURFACED NONPERFORATED CAP SHEET COMPLYING WITH ASTM D 3909 INSTALLED OVER
COMBUSTIBLE DECKING (R321.5.2). VALLEY FLASHING SHALL BE NOT LESS THAN NO. 26 GAUGE
CORROSION—RESISTANT SHEET METAL INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 36"
WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 12 MINERAL—SURFACED CAP SHEET
COMPLYING WITH ASTM D 3909 AND RUNNING THE FULL LENGTH OF THE VALLEY (R321.5.3). ROOF
GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES
AND DEBRIS IN THE GUTTER (R321.5.4) ATTIC AND RAFTER BAY VENTILATION:
VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED
RAFTER SPACES WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF
RAFTERS. AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH METAL WIRE
MESH, VENTS, OR OTHER DEVICES THAT MEET THE FOLLOWING REQUIREMENTS (R321.6.2):

1. THE DIMENSIONS OF THE OPENINGS THEREIN SHALL BE A MINIMUM I/16" AND SHALL NOT EXCEED VENTS SHALL NOT BE INSTALLED IN EAVES AND SOFFITS UNLESS ONE OF THE FOLLOWING CONDITIONS ARE MET (R327.6.3):

1. THE EAVE AND CORNICE VENTS RESIST THE INTRUSION OF FLAME AND BURNING EMBERS.

2. THE ATTIC SPACE BEING VENTILATED IS FULLY PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.II OF THE CBC.

3. THE EXTERIOR WALL COVERING AND EXPOSED UNDERSIDE OF THE EAVE ARE OF NONCOMBUSTIBLE MATERIAL, OR IGNITION-RESISTANT MATERIALS PER SFM STANDARD 12-1A-5 IGNITION-RESISTANT MATERIAL AND THE VENT IS LOCATED MORE THAN 12 FEET ABOVE GRADE, OR WALKING SURFACE OF A DECK, PORCH, PATIO, OR SIMILAR SURFACE.

OPEN ROOF EAVES:
THE EXPOSED ROOF DECK ON THE UNDERSIDE OF UNENCLOSED ROOF EAVES SHALL BE PROTECTED BY NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIALS, CONSIST OF ONE LAYER OF 5/8" TYPE-X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE ROOF DECK, OR THE EXTERIOR PORTION OF A I-HOUR FIRE ASSEMBLY ON THE EXPOSED UNDERSIDE OF THE ROOF DECK DESIGNED FOR EXTERIOR FIRE EXPOSURE (P221 14) THE EXPOSED UNDERSIDE OF THE ROOF DECK DESIGNED FOR EXTERIOR FIRE EXPOSURE (R32T.T.4).

THE FOLLOWING MATERIALS DO NOT REQUIRE FIRE PROTECTION:

1. SOLID WOOD RAFTER TAILS ON THE UNDERSIDE OF OPEN ROOF EAVES HAVING A MINIMUM NOMINAL DIMENSION OF 2 INCHES.

2. SOLID WOOD BLOCKING INSTALLED BETWEEN RAFTER TAILS ON THE EXPOSED UNDERSIDE OF OPEN ROOF EAVES HAVING A MINIMUM NOMINAL DIMENSION OF 2 INCHES.

3. GABLE END OVERHANGS AND ROOF ASSEMBLY PROJECTIONS BEYOND AN EXTERIOR WALL OTHER THAN THE LOWER END OF THE RAFTER TAILS.

4. FASCIA AND OTHER ARCHITECTURAL TRIM BOARDS. EXTERIOR PORCH CEILINGS:
THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILINGS SHALL BE PROTECTED BY IGNITION-RESISTANT OR NONCOMBUSTIBLE MATERIALS, CONSIST OF 5/8" TYPE-X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING ON THE UNDERSIDE OF THE CEILING, OR THE EXTERIOR PORTION OF A I-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE CEILING, OR MEET THE PERFORMANCE REQUIREMENTS SET FORTH IN SFM STANDARD 12-1A-3. ARCHITECTURAL TRIM BOARDS DO NOT APPLY (R321.1.4). EXTERIOR WALL AND OPENING PROTECTION:
EXTERIOR WALLS SHALL BE APPROVED NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL,
HEAVY TIMBER, LOG WALL CONSTRUCTION, MEET SFM STANDARD 12-1A-I, INCLUDE ONE LAYER OF
5/8" TYPE-X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING ON THE EXTERIOR
OF THE FRAMING, OR THE EXTERIOR PORTION OF A I-HOUR FIRE-RESISTANT ASSEMBLY.
EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF,
TERMINATE AT 2" NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS
OR EAVE ENCLOSURES (R321.13). EXTERIOR WALL VENT OPENINGS SHALL BE PROTECTED BY
CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH OPENINGS OF 1/8" TO 1/4". EXTERIOR
WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS AND
GARAGE DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR
GLASS BLOCK UNITS, OR HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES
(R321.8). EXTERIOR DOOR ASSEMBLIES SHALL BE OF APPROVED NONCOMBUSTIBLE
CONSTRUCTION, SOLID WOOD CORE HAVING STILES AND RAILS NOT LESS THAN 1 3/8 INCHES
THICK WITH INTERIOR FIELD PANEL THICKNESS NOT LESS THAN 1 1/4" THICK, SHALL HAVE A FIRE
RESISTANCE RATING OF NOT LESS THAN 20 MINUTES, OR MEET THE PERFORMANCE
REQUIREMENTS OF SFM STANDARD 12-1A-1 (R321.8.3). GARAGE VEHICLE DOORS MAY BE
NONCOMBUSTIBLE OR FIRE-RETARDANT TREATED WOOD. DECKING SURFACES:
THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS WHERE ANY PORTION OF SUCH SURFACE IS WITHIN IO FEET OF THE BUILDING SHALL BE CONSTRUCTED WITH ONE OF THE FOLLOWING MATERIALS (R321.9.3):

1. IGNITION-RESISTANT MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF BOTH SFM STANDARD 12-1A-4 AND SFM STANDARD 12-1A-5.

2. EXTERIOR FIRE-RETARDANT TREATED WOOD OR NONCOMBUSTIBLE MATERIALS.

3. ANY MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-1A-4A. WHEN ATTACHED, THE EXTERIOR WALL COVERING IS ALSO EITHER NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL.

WALL MATERIAL MAY BE OF ANY MATERIAL THAT OTHERWISE COMPLIES WITH THIS CHAPTER WHEN THE DECKING SURFACE MATERIAL COMPLIES WITH THE PERFORMANCE REQUIREMENTS ASTM E 84 WITH A CLASS 'B' FLAME SPREAD RATING. APPENDAGES AND UNDERFLOOR PROTECTION:
THE UNDERSIDE OF CANTILEVERED AND OVERHANGING APPENDAGES AND FLOOR PROJECTIONS SHALL MAINTAIN THE IGNITION RESISTANT INTEGRITY OF EXTERIOR WALLS, OR THE PROJECTION SHALL BE ENCLOSED TO GRADE (R321.1.1-9). THE UNDERFLOOR ASSEMBLY SHALL BE OF NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIALS, ONE LAYER OF 5/8" TYPE-X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING, THE EXTERIOR PORTION OF A I-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY, OR MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-1A-3. ARCHITECTURAL TRIM BOARDS, HEAVY TIMBER STRUCTURAL COLUMNS AND BEAMS DO NOT REQUIRE PROTECTION (R321.1.1-9).

ARCHITECT FARRELL-FABER & ASSOCIATES, INC. OCCUPANCY CLASSIFICATION: 416 B STREET, SUITE C CONSTRUCTION TYPE: SANTA ROSA, CA 95401 (707) 579-3811 FLOOR AREA SUMMARY: CONSULTANTS LOWER FLOOR LIVING AREA: GARAGE/STORAGE AREA: OUTDOOR COVERED AREA: STRUCTURAL ENGINEER JOHNSON, DEBOIS & FORREST 405 WEST COLLEGE AVE. SANTA ROSA, CA 95401 (707) 575-0911 CIVIL ENGINEER ROBERTSON ENGINEERING INC 2300 BETHARDS DERIVE, STE L SANTA ROSA, CA 95405 (707) 523-7490 TITLE 24 & CALGREEN COMPLIANCE CALIFORNIA LIVING & ENERGY 3015 DALE COURT CERES, CA 95301 (209) 538-2819 GEOTECHNICAL ENGINEER 1305 NORTH DUTTON AVE SANTA ROSA, CA 95401 (707) 544-1072

OWNER

JASPAL and RAJNI SINGH

2567 SILVER SPUR DRIVE

SANTA ROSA, CA 95401

(707) 529-7274

Charles M. Schulz seum and Research... PERMI

PROJECT DATA

TWO STORY, 5 BEDROOM, 5 BATH, 2 HALF BATH SINGLE FAMIL`

DWELLING WITH THEATER, GAME ROOM AND PRAYER ROOM WITH

173-490-049

R-3, U

PD-93-004B-RC

(SPRINKLERED)

5061 SQ FT

2053 SQ FT

7114 SQ FT

1355 SQ FT

1042 SQ FT

DESCRIPTION:

ATTACHED 3-CAR GARAGE.

ZONING DISTRICT:

MAIN FLOOR LIVING AREA:

TOTAL LIVING AREA:

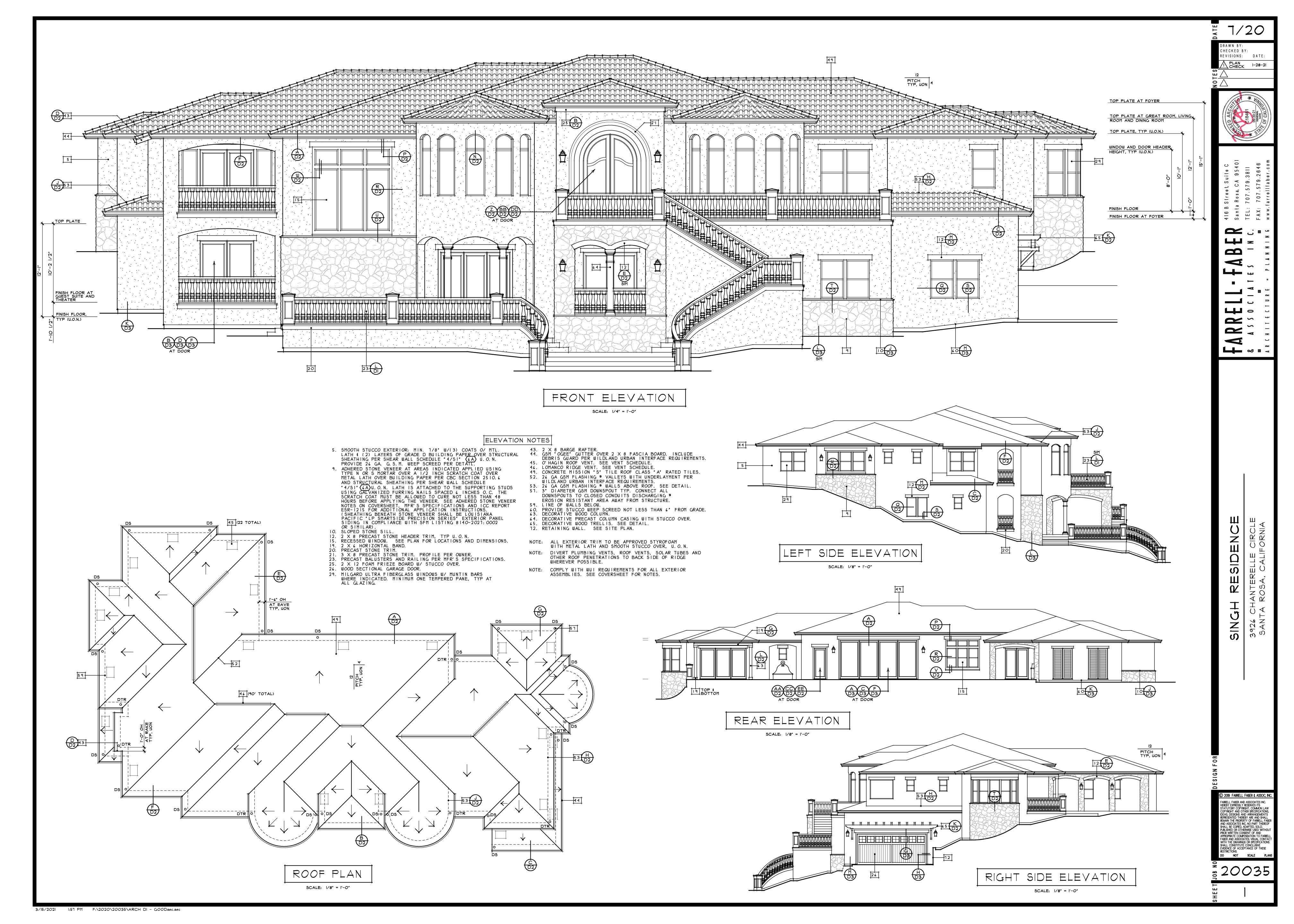
ASSESSOR'S PARCEL NUMBER:

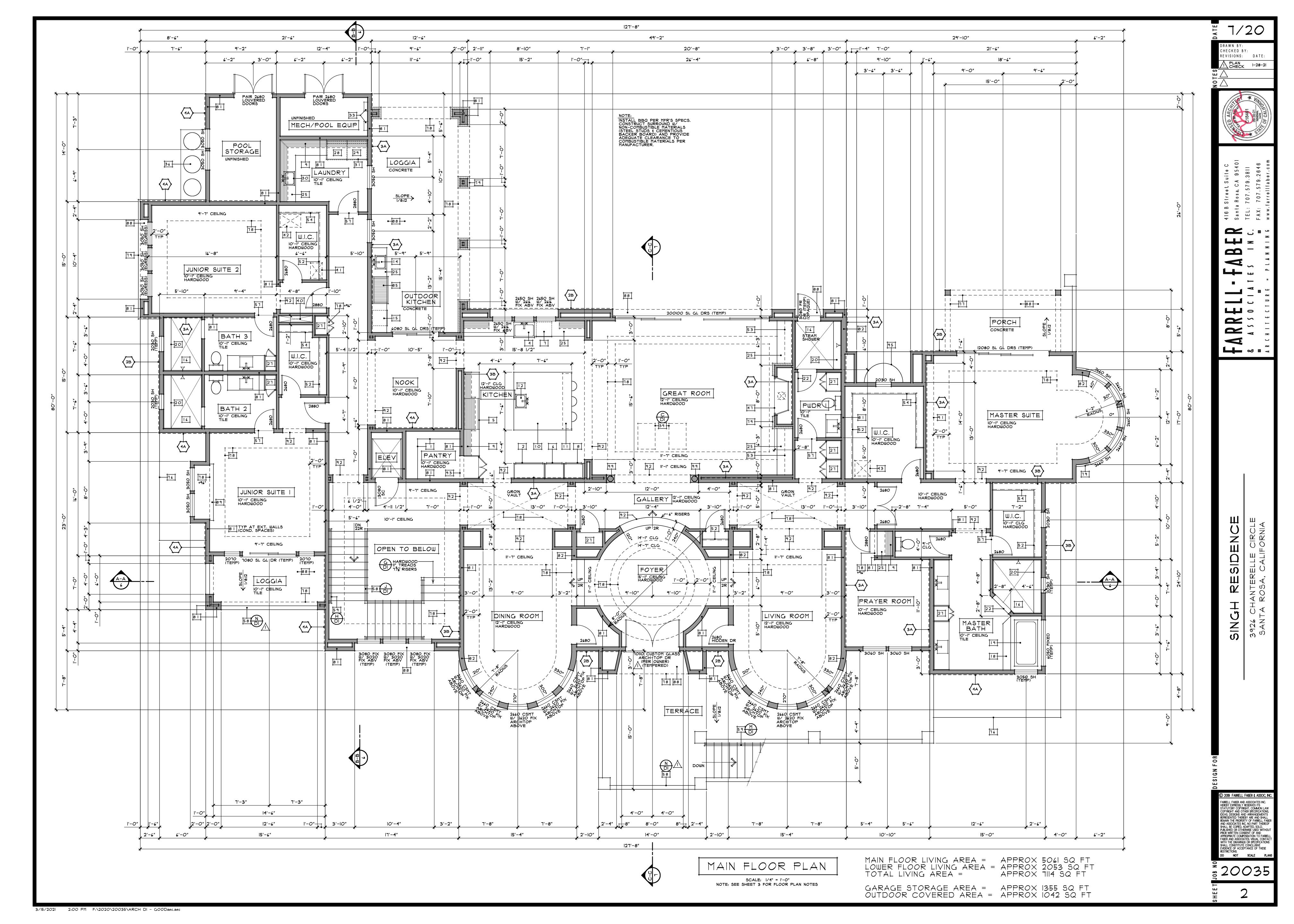
SANTA ROSA, CALIFORNIA

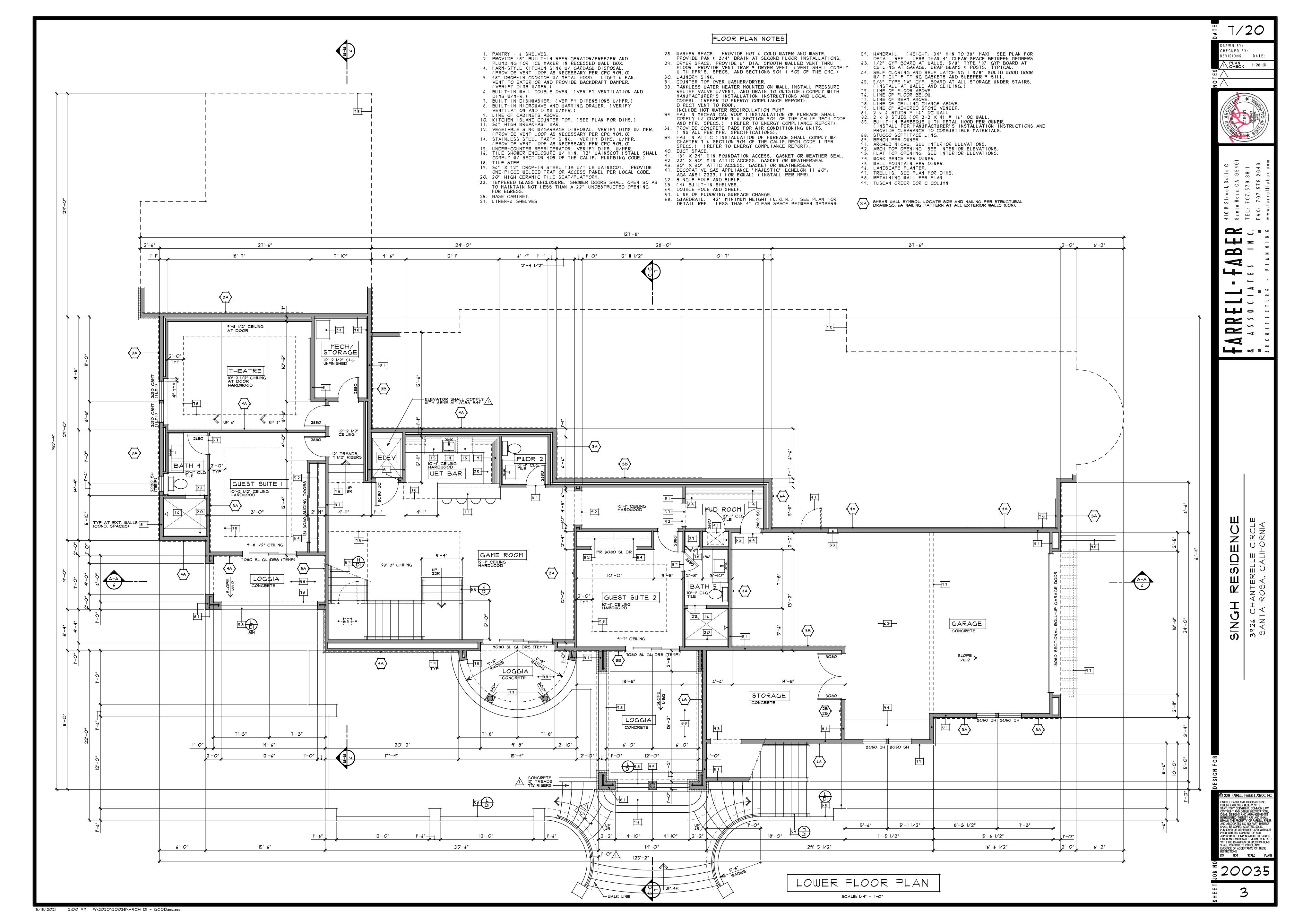
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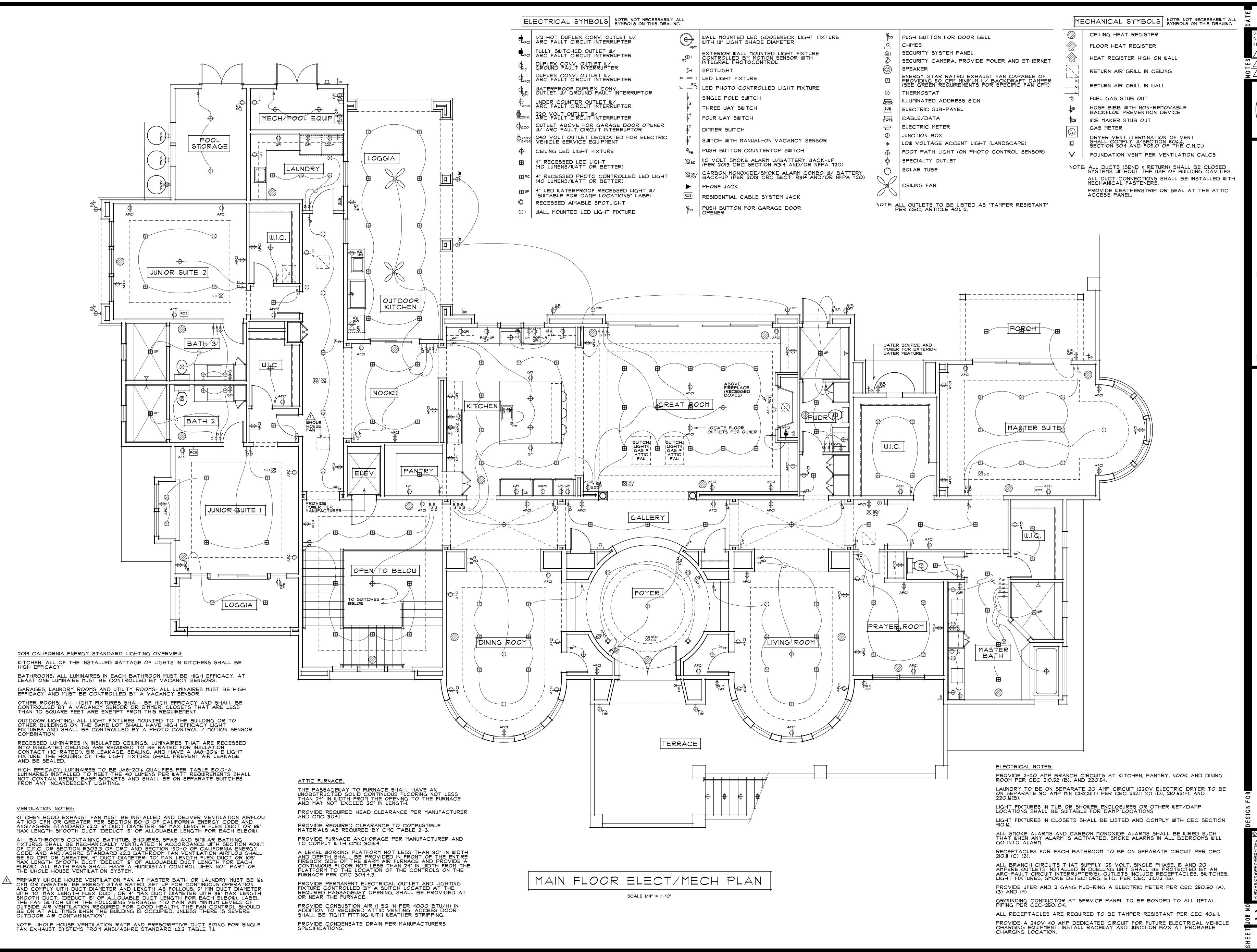
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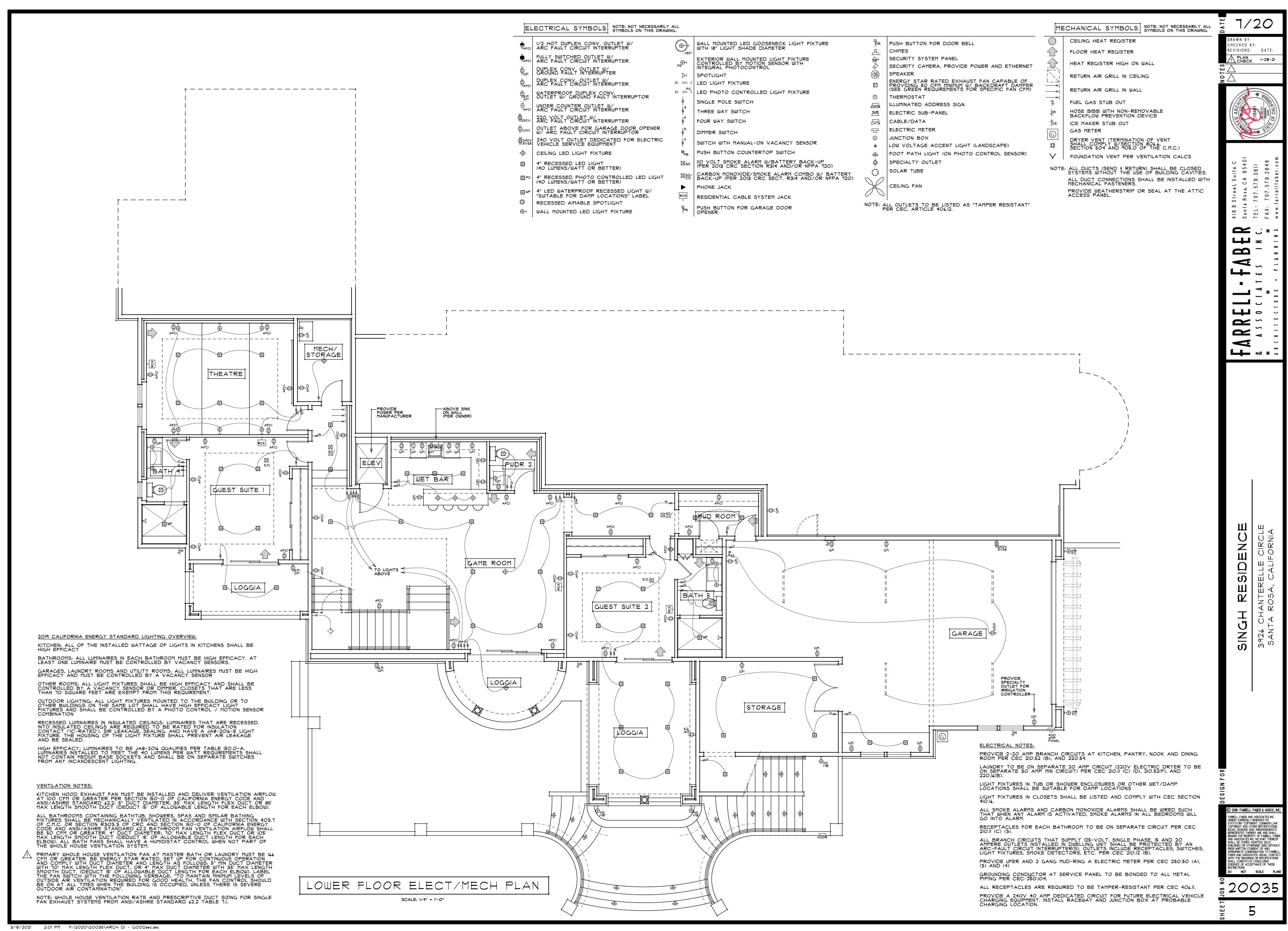


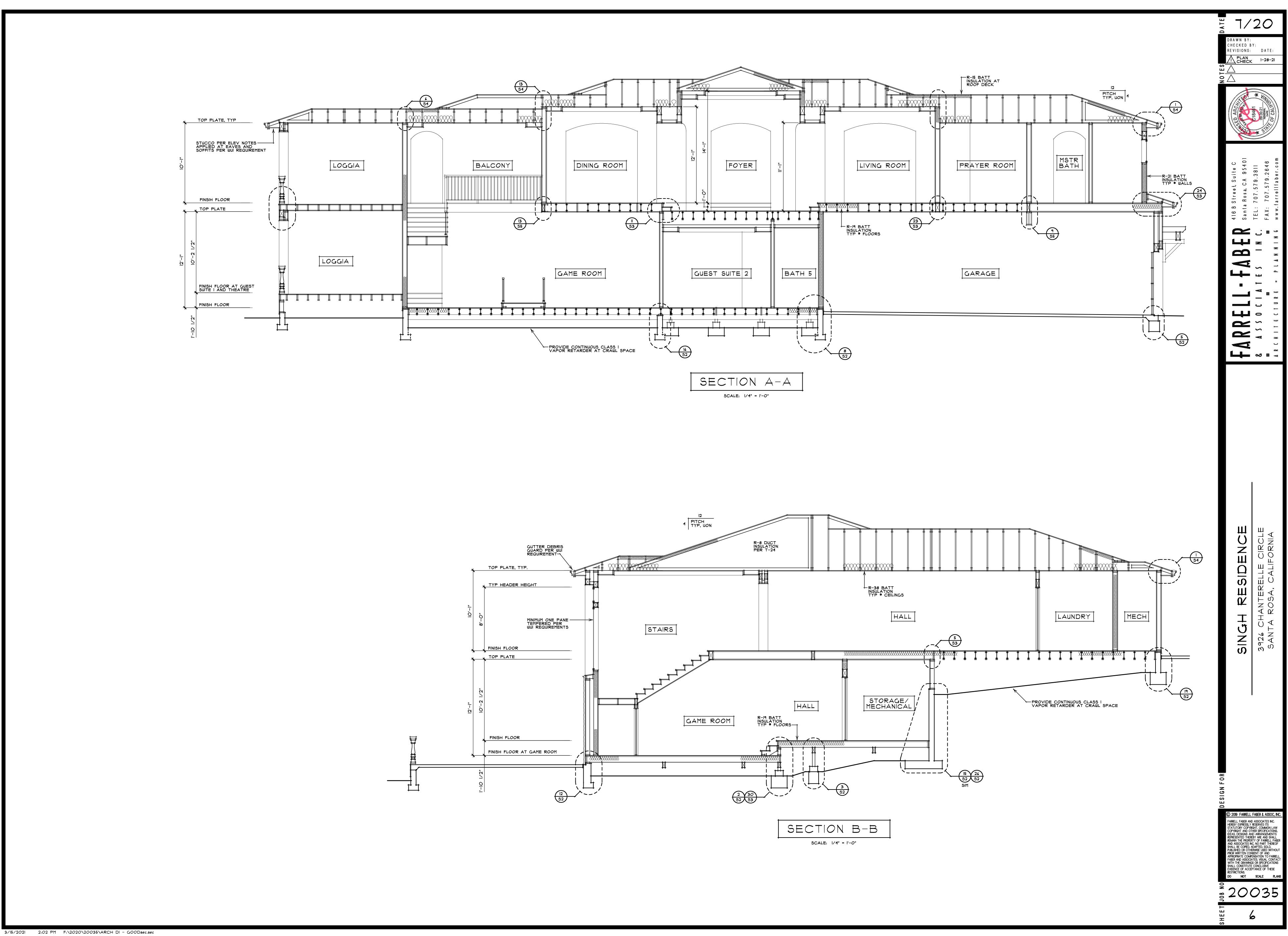
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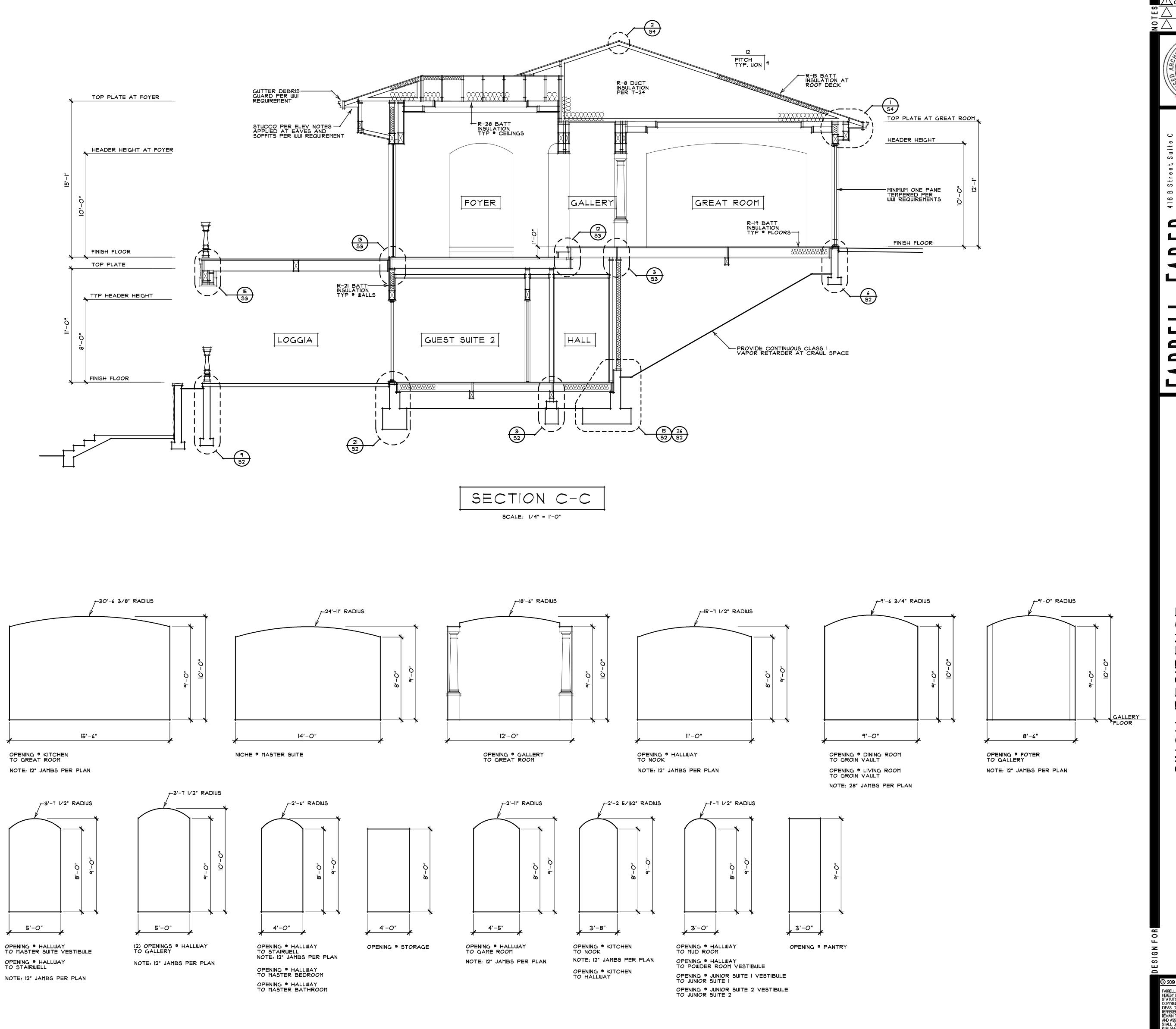
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NOTE: 6" JAMBS TYPICAL AT ALL CASED OPENINGS (UON)

SCALE: 1/4" = 1'-0"

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UNVENTED CRAWL SPACE

EXPOSED EARTH IN CRAWL SPACE TO BE COVERED WITH CONTINUOUS CLASS IN VAPOR RETARDED. JOINTS OF VAPOR RETARDER SHALL OVERLAP BY 6" AND SHALL BE SEALED OR TAPED. THE EDGES OF VAPOR RETARDER SHALL EXTEND NOT LESS THAN 6" UP THE STEM WALL AND SHALL BE ATTACHED AND SEALED TO THE STEM WALL.

PROVIDE CONTINUOUSLY OPERATED MECHANICAL EXHAUST VENTILATION AT A RATE EQUAL TO I CUBIC FOOT PER MINUTE (CFM) FOR EACH 50 SQ. FT. OF CRAWL SPACE FLOOR AREA, INCLUDE AN INTAKE TRANSFER GRILLE CAPABLE OF PROVIDING ADEQUATE AIR FLOW.

MECHANICAL CONTRACTOR TO VERIFY SIZES PRIOR TO INSTALLATION.

OPENING IN WALLS SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH OPENINGS NOT TO EXCEED 1/8".

ATTIC VENT SCHEDULE

= 23.19 SQ.FT. REQ'D VENT AREA

= 1.43 SQ. FT. REQ' D VENT AREA

= 0.61 SQ. FT. REQ' D VENT AREA

ABOVE THE EAVE. DISTRIBUTE "LOW" VENTING EVENLY
THROUGHOUT ROOF EAVE LINE. DISTRIBUTE "HIGH" VENTS
THROUGHOUT REAR & SIDE ELEVATION. MINIMIZE FRONT

ALL O' HAGIN VENTS SHALL BE PAINTED TO MATCH ROOFING.

RIDGE VENT SHALL BE LOMANCO (OR EQUAL) AND IS LISTED AT WWW.LOMANCO.COM

O'HAGIN VENTS SHALL BE "FIRE & ICE" LINE AND ARE LISTED AT WWW.OHAGINVENTS.COM

TOTAL VENT AREA PROVIDED = 23.94 SQ. FT.

TOTAL VENT AREA PROVIDED = 2.04 SQ. FT.

TOTAL VENT AREA PROVIDED = 0.68 SQ. FT.

= 11.10 SQ.FT. (HIGH)

= 12.24 SQ.FT. (LOW)

= 2.04 SQ.FT.

= 0.68 SQ.FT.

CRAWL SPACE AREA "A"

CRAWL SPACE

VENTS PROVIDED:

LOMANCO TILERIDGE MODEL TRV-4 (O. 13 SQ. FT. FREE FLOW AREA)

(O.68 SQ.FT. FREE FLOW AREA)

-USE (90) LINEAR FEET RIDGE VENT

-USE (18) O'HAGIN TILE VENTS

-USE (3) O' HAGIN TILE VENTS

-USE (I) O' HAGIN TILE VENTS

ELEVATION PLACEMENT.

TITLE 24 (CF-IR)

MAIN ROOF AREA = 6958 SQ. FT. X 1/300

ROOF AREA AT GARAGE = 215 SQ. FT. X 1/150

ROOF AREA AT BATH 4 = 100 SQ. FT. X 1/150

NOTES: FOR "HIGH" AND "LOW" VENT DISTRIBUTION,
PLACEMENT OF "HIGH" VENTS SHALL BE A MIN. 36"

PROVIDE A CONTINUOUS RADIANT BARRIER PER

O' HAGIN "S" STYLE TILE VENT

CRAWL SPACE AREA "A" - 892 SQ. FT. /50 SQ. FT. = 11.84 CFM OF CONTINUOUSLY OPERATED MECHANICAL EXHAUST VENTILATION.

CRAWL SPACE AREA "B" - 122 SQ. FT. /50 SQ. FT. = 14.44 CFM OF CONTINUOUSLY

CRAWL SPACE AREA "C" - 1813 SQ. FT. /50 SQ. FT. = 31.46 CFM OF CONTINUOUSLY

CRAWL SPACE AREA "C"

OPERATED MECHANICAL EXHAUST VENTILATION.

OPERATED MECHANICAL EXHAUST VENTILATION.

7/20

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