



**PLANNING COMMISSION
REGULAR MEETING AGENDA AND
SUMMARY REPORT - FINAL
SEPTEMBER 22, 2022**

**PURSUANT TO GOVERNMENT CODE SECTION 54953(e) AND THE
RECOMMENDATION OF THE HEALTH OFFICER OF THE COUNTY OF
SONOMA, PLANNING COMMISSION MEMBERS WILL BE PARTICIPATING
IN THIS MEETING VIA ZOOM WEBINAR.**

**MEMBERS OF THE PUBLIC CAN PARTICIPATE VIRTUALLY AT
WWW.ZOOM.US/JOIN OR BY TOLL FREE TELEPHONE (877) 853-5257;
USING MEETING ID: 870 8208 7939.**

**PUBLIC ACCESSING THE MEETING THROUGH ZOOM CAN PROVIDE
COMMENTS DURING THE PUBLIC COMMENT PERIODS. ADDITIONAL
INFORMATION RELATED TO MEETING PARTICIPATION IS AVAILABLE
AT [HTTPS://SRCITY.ORG/PLANNING COMMISSION](https://srcity.org/planning-commission)
THE MEETING WILL BE LIVE-STREAMED AT
[HTTPS://SANTA-ROSA.LEGISTAR.COM/CALENDAR](https://santa-rosa.legistar.com/calendar). CLICK ON THE "IN
PROGRESS" LINK TO VIEW. THE MEETING CAN ALSO BE VIEWED ON
COMCAST CHANNEL 28 AND AT
[HTTPS://WWW.YOUTUBE.COM/CITYOFSANTAROSA](https://www.youtube.com/cityofsantarosa)**

4:30 P.M. - REGULAR SESSION (VIRTUAL MEETING)

1. CALL TO ORDER AND ROLL CALL

2. APPROVAL OF MINUTES

None.

3. PUBLIC COMMENTS

This is the time when any person may address matters not listed on this agenda, but which are within the subject matter of the jurisdiction. The public may comment on agenda items when the item is called. Each speaker is allowed three minutes.

4. COMMISSION BUSINESS

4.1 STATEMENT OF PURPOSE

The Planning Commission is charged with carrying out the California Planning and Zoning Laws in the City of Santa Rosa. Duties include implementing of plans, ordinances and policies relating to land use matters; assisting in writing and implementing the General Plan and area plans; holding public hearings and acting on proposed changes to the Zoning Code, Zoning Map, General Plan, tentative subdivision maps, and undertaking special planning studies as needed.

4.2 COMMISSIONER REPORTS

4.3 OTHER (i.e. VICE CHAIR ELECTION, NEW MEMBER INTRODUCTIONS)

None.

5. DEPARTMENT REPORTS

6. STATEMENTS OF ABSTENTION BY COMMISSIONERS

7. CONSENT ITEM(S)

None.

8. SCHEDULED ITEM(S)

8.1* PUBLIC HEARING - JANE DISPENSARY - CONDITIONAL USE PERMIT - 4040 HWY 12 - CUP21-071

BACKGROUND: Major Conditional Use Permit for Jane Dispensary (Type 10) Cannabis Retail (Dispensary) use with delivery within an existing 1,997-square-foot space within an existing 4,776-square-foot multi-tenant commercial building.

PROJECT PLANNER: Suzanne Hartman

Attachments: [Staff Report](#)
[Attachment 1 - Disclosure Form](#)
[Attachment 2 - Location Map](#)
[Attachment 3 - Project Description](#)
[Attachment 4 - Focused Transportation Study](#)
[Attachment 5 - Project Plans](#)
[Attachment 6 - Security Plan](#)
[Attachment 7 - Odor Mitigation Plan](#)
[Attachment 8 - Public Correspondence](#)
[Resolution](#)
[Staff Presentation](#)

Please note, this action is final unless an appeal is filed with the City Clerk's office within 10 calendar days of today's decision pursuant to zoning code section 20-62.030

9. ADJOURNMENT

*Ex parte communication disclosure required.

In compliance with Zoning Code Section 20-62, the decision of the Planning Commission is final unless an appeal is filed on a City Appeal Form (<https://srcity.org/DocumentCenter/Index/173>) and associated fees, as noted on the City's Fee Schedule (<https://srcity.org/DocumentCenter/View/16129/Planning--Economic-Development-Department-Fee-Schedule?bidId=>), are paid within 10 calendar days of the action. The time limit will extend to the following business day where the last day falls on a day that the City is not open for business.

The City of Santa Rosa does not discriminate on the basis of disability in the admissions or access to, or treatment of or employment in, its programs or activities. Disability-related aids or services, including printed information in alternate formats, to enable persons with disabilities to participate in public meetings are available by contacting the Board Secretary at 543-3190 (TTY Relay at 711). Requests should be submitted as far in advance as possible, but no later than two business days before the scheduled meeting.

Any writings or documents provided to a majority of the Planning Commission prior to this meeting regarding any item on this agenda are available for public review at <https://santa-rosa.legistar.com/calendar.aspx> or in person at the Planning and Economic Development Department, Room 3, City Hall, 100 Santa Rosa Ave, during normal business hours.



City of Santa Rosa

Text File

File Number: 22-140PC

Agenda Date: 9/22/2022

Version: 1

Status: In Committee

In Control: Planning Commission

File Type: PC- Public Hearing

Agenda Number: 8.1*

CITY OF SANTA ROSA
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT
STAFF REPORT FOR PLANNING COMMISSION
September 22, 2022

PROJECT TITLE

Jane Dispensary

ADDRESS/LOCATION

4040 Highway 12

ASSESSOR'S PARCEL NUMBER

032-500-040

APPLICATION DATE

August 12, 2021

REQUESTED ENTITLEMENTS

Conditional Use Permit (CUP)

PROJECT SITE ZONING

CN – Neighborhood Commercial

PROJECT PLANNER

Suzanne Hartman

APPLICANT

Mario Tamo

PROPERTY OWNER

Corhall, LLC

FILE NUMBER

CUP21-071

APPLICATION COMPLETION DATE

August 30, 2022

FURTHER ACTIONS REQUIRED

Building Permit

GENERAL PLAN DESIGNATION

Retail and Business Services

RECOMMENDATION

Approval

Agenda Item # _____
For Planning Commission Meeting of: September 22, 2022

CITY OF SANTA ROSA
PLANNING COMMISSION

TO: CHAIR WEEKS AND MEMBERS OF THE COMMISSION

FROM: SUZANNE HARTMAN, CITY PLANNER
PLANNING AND ECONOMIC DEVELOPMENT

SUBJECT: JANE DISPENSARY

AGENDA ACTION: RESOLUTION

RECOMMENDATION

It is recommended by the Planning and Economic Development Department that the Planning Commission, by resolution, approve a Conditional Use Permit to allow a commercial (Type 10) cannabis retail facility dispensary with delivery to occupy a 1,997-square-foot space, within an existing 4,776-square-foot multi-tenant commercial building.

EXECUTIVE SUMMARY



Figure 1: Location of Proposed Project Site

The Jane Dispensary (Project) proposes to operate a medical and adult use Cannabis dispensary with delivery within a 1,997-square-foot space within an existing 4,776-square-foot multi-tenant commercial building. The applicant proposes to operate the retail dispensary between the hours of 9:00 am and 9:00 pm, seven days a week, consistent with Zoning Code Section 20-46.080(F)(4). The applicant proposes to limit all commercial deliveries to the hours of 9:00 am to 5:00 pm, Monday through Friday.

1. Project Description

The applicant proposes to operate a cannabis retail facility within a multi-tenant building that was constructed in 1975 and is located on the south side of Highway 12. The applicant proposes to operate the retail dispensary between the hours of 9:00 am and 9:00 pm, 7 days a week, within an existing 1,997 square foot suite. The applicant has stated in their Project Description Narrative that commercial deliveries shall be between the hours of 9:00 am to 5:00 pm, Monday through Friday. The entrance to the retail dispensary will be visible to the street and the window, door and wall siding changes that are being proposed to the building frontage are minor and shall be reviewed in a separate building permit application.

The applicant must obtain a Type 10 State license from the State of California, which allows operation of a commercial Cannabis Retail (Dispensary) and Delivery business. The Project will be required to adhere to State Bureau of Cannabis Control licensing and operating procedures in addition to operational provisions of Zoning Code Chapter 20-46, described below.

2. Surrounding Land Uses

General Plan Land Use Designations:

North: Mobile Home Park

South: Retail and Business Services

East: Medium Density Residential

West: Medium Density Residential

The project site is adjacent to an Assisted Living Facility along Highway 12 to the west, a Mobile Home Park to the north and various residential developments east and south of the project site.

3. Existing Land Use – Project Site

4. The project site is designated Retail and Business Services under the General Plan and is developed with commercial buildings on a 23,086-square-foot corner lot. Highway 12 and Streamside Drive comprise the project frontage. The lot features one primary multi-tenant structure, 36 vehicle parking spaces, a 6-foot-tall wood fence and a row of trees at the rear of the property. The proposed cannabis dispensary would occupy an existing vacant commercial suite of 1,997-square-feet, which was previously a pet supplies shop. Project History

November 8, 2021	Notice of Application Distributed
November 22, 2022	Neighborhood Meeting
August 30, 2022	Application Deemed Complete
September 6, 2022	Notice of Public Hearing Distributed

ANALYSIS

The Project proposes to establish a medical and adult use retail cannabis (dispensary) with delivery within the Neighborhood Commercial (CN) zoning district. No on-site consumption is proposed. Cannabis retail dispensaries are allowed with a Conditional Use Permit approval within the Neighborhood Commercial zoning district.

1. Santa Rosa General Plan 2035

The proposed project site is designated as Retail and Business Services on the General Plan Land Use Diagram. This classification is intended to accommodate retail and service enterprises, offices, and restaurants. The following General Plan goals and policies are applicable to the Project:

Land Use and Livability	
LUL-I-1: Provide a range of commercial services that are easily accessible and attractive, that satisfies the needs of people who live and work in Santa Rosa and that also attracts a regional clientele.	Consistent.
Economic Vitality	
EV-A: Maintain a positive business climate in the community.	Consistent.
EV-A-1: Continue to promote Santa Rosa as the North Bay's premier location for technology, clean/green technologies, and entrepreneurial businesses, which create new products and business models that will attract national and international markets.	Consistent.
EV-A-5: Maintain diversity in the types of jobs available in Santa Rosa to lessen the impact of economic cycles.	Consistent.
EV-D-2: Continue to promote Santa Rosa's role as a regional center.	Consistent.

Although Cannabis land uses are not considered under the current General Plan, the Neighborhood Commercial (CN) zoning district is an implementing zoning district of the General Plan Retail and Business Services land use designation. The Zoning Code identifies that Neighborhood Commercial (CN) zoning districts may appropriate locations for cannabis retail (dispensary) uses with Conditional Use Permit approval.

It has been determined by Staff that the proposed medical and adult use cannabis retail dispensary use with delivery is consistent with the applicable General Plan goals and policies. The proposed project's operational standards would assist in maintaining the land use and economic viability and would maintain the diverse types of available employment opportunities in the City.

2. Zoning

North: MH (Mobile Home Park)

South: PD 02-004 (Planned Development)

East: PD 02-004 (Planned Development)

West: PD 0389 (Planned Development)

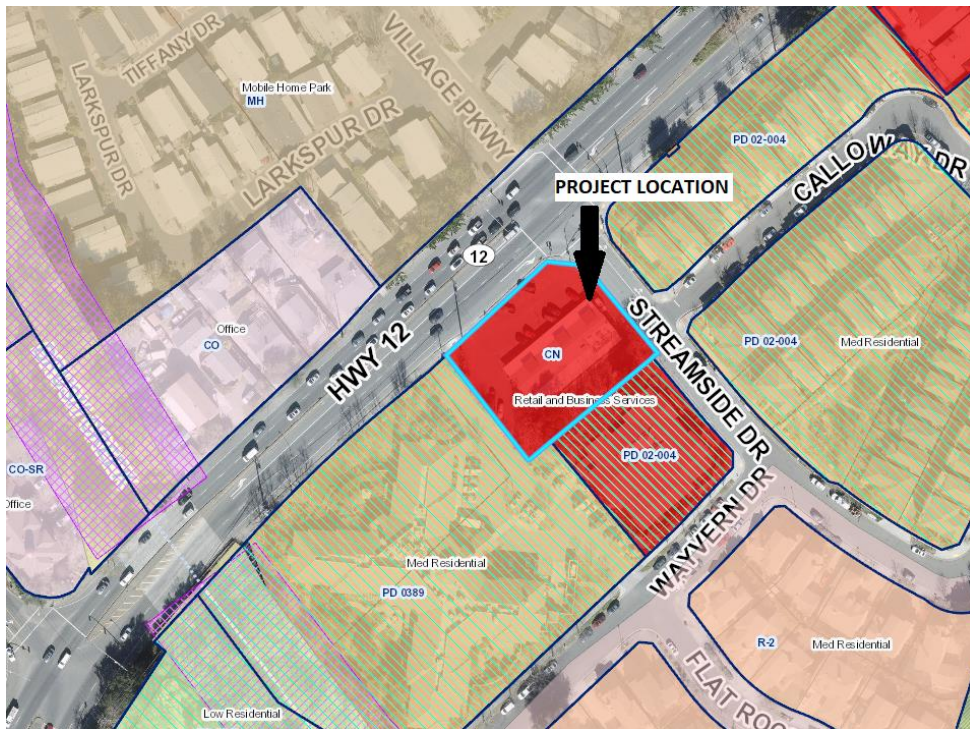


Figure 2: Zoning District Map of Proposed Project Site

The implements the goals and policies of the General Plan by classifying and regulating the use of land and structure development within the City. Zoning Code Chapter 20-23 specifically identifies the Neighborhood Commercial (CN), as a district appropriate for cannabis retail (dispensary) with delivery. The applicant's operational plans comply with Zoning Code Chapter 20-46 standards

relating to location, security, odor control, lighting, noise, and parking requirements, which are summarized below.

Minimum Setback from Schools

Both City and State regulations prohibit establishment and operation of a retail cannabis dispensary within 600 feet of a K-12 school as defined by Health and Safety Code Section 11362.768. There are no schools within 600 feet of the subject property. Herbert Slater Middle School is approximately 5,808 feet south of the project parcel. The project is consistent with the State and local regulations.

Concentration

The Zoning Code prohibits cannabis retail facilities (dispensaries) established within and permitted by the City of Santa Rosa to be within 600 feet of each other. There are no other cannabis retail facilities within 600 feet of the subject proposed site; therefore, the Project site is not located in an “over-concentration” area.

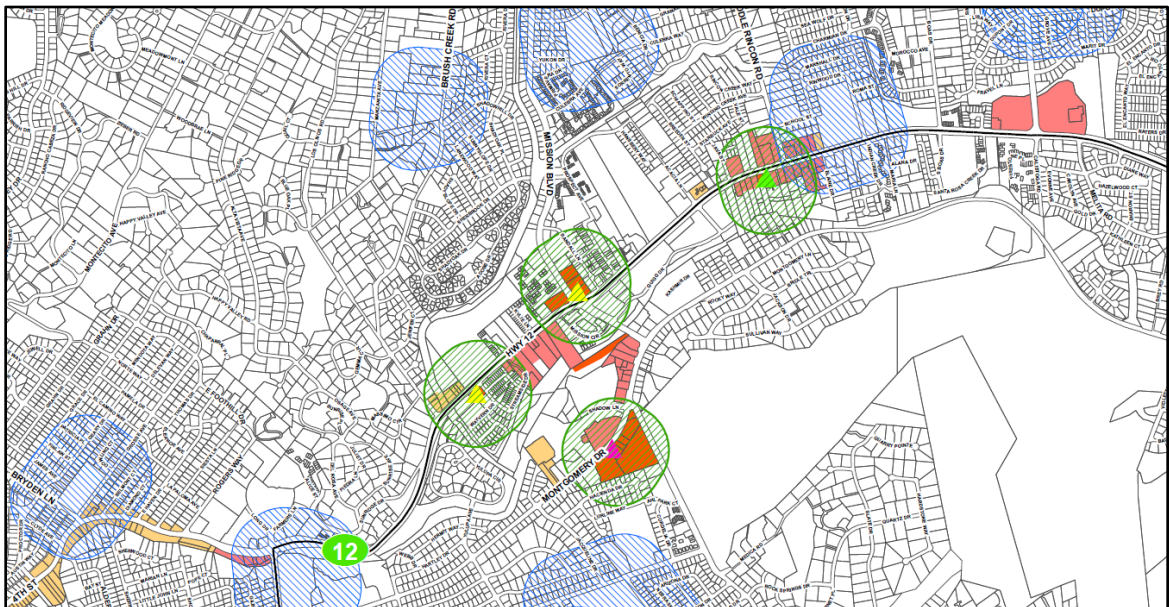


Figure 3: Project proximity to school and concentration

Security Plan

Zoning Code Section 20-46.050(G) requires cannabis businesses to provide adequate security to ensure the public safety, and safety of persons in the facility to protect the business premises from theft. The Project narrative has included security measures which includes the following key features:

- Security Cameras – The applicant will install high-definition (HD) security camera monitoring and recording 24 hours per day, seven days per week, and recording will be maintained for a minimum of 90 days. Cameras will monitor all entrances and exits, and all places cannabis or cash will be handled.
- Security Personnel - The main entrance will be monitored during business hours by an unarmed, uniformed Security Officer posted outside the main entrance, and a Security Staff member posted at the Administrator's desk.
- Alarm System – A professionally monitored alarm system will be installed and maintained.
- Secure Storage and Waste – The proposed retail dispensary would generate waste, but the volume would be much less than cultivation or distribution uses. The waste will be disposed of and destroyed in accordance with local and state laws.
- Transportation – Shipments of cannabis goods will be received only from a licensed distributor or licensed microbusiness. All deliveries from licensed will occur between 9 am to 5:00 pm; delivery drivers will enter and exit through the limited access/employee door of the building, not visible from the customer entrance door.
- Locks – The applicant proposes commercial-grade door and window locks that a licensed contractor would install. All locks will only be accessed via an assigned keycard.
- Emergency Access – A key box will be installed in an accessible location, approved by the Fire Chief, for access to the premises in the event of an emergency.

Odor Control

Zoning Code Section 20-46.050(H) requires cannabis businesses to “incorporate and maintain adequate odor control measures such that the odors of Cannabis cannot be detected from outside of the structure in which the Business operates.” The applicant has provided a certified Odor Mitigation Plan prepared by Matthew Torre from 15000 Inc., dated June 15, 2021. The Odor Mitigation Plan has been certified by a registered professional engineer which includes: an Operational Process and Monitoring Plan and staff training procedures. The project proposes to implement and maintain building systems that will effectively minimize transmission of odor, which includes the installation of carbon filters and negative air pressure.

Lighting

As a part of the project, the applicant proposes to comply with the Outdoor Lighting requirements of Zoning Code Sections 20-46.050 and 20-46.80. All exterior lights will be shielded and cast downward to avoid light or glare spilling onto neighboring properties. A recommended condition of approval is that the applicant's building permit submittal include a detailed lighting plan in compliance with the Zoning Code.

Noise

All noise generated by the proposed project shall comply with the City of Santa Rosa's Noise Ordinance (City Code, Chapter 17-16) and be kept to undetectable levels beyond the premises to help maintain positive relationships in the community.

Special Events

A request for special events is not included with the subject Project. However, if in the future, the applicant wishes to host a special event, approval of a Temporary Use Permit, per Section 20-52.040 (Temporary Use Permit) will be required.

Parking

The proposed project will be occupying 1,997-square-feet of an existing 4,776-square-foot multi-tenant commercial building. The project site shares a total of 36 vehicle parking spaces, including two ADA accessible spaces. Per Zoning Code [Section 20-36.040](#) (Table 3-4), the total number of required parking spaces for the proposed dispensary is eight (1 space per 250 sf). The project site shall provide one bicycle parking space. The project site meets the vehicle parking minimum identified in the Zoning Code.

Required Findings for a Conditional Use Permit

General.

1. Compliance with the latest adopted ordinances, resolutions, policies, and fees adopted by the City Council at the time of building permit review and approval. All fees must be paid prior to issuance of a building permit.
2. Comply with all applicable federal, state, and local codes. Failure to comply may result in issuance of a citation and/or revocation of approval.
3. Operations of the project shall be consistent with the project description dated August 12, 2021. Any changes to operations may be subject to review by the Planning and Economic Development Department.

Expiration and Extension.

4. This Conditional Use Permit shall be valid for a two-year period. If construction has not begun or if an approved use has not commenced within two (2) years from date of approval, this approval shall automatically expire and shall be invalid unless an application for extension is filed prior to expiration.
5. If implemented within the initial approval period in accordance with all conditions of approval, this Conditional Use Permit shall be valid for the duration of use.

Building Division.

6. Obtain building permits for the proposed project.

Engineering Division.

7. Compliance with all conditions as specified by the attached Exhibit "A" dated December 7, 2021.

Fire Department.

8. Compliance with all conditions as specified by the attached Exhibit "B" dated October 26, 2021.
9. The building materials, elevations, and appearance of this project, as presented for issuance of a building permit, shall be the same as that approved by the Planning Commission. Any future additions, expansions, remodeling, etc., will be subject to review and approval of the Planning Division.
10. The sale of any cannabis related paraphernalia products must comply with the City's zoning code and any other applicable State regulations.
11. Compliance with all applicable operational provisions of Zoning Code Chapter 20-46 is required.
12. No signs are approved as part of this Conditional Use Permit. All signs require a separate review process and both Planning and Building permits.
13. At least 2 bike parking spaces shall be installed in compliance with Zoning Code Chapter 20-36.

14. All exterior lighting shall comply with Zoning Code Section 20-30.080.

15. Compliance with City Graffiti Abatement Program Standards for Graffiti Removal (City Code 10-17.080).

SUMMARY OF PUBLIC COMMENTS

A notice of application was distributed, and a neighborhood meeting was held on November 22, 2021, facilitating public comment.

The concerns raised by the public are summarized below:

- The consumption of products adjacent to the site, in surrounding residential areas
- Proximity of cannabis sales to children residing in surrounding residential areas
- The generation of cannabis odors into the surrounding area
- Littering of cannabis related packaging and other items
- Traffic from the new cannabis land use

Staff Response: No onsite consumption is being proposed with this dispensary. The applicant will have security personnel onsite during the hours of operation that would monitor the activities on the premises. Additionally, the project is conditioned to comply with all City requirements for cannabis businesses found in Zoning Code Section 20-46.

The applicant has provided an Odor Mitigation Plan and will maintain adequate odor control measures such that the odors of Cannabis cannot be detected from outside of the structure in which the business operates.

The cannabis ordinance does not regulate setbacks to residential uses. The only setbacks regulated by the cannabis ordinance are the distance from schools and the distance from other cannabis dispensaries. The proposed dispensary is located more than 600 feet from the schools in this area; therefore, it is consistent with the required regulations.

A Focused Transportation Study was prepared by W-Trans. The study found the proposed use would result in three trips during the a.m. peak hour and 34 more trips during the p.m. peak hour. The proposed project would result in fewer than 250 new daily trips and 50 new trips during each peak hour. The report concluded that the proposed project would result in a less-than-significant transportation impact.

FISCAL IMPACT

Approval of the Project will not have an effect on the General Fund.

ENVIRONMENTAL IMPACT

The proposed project has been reviewed in compliance with the California Environmental Quality Act (CEQA) and staff has determined that the project qualifies for:

- Class 1 Categorical Exemption under CEQA Guidelines Section 15301 in that the project is located within an existing structure involving a negligible expansion of an existing use that will not result in significant impact(s).
- Class 3 Categorical Exemption under CEQA Guidelines Section 15303 in that the project involves a change of use, which will require only minor interior modifications to the structure/site.
- Class 32 Categorical Exemption under CEQA Guidelines Section 15332 (In-fill Development Projects) in that:
 1. The Project is consistent with Santa Rosa General Plan 2035 and the current City of Santa Rosa Zoning Code. The site is zoned CN and dispensaries are permitted use through a Major Conditional Use Permit;
 2. The Project is located within City of Santa Rosa jurisdiction, on a project site of no more than five acres substantially surrounded by urban uses;
 3. The project site is currently developed with two commercial buildings and parking lot, and does not have any habitat value for endangered, rare, or threatened species;
 4. The Project will not result in any significant effects relating to traffic, noise, air quality, or water quality. The Traffic Report prepared by W-Trans, dated April 18, 2022, concludes the Project would result in a less-than-significant transportation impact on VMT, and the City's Traffic Division has reviewed the proposal and requested no additional Traffic Study. The proposed Project will occupy an existing building, and all the work will take place inside the building, and all the work will be required to meet the City noise ordinance. Based on the certified Odor Control Plan, the Project will not emit cannabis-related odors. The City Sewer Treatment facility will treat any wastewater; and
 5. The Project site is located in a developed area where it can be adequately served by all required utilities and public services. City staff has reviewed the plans and conditions the project appropriately.

The City has further determined that no exceptions to the exemptions apply and there is no reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances (CEQA Guidelines Section 15300.2.)

PUBLIC NOTIFICATION

The project was noticed as a public hearing per the requirements of Chapter 20-66 of the City Code. Notification of this public hearing was provided by posting an on-site sign, publishing notice in a newspaper of general circulation, mailed notice to surrounding property owners and occupants, electronic notice to parties that had

expressed interest in projects taking place in this geographic area of Santa Rosa, and bulletin board postings at City Hall and on the City website. Pursuant to Government Code Section 65091, where necessary, the City has incorporated notice procedures to the blind, aged, and disabled communities. These procedures include audio amplifier/assistive listening device support at public meetings, closed captioning, and optical character recognition conversion of electronic notices.

ISSUES

There are no unresolved issues.

ATTACHMENTS

Attachment 1 - Disclosure Form
Attachment 2 - Location Map
Attachment 3 - Project Description
Attachment 4 - Focused Transportation Study
Attachment 5 - Project Plans
Attachment 6 - Security Plan
Attachment 7 - Odor Mitigation Plan
Attachment 8 – Public Correspondence

Resolution

CONTACT

Suzanne Hartman, City Planner
707-543-4299
SHartman@srcity.org



DISCLOSURE FORM

(Form 3 of 5)

City of Santa Rosa
Planning & Economic
Development Department

Aug 12, 2021
RECEIVED



Project Title: Jane Dispensary 4040 Sonoma Highway, Santa Rosa, CA 95409
(Include site address)

Please provide the name of each individual, partnership, corporation, LLC, or trust who has an interest in the proposed land use action. Include the names of all applicants, developers, property owners, and each person or entity that holds an option on the property.

Individuals: Identify all individuals

Partnerships: Identify all general and limited partners

Corporations: Identify all shareholders owning 10% or more of the stock and all officers and directors (unless the corporation is listed on any major stock exchange, in which case only the identity of the exchange must be listed.

LLCs: Identify all members, managers, partners, officers and directors.

Trusts: Identify all trustees and beneficiaries.

Option Holders: Identify all holders of options on the real property.

Full Name:

Address:

SEE ATTACHED

In addition, please identify the name of each civil engineer, architect, and consultant for the project.

Full Name:

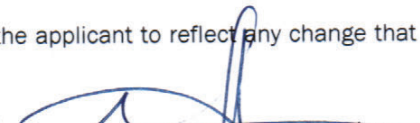
Address:

SEE ATTACHED

Additional names and addresses attached: ☒ Yes ☐ No

The above information shall be promptly updated by the applicant to reflect any change that occurs prior to final action.

I certify that the above information is true and correct:


Applicant

8/8/21
Date

DISCLOSURE FORM
(FORM 3-5)

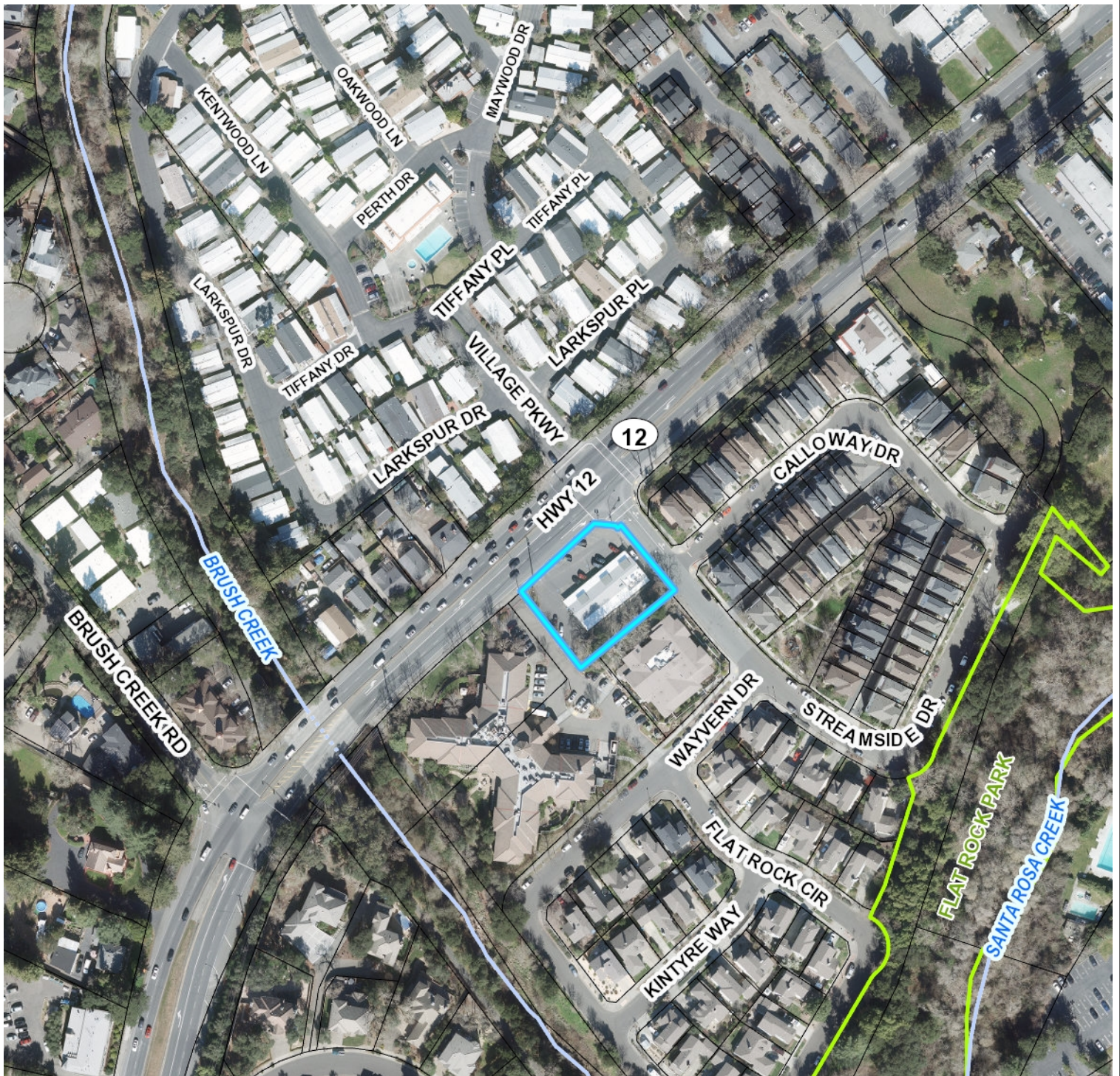
Project Title: JANE Dispensary 4040 Sonoma Highway, Santa Rosa, CA 95409

Please provide the name of each individual, partnership, corporation, LLC, or trust who has an interest in the proposed land use action. Include the names of all applicants, developers, property owners, and each person or entity that holds an option on the property.

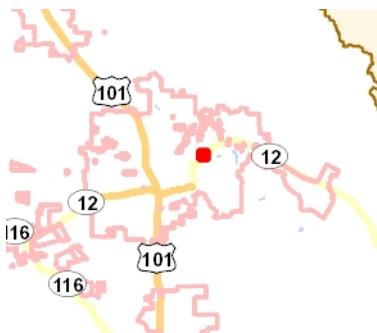
<u>Full Name</u>	<u>Address</u>
<i>JANE 4040, Inc (Corp applying for CUP – 4 owners below)</i>	<i>1030 2nd Street Ste 2A, Santa Rosa, CA 95404</i>
*Mario Tamo (25% owner JANE 4040, INC)	1030 2 nd Street Ste 2A, Santa Rosa, CA 95404
*Randall Waller (25% owner JANE 4040, INC)	1030 2 nd Street Ste 2A, Santa Rosa, CA 95404
*Greg Windisch (25% owner JANE 4040, INC)	1030 2 nd Street Ste 2A, Santa Rosa, CA 95404
*Anthony Shira (25% owner JANE 4040, INC)	1030 2 nd Street Ste 2A, Santa Rosa, CA 95404
<i>CORHAL, LLC (Property Owner – 3 owners below)</i>	<i>7215 Oak Leaf Dr, Santa Rosa, CA 95409</i>
*Brian and Lori Hall (33% owner Corhal, LLC)	7215 Oak Leaf Dr, Santa Rosa, CA 95409
*Susan Corso (70% owner Corhal, LLC)	7215 Oak Leaf Dr, Santa Rosa, CA 95409

In addition, please identify the name of each civil engineer, architect, and consultant for the project.

<u>Full Name</u>	<u>Address</u>
<u>ARCHITECT</u> Beving Architecture – Mica Beving	PO Box 154, Ventura, CA 93002
<u>MECHANICAL ENGINEER</u> 15000 inc. – Matthew Torre, PE/Principal	6085 State Farm Dr. #130, Rohnert Park, CA 94928
<u>CONSULTANT – Lighting/Energy</u> Delta T Energy Consulting – Roy Asti	6050 Commerce Blvd STE 203, Rohnert Park, CA 94928



Conditional Use Permit File No. CUP21-071



8/30/2022

Scale 1: 2,400

0 Miles 0.04



**Jane Dispensary
4040 Highway 12
Santa Rosa, CA 95409**

Project Description Narrative

**Prepared By:
Jay's Consulting, LLC
jay@jayscanna.com
(916) 505-2587**

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Summary of Commercial Cannabis Land Use

Major CUP to occupy 1,997 sq. ft of an existing 4,776 sq. ft. building, zoned Neighborhood Commercial, for Medical and Adult Use Cannabis - Retail (Dispensary), California State License Type 10 (Dispensary; General).

Dual Licensing – Compliance with State Law. § 20-46.050 (A)

Applicant must first obtain local authorization prior to applying for a State of California Commercial Cannabis License. California Business and Professions Code Section 26050.1 (a)(2) and Bureau of Cannabis Control Regulations Sections 5001 and 5002.

Accordingly, Applicant has not yet applied for an Annual License from the California Bureau of Cannabis Control (the "Bureau"). However, Applicant intends to immediately apply for an Annual State License - Type 10 (Dispensary; General) - after obtaining approval of this Major CUP.

Applicant further recognizes that under California Business and Professions Code Section 26050 (b), all licenses will "bear a clear designation indicating whether the license is for commercial adult-use cannabis activity as distinct from commercial medicinal cannabis activity by prominently affixing an "A" or "M," respectively." However, licensees may hold both an A-license and an M-license for the same commercial cannabis activity; therefore, Applicant proposes to conduct both medicinal and adult-use commercial cannabis retail activity.

Applicant will comply with all Annual License Application requirements, as outlined in Section 5002 of the Bureau of Cannabis Control Regulations, including providing the Bureau with:

- (i) Business information (including business formation documents, DBAs, funds and a list of all individuals who hold a financial interest in the business, a list of all owners of the business and their contact information, etc.);
- (ii) Conviction information, if applicable (including a detailed description of each conviction, date of conviction, dates of incarceration, dates of probation or parole, description of the offense, and statements of rehabilitation for each conviction);
- (iii) A description of any suspension or revocation of a commercial cannabis license, or sanctions for unlicensed commercial cannabis activity;
- (iv) A premises diagram;
- (v) Proof of local authorization from Santa Rosa; and
- (vi) A detailed description of transportation procedures, inventory procedures, quality control procedures, and security procedures.

Applicant further recognizes that the Bureau of Cannabis Control Regulations Section 5007 requires landowner approval to operate a commercial cannabis business; therefore, Applicant will provide the State with the lease agreement between Jane Dispensary and the property owner, the Assignment and Assumption Agreement whereby Applicant is assigned the rights and assumes the obligations under this lease,

as well as a signed statement from the property owner that states that Applicant has the right to occupy the property and to use it as both an adult use and medicinal cannabis retail facility.

Applicant understands that the Bureau may request additional information and documents from Applicant and Applicant will provide the information and documents within the allotted time, in accordance with Bureau of Cannabis Control Regulations Section 5011.

Applicant recognizes that its Annual State License must be renewed each year and that applicable license fees must be paid each year prior to issuance of a renewed license by the State (Bureau of Cannabis Control Regulations Section 5020). Applicant will timely renew its Annual State License, as well as its local authorization with the City, to ensure that at all times, Applicant is operating its cannabis retail facility in compliance with both State and Local laws and regulations. Both the local permit and State License will be displayed at all times.

State Operational Standards CCR Title 16 Division 42

Applicant will comply with all operational requirements promulgated by the Bureau or other applicable State agency. These state operational requirements include, but are not limited to the following:

- (i) ensuring only individuals who are at least 21 years of age (with valid proof of identification) or who are 18 years of age (with valid proof of identification) and with a valid physician's recommendation are allowed to access the retail space or arrange for a delivery;
- (ii) maintaining limited access areas where only authorized employees, distributors, etc. are allowed to enter;
- (iii) never operating its retail business outside of the hours of 6:00 A.M. to 10:00 P.M.;
- (iv) never displaying cannabis goods in a place where they are visible from outside the licensed premises;
- (v) only receiving cannabis goods from a licensed distributor;
- (vi) verifying that no products have exceeded their expiration or sell-by date (if provided);
- (vii) never selling alcohol or tobacco (or any alcohol or tobacco products) at the licensed retail premises;
- (viii) ensuring it does not sell more than the applicable daily limits of cannabis and cannabis products to each individual;
- (ix) never reselling any cannabis goods that have been returned;
- (x) never providing free cannabis goods to any person, unless to a medicinal cannabis patient in compliance with Section 5411 of the BCC Regulations;
- (xi) recording all inventory and transactions into the track and trace system;
- (xii) never accepting any cannabis goods from a distributor that are not packaged as they will be sold at final sale;
- (xiii) always placing cannabis goods purchased by a customer into an opaque exit package before leaving the retail premises;

- (xiv) only delivering to privately-owned physical addresses through the use of an enclosed motor vehicle;
- (xv) always preparing a delivery request receipt for each delivery;
- (xvi) ensuring delivery drivers do not deviate from their designated delivery routes;
- (xvii) maintaining an accurate record of inventory at all times;
- (xviii) maintaining an accurate record for every sale made to a customer; and
- (xix) maintaining all retailer-specific records in accordance with Section 5037 of the BCC Regulations. Applicant will consistently review the Bureau of Cannabis Control's Regulations to ensure that Applicant is operating in compliance with state laws and regulations at all times.

Operator in Good Standing §20-46.050 A(1)

Applicant will not commence operations at the Building premises, until it has received all necessary approvals from the City (e.g. building permit and occupancy permit) and an Annual License from the Bureau.

Minors § 20-46.050 B

Applicant will ensure only individuals who are at least 21 years of age (with valid proof of identification) or who are 18 years of age (with valid proof of identification) and with a valid physician's recommendation are allowed to access the retail space or arrange for a delivery as applicable to Adult Use or Medical cannabis products, respectively.

Separation of License Types. § 20-46.050 D

Applicant does not propose to conduct any commercial cannabis activity at the subject premises other than retail of commercial cannabis products.

Building and Fire Codes. § 20-46.050 E

Applicant will obtain all necessary building permits, fire permits, and CUP A permits, as necessary for the project and the facility, and will provide a Fire Department lock box for keys to gates and doors.

Applicant recognizes that a Building Permit is required to verify occupancy for this cannabis facility, and that solely obtaining a Conditional Use Permit does not authorize the Applicant to begin to operate its business within this facility. Applicant will submit all construction plans, calculations, and related documentation supporting the Building Permit application to the City to begin the process of obtaining a Building Permit and a Certificate of Occupancy after Applicant has obtained discretionary approval in the form of a Conditional Use Permit. Applicant will ensure that all Building Permit design and supporting documentation is prepared by qualified design professionals licensed and registered by the State of California and that all construction and related work is performed by contractors licensed by the State of California for the specific discipline of work to be performed. Moreover, all design and construction will be consistent with the provision of the Santa Rosa City Code and the current edition of the California Building and Fire Codes.

Applicant will install and maintain all required improvements to ensure compliance with the Fire Code. Applicant is committed to installing proper electrical wiring and

components for all electrical fixtures within the facility. Applicant understands that all construction or work for which a permit is required is subject to inspection by the Building Division and/or the Fire Department and that such construction or work must remain accessible and exposed for inspection purposes until approved. Applicant will ensure all City approved plans, specifications, and related documents are kept on the premises for City inspection staff. Applicant will not use or occupy the Subject Property until the Building Official has issued a Certificate of Occupancy.

Applicant also recognizes that many State and local codes regulate cannabis facilities (aside from MAUCRSA, the State Regulations, and the City Ordinance). These many codes include, but are not limited to, the California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Energy Code, California Fire Code, California Existing Building Code, California Green Building Standards Code, California Health and Safety Code, California Business and Professions Code, National Fire Protection Association Standards, and the Santa Rosa City Code. As Applicant moves into the Building Permit phase after it obtains a CUP for its retail cannabis facility, Applicant will consult with trained licensed architects, designers, contractors, and other professionals to ensure that all building plans and subsequent construction is in compliance with all applicable codes, including provisions relating to: accessibility and accessible paths of travel; fire-resistance, fire alarm systems, smoke detectors, fire extinguishers, and exit paths; ventilation and exhaust systems; electrical systems; plumbing fixtures, fittings, and systems; lighting controls and energy consumption; and CalGreen Code requirements; among others.

As stated above, Applicant understands that it may be required to have a key box installed in a location approved by the Fire Department in the event that the Fire Code Official determines that access to or within a structure or area is restricted because of secured openings, or that immediate access may be necessary for live-saving or fire-fighting purposes. In this event, Applicant will promptly install and maintain a box of an approved type that will contain keys to gain necessary access, as required by the Fire Code Official and the California Fire Code.

As reiterated throughout this section, Applicant is committed to complying with all provisions of the Fire Code. Accordingly, Applicant will ensure all fire protection equipment, including fire extinguishers and fire alarm systems, are maintained in working order and serviced at regular intervals. Applicant will maintain clear access to all such fire protection equipment and will ensure that proper exit widths are appropriate and clear in the event of an emergency. Furthermore, Applicant will ensure that all illuminated "exit" signs are working at all times.

Applicant does not propose to keep any hazardous waste or hazardous materials on-site but will ensure that any potentially flammable items or materials are kept out of the Utility room and stored securely at all times.

Security Plan § 20-46.050 G

Please see Security Plan Attachment

Odor Mitigation Plan § 20-46.050 H

Applicant will have a comprehensive odor mitigation plan. Applicant recognizes that the City requires this odor mitigation plan to be certified by a licensed professional engineer to ensure that all mitigation controls are sufficient to effectively mitigate odors from all odor sources (City Ordinance Section 20-46.050(H)).

Applicant intends to implement the Odor Mitigation Plan prepared by 15000, Inc to ensure that its odor mitigation controls are sufficient to effectively mitigate odors from all odor sources. Please see the attached letter from Matthew Torre of 15000, Inc.

Odor mitigation will be accomplished through using of carbon filtration throughout the facility, to ensure no cannabis odors escape the facility. Odor mitigation systems will be always operational when cannabis is present within the facility.

A carbon filter is a round, hollow device with a membrane that contains activated charcoal (carbon). "Dirty" air passes through the carbon filter and clean, odorless air exits the other side. Carbon filters are the most popular odor control option on the market because they are highly effective, widely available, and low maintenance. Granular Activated Carbon charcoal is so effective because of its high degree of micro-porosity. Carbon filters are low maintenance and with a proper pre-filter, Applicant will only have to change the activated carbon every 12 to 18 months, although this can vary depending on fan speed, hours of use, carbon quality, etc. Fans will create air circulation to avoid stagnant areas where odors can collect. Applicant's air filtration system will be properly maintained in accordance with industry standards to ensure appropriate air quality.

Outdoor Lighting § 20-46.050 I

Notable goals of the Open Space and Conservation section of the Santa Rosa General Plan are to (1) to "reduce energy use in existing and new commercial, industrial, and public structures," and (2) to "identify opportunities for decreasing energy use through installation of energy efficient lighting, reduced thermostat settings, and elimination of unnecessary lighting in public facilities." In accordance with this goal, all exterior lighting at Applicant's facility will be limited to a maximum height of 14 feet, will use energy efficient LED fixtures and lamps, and will not include lighting that will blink, flash, or be of unusually high intensity or brightness. In the parking area of Applicant's facility, Applicant will remove the existing flood light and will install an LED area light and a 13-watt LED globe fixture, along with a laser cut Corten sign with a lighted panel behind. (See attached Site Plans).

At Applicant's facility, all exterior lighting systems will be provided for security purposes in a manner sufficient to provide illumination and clear visibility to all outdoor areas of the premises, including all points of ingress and egress, in accordance with Section 20-46.050 I of the City's Ordinance. Applicant will have lights installed at various locations on the exterior of the building, some of which will be motion sensor lighting. Exterior lighting will be stationary, fully shielded, directed away from adjacent properties and public rights of way, and of an intensity compatible with the neighborhood. All exterior lighting will be Building Code compliant and will comply with Section 20-30.080 of the City of Santa Rosa Municipal Code. Interior light systems will be fully shielded, including

adequate coverings on windows, to confine light and glare to the interior of the structure.

Noise § 20-46.050 J

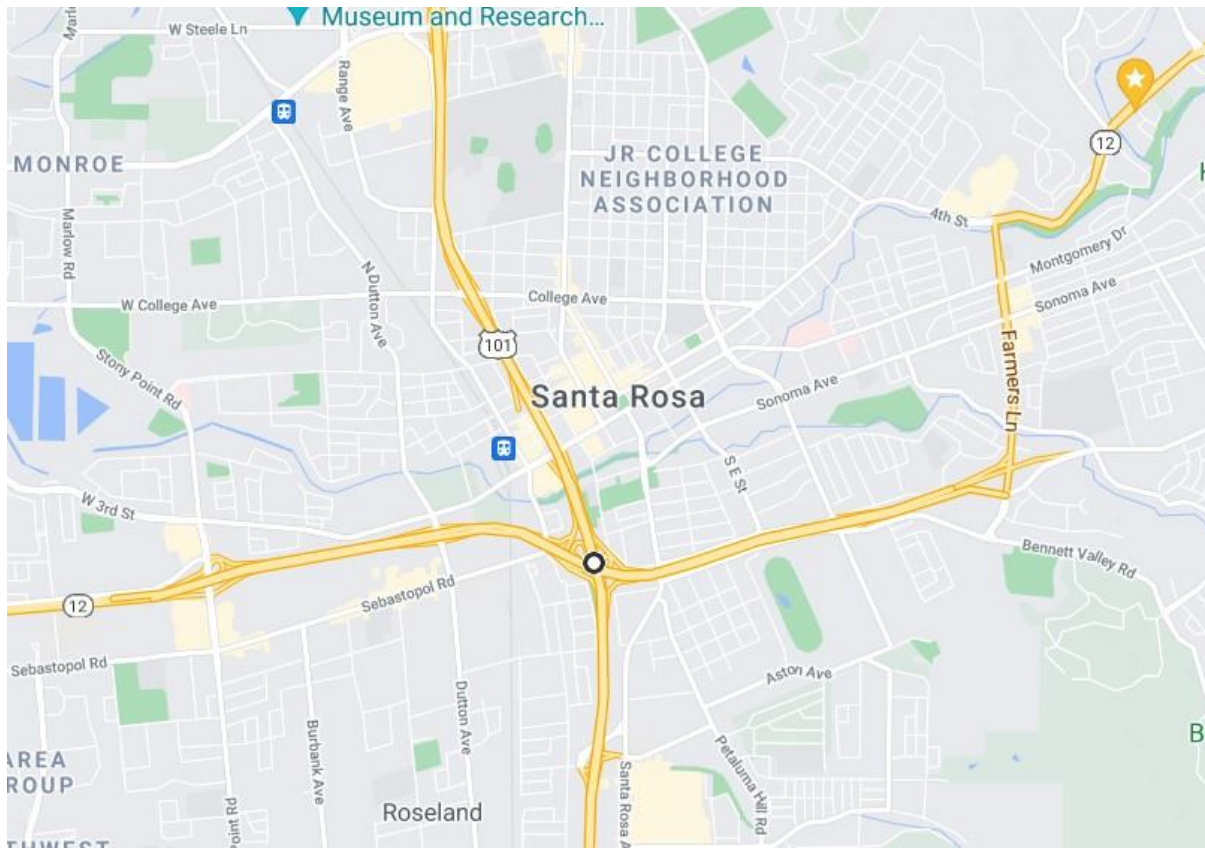
Applicant recognizes that according to the Santa Rosa City Code (Chapter 17-16) it is unlawful for any person to willfully make or continue, or cause to be made or continued, any loud, unnecessary, or unusual noise which disturbs the peace or quiet of any neighborhood or which causes discomfort or annoyance to any reasonable person of normal sensitiveness residing in the area. Accordingly, Applicant will ensure all noise from Applicant's facility complies with the provisions of Chapter 17-16, including by:

- (i) ensuring the operation of machinery, equipment, pumps, fans, air-conditioning apparatus, or similar mechanical devices do not cause the noise level at the property line that exceeds the ambient base noise level by more than five decibels;
- (ii) not operating or allowing employees to operate a pandemonic motor vehicle or operating a motor vehicle in any way that a reasonable person of normal hearing sensitivity is caused discomfort or annoyance; and
- (iii) not utilizing any sound-amplifying equipment.

Major CUP Application
Jane Dispensary
4040 Hwy 12, Santa Rosa, CA 95409

Vicinity and Neighborhood Context Maps

Vicinity Map



Major CUP Application
Jane Dispensary
4040 Hwy 12, Santa Rosa, CA 95409

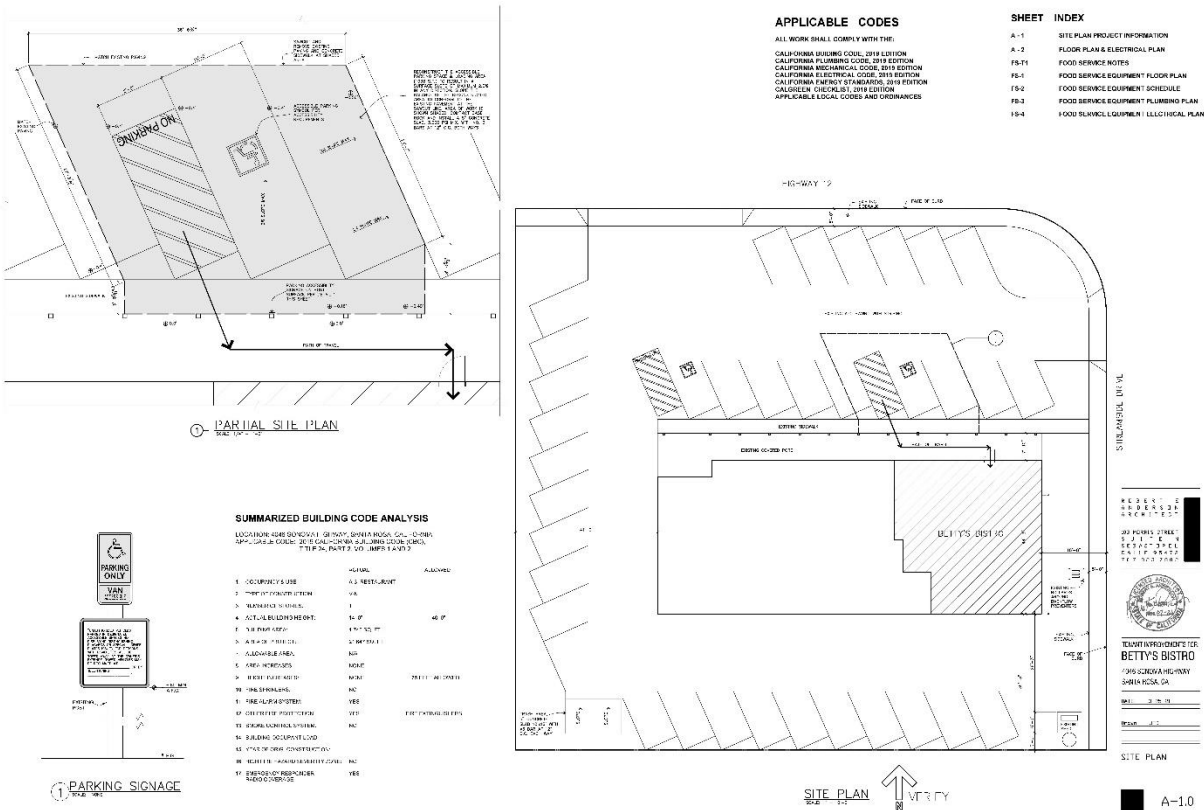
Neighborhood Context Map



Major CUP Application
Jane Dispensary
4040 Hwy 12, Santa Rosa, CA 95409

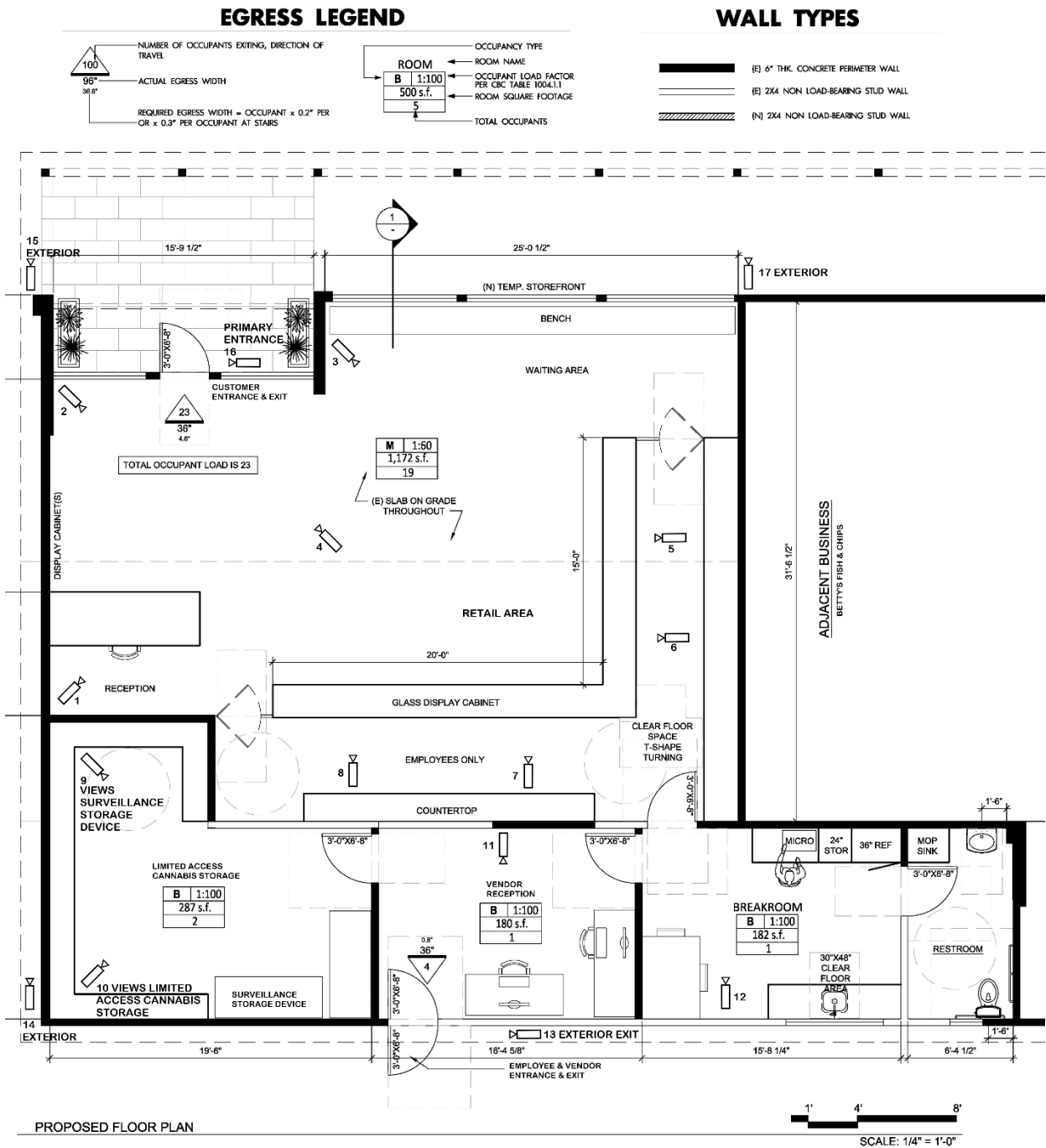
Site Plan, Elevations, Floor Plan

Site Plan



Major CUP Application
Jane Dispensary
4040 Hwy 12, Santa Rosa, CA 95409

Floor Plan



Parking Analysis

One of the Goals and Policies of the Land Use and Livability section of Santa Rosa's General Plan is to "provide a range of commercial service that are easily accessible and attractive, that satisfies the needs of people who live and work in Santa Rosa and that also attracts a regional clientele." The site was previously used as another retail store, Pawsarotti's. In accordance with the General Plan, Applicant will have ample parking at the Subject Property.

Use	Parking Required	Total Square Footage	Parking Required Spaces
Retail	1 vehicle parking space per 250 square feet; 1 bicycle space per 5,000 square feet	2,000 Square Feet	Vehicle: 8 Bicycle: 1
Total Parking Spaces Required			Vehicle: 8 Bicycle: 1

Based on the size of the subject premises, 2,000 square feet, 8 parking spaces and 1 bicycle parking space are required.

The parking area at the Subject Property has thirty-six (36) parking spaces, including two (2) ADA-compliant parking space. Two ADA-accessible paths of travel begin adjacent to the ADA-compliant parking spaces to the front doors of the premises.

Applicant understands that one of the Guiding Principles of the City of Santa Rosa's General Plan is to "Reduce dependence on the automobile by improving pedestrian, bicycle, and transit alternatives and by locating essential commercial services in proximity to housing." In furtherance of reducing dependence on the automobile while also attracting a regional clientele, and in accordance with the City of Santa Rosa's Design Guidelines for parking, bicycle parking will be provided at Applicant's facility (see attached Site Plans).

Hours of Operation

Applicant's retail facility will be open to the public between 9:00 A.M. and 9:00 P.M. daily. Applicant's employees will work varying shifts between the hours of 8:00 A.M. and 10:00 P.M.; however, Applicant's security personnel will cover shifts to ensure that the Property has security on-site 24 hours per day. Applicant will limit all commercial deliveries to the hours of 9:00 A.M. to 5:00 P.M. Monday through Friday.

Specific Use Requirements: Commercial Cannabis Retail/Dispensary §20-46-080

Location Requirement §20-46-080 D

Pursuant to a request for a Development Review Pre-Application Meeting the proposed project at 4040 Highway 12 has been given authorization to submit a Conditional Use Permit Application. The proposed project site is not within 600 feet of another Cannabis Retail (Dispensary) land use or K-12 School. There are no pending CUP applications submitted. Please see the Cannabis Retail Applications Map below.



Medicinal/Adult Use §20-46.080 A

Medical and Adult Use Cannabis - Retail (Dispensary)

Operational Plan §20-46.080 F

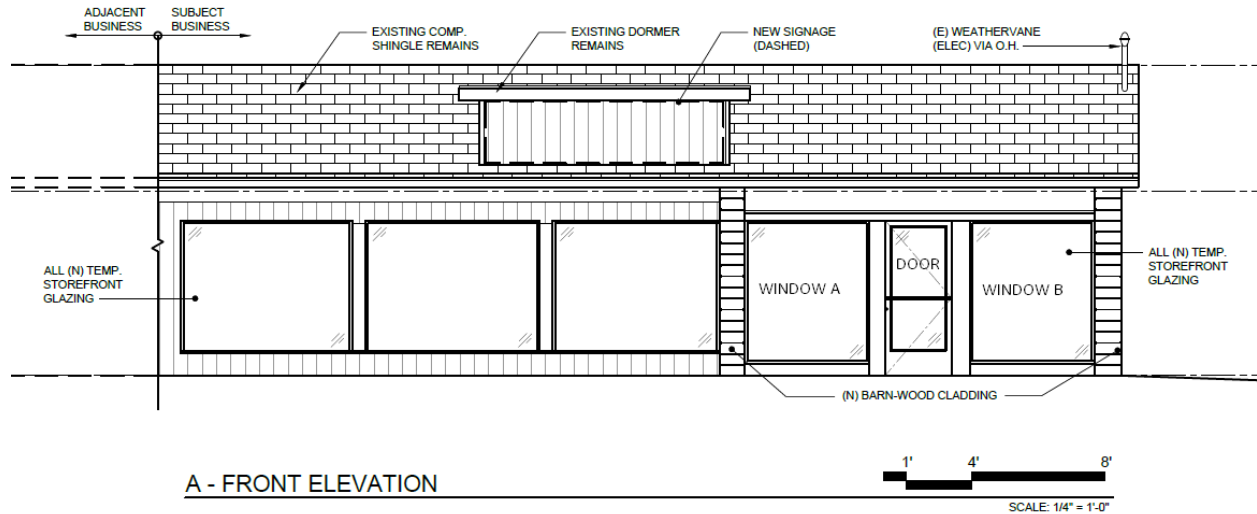
§20-46.080 F(1) Employee Register	Page 4
§20-46.080 F(2) Recordkeeping	Page 3-4
§20-46.080 F(3) Persons Entering Site	Page 3-4
§20-46.080 F(5) Secured Access	Page 13
§20-46.080 F(11) Display of Permit	Page 3

Deliveries§20-46.080 d

- (i) Vehicles transporting products from our facility will not be marked in any way that indicates medical marijuana is being transported. Transport vehicles will be equipped with GPS tracking, and a lockable cargo area for storing cannabis during transit, with video monitoring of the driver and passenger compartment as well as the storage area.
- (ii) Facility agents transporting medical marijuana must print an inventory manifest for the trip, generated from the statewide track and trace system, provide it to designated facility staff, and keep a copy in the vehicle.
- (iii) Trip plans will be maintained in _____ company records for five years. During transport, the facility agent must always have their agent ID and a means of communication accessible.
- (iv) Accidents involving the transport vehicle must be immediately reported to law enforcement, and any incident of theft or attempted theft must be reported immediately to law enforcement and to the Department within 24 hours.
- (v) Each Staff member and cannabis delivery will adhere to the following processes and paperwork:
 - 1. Order is Received online through our Point-of-Sale system
 - 2. Order is Processed
 - a. Verify Products are physically available for sale
 - b. Verify that payment has been received, and receipt is printed
 - c. Verify all packaging meets California packaging requirements
 - d. Verify the transport manifest has been filled out correctly, and then print and attach to the order
 - 3. During Transport
 - a. Verify that the vehicle is in proper working condition;
 - Lights, blinkers, and other essential items are working
 - The vehicle has enough fuel to reach the destination
 - b. Verify Products are in the secured lockbox within the delivery vehicle;
 - Ensure the Lockbox has been thoroughly cleaned before any cannabis or cannabis products are stored
 - c. Ensure the Monitoring systems are active and working properly;
 - Verify video monitoring is focused on the passenger compartment and any place where cannabis is stored
 - GPS is working properly
 - d. Verify shipping manifest has trip information:
 - The name of the facility agent(s)
 - The date and start time of
 - The anticipated delivery time
 - The anticipated route of transportation

- e. Have facility agent identification cards accessible at all times;
 - f. Keep a copy of the applicable inventory manifest and trip plan in the transportation vehicle; shall be placed under the driver's seat or in a compartment beside the driver's seat for the duration of the delivery trip
 - g. Have a means of communication accessible at all times; Jane Dispensary will have a company-issued cell phone to be kept in the delivery vehicle at all times;
 - h. Immediately report any vehicle accidents to law enforcement
 - i. Immediately report any loss or theft of cannabis product to law enforcement and Track and Trace System
 - j. Any incident of theft or attempted theft of cannabis shall be reported to the department within twenty-four (24) hours of the incident.
 - Report to be filed with manager on duty immediately. Keep incidents logged in the incident report log, which will be stored in the delivery vehicle and at the premises.
 - Manager will initiate contact to the appropriate authorities.
4. Once delivery staff arrives at the delivery address,
- a. Staff will ensure they are in a safe area
 - b. Staff will only park in designated areas or legal parking spaces
 - c. Bring the delivery to the door
 - d. Verify patient or guest is intended recipient and government ID matches the transport manifest and receipt
5. After transport, revise the trip plan to reflect the actual route taken and the end-time of transportation. Deliver the revised trip plan to a person designated by the transportation facility for this purpose.

Storefront §20-46.080 e



Storefront design:

- (i) New Signage proposed on existing dormer to say Jane Dispensary.
- (ii) New paint on existing surfaces.
- (iii) Add barnwood cladding to posts.
- (iv) No changes to the roof.
- (v) No changes to awning or overhang.

Window treatments:

- (i) Non-breakable film (glazing) applied to front windows.
- (ii) Verbiage decal (on Window A) stating that "smoking and vaping of Cannabis is prohibited on site or in the vicinity of the site"
- (iii) Vinyl decals:
 - Jane logo (entry door).
 - QR code to JANE loyalty program (Window B).
 - JANE Dispensary website url (Window B).

Accessory Uses §20-46.050 D

Accessory Uses by Zoning

Applicant will operate a medical and recreational storefront dispensary. Applicant will not conduct any other accessory use permitted under the city's commercial zoning code.

Accessory Uses by Room

Applicant will have limited-access areas where only authorized individuals (such as employees, vendors, contractors, or other people with a business-pw-pose) will be

permitted. An individual in the limited-access area who is not employed by Applicant (such as a vendor or distributor) will be escorted by Applicant or one of Applicant's employees at all times while within the limited-access area (Bureau of Cannabis Control Regulations Sections 5042 and 5401). In accordance with Section 5401, any individual within the limited access area will be at least 21 years old. Applicant will maintain a log of all authorized individuals who are not employees of the Applicant that enter the limited-access area. The logs will be made available to the Bureau of Cannabis Control upon request. Applicant will not receive consideration or compensation for permitting an individual to enter the limited-access area.

Restroom: No other use.

Utility Room: No other use.

Inventory Room: Uses that may be considered accessory uses are:

- (i) Securely storing cannabis in safes;
- (ii) Housing internet servers;
- (iii) Housing computer(s) dedicated to administrative uses;
- (iv) Storing monetary instruments such as cash and checks;
- (v) Warehousing locked cabinets that contain financial records including, but not limited to bank statements, sales invoices, receipts, tax records, and all records required by the CA Department of Tax and Fee Administration under Title 18 of the California Code of Regulations sections 1698 and 4901;
- (vi) Storing personnel records, including each employee's full name, social security or individual tax payer identification number, date employment begins, and date of termination of employment, if applicable;
- (vii) Storing of training records, including but not limited to, the content of training provided, and the names of the employees that received the training;
- (viii) Storing of contracts with other licensees regarding commercial cannabis activity
- (ix) Storing of copies of permits, licenses, and other local and state authorizations to conduct the licensee's commercial cannabis activity;
- (x) Storing Security Records;
- (xi) Storing records relating to waste management or destruction of cannabis goods;
- (xii) Storing documentation for data or information entered into the track and trace system;
- (xiii) Warehousing non-Cannabis related stationary, supplies, and materials;
- (xiv) Meetings with employees, vendors, contractors, or other people with a business-purpose.

January 27, 2022



Mr. Jay Cheek
Jay's Canna Consulting
3041 Panama Avenue
Carmichael, CA 95608

Focused Transportation Study for the Jane's Dispensary

Dear Mr. Cheek;

As requested, W-Trans has prepared a focused transportation analysis for the proposed Jane's Dispensary to be located at 4040 Sonoma Highway (SR 12) in the City of Santa Rosa. The purpose of this letter is to present the project's trip generation as well as an analysis of the transportation-related issues required under the California Environmental Quality Act (CEQA). The following analysis was completed in accordance with the criteria established by the City of Santa Rosa and is consistent with standard traffic engineering techniques.

Project Description

The proposed cannabis dispensary would be located in a vacant commercial suite of 1,997 square feet previously occupied by a pet supplies store. As allowed under the City's cannabis ordinance, the dispensary would operate between the hours of 9:00 a.m. and 9:00 p.m. The project site would continue to be accessed via existing driveways on SR 12 and Streamside Drive. The project site plan is enclosed for reference.

Trip Generation

The trip generation for the prior use of the space was estimated using standard rates published by the Institute of Transportation Engineers (ITE) in *Trip Generation Manual*, 10th Edition, 2017 for "Shopping Center" (LU #820). Although the Manual does not specify rates for a pet supplies store, the "Shopping Center" land use was determined to be the best category available as it reflects the general retail nature of the previous use as well as any other use that could occupy the space.

The trip generation for proposed project was estimated using rates developed based on data collected at local dispensaries. Over the last two years, W-Trans has collected data at seven dispensaries in the North Bay Area, including four in the City of Santa Rosa. Our data collection effort has identified that local dispensaries are expected to generate about 85 vehicle trips per day per 1,000 square feet of gross floor area, including two trips per 1,000 square feet during the weekday a.m. peak hour and 21 trips per 1,000 square feet during the weekday p.m. peak hour. A spreadsheet summarizing the local trip generation data and resulting rates is enclosed for reference.

Based on the application of these rates, the proposed project would be expected to generate an average of 179 daily trips, including three trips during the a.m. peak hour and 42 trips during the p.m. peak hour. Compared to the prior pet supplies store, the dispensary would be expected to result in 94 more daily trips on average with one more trip during the a.m. peak hour and 34 more trips during the p.m. peak hour. These results are summarized in Table 1.

Table 1 – Trip Generation Summary

Land Use	Units	Daily		AM Peak Hour				PM Peak Hour			
		Rate	Trips	Rate	Trips	In	Out	Rate	Trips	In	Out
Existing											
Shopping Center	-1.997 ksf	37.75	-75	0.94	-2	-1	-1	3.81	-8	-4	-4
Proposed											
*Marijuana Dispensary	1.997 ksf	85.12	170	1.59	3	3	0	21.27	42	23	19
Net New Trips			95		1	2	-1		34	19	15

Note: ksf = 1,000 square feet; * = North Bay rates developed based on local data

The proposed project would result in fewer than 250 new daily trips and 50 new trips during each peak hour; therefore, a full traffic impact study with an operational analysis is not typically required per the City's *Guidance for the Preparation of Traffic Operational Analysis*, 2019, so one was not prepared.

Delivery Consideration

Two of the seven dispensaries that were subject of the data collection effort had delivery services operating at the time the data was collected so the trip generation characteristics for those two individual dispensaries were reviewed and it was determined that such a service may reasonably be expected to reduce the trip generation potential of a dispensary, not increase it. Deliveries are intended to serve multiple customers in one trip so the trips associated with several customers that would otherwise visit the site individually are replaced by a single round trip made by the delivery vehicle. The trip generation data collected at the two dispensaries with a delivery service indicated an average trip rate of 7.92 trips per 1,000 square feet during the weekday p.m. peak hour compared to the combined average rate of 21.27 trips per 1,000 square feet. The delivery service rate as sampled was approximately 63 percent lower than the combined rate, making application of the combined rate conservative.

Because only two dispensaries had an operational delivery service, it is preferred that data be collected at additional local dispensaries with a delivery service to confirm the rates before using them to estimate the trip generation potential of a proposed project. However, the data indicates that the presence of a delivery service would be expected to reduce the trip generating potential of the dispensary.

Vehicle Miles Traveled

Senate Bill (SB) 743 established a change in the metric to be applied to determining transportation impacts associated with development projects. Rather than the delay-based criteria associated with a Level of Service (LOS) analysis, the change in Vehicle Miles Traveled (VMT) as a result of a project is now the basis for determining California Environmental Quality Act (CEQA) impacts with respect to transportation and traffic.

The City of Santa Rosa issued guidelines for VMT analysis, as outlined in *Vehicle Miles Traveled (VMT) Guidelines Final Draft*, dated June 5, 2020. This document identifies several criteria that may be used to identify certain types of projects that are unlikely to have a significant VMT impact and can be "screened" from further analysis. One of these screening criteria pertains to local-serving retail, which the City defines as having up to 10,000 square feet of gross floor area. The theory behind this criterion is that while a larger retail project may generate interregional trips that increase a region's total VMT, small retail establishments do not necessarily add new trips to a region, but change where existing customers shop within the region, and often shorten trip lengths. The proposed cannabis dispensary is a total of 1,997 square feet, which is well below the City's local-serving retail threshold of 10,000 square feet; therefore, it is reasonable to conclude that the project would have a less-than-significant

transportation impact on VMT. Further, the project site is within an area for which employee-based trips are pre-screened as having a less-than-significant impact in terms of VMT.

Finding – Based on the draft screening criteria published by the City of Santa Rosa, the project is anticipated to result in a less-than-significant transportation impact on VMT.

Alternative Modes

Given the proximity of residential neighborhoods and other commercial uses within one-quarter mile surrounding the site, it is reasonable to assume that some project patrons and employees will want to walk, bicycle, and/or use transit to reach the project site.

Pedestrian Facilities

Pedestrian facilities include sidewalks, crosswalks, pedestrian signal phases, curb ramps, curb extensions, and various streetscape amenities such as lighting, benches, etc. Sidewalks exist on both sides of SR 12 as well as Streamside Drive in the project vicinity, effectively linking the project site to the surrounding pedestrian network. While the sidewalk on the project side of SR 12 terminates about 300 feet to the west of the project site, pedestrian demand on this section of the highway is not expected as there are no access points to any developments. The majority of pedestrian trips are anticipated to be to and from the east where there are crosswalks with pedestrian phasing present on the north, east and south legs of the signalized SR 12/Streamside Drive intersection. The existing facilities provide adequate pedestrian access and connections between the project site and surrounding residential neighborhoods and commercial uses.

Bicycle Facilities

There are no existing bicycle facilities on SR 12 along the project frontage; however, there are striped shoulders ranging in width between five and eight feet that could be used by bicyclists and Class II bicycle lanes are planned to be provided according to the Santa Rosa's *Bicycle & Pedestrian Master Plan* (BPMP), 2018. Additionally, cyclists would be able to ride on the sidewalks or share the roadway with motorists on Streamside Drive. As the result, adequate access for bicyclists is currently provided and would be improved upon completion of the planned facilities identified in the City's BPMP.

Transit

The nearest transit stops are located on SR 12 across from the project site in the westbound direction and just east of Streamside Drive in the eastbound direction. These transit stops are served on Tuesdays and Thursdays by Santa Rosa CityBus Route 16 between the hours of 9:55 a.m. and 11:59 a.m. To access the project site outside of the operational hours of CityBus Route 16, there are transit stops on both sides of Mission Boulevard at SR 12, which are approximately one-third of a mile east of the project site served by Santa Rosa CityBus Routes 4 and 4B and Sonoma County Transit (SCT) Routes 30 and 34. Routes 4 and 4B are the same routes with different directionality and connect the Downtown Transit Mall to the northeastern quadrant of the City. SCT Routes 30 and 34 are similar routes and serve various destinations between the cities of Sonoma and Santa Rosa and Route 30X provides extended late afternoon service to westbound Route 30. Table 2 summarizes the existing transit routes in the project vicinity.

Table 2 – Transit Facility Summary

Route	Operational Days	Service Hours	Headways
CityBus Route 16	Tuesday, Thursday	8:15 a.m. - 3:50 p.m.	1 to 3 hours
CityBus Route 4	Monday - Sunday	Wkdy: 6:00 a.m. - 7:50 p.m. Wknd: 10:00 a.m. - 4:50 p.m.	Wkdy: 30 min Wknd: 1 hour
CityBus Route 4B	Monday - Friday	6:30 a.m. - 8:20 p.m.	1 hour
SCT Route 30	Monday - Sunday	7:00 a.m. - 7:25 p.m.	1 to 2 hours
SCT Route 30X (westbound only)	Monday - Sunday	7:35 p.m. - 9:30 p.m.	Runs once per day
SCT Route 34	Monday - Friday	6:45 a.m. - 5:00 p.m.	9 hours

Note: SCT = Sonoma County Transit; wkdy = weekday; wknd = weekend; min = minutes

The existing transit facilities provide adequate connections between the project site and other areas of the City as well as the County. Although the bus stops on Mission Boulevard are located slightly farther than the preferred walking distance of one-quarter mile, distances less than one-half mile are still considered walkable and existing sidewalks provide appropriate pedestrian facilities between the transit stops and the project site.

Finding – Existing pedestrian, bicycle, and transit facilities provide adequate access to and from the project site.

Site Access and Circulation

The project would continue to be accessed via existing driveways on SR 12 and Streamside Drive. The driveway on SR 12 is restricted to right-turn movements only due to the presence of a raised median while the two driveways on Streamside Drive provide full access. Along the frontage, SR 12 has a posted speed limit of 45 miles per hour (mph) and is approximately 72 feet wide with two through lanes in each direction, though there are also left- and right-turn lanes on the eastbound approach to the intersection with Streamside Drive. Streamside Drive is approximately 36 feet wide adjacent to the site's driveways with one lane departing the SR 12 intersection and two lanes approaching the intersection. The roadway does not have a posted speed limit so the *prima facie* speed limit of 25 mph for a local street applies.

Motorists driving to the site from destinations to the west would be able to use the driveway on SR 12 or make a right turn at Streamside Drive and another right turn into a project driveway to reach the site. Those coming from destinations to the east would be able to make a protected left turn at the signalized intersection with Streamside Drive and then a right turn into the project driveway. When exiting the site, motorists could use either driveway on Streamside Drive and then make a left or right turn at the intersection with SR 12. No changes are proposed to on-site circulation, which is expected to continue functioning acceptably.

Finding – Existing site access and on-site circulation are expected to operate acceptably.

Sight Distance

Sight distances along SR 12 and Streamside Drive at the existing driveways serving the project site were evaluated using sight distance criteria contained in the *Highway Design Manual* published by Caltrans. The recommended sight distances for driveways are based on stopping sight distance with approach travel speed used as the basis for determining the recommended sight distance.

For the posted 45-mph speed limit on SR 12, the minimum stopping sight distance needed is 360 feet. Based on a review of field conditions, sight lines to and from the existing driveway extend nearly 400 feet to the west, which is more than adequate for the posted speed limit. Sight lines to and from the east were not evaluated since left turns are restricted at this location by a raised median on SR 12. For the *prima facie* speed limit of 25 mph on

Streamside Drive, the minimum stopping sight distance needed is 150 feet. Sight lines to and from the two existing driveways were measured to be more than 200 feet in each direction, which are also more than adequate. It is noted that while the northerly driveway on Streamside Drive is located adjacent to the intersection with SR 12, clear sight lines are available from the driveway to all four approaches so motorists are able to watch for any potential conflicts before exiting the site.

Additionally, due to the straight and flat roadway geometry of both SR 12 and Streamside Drive, adequate stopping sight distances are available for a following driver to notice and react to a preceding motorist slowing to turn right or stopped to turn left into any of the driveways.

Finding – Existing sight lines are adequate to accommodate all turns into and out of the project driveways.

Emergency Access

All existing project driveways and drive aisles have a width of more than the 20 feet which is needed for fire apparatus access; therefore, site access and circulation are expected to function acceptably for emergency response vehicles.

Finding – Emergency access is adequate.

Parking

Parking was evaluated to determine if the proposed supply would be adequate to satisfy City requirements upon the change in land use. The project site has a total of 37 parking spaces that are shared with adjacent businesses; no changes are proposed to the existing supply. There are no assigned parking stalls for any of the individual commercial suites in the development so that the supply can meet the changing demand for the various uses over the course of the day.

Section 20-36.040 of the Santa Rosa City Code requires vehicle parking at a rate of one space for every 250 square feet of floor area for cannabis retail uses as well as the other shopping center uses on-site. The prior pet supplies store would fall under the general retail category, which is also required to provide parking at a rate of one space for every 250 square feet meaning that the parking requirements for the proposed project would remain unchanged from the previous use. Based on these rates, a total of 19 parking spaces are required for the entire site with a total of 4,776 square feet, including eight parking spaces for the proposed dispensary of 1,997 square feet and 11 parking spaces for the adjacent businesses with 2,779 square feet of floor space. Therefore, the existing supply of 37 spaces is more than adequate to satisfy City Code.

Bicycle Parking

Santa Rosa City Code requires cannabis retail uses to provide one bicycle parking space for every 5,000 square feet of gross floor area, which translates to one required bicycle space for the proposed project. Since one bicycle parking space is somewhat impractical and because many cyclists like to travel in pairs, it is recommended that parking for a minimum of two bicycles be provided for the dispensary.

Finding – One bicycle parking space is required by the City Code.

Recommendation – Parking should be provided for a minimum of two bicycles at the project site.

Conclusions and Recommendations

- The proposed project would be expected to generate 95 more daily trips on average compared to the prior pet supplies store, including one more trip during the a.m. peak hour and 34 more trips during the p.m. peak

hour. Since the project would result in fewer than 250 new daily trips and fewer than 50 new peak hour trips, an operational analysis is not required under the City's TIS Guidelines.


- The project is anticipated to result in a less-than-significant transportation impact on VMT based on the Draft Guidelines published by the City of Santa Rosa.
- The existing sidewalks along the project's frontages and adjacent streets provide adequate access to the site and nearby transit facilities. The planned bicycle facilities on SR 12 along with existing shared use of minor street would provide adequate access for cyclists.
- Adequate sight distances are available at all three existing project driveways.
- Access and circulation for emergency response vehicles and standard passenger vehicles is expected to function acceptably.
- The proposed vehicle parking supply is adequate to meet City requirements.
- While a single bicycle parking space is required to satisfy City requirements, a minimum of two parking spaces are recommended.

Thank you for giving W-Trans the opportunity to provide these services. Please call if you have any questions.

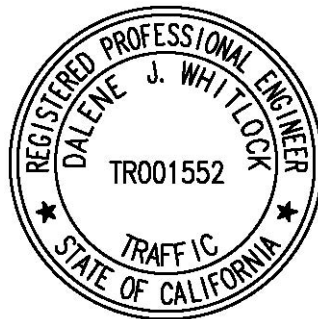
Sincerely,


Jade Kim
Assistant Engineer


Cameron Nye, EIT
Associate Engineer


Dalene J. Whitlock, PE, PTOE
Senior Principal

DJW/cn-jk/SRO585.L1



Enclosure: Site Plan, North Bay Dispensary Trip Rates

NORTH BAY DISPENSARY RATES

NORTH BAY DISPENSARY RATES					DAILY		AM PEAK HOUR (7-9)								PM PEAK HOUR (4-6)								
LOCATION	No. of Units	Units	DATE	Setting/Location	Trip Rate per Unit	Total Trips	Trip Rate per Unit	Number of Trips	In (%)	In (Rate)	In (Trips)	Out (%)	Out (Rate)	Out (Trips)	Trip Rate per Unit	Number of Trips	In (%)	In (Rate)	In (Trips)	Out (%)	Out (Rate)	Out (Trips)	
Dispensary 1	3.8	ksf	12/18/2018	General Urban/Suburban			4.47	17	88%	3.95	15	12%	0.53	2	20.00	76	42%	8.42	32	58%	11.58	44	
Santa Rosa	3.8	ksf	12/19/2018	General Urban/Suburban			4.21	16	94%	3.95	15	6%	0.26	1	23.68	90	44%	10.53	40	56%	13.16	50	
AVERAGE							4.34		91%	3.95		9%	0.39		21.84		43%	9.47		57%	12.37		
Dispensary 2	1.17	ksf	12/12/2018	General Urban/Suburban			1.71	2	100%	1.71	2	0%	0.00	0	48.72	57	53%	25.64	30	47%	23.08	27	
Santa Rosa	1.17	ksf	12/17/2018	General Urban/Suburban			1.71	2	100%	1.71	2	0%	0.00	0	53.85	63	54%	29.06	34	46%	24.79	29	
AVERAGE							1.71		100%	1.71		0%	0.00		51.28		53%	27.35		47%	23.93		
Dispensary 3	4.8	ksf	12/18/2018	General Urban/Suburban			1.46	7	86%	1.25	6	14%	0.21	1	14.58	70	54%	7.92	38	46%	6.67	32	
Santa Rosa	4.8	ksf	12/19/2018	General Urban/Suburban			0.83	4	100%	0.83	4	0%	0.00	0	15.00	72	56%	8.33	40	44%	6.67	32	
AVERAGE							1.15		93%	1.04		7%	0.10		14.79		55%	8.13		45%	6.67		
Dispensary 4	1.508	ksf	8/6/2019	General Urban/Suburban											43.10	65	51%	21.88	33	49%	21.22	32	
Sebastopol	1.508	ksf	8/15/2019	General Urban/Suburban											39.12	59	49%	19.23	29	51%	19.89	30	
AVERAGE															41.11		50%	20.56		50%	20.56		
Dispensary 5	5.79	ksf	8/7/2019	General Urban/Suburban											24.18	140	51%	12.44	72	49%	11.74	68	
Cotati	5.79	ksf	8/12/2019	General Urban/Suburban											26.94	156	49%	13.13	76	51%	13.82	80	
AVERAGE															25.56		50%	12.78		50%	12.78		
Dispensary 6	3.454	ksf	9/30/2020	General Urban/Suburban	75.85	262	0.87	3	67%	0.58	2	33%	0.29	1	6.95	24	58%	4.05	14	42%	2.90	10	
Santa Rosa	3.454	ksf	10/1/2020	General Urban/Suburban	87.43	302	0.58	2	50%	0.29	1	50%	0.29	1	7.53	26	54%	4.05	14	46%	3.47	12	
	3.454	ksf	10/2/2020	General Urban/Suburban	92.07	318	3.18	11	55%	1.74	6	45%	1.45	5	6.66	23	48%	3.18	11	52%	3.47	12	
AVERAGE					85.12		1.54		57%	0.87		43%	0.68		7.04		53%	3.76		47%	3.28		
Dispensary 7	2.5	ksf	9/30/2020	General Urban/Suburban	21.60	54	0.00	0	0%	0.00	0	0%	0.00	0	2.80	7	71%	2.00	5	29%	0.80	2	
Napa	2.5	ksf	10/1/2020	General Urban/Suburban	22.40	56	0.00	0	0%	0.00	0	0%	0.00	0	2.00	5	60%	1.20	3	40%	0.80	2	
	2.5	ksf	10/2/2020	General Urban/Suburban	19.20	48	0.00	0	0%	0.00	0	0%	0.00	0	5.20	13	46%	2.40	6	54%	2.80	7	
AVERAGE					21.07		0.00		0.00	0.00		0.00	0.00		3.33		59%	1.87		41%	1.47		
ITE RATES (LU#882) -							252.70		10.44		56%	5.85		44%	4.59		21.83		50%	10.92		50%	10.92
AVERAGE LOCAL RATES -							85.12		1.59		82%	1.33		18%	0.25		21.27		53%	10.84		47%	10.43

ABBREVIATIONS

A	ANCHOR BOLT
Z	ASPHALT CONCRETE
B	ACCUST.
Q	ADA
(E)	ADJ.
(F)	A.F.
(N)	AFF
	ACCESS FLOOR
	ABOVE FINISH FLOOR
	AUTOMATIC FIRE SPRINKERS
	ALUM.
	ATT.
	ATTENUATION
BD.	BOARD
BLDG.	BUILDING
BLK.	BLANK
BLKTS.	BLANKETS
C	CARPET
C.F.S.	CHANNEL FRAMING SYSTEM
CH	CORNER GUARD
C.G.	COAT HOOK
CLG.	CEILING
CLR.	CLEAR
CONF.	CONFERENCE
CONC.	CONCRETE
CONT.	CONTINUOUS
C.P.	CARPET PAD
CSK.	COUNTERSINK
C.T.	CARPET TILE
DET.	DETAIL
DIM.	DIMENSION
EA.	EACH
EEWS	EMERG. EYEWASH & SHOWER
EL.	ELEVATION
EMERG.	EMERGENCY
E.P.B.	ELECTRIC PANEL BOARD
E.W.C.	ELECTRICAL WATER COOLER
EXT.	EXTERIOR
F.B.	FLAT BAR
F.D.	FLOOR DRAIN
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET
F.H.C.	FIRE HOSE CABINET
FIN.	FINISH
FL.	FLOOR
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
F.R.P.	FIBERGLASS REINFORCED PLASTIC
F.S.	FIRE SPRINKLER
FTOS.	FOOTINGS
F.V.C.	FIRE VALVE CABINET
F.W.	FABRIC WALL COVERING
F.W.P.	FABRIC WRAPPED PANELS
G	GROUT
GA.	GAUGE
GALV.	GALVANIZED
G.B.	GRAB BAR
GBDW	GYPSON BOARD DRY WALL
GL.	GLASS
GR.	GRADE
H.C.	HANDICAPPED
H.M.	HOLLOW METAL
H.P.	HIGH POINT
INCL.	INCLUDING
INS.	INSIDE
INSUL.	INSULATION
LAM.	LAMINATE
LAV.	LAVATORY
L.P.	LOW POINT or PLASTIC LAMINATE
L.S.D.	LIQUID SOAP DISPENSER
MAX.	MAXIMUM
M.B.	MACHINE BOLT
M.F.	MONOLITHIC FLOORING
MFR.	MANUFACTURER
MIN.	MINIMUM
MTL.	METAL
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.D.	OVERFLOW DRAIN
OPNG.	OPENING
P.	PLATE
PLAS.	PLASTER
PLYWD.	PLYWOOD
P.T.	POINT
P.T.D.	PAPER TOWEL DISPENSER
R.	RISER
R.B.	RESILIENT BASE
R.D.	ROOF DRAIN
REF.	REFRIGERATOR
REQD.	REQUIRED
R.F.	RESILIENT FLOORING
RM.	ROOM
RSD.	RECESSED SOAP DISPENSER
R.T.	RESILIENT TILE
RWD.	REDWOOD
R.W.L.	RAIN WATER LEADER
S.A.D.	SEE ARCHITECTURAL DRAWINGS
S.C.	SEALED CONCRETE
S.D.	STORM DRAIN
S.F.	STONE FLOORING
S.G.	SPECIAL GLASS
SHT.	SHEET
SIM.	SIMILAR
S.M.	SOLID SURFACING MATERIAL
S.N.D.	SANITARY NAPKIN DISPENSER
S.N.R.	SANITARY NAPKIN RECEPTACLE
S.S.	STAINLESS STEEL
S.S.D.	SEE STRUCTURAL DRAWINGS
STL.	STEEL
STRUCT.	STRUCTURAL
T.	TREAD
T.C.V.	TEMP. CONTROL VALVE
T&B.	TOP AND BOTTOM
T.O.S.	TOP OF SLAB
T.S.	TUBE SECTION
TYP.	TYPICAL
T.P.	TOILET PAPER
T.S.C.	TOILET SEAT COVER
U.G.	UNDERGROUND
U.O.N.	UNLESS OTHERWISE NOTED
UR.	URINAL
VCT.	VINYL COMPOSITION TILE
V.V.	VINYL WALL COVERING
W.	WITH
W.B.	WOOD BASE
W.F.	WOOD FLOORING
W.H.	WATER HEATER
W.P.	WATERPROOF
W.R.	WATER RESISTANCE
W.T.	WINDOW TREATMENT
W.V.	WOOD VENEER
W.W.F.	WELDED WIRE FABRIC



JANE DISPENSARY
TENANT IMPROVEMENT
4040 SONOMA HIGHWAY
SANTA ROSA, CA 95249
A.P.N. 032-500-040

GENERAL NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE 2019 CALIFORNIA BUILDING CODE, AND OTHER LOCAL, STATE OR FEDERAL CODES AND ORDINANCES AS THEY APPLY TO THE WORK PERFORMED HERE-IN.
- THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL VISIT THE JOB SITE AND VERIFY DRAWINGS AND CONDITIONS AND BRING TO THE DESIGNER'S ATTENTION ANY DISCREPANCIES, ERRORS, OR OMISSIONS REQUIRING CLARIFICATION OR REVISION BEFORE COMMENCING WITH THE WORK.
- THE DRAWINGS SHALL NOT BE SCALED. THE DRAWINGS SHALL BE CONSIDERED A GUIDE AND EXISTING PARTITIONS SHALL TAKE PRECEDENCE OVER SCALE OR DIMENSIONS. ALL DIMENSIONS SHOWN ARE TO FACE OF STUD OR CONCRETE. CONTRACTOR SHALL NOTIFY THE DESIGNER IF UNKNOWN WIRES, PLUMBING VENTS OR FRAMING PROBLEMS ARISE BEFORE TRYING TO RECTIFY SAME.
- JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING THE SAFETY OF ALL PERSONS AND DAMAGE TO THE PROPERTY, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- TEMPORARY SHORING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR WILL HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE DESIGNER AND HIS CONSULTANTS AND EACH OF THEIR OFFICERS AND EMPLOYEES AND AGENTS FROM ANY AND ALL LIABILITY CLAIMS, LOSSES AND DAMAGES ARISING OR ALLEGED TO ARISE FROM THE PERFORMANCE OF THE WORK DESCRIBED HERE-IN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, THE DESIGNER AND HIS CONSULTANTS, AND EACH OF THEIR OFFICERS, EMPLOYEES AND AGENTS.
- CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES NEAT AND ORDERLY, IN A SAFE WORKING CONDITION, AND FREE FROM ACCUMULATION OF WASTE MATERIALS CAUSED BY HIS OPERATION. AT THE COMPLETION OF THE WORK, HE SHALL REMOVE ALL WASTE MATERIAL, TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, AND SURPLUS MATERIALS FROM THE PREMISES, SHALL CLEAN ALL GLASS SURFACES, AND LEAVE THE WORK BROOM CLEAN THROUGHOUT. IF THE CONTRACTOR FAILS TO CLEANUP, THE OWNER MAY DO SO AND THE COST THEREOF SHALL BE PAID BY THE CONTRACTOR.
- DUE TO THE NATURE OF PROJECTS INVOLVING EXISTING CONDITIONS, WE RESERVE THE RIGHT TO MODIFY OUR REQUIREMENTS DURING CONSTRUCTION DUE TO FIELD CONDITIONS. THE COSTS FOR MODIFICATION REQUIRED BY OUR OFFICE SHALL BE SOLELY THE RESPONSIBILITY OF THE OWNER AND WE ASSUME NO LIABILITY FOR THESE CONDITIONS OTHER THAN TO PROPERLY ADJUST OUR DETAILS, DESIGNS, AND CALCULATIONS IF WE FEEL THIS TO BE NECESSARY.
- THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY UNAUTHORIZED CHANGES TO OR USE OF THESE DRAWINGS. ALL CHANGES TO THE DRAWINGS MUST BE IN WRITING AND APPROVED BY THE DESIGNER.

SCOPE OF WORK

THE SCOPE OF WORK SHALL CONSIST OF THE FOLLOWING:
TENANT IMPROVEMENT TO AN EXISTING RETAIL SPACE (1/3RD OF (E) 1-STORY BUILDING) FOR THE PURPOSES OF RETAIL CANNABIS SALES. AT REAR: EXISTING ACCESSIBLE BATHROOM TO REMAIN, REMODEL BREAK-ROOM, AND INVENTORY OFFICE WITH STORAGE. THE WORK WILL NOT INVOLVE STRUCTURAL MODIFICATIONS.

CONTACTS

OWNER:	2074 ARMORY INC. 1030 2nd ST. SUITE 2A SANTA ROSA, CA 95404 707-529-8385
ARCHITECT:	BEVING ARCHITECTURE INC. MICA BEVING PO BOX 154 VENTURA, CA 93002 805-302-9166
MECHANICAL ENGINEER:	15000 INC. 2901 CLEVELAND AVE., SUITE 204 SANTA ROSA, CA 95403 707-577-0363
LIGHTING WATTAGE CALCS:	DELTA T ENERGY adrian@deltatenergyconsulting.com 707-827-0233

CONSTRUCTION TYPE:	III-B	
OCCUPANCY:	M	
OCCUPANT LOAD:	S.F./FACTOR TABLE 10-A	LOAD
MERCANTILE / OFFICE	2012 / 100 =	20

CODE REFERENCE

THE DESIGN AND CONSTRUCTION OF ALL SITE ALTERATIONS SHALL COMPLY WITH THE 2019:
CALIFORNIA BUILDING CODE (CBC)
CALIFORNIA ELECTRICAL CODE (CEC)
CALIFORNIA MECHANICAL CODE (CMC)
CALIFORNIA PLUMBING CODE (CPC)
CALIFORNIA ENERGY CODE
CALIFORNIA FIRE CODE (CFC)
CALIFORNIA EXISTING BUILDING CODE (CEBC)
CALIFORNIA GREEN BUILDING CODE (CALGREEN)
CALIFORNIA RESIDENTIAL CODE (CRC)
CALIFORNIA HEALTH AND SAFETY CODE (H&SC)
CALIFORNIA BUSINESS AND PROFESSIONS CODE (B&PC)
NATIONAL FIRE PROTECTION ASSOCIATION STANDARDS (NFPA)
MEDICAL AND ADULT USE CANNABIS REGULATION AND SAFETY ACT (MAUCRSA)
SANTA ROSA CITY CODE (SRCC)

SHEET INDEX

SHEET	DESCRIPTION
T.001	COVER SHEET, GENERAL NOTES, VICINITY MAP AND INDEX

ARCHITECTURAL:	
A.201	AS-BUILT / DEMO. FLOOR PLAN
A.211	PROPOSED FLOOR PLAN
A.301	EXTERIOR ELEVATIONS & BUILDING SECTIONS
A.500	ADA ACCESSIBILITY DETAILS
A.501	INTERIOR ELEVATIONS
A.502	INTERIOR ELEVATIONS

STAMPS / APPROVALS

City of Santa Rosa
Planning & Economic
Development Department
Aug 12, 2021
RECEIVED

LUNA
DESIGN

PO Box 1973,
Sonoma CA 95476
Office 707.935.8545
Cell 415.806.6084
www.lunadesignsonoma.com

Steven A. Moody

THESE DRAWINGS ARE THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF LUNA DESIGN. ALL DESIGNS AND OTHER INFORMATION CONTAINED ON THESE DRAWINGS ARE FOR USE ON THE SPECIFIC PROJECT AND SHALL NOT BE USED ON OTHER PROJECTS, OR FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN CONSENT OF LUNA DESIGN. THESE DRAWINGS SHALL NOT BE REPRODUCED, CHANGED OR COPIED IN ANY FORM WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION AND CONSENT OF LUNA DESIGN, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT SAID WRITTEN PERMISSION AND CONSENT.

JANE DISPENSARY T.I.
4040 HIGHWAY 12, SANTA ROSA CA 95249
APN: 032-500-040

Revisions:	Date								
Rev	Description								

Drawn By: SM
Date: 5/12/21
Scale: AS SHOWN

TITLE SHEET

T.001

APPLICABLE CODES

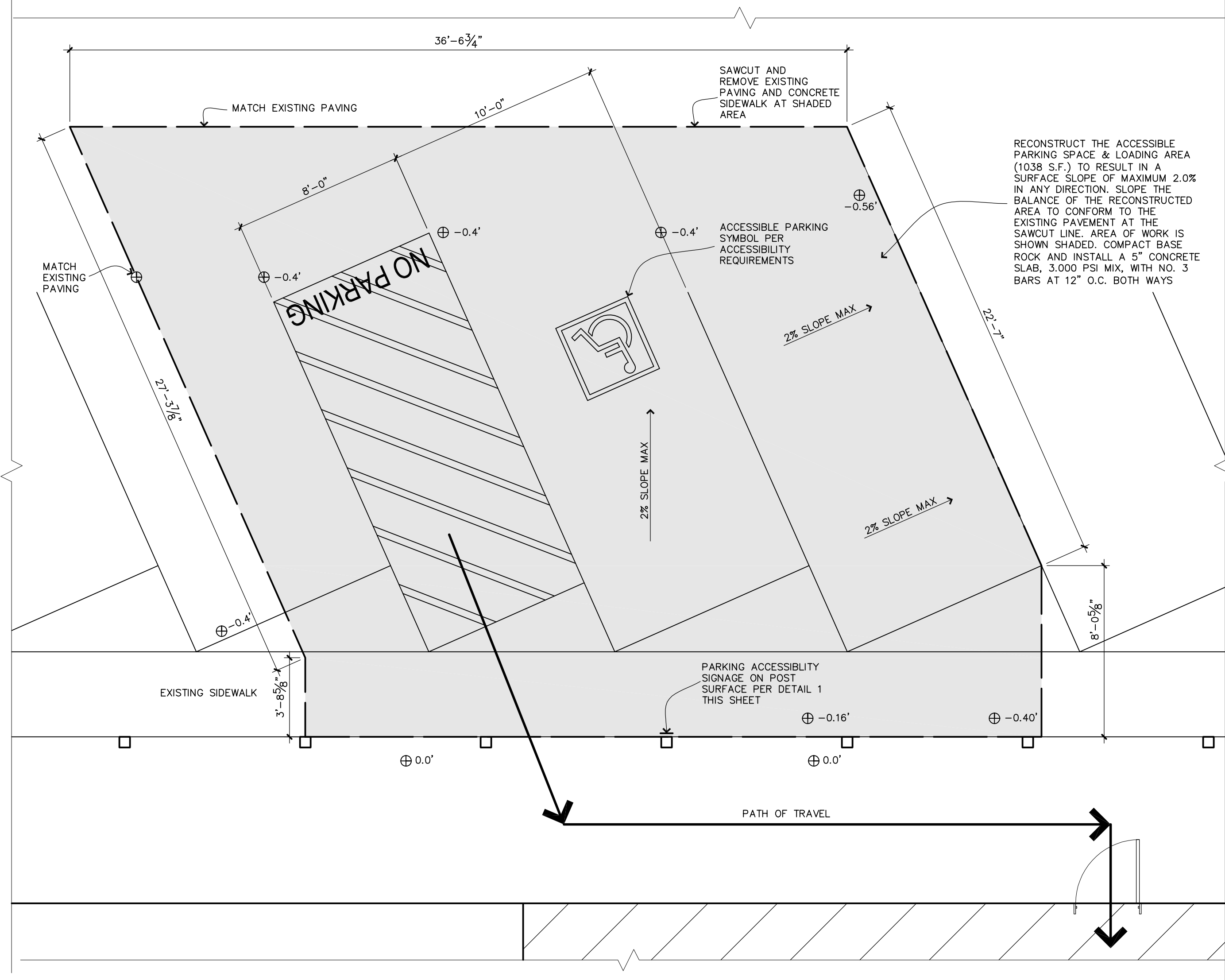
ALL WORK SHALL COMPLY WITH THE:

CALIFORNIA BUILDING CODE, 2019 EDITION
CALIFORNIA PLUMBING CODE, 2019 EDITION
CALIFORNIA MECHANICAL CODE, 2019 EDITION
CALIFORNIA ELECTRICAL CODE, 2019 EDITION
CALIFORNIA ENERGY STANDARDS, 2019 EDITION
CALGREEN CHECKLIST, 2019 EDITION
APPLICABLE LOCAL CODES AND ORDINANCES

SHEET INDEX

A - 1	SITE PLAN PROJECT INFORMATION
A - 2	FLOOR PLAN & ELECTRICAL PLAN
FS-T1	FOOD SERVICE NOTES
FS-1	FOOD SERVICE EQUIPMENT FLOOR PLAN
FS-2	FOOD SERVICE EQUIPMENT SCHEDULE
FS-3	FOOD SERVICE EQUIPMENT PLUMBING PLAN
FS-4	FOOD SERVICE EQUIPMENT ELECTRICAL PLAN

City of Santa Rosa
Planning & Economic
Development Department
Aug 12, 2021
RECEIVED

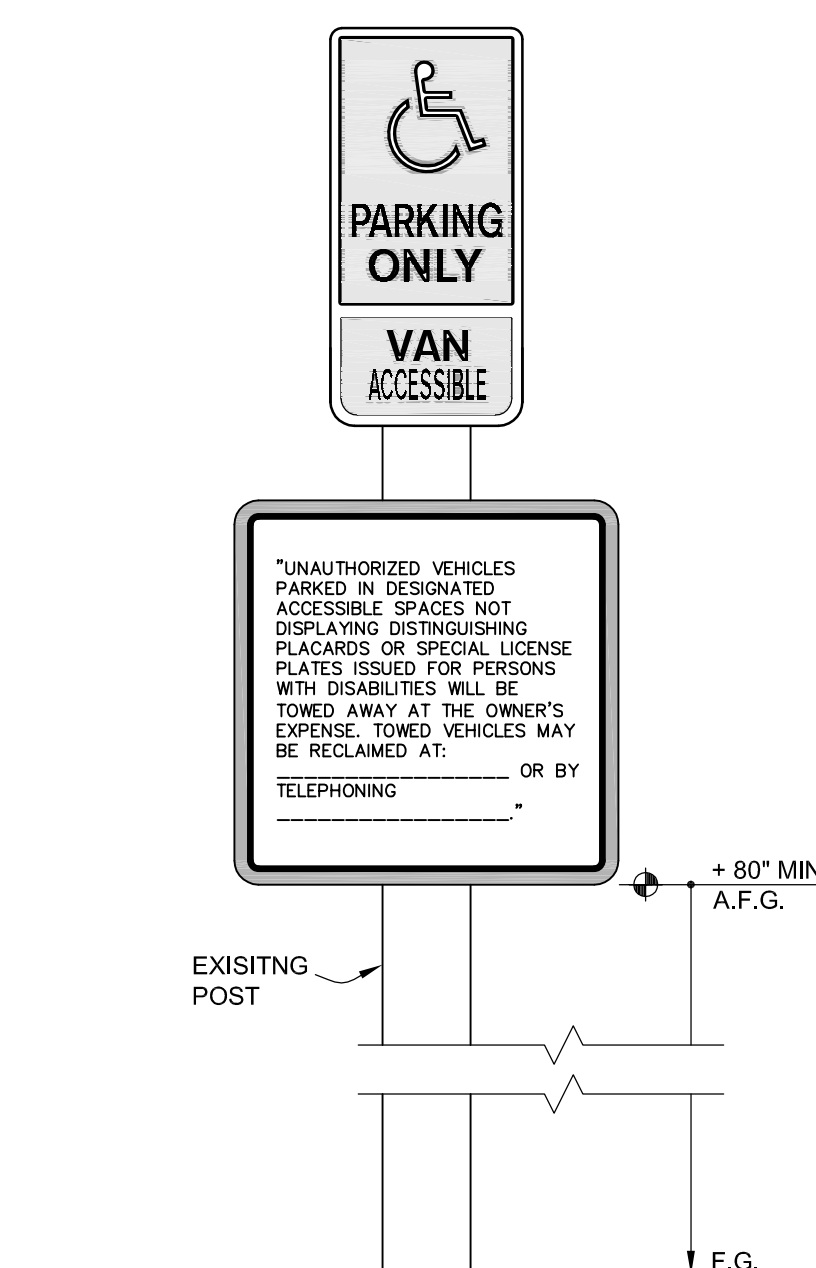


① — PARTIAL SITE PLAN
SCALE: 1/4" = 1'-0"

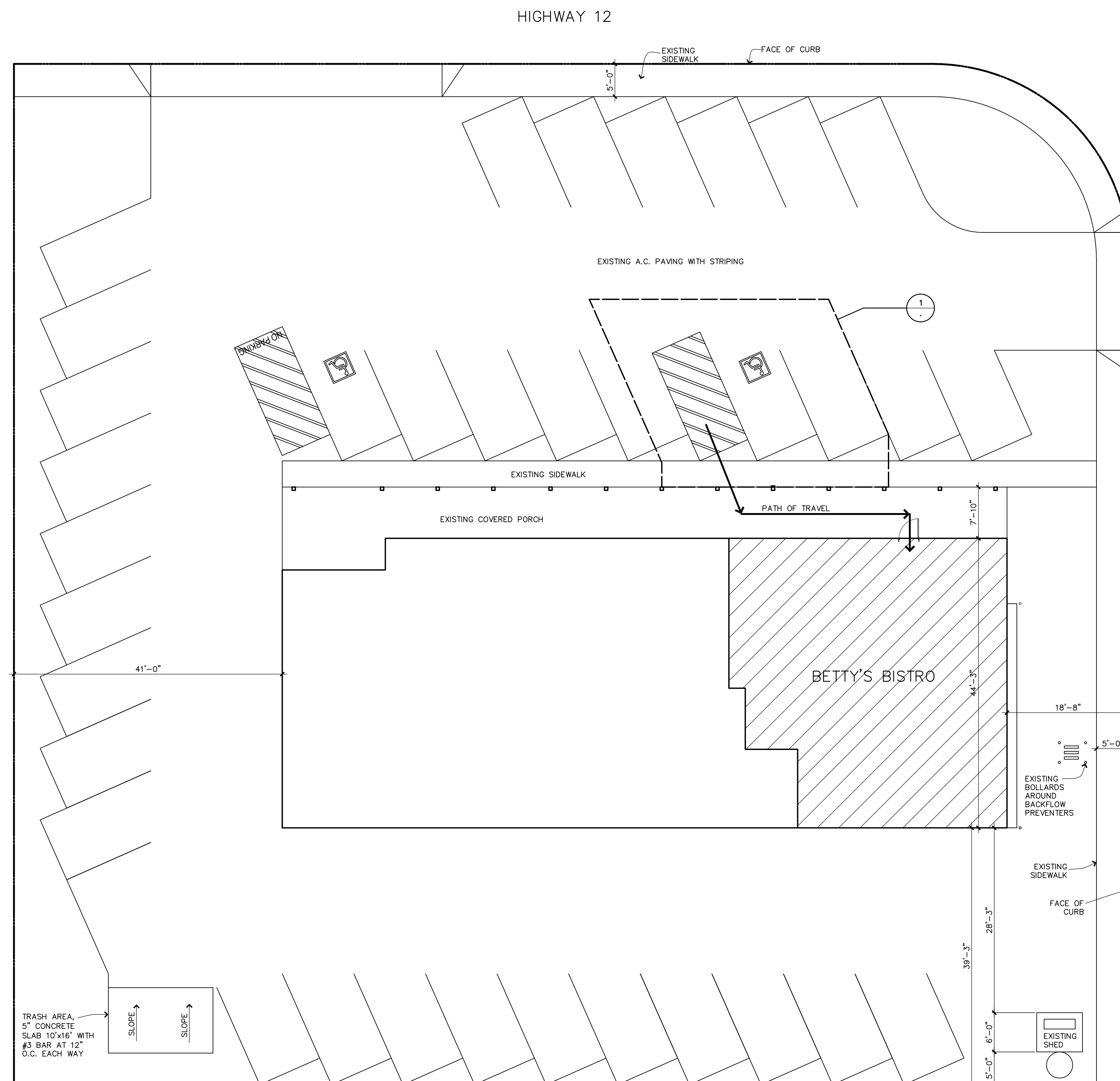
SUMMARIZED BUILDING CODE ANALYSIS

LOCATION: 4046 SONOMA HIGHWAY, SANTA ROSA, CALIFORNIA
APPLICABLE CODE: 2019 CALIFORNIA BUILDING CODE (CBC),
TITLE 24, PART 2, VOLUMES 1 AND 2

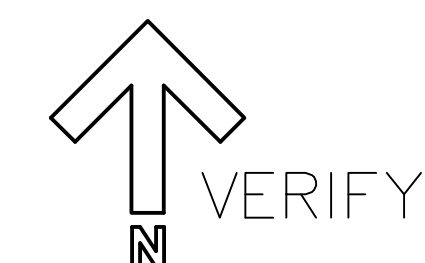
	ACTUAL	ALLOWED
1. OCCUPANCY & USE	A-3 RESTAURANT	
2. TYPE OF CONSTRUCTION	V-N	
3. NUMBER OF STORIES:	1	
4. ACTUAL BUILDING HEIGHT:	14'-0"	40'-0"
5. BUILDING AREA:	1,745 SQ. FT.	
6. AREA OF PROJECT:	21,647 SQ. FT.	
7. ALLOWABLE AREA:	N/A	
8. AREA INCREASES:	NONE	
9. HEIGHT INCREASES:	NONE	75 FEET ALLOWED
10. FIRE SPRINKLERS:	NO	
11. FIRE ALARM SYSTEM:	YES	
12. OTHER FIRE PROTECTION	YES	FIRE EXTINGUISHERS
13. SMOKE CONTROL SYSTEM:	NO	
14. BUILDING OCCUPANT LOAD		
15. YEAR OF ORIG. CONSTRUCTION:		
16. HIGH FIRE HAZARD SEVERITY ZONE:	NO	
17. EMERGENCY RESPONDER RADIO COVERAGE	YES	



1 PARKING SIGNAGE



SITE PLAN
SCALE: 1" = 10'-0"



STREAMSIDE DRIVE

ROBERT E
ANDERSON
ARCHITECT

103 MORRIS STREET
S U I T E N
S E B A S T O P O L
C A L I F 9 5 4 7 2
7 0 7 8 2 3 7 8 0 2



TENANT IMPROVEMENTS FOR:
BETTY'S BISTRO
4046 SONOMA HIGHWAY
SANTA ROSA, CA

DATE: 3-25-21

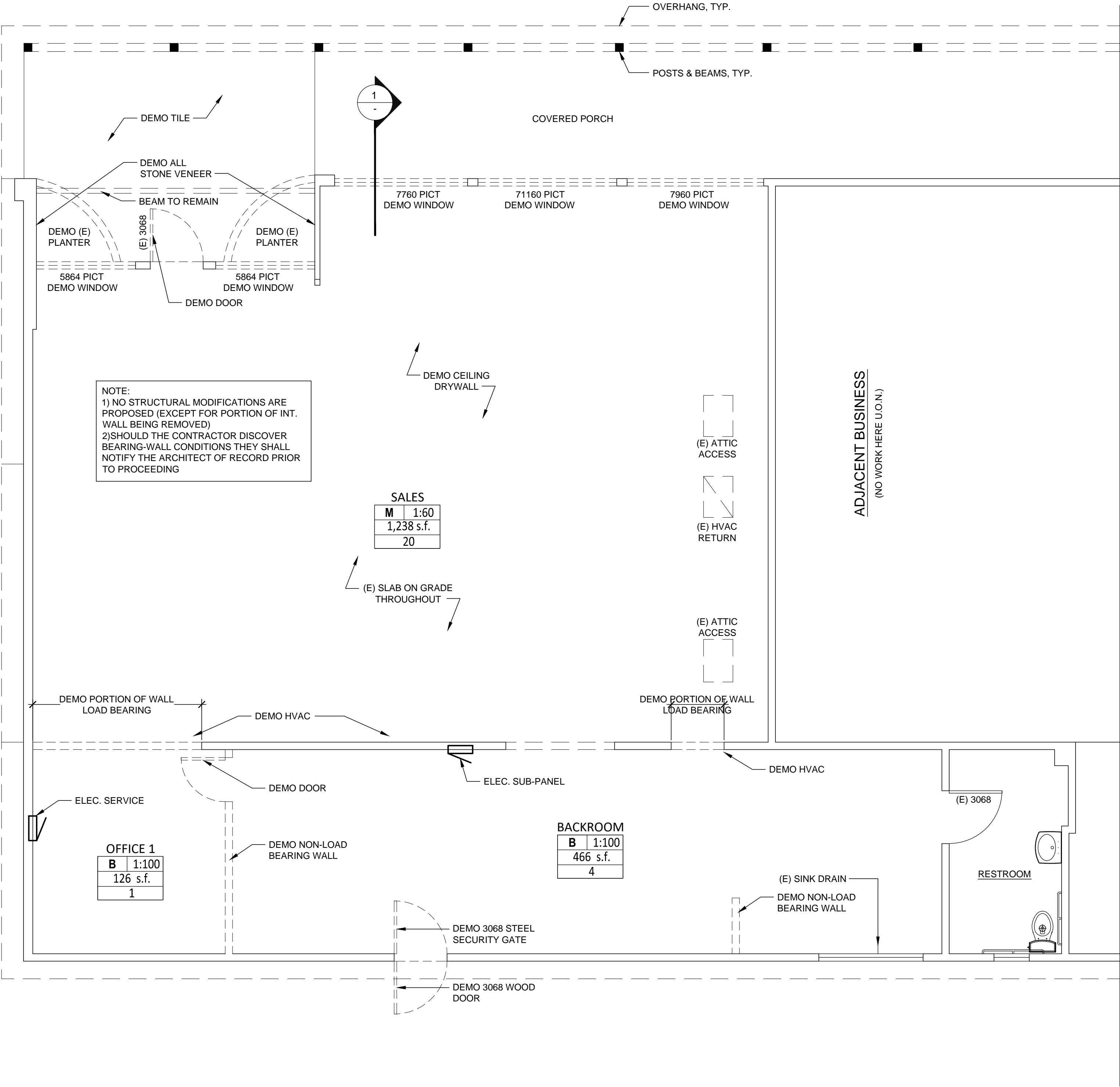
Drawn JFD

SITE PLAN

A-1.0

Revisions:	Rev	Description	Date

Drawn By: SM
Date: 5/12/21
Scale: AS SHOWN



LUNA
DESIGN

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Office 707.935.8545
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Steve C. Moody

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JANE DISPENSARY T.I.
4040 HIGHWAY 12, SANTA ROSA CA 95249
APN: 032-500-040

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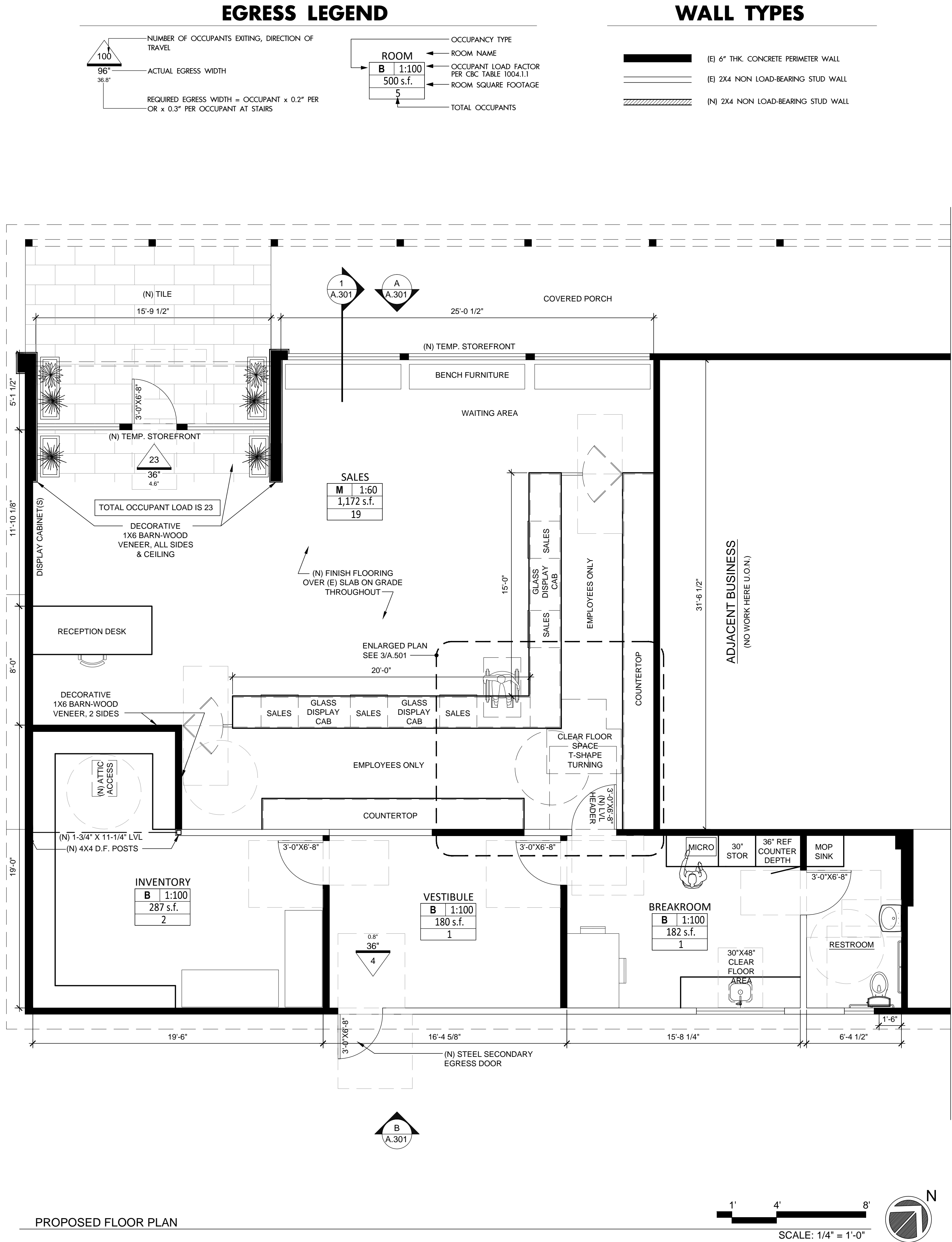
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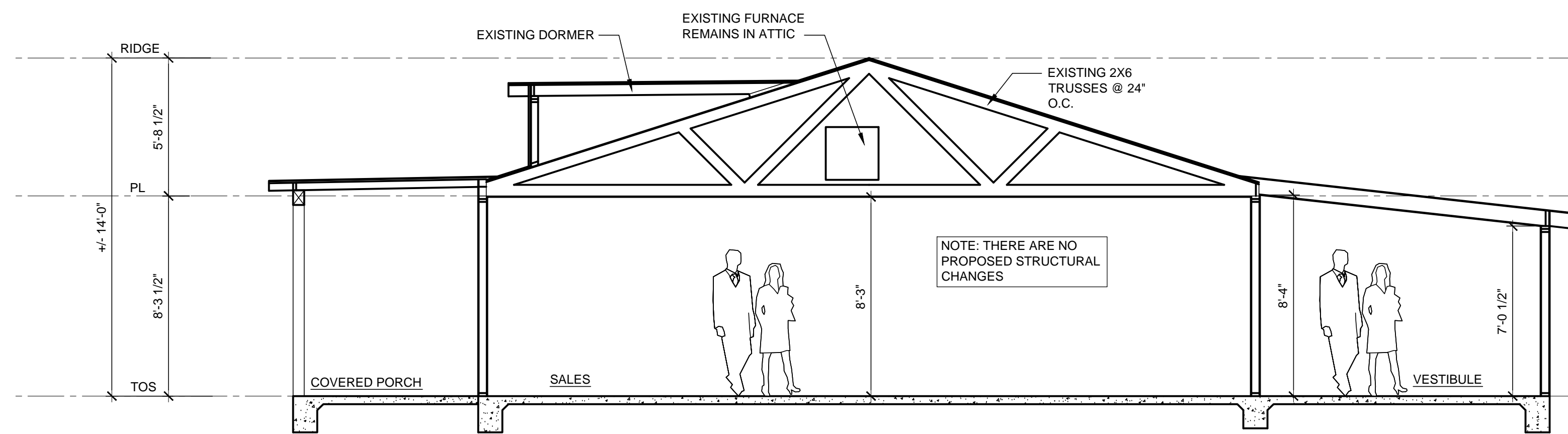
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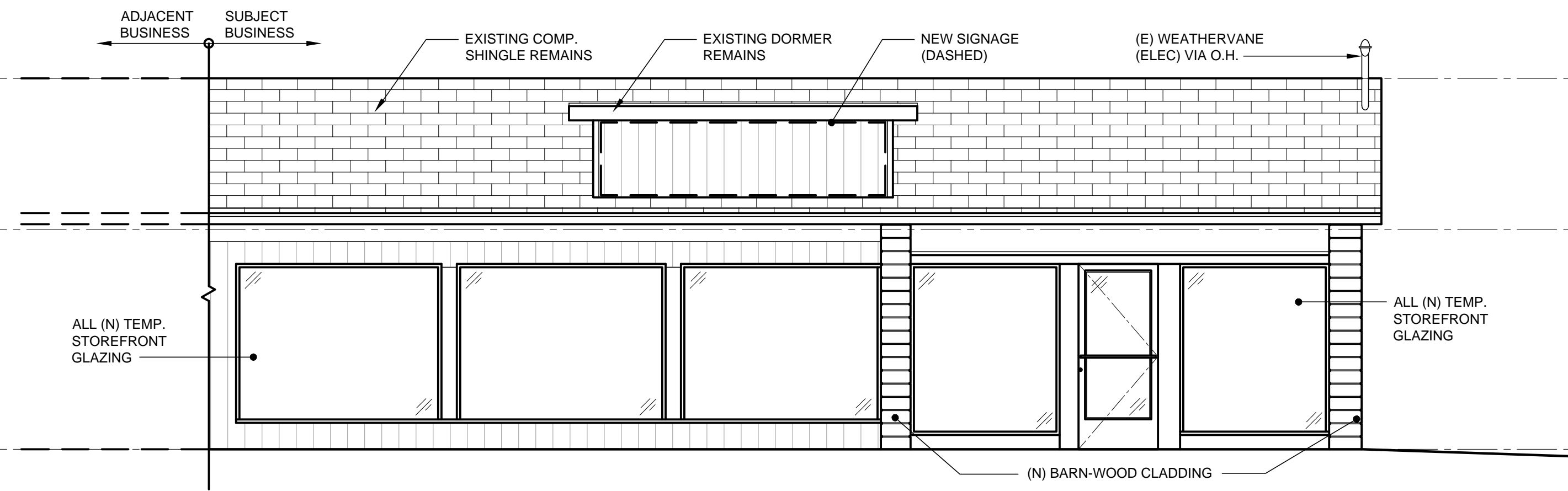
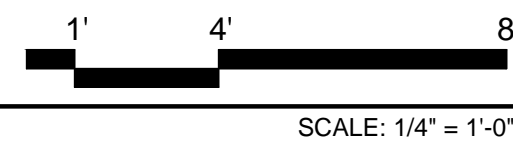
PROPOSED
FLOOR PLAN

A.211

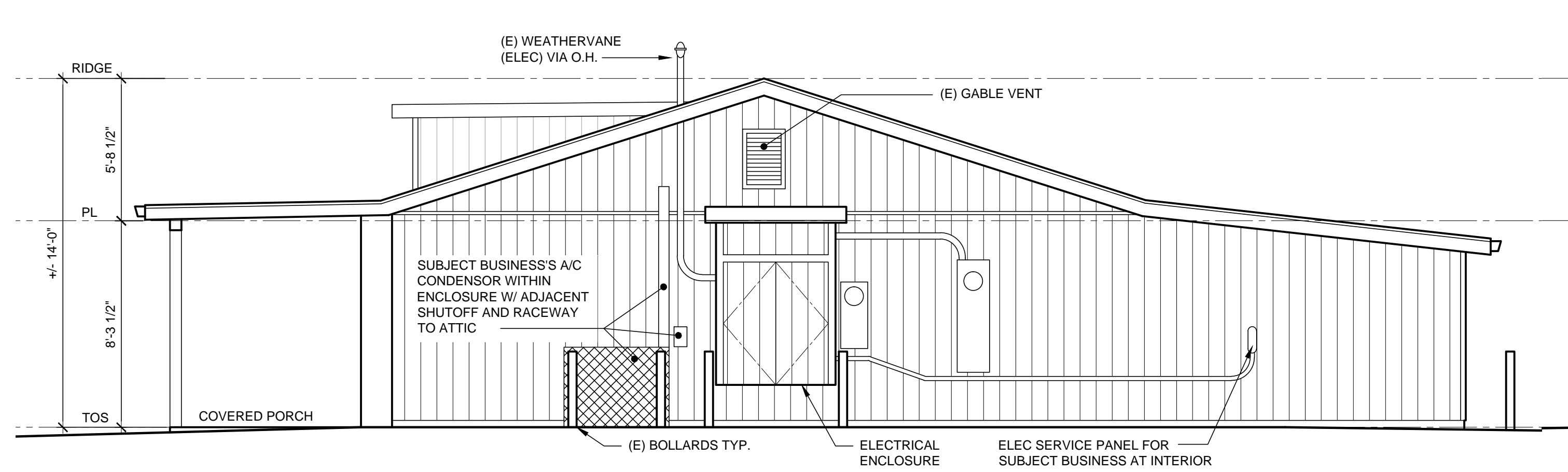
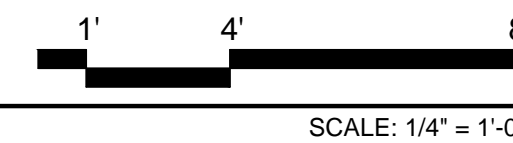




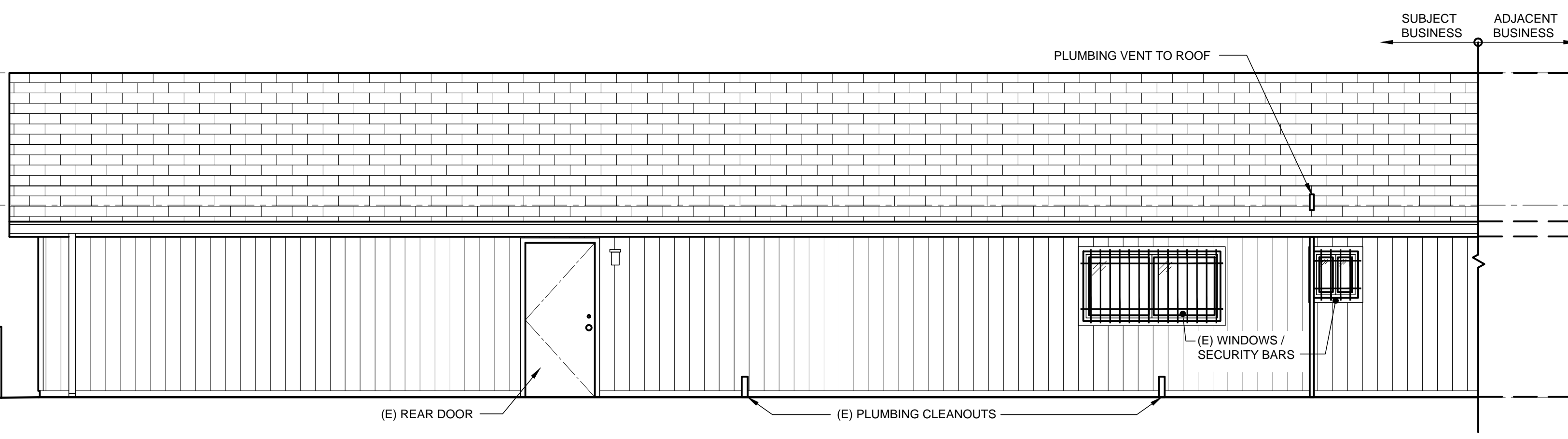
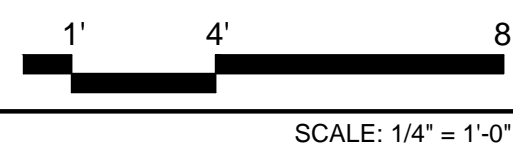
1 - CROSS SECTION



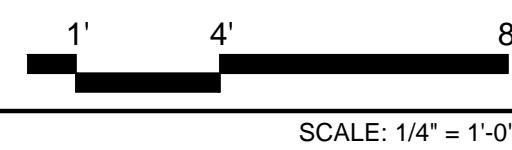
A - FRONT ELEVATION



B - SIDE ELEVATION



C - REAR ELEVATION



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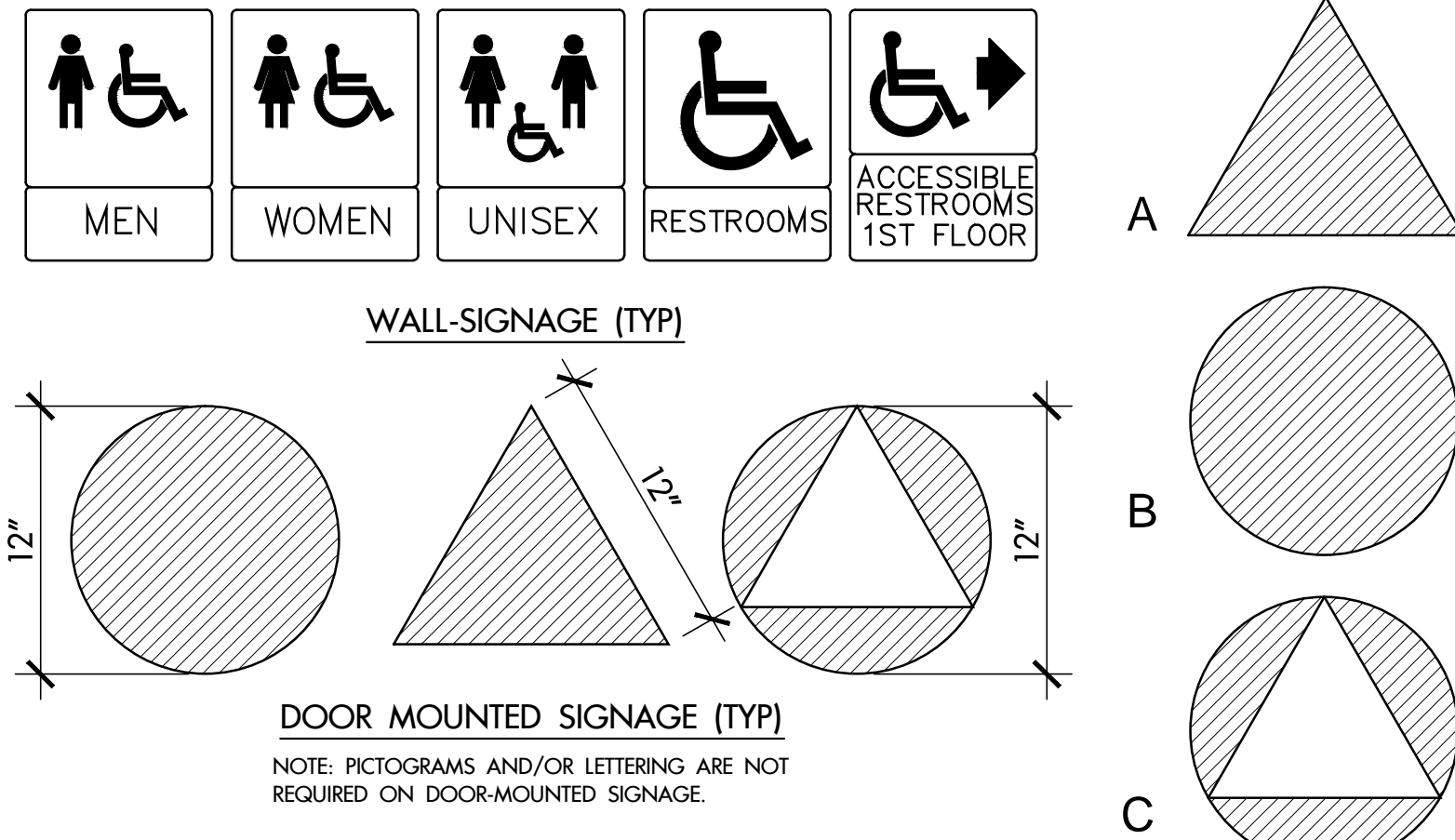
ACCESSIBILITY

A.500

MEN'S TOILET & BATHING FACILITIES
AN EQUILATERAL TRIANGLE, 1/4" THICK, WITH EDGES 12" LONG AND A VERTEX POINTING UPWARD, SHALL BE LOCATED AT ENTRANCES TO MEN'S TOILET AND BATHING FACILITIES. THE TRIANGLE SYMBOL SHALL CONTRAST WITH THE DOOR, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND.

WOMEN'S TOILET & BATHING FACILITIES
A CIRCLE, 1/4" THICK, AND 12" IN DIAMETER, SHALL BE LOCATED AT ENTRANCES TO WOMEN'S TOILET AND BATHING FACILITIES. THE CIRCLE SYMBOL SHALL CONTRAST WITH THE DOOR, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND.

UNISEX TOILET & BATHING FACILITIES
A CIRCLE, 1/4" THICK, AND 12" IN DIAMETER, WITH A 1/4" THICK TRIANGLE WITH A VERTEX POINTING UPWARD, SUPERIMPOSED ON AND GEOMETRICALLY INSCRIBED WITHIN THE CIRCLE AND WITHIN THE 12 INCH DIAMETER SHALL BE PROVIDED AT ENTRANCES TO UNISEX TOILET AND BATHING FACILITIES. THE VERTICES OF THE TRIANGLE SHALL BE LOCATED 1/4" MAX. FROM THE EDGE OF THE CIRCLE. THE TRIANGLE SYMBOL SHALL CONTRAST WITH THE CIRCLE SYMBOL, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND. THE CIRCLE SYMBOL SHALL CONTRAST WITH THE DOOR, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND.



5

ADA RESTROOM SIGNAGE

SCALE: 1 - 1/2" = 1' - 0"

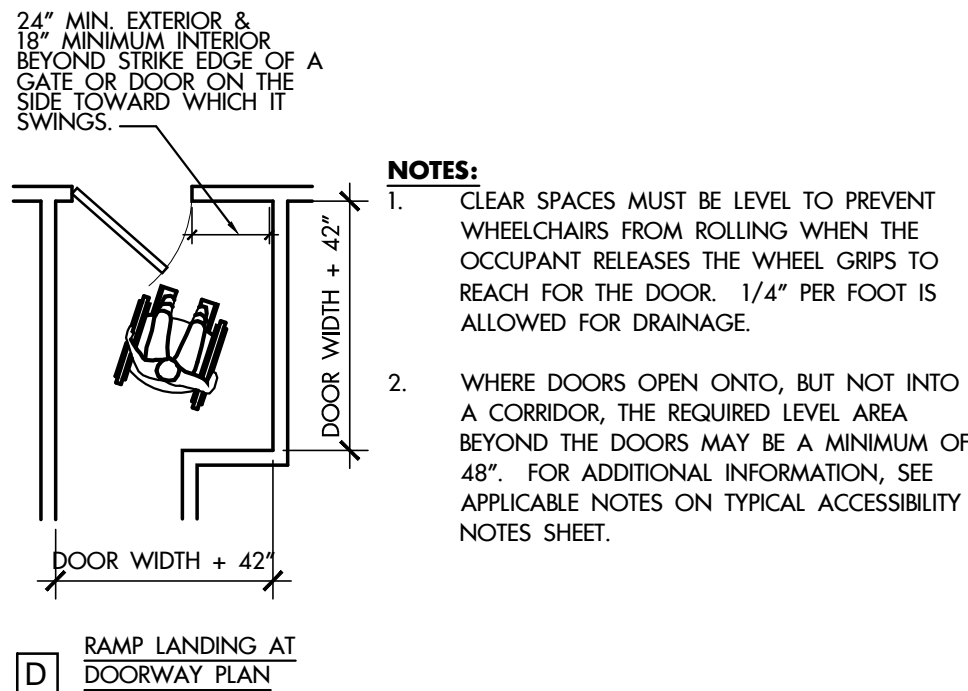
ADA-sign restroom

6

ADA SIGNAGE

SCALE: 1/2" = 1' - 0"

ADA-signage

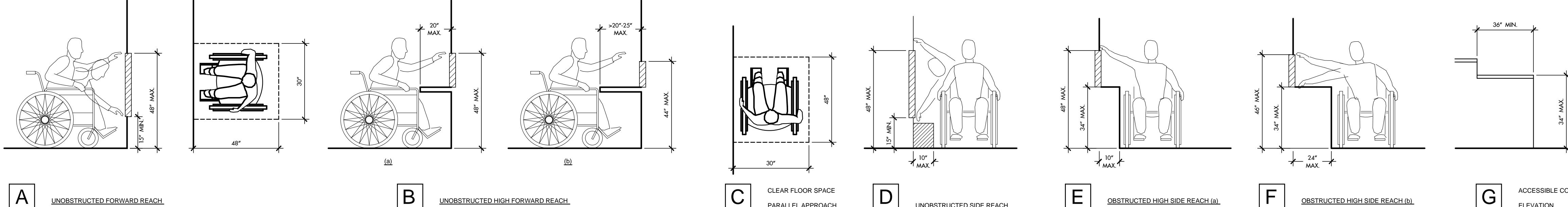


3

REACH REQUIREMENTS

SCALE: 1/2" = 1' - 0"

CAB-counter-01

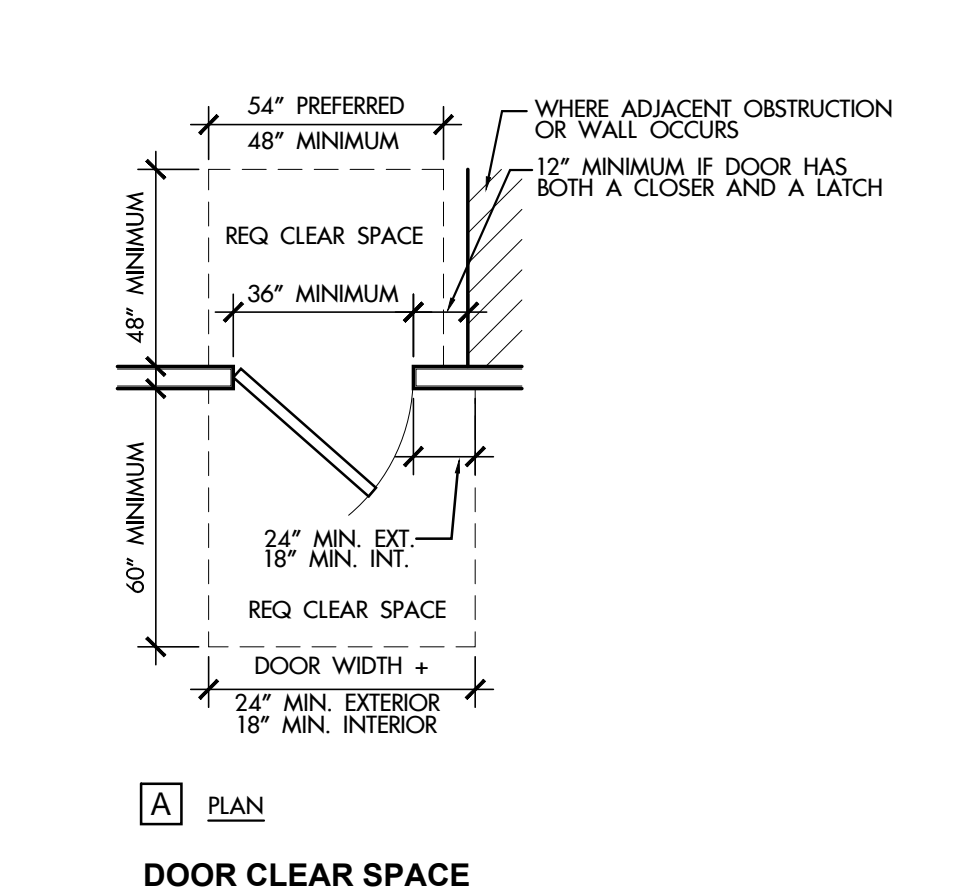
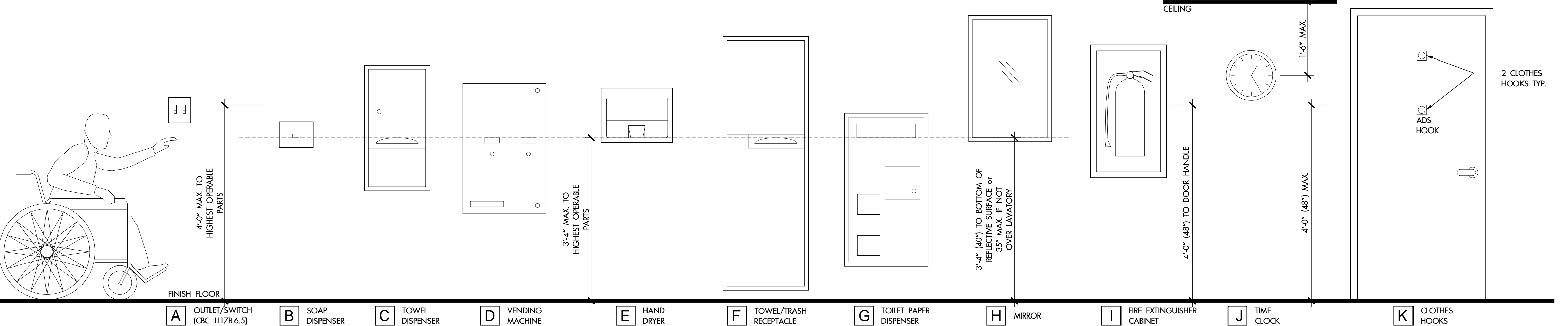


2

MOUNTING HEIGHTS

SCALE: 3/4" = 1' - 0"

ADA-mount hts

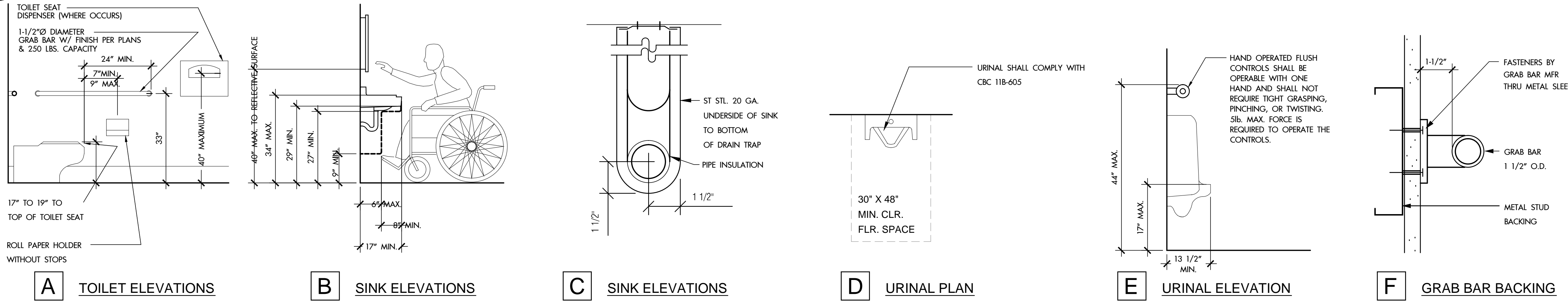


4

DOOR CLEAR SPACE

SCALE: 1/2" = 1' - 0"

ADA-doors clear

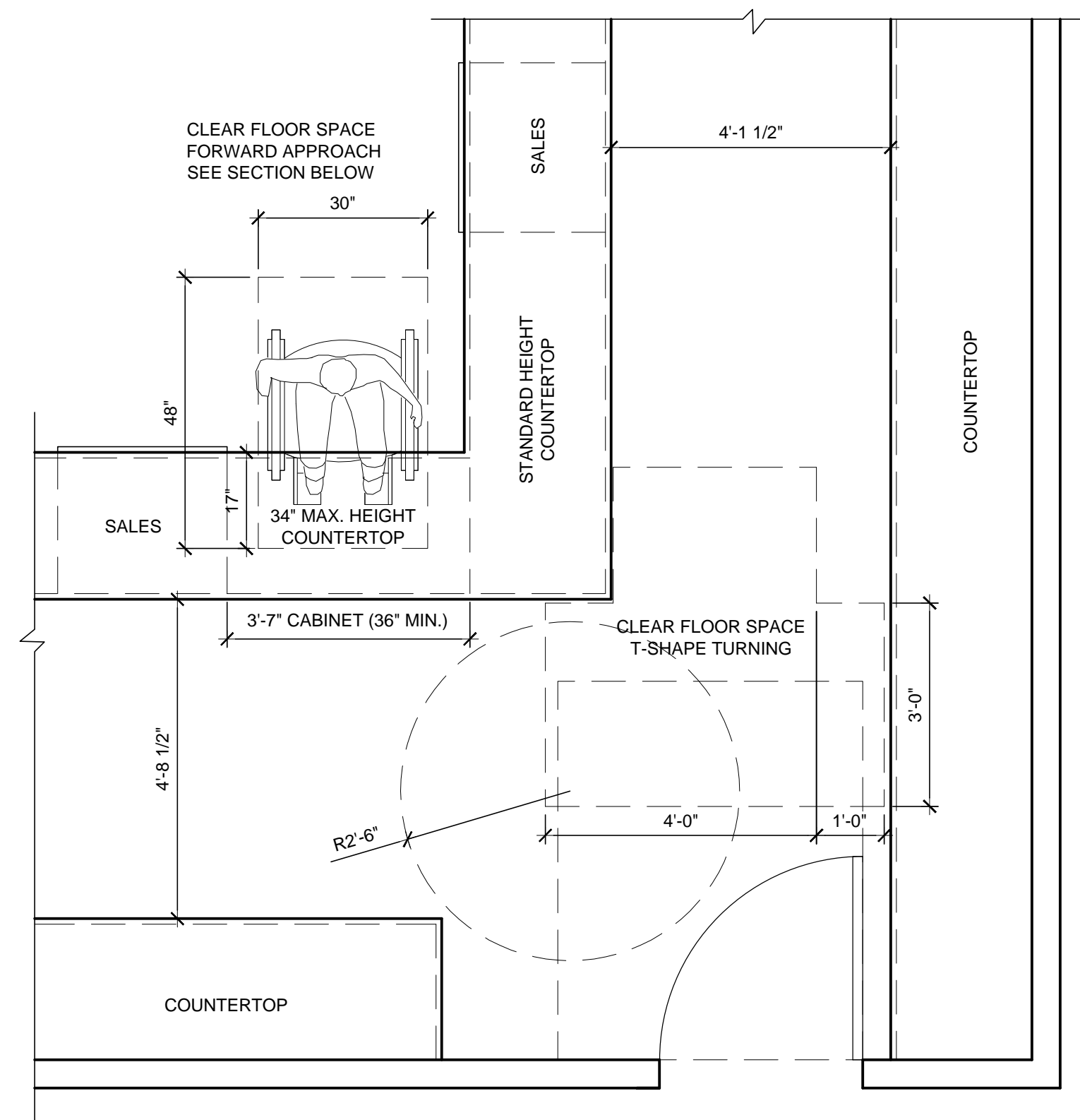


1

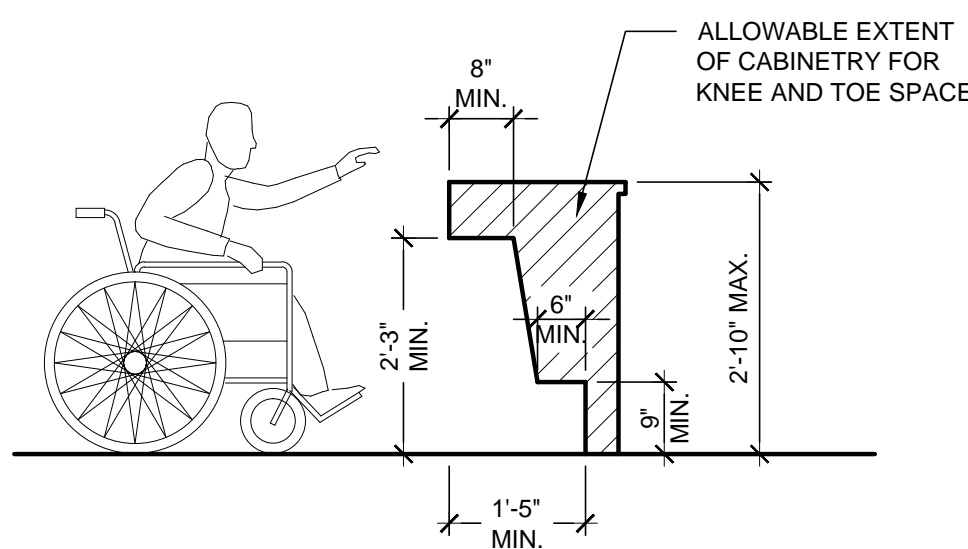
PLUMBING FIXTURE CLEARANCES

SCALE: 1/2" = 1' - 0"

ADA-fixt clr

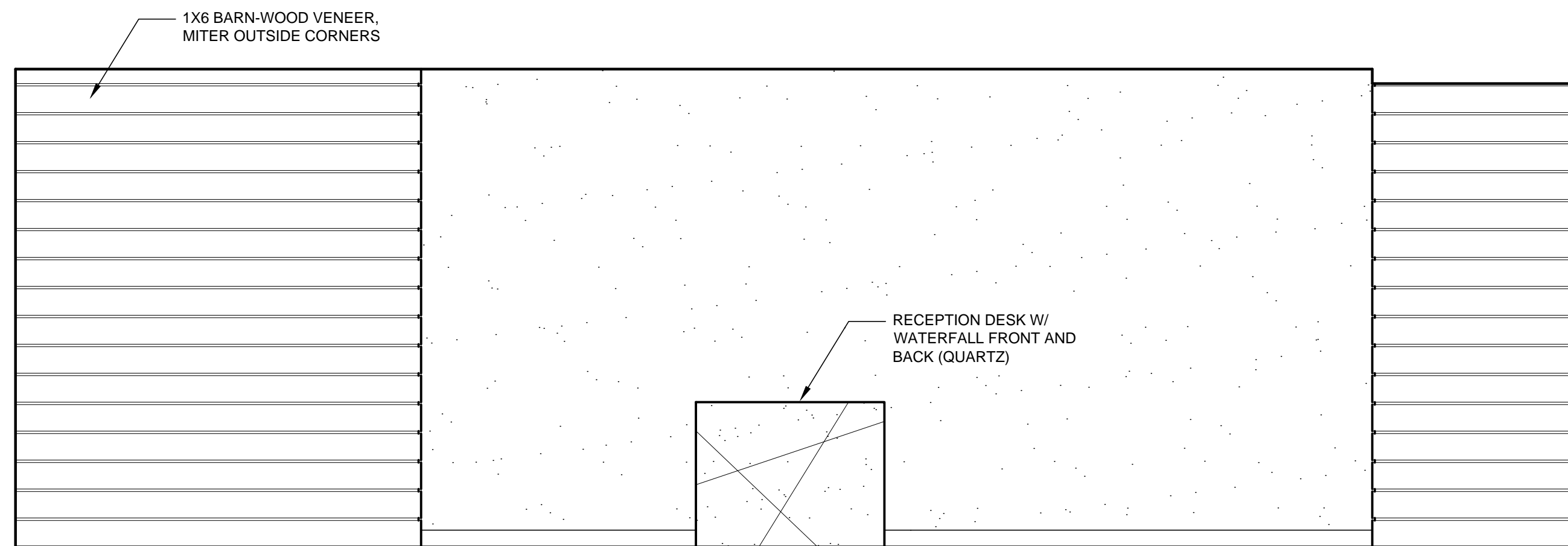


3A - ACCESSIBLE POINT OF SALE SCALE: 1/2" = 1'-0"



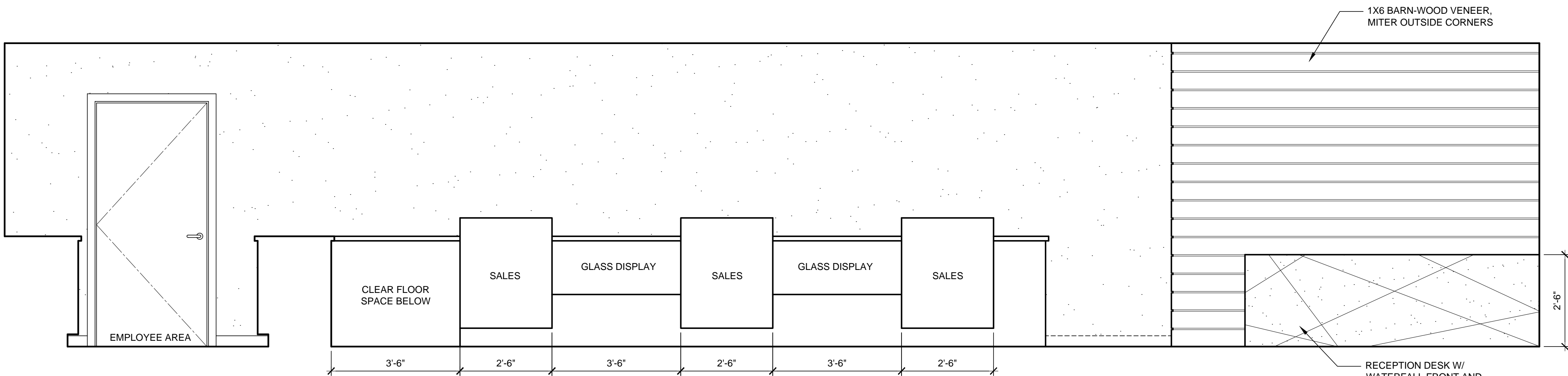
FORWARD APPROACH AT SALES COUNTER

3B - CABINTRY SECTION SCALE: 1/2" = 1'-0"



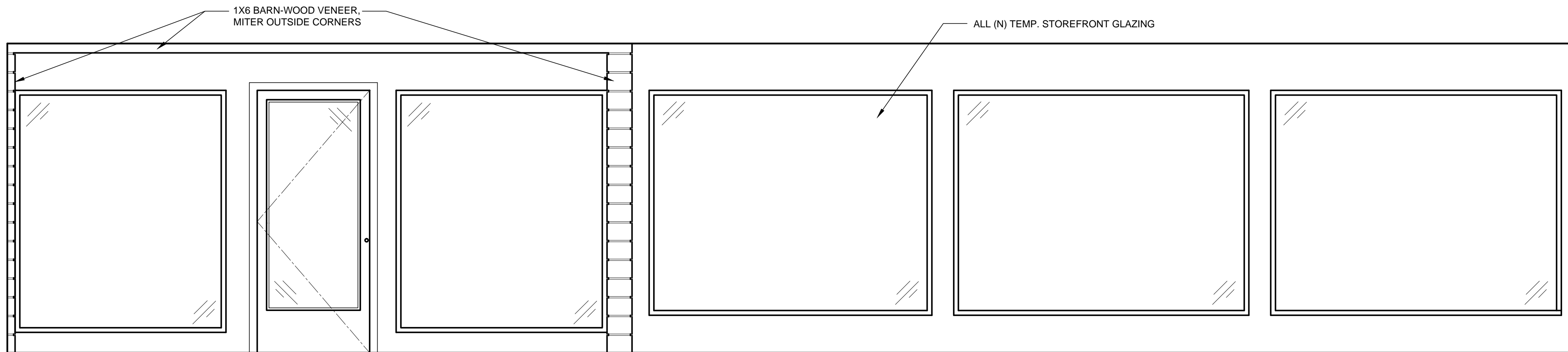
SOUTH SALES

SCALE: 1/2" = 1'-0"



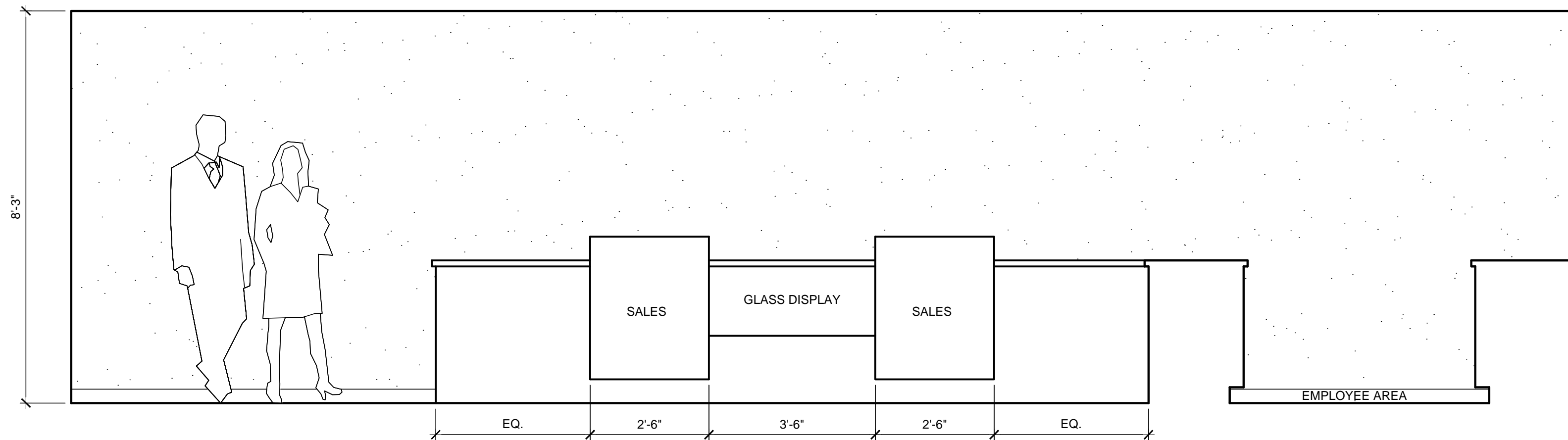
EAST SALES

SCALE: 1/2" = 1'-0"



WEST SALES

SCALE: 1/2" = 1'-0"



NORTH SALES

SCALE: 1/2" = 1'-0"

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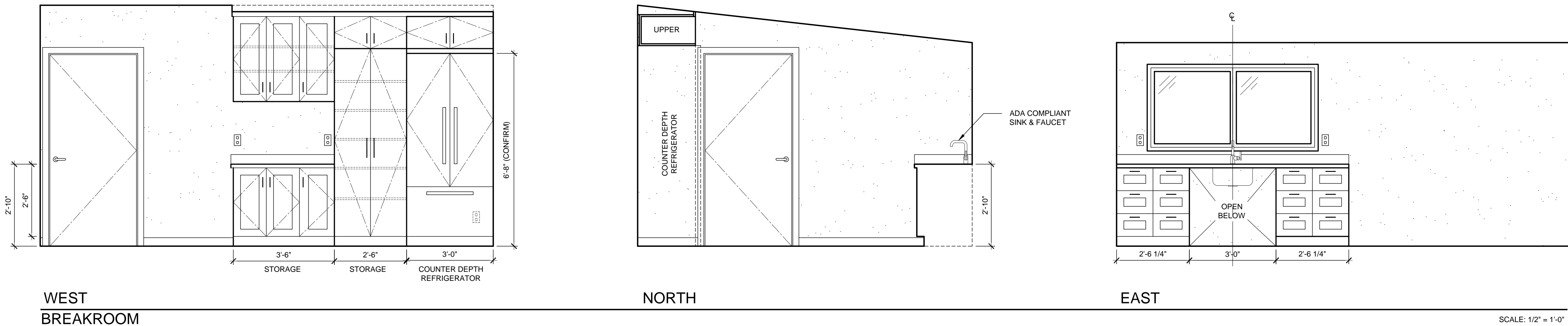
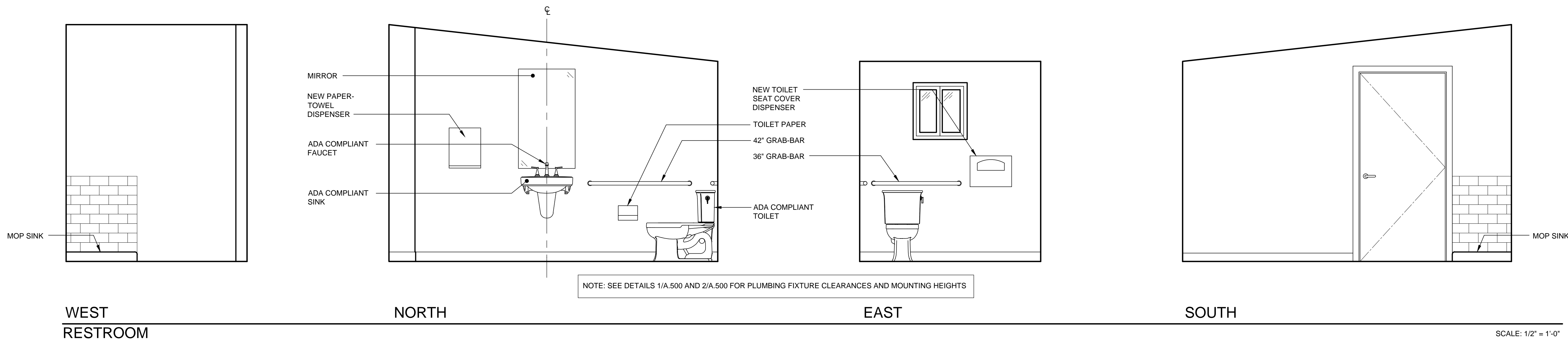
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Date: 5/12/21
Scale: AS SHOWN

INTERIOR
ELEVATIONS

A.501



Revisions:		Rev	Description	Date

Drawn By: SM
Date: 5/12/21
Scale: AS SHOWN



4040 Sonoma Highway
Santa Rosa, CA 95409

SECURITY PLAN

Security Plan

20-46.050 (G) Security

INTRODUCTION

Jane Dispensary is applying for a license to operate a retail cannabis business at 4040 Sonoma Highway, Santa Rosa, CA 95409

Jane Dispensary has designated Leigh Anne Baker, Director of Operations, as the primary security representative/ liaison to the City of Santa Rosa. Leigh Anne will be available to meet with the City Manager and the City's Chief of Police (or their designees) regarding any security-related matters or operational issues.

Leigh Anne Baker
Director of Operations
(707) 204-8938
leighanne@janeandcompany.com

The following source materials were used in the preparation of the Plan:

- City of Santa Rosa Municipal Code §20-46.050 (G)
- California Code of Regulations Title 16 Division 42 §5045
- Best practices and standards according to ASIS International Security Trade Organization, including Facilities Physical Security Measures Guideline GDL FPSM-2009 and Security Management Standard: Physical Asset Protection ANSI/ASIS PAP.1-2012.

To most clearly address certain specific detailed requirements set forth in §20-46.050 (G) and included in the published Application form, we have referenced our responses with applicable page numbers in the table below.

Santa Rosa Municipal Code	Requirement	Page Number
§20-46.050 (G)1	Security Cameras	16-18
§20-46.050 (G)2	Alarm System	18-20
§20-46.050 (G)3	Storage and Waste	10
§20-46.050 (G)4	Transportation	16
§20-46.050 (G)5	Locks	8
§20-46.050 (G)6	Emergency Access	19

OVERVIEW

Jane Dispensary is committed to providing our patrons, staff, and community with a safe and secure operational setting. To support our execution of this commitment, we have developed a comprehensive Security Plan, which includes the following highlighted elements:

- A comprehensive Risk Identification, Mitigation and Response Protocol.
- A state-of-the-art video surveillance system electronically monitored and recorded twenty-four hours a day, seven days a week by contracted security professionals. This system utilizes conspicuously placed video cameras to provide a highly visible deterrent, while protecting the interior and exterior of the facility. The system automatically records all activity to a digital server for future viewing as needed.
- A state-of-the-art integrated security alarm system, incorporating door and window sensors, fixed/remote panic switches, accompanied by 24/7 live monitoring by contracted outside security professionals.
- A state-of-the-art card key system, programed for specific staff member to authorized areas of the facility. The issuance of card keys to each staff person ensures electronic access only to authorized secure areas, while providing digital evidence of the cards use for future review. Deactivation of the card keys is immediate when authorized by facility management.
- An industrial-grade safe, with access allowed only to the General Manager and other designated Managers, will be utilized for product and cash storage. Proposed model is the 1,481 lb. “Commander” model from Cannon Safe Co.
- A General Manager assigned to oversee a staff of internal Security Staff members, including Team Leads, with training specific to the special needs of our Patients, Guests,

and staff. The Security Staff members may be equipped with nonlethal implements and incorporate nonconfrontational, high profile techniques to deter robbery, theft, and disturbances. Each Manager, Team Lead, and Security Staff members will have been certified under the California Guard Card training program, per California Chapters 11.4 of Division 3 of the Business and Professions Code.

- The Security Staff members are trained to support and extend the security expertise of our contracted third-party security company, All Guard, a firm that specializes in cannabis facility security. All Guard is headquartered at 1306 Stealth Street, Livermore, CA 94551. Their phone number is (800) 255-4273.
- Importantly, we have secured debit card processing ability. Thus, we anticipate patient cash transactions to be no more than 20% of total projected activity, limiting the potential risk from maintaining large amounts of cash on-hand.

OVERALL SECURITY RISK MITIGATIONS

The Plan is based on the standard security industry best practices of “Concentric Circles of Protection” and “Checks and Balances Security.”

Concentric Circles of Protection practice requires that there be multiple layers of protection that a perpetrator would need to defeat to reach the protected assets. This gives responders time to react to thwart the attempt and prevent the loss.

Checks and Balances Security requires that no single individual be allowed unrestricted access to assets. This not only prevents insider theft but also avoids situations where that single individual is taken hostage and coerced to provide access to unauthorized person(s).

SPECIFIC RISK IDENTIFICATION, MITIGATIONS, AND RESPONSES.

Risk	Mitigation Strategy	Response
Penetration of the perimeter while the facility is unoccupied	As a matter of protocol, all doors are locked and alarmed; all windows are alarmed with glass break sensors. The interior has "four-step" motion detection, in case of a break in or a hidden intruder manages secretion before closing. Video surveillance will capture all internal and external activity 24/7.	Alarm activation will result in the alarm company notifying CPD. A secondary call to the General Manager and Security Manager will also be made so that a staff member with keys and knowledge of the premises responds immediately to assist CPD and provide assistance with walkthroughs, video accessibility, etc.
Penetration of the perimeter while the facility is occupied	Security personnel provide vigilance and deterrence through high visibility, face-to-face contact with visitors and passersby, and constant communication with fellow staff, both while on patrols or at fixed posts. Security personnel and other authorized staff are equipped with hand-held radios, fixed, remote alarm triggers, and non-lethal devices. A state-of-the-art video surveillance and alarm system is used.	Security personnel and staff will trip fixed and remote alarms to alert CPD via the alarm company. Security personnel will evaluate the threat of the intruder and make contact as appropriate to determine the threat level and segregate the intruder from clients and staff if possible. Staff and security personnel will follow the established protocol for robberies and hostile encounters.
Public disturbance or unrest along the Commercial Corridor	When the facility is closed, all doors are locked and alarmed and all windows are alarmed with glass break sensors. The interior has "four-step" motion detection in case of a break-in. Video surveillance will capture all activity. While open for business, security officers provide vigilance and deterrence through high visibility, face-to-face contact with visitors and passersby, constant communication with colleagues/staff, along with facility patrols. Security Officers and Security staff are equipped with hand-held radios, fixed, remote alarm triggers, and non-lethal weapons. The Security Manager will maintain a liaison with CPD in the event of unrest or a demonstration is imminent.	At the discretion of the manager-on-duty, the building can be closed and secured. In the event the business remains open, Security Officers will be on heightened alert for disturbances that may affect the safety of the patrons/staff and maintain communication with the manager-on-duty. The Security Manager will maintain a liaison with CPD and utilize discretion in closing the business or taking heightened security measures to ensure patron/staff safety. Should an unforeseen disturbance arise, Security Officers will enter the facility, encourage all patrons and staff to remain inside, and set all perimeter alarms. The manager-on-duty will notify CPD and advise them they are secured in the facility. The Security Officers will maintain vigilance of doors and windows and utilize hand-held video recorders as a deterrent to potential vandals.
Unauthorized personnel entering through main entry or rear delivery door	During normal business hours, the Security Officer posted outside the main entrance door maintains ingress control to the facility. During deliveries, two Security Officers are posted in the rear and control ingress to the rear delivery door. Hand-held radios, fixed/remote alarms, and a high visibility security presence are utilized to proactively protect the entries.	In the event an unauthorized person makes entry through the front doors, the Security Officer will intercept and ask the intruder to leave the premises. Should the intruder refuse to leave, the intruder will be told they are trespassing and will be arrested. The Security Officer will consider patron/staff safety when deciding to affect an arrest and may elect to restrict the intruder's movement and call CPD for assistance. Should the Security Officer decide, the facility will be locked down until the incident is under control and no ingress or egress should occur.

Employee theft of inventory or proceeds from storage	Inventory and proceeds will be secured in safes and vaults with limited access by authorized staff. Authorized staff will follow strict protocols for access, removal and return of inventory to storage and proceeds to safes, vaults and registers. Audits will be performed to ensure the accuracy of inventory and proceeds, as per protocols. Security cameras and alarms strategically placed throughout the facility act as a theft deterrent and will be randomly reviewed for employee integrity. A state-of-the-art card key system protects locked areas and identifies which staff member has utilized the card.	Should an employee theft be discovered the Security Manager would conduct an internal investigation to determine the circumstances of the incident, gather all evidence, interview staff and complete a report of the findings. management will review the findings and determine the next course of action, should the evidence indicate an employee has been involved in a theft. Disciplinary action may result in a warning or escalate to termination and notification to law enforcement at the discretion of management.
Tampering of security systems by a staff member	Security cameras and alarm systems are tamper-proof and monitored 24/7. All security systems will be maintained and serviced regularly as per contract with the alarm vendor.	Should employee tampering of the security system be discovered, the security director will conduct an internal investigation to determine the circumstances of the incident, gather all evidence, interview staff and complete a report of the findings. management will review the findings and determine the next course of action, should the evidence indicate an employee was involved in security system tampering. Disciplinary action may result in a warning or escalate to termination and notification to law enforcement at the discretion of management.
Power, phone or network power is cut to facility	The security system is protected against a power failure by a redundant landline phone and cellular transmitter. In case of power loss, the landline transmitter will back-up the cellular signal to ensure uninterrupted coverage. The facility is equipped with a back-up generator, which will start immediately after any disruption of normal power. The generator will be inspected and tested monthly.	Should a power interruption occur, normal business should not be affected due to back-up systems. Security Officers will be vigilant of any suspicious activity that may occur due to an unexpected power loss and report any unusual activity. Should a total failure occur, ingress and egress should be halted and entry-exits be secured by uniformed security. Patrons may be asked to remain until security is confirmed; however, they will be escorted out of the facility upon request.
Generator fails to operate in event of power failure	The generator will be inspected and tested monthly.	protocols for a power failure will be followed.
Attempted takeover at opening, closing or during normal business hours	Security personnel provide vigilance and deterrence through high visibility, face-to-face contact with visitors and passersby, constant communication with colleagues and staff, while on patrols or posts. Security Officers and authorized staff are equipped with hand-held radios, fixed, remote alarm triggers, and non-lethal weapons.	The preservation of life and public safety is paramount; product and proceeds are secondary. Should security be breached and subjects execute a "take-over" style robbery, all security personnel and staff will react in a manner that does not escalate the threat or injury to staff or clients. Staff will follow protocols for armed robberies, which place life and safety over product and proceeds.
Cash transfer interruption	80% of patients' payments will be conducted via debit or credit card.	follow internal cash handling protocols that address remaining cash and deposit to a nearby bank branch, via a secured cash pick-up service, as needed.

SECURITY CULTURE

Jane Dispensary's management team understands the importance of creating an organization-wide security culture to assist in the overall success of the Security Plan and will continually reinforce the importance of security to all employees. Team Leads and managers will follow all security policies and procedures to set an example and promote a security-aware, compliance-focused operating culture.

In a broad sense, every employee of Jane Dispensary should be considered a part of our security effort. Through our ongoing security awareness initiative, employees will be taught to understand the relationship between security and the organization's success, learn their obligations under the security program, understand how various security measures support security program objectives, and become familiar with available resources to help with security concerns.

GENERAL SECURITY POLICIES FOR THE FACILITY

Jane Dispensary will implement a detailed Operations and Security Policy & Procedure Manual and all employees will be required to sign acknowledging receipt and understanding of this manual.

The manual will detail general policies to be followed by all employees but will also have specific procedures to be followed for each role at the business. New employees will receive extensive training on the measures contained within, and continuing employees will receive periodic training to reinforce existing policies and to support the implementation of any changes and improvements.

DESIGNATED RESPONSIBLE PARTY

Jane Dispensary will designate Leigh Anne Baker, Director of Operations, as the Security Responsible Party for the site. She will ultimately have the responsibility of overseeing security systems, policies, procedures, and other security personnel assigned to the site on all shifts. Leigh Anne will understand the compliance requirements regarding cannabis security activities as well as be knowledgeable in the issues that could arise, including the legal aspects of staff selection and screening, authority to detain or arrest, and use of force as it applies to Jane Dispensary enterprise.

Leigh Anne Baker
Director of Operations
(707) 204-8938

leighanne@janeandcompany.com

The designee's responsibilities may include, but are not limited to the following:

- Physical security of the organization's assets.
- Development and enforcement of security policy and procedures.
- Security Officer recruitment and selection.
- Candidate pre-employment screening.
- Crisis management.
- Investigation of security incidents.
- Employee security awareness.
- Law enforcement and governmental liaison.
- Information protection.
- Workplace violence prevention.
- Termination support for Jane Dispensary HR/management.
- Security Officer employment and supervision.
- Security systems management; and
- Conduct monthly security audits of the site.

Jane Dispensary will always have a manager on the premises during hours of operation. In addition, Jane Dispensary will provide the City Manager and Chief of Police with the name, telephone number (land line and/or mobile, if available) of an on-site manager or owner to whom emergency notice may be provided at any hour of the day. In addition, Jane Dispensary will designate a neighborhood liaison and prominently post a phone number and email address for the premises to address and receive complaints from neighboring residents and businesses.

SALE/CONSUMPTION PROHIBITIONS

Importantly, the consumption of cannabis or the sale or consumption of alcohol on the business premises is strictly prohibited. Employees and agents of Jane Dispensary are prohibited from soliciting or accepting any cannabis or alcohol products from any customer or vendor while on the business premises. All employees, at the time of their hiring, are required to sign a Drug Policy form indicating that they have read and understood the terms and conditions that drug usage on site, is strictly prohibited and grounds for termination.

TRANSACTIONAL SECURITY

Jane Dispensary will minimize the number of cash transactions that take place on site by conducting those exchanges at other locations such as banks and private safe deposit vaults and through licensed couriers. The amount of cash kept on hand will also be kept to a minimum to

reduce the risk of theft or robbery. Any cash that is kept on site will be stored in a vault and in a manner that reduces risk of robbery or the risk to employee safety and will only be removed by armored vehicle to prevent the risk of assault during loading.

Any transactions that do take place will be recorded using Track and Trace POS systems and will be done in full view of camera systems.

CONFIDENTIAL INFORMATION SECURITY

Jane Dispensary prioritizes the safekeeping of confidential information. Confidential information will be handled and stored with a high degree of caution and security. Jane Dispensary staff will be trained to adhere to the following procedures:

- All digital and paper files are to be always secured. This may include user passwords and encryption on computers and locks or other access control for paper files.
- All documents that to be discarded or recycled are shredded.

PROCEDURE FOR ALLOWING ENTRY

Together with uniformed third-party Security Officers, Jane Dispensary will employ a multilayer approach to controlling entry access to the facility. First, all individuals seeking entry will be greeted by a Security Officer, receive a visual review, and if not seen as representing potential disturbance or are visibly underaged will be allowed to proceed through the main entrance. Those who have entered will then present themselves to the Security Staff Member at the Security Staff Reception Desk for further visual examination of their fitness, of ID documents via VeriScan, and verification of their existing Patient/Guest record in the LeafLogix POS database. Weapons and firearms are strictly prohibited on the property. New Patients and Guests will be directed first to the Member Reception Desk for membership sign-up and acceptance of House Rules. Existing Patients and Guests will proceed directly to the Waiting Area for the next available Cannabis Consultant; new Patients and Guests will do the same following membership sign-up.

BEST PRACTICES TO MINIMIZE RISK OF SELLING CANNABIS PRODUCTS TO UNDERAGE INDIVIDUALS

Jane Dispensary is committed to dispensing cannabis products only to qualified Patients and adult-use Guests who are 21 years and older. The presentation of a valid ID is required to enter our retail facility and purchase cannabis products. Our multilevel approach involving rigorous visual screening, use of VeriScan age-verification software, and confirming active membership status in our database of every individual who seeks to make a purchase.

PRODUCT RECEIVING SECURITY PROTOCOL

All cannabis products delivered to the premises will be ordered from a California licensed vendor and arrive in a secured sallyport system.

- Before registering as a vendor with Jane Dispensary, an organization must make an appointment with the Inventory Manager to provide all necessary forms and documents demonstrating that their operation follows State and local laws and regulations.
- Upon registration, the vendor's identifying information is entered into a secure database, and the vendor is given a special phone number and email address with which to make vending appointments.
- Vending appointments must be requested and confirmed via email 24 hours in advance.
- Upon arriving at the site preferably ten minutes prior to their appointment, the vendor (or registered representative) will park in one of two designated parking spots.
- Vendor checks in with the Security Staff member at the building exterior.
- Using his Daily Vendor Appointment Schedule, the Security Staff member checks the vendor ID, verifies that the vendor has an appointment, and notifies the Inventory Manager to confirm readiness to receive product.
- If the vendor does not have an appointment, he/she will be asked to leave.
- If the vendor is early, or if the Product Manager is not ready, the vendor will be asked to wait in their vehicle.
- When ready, one of the two Security Staff members and the Product Manager will greet the vendor, and provide escort to the Vendor Reception Area.
- In the Vendor Reception Area, the Product Manager will examine the vendor's product.
- Jane Dispensary management will verify product versus the state manifest Track and Trace System.
- The Product Manager will recount the funds and issue the vendor a receipt.
- Once the transaction is complete, the vendor is escorted to the front of the building. Upon exit, the Security staff member will escort the vendor to the vendor's vehicle and monitor departure from the designated parking spot.
- If the product does not meet Jane Dispensary standards, Jane Dispensary will return it to the vendor without payment and escort the vendor to their vehicle in the same manner as above.

Storage of Inventory and Cannabis Waste

All inventory stored on the licensed premises shall be secured in a limited-access area. Cannabis goods cannot be stored outside. Employee break rooms, changing facilities, and bathrooms shall be separated from all storage areas.

Licensees shall not dispose of cannabis goods, unless disposed of as cannabis waste. Cannabis goods intended for disposal shall remain on the licensed premises until rendered into cannabis waste. The licensee shall ensure that:

Access to the cannabis goods is restricted to the licensee, its employees, or agents; and
Storage of the cannabis goods allocated for disposal is separate and distinct from other cannabis goods.

To be rendered as cannabis waste for proper disposal, including disposal as defined under Public Resources Code section 40192, cannabis goods shall first be destroyed on the licensed premises. This includes, at a minimum, removing or separating the cannabis goods from any packaging or container and rendering it unrecognizable and unusable. Nothing in this subsection shall be construed to require vape cartridges to be emptied of cannabis oil prior to disposal, provided that the vape cartridge itself is unusable at the time of disposal.

Cannabis waste on the licensed premises shall be secured in a receptacle or area that is restricted to the licensee, its employees, or an authorized waste hauler. A licensee shall report all cannabis waste activities, up to and including disposal, into the track and trace system. We will contract with Gaiaca Waste Revitalization for any cannabis disposal needs.

SECURITY OFFICER POLICIES AND PROCEDURES

All Security Officers assigned by our third-party security contractor, All Guard, to security detail at our site will be able to show proof of current state guard card (or PC 832 card if applicable); and current first aid/CPR certification. All Security Officers hired shall be subject to prior review and approval of the Chief of Police or his or her designee. This requirement may include Department of Justice clearance of individuals.

Security Officers will staff the site 30 minutes prior to the start of operations in the morning to prepare the business for opening and to ensure that doors and any other are unlocked. Officers will also stay 30 minutes after close of operations to ensure that all loose product is secured, doors and gates are locked, alarms are activated, and employees are safely escorted to their vehicles.

Daily security logs will be completed by security personnel and will include employee name, ID number, date and time, and all areas patrolled/monitored daily as well as incidents or events that need to be documented.

All issues pertaining to the health and or safety of the facility and/or the public or acts that are or may be considered criminal in nature are mandatorily ordered to be reported to site management, Santa Rosa Police Department, and/or fire department.

SECURITY OFFICER DUTIES AND RESPONSIBILITIES

All Security Officers will be directly supervised by the General Manager.

Security Officers will carry out various responsibilities including, but not limited to:

- Controlling access to the facility at all access points.
- Monitoring security and life safety equipment.
- Conducting patrols inside of the premises and along the perimeter.
- Monitoring employee conduct on the premises and within the parking areas under Jane Dispensary's control to assure behavior does not adversely affect or detract from the quality of life for adjoining property owners and businesses. All concerns or issues will be brought to Jane Dispensary management in a timely manner.
- Actively discouraging illegal, criminal, or nuisance activity on the premises and any parking areas which have been made available or are commonly utilized for employee parking.
- Ensuring that no loitering is permitted on or around the premises or the area under control of Jane Dispensary.
- Ensuring no consumption of cannabis products occurs on business premises, the parking lot, and the public areas directly adjacent to the business premises.
- Ensuring the property and all associated parking, including the adjacent area under the control of Jane Dispensary and any sidewalk or alley, is maintained in an attractive condition, and kept free of obstruction, trash, litter, and debris always.
- Responding to security incidents.
- Documenting incidents.
- Ensuring that sales of cannabis do not occur on or near the premises.
- Escorting visitors.
- Assisting with parking issues.
- Inspecting packages and vehicles.
- Utilizing various security measures (doors, locks, alarms, video surveillance cameras, lighting, etc.); and
- Notifying Santa Rosa Police Department in case of an emergency or incident.

As addressed by the above measures, loitering, congregating, or other nuisance behavior will not be permitted.

TRACK AND TRACE/INVENTORY/RECORD KEEPING

A Track and Trace system and/or other platforms as approved by the Chief of Police and the State of California will be implemented and strictly followed to maintain records of all cannabis product movement and make those records available for audit.

At the end of each day product that is vulnerable to diversion or theft will be stored securely. All products will be placed in a secure room that is locked and designated as a high security, restricted access area. Security officers will not have access to this room when operations personnel are not on site as a checks and balances measure.

Jane Dispensary will always meet all Track and Trace System requirements of the State of California.

Jane Dispensary Inventory Tracking and record keeping system will ensure that:

- Jane Dispensary will register/record any incoming cannabis material, which includes entering the ID numbers into the tracking system software.
- Jane Dispensary will record each cannabis sale or transfer transaction.
- All products will be tracked via standard inventory control protocols through the tracking system software from receipt to shipment and in accordance with requirements set forth by the City of Santa Rosa.
- Any cannabis product that is considered waste during the process will be recorded and entered in the tracking software along with a daily disposition of how these were disposed of, if any. The process of destroying cannabis waste: Rendered unusable by grinding and combining with other materials as required by regulations. Picked up by an authorized Hemp/Marijuana recycler, or as allowed by statute.

A daily audit will be conducted at the end of each shift by Jane Dispensary operations personnel, to include:

- Total amount of product on site.
- Total product received.
- Total product sold; and
- Missing product (if any).

Security Officers will not have access to the secure storage rooms without operations personnel present as a checks and balances measure.

REPORTING RESPONSIBILITY

Jane Dispensary will notify the Santa Rosa Police Department upon discovery of any of the following situations:

- The discovery of a significant discrepancy in its inventory.
- Confirmed or suspected diversion, theft, loss, or any other criminal activity pertaining to the operation of the business.

- Confirmed or suspected diversion, theft, loss, or any other criminal activity by an agent or employee pertaining to the operation of the business.
- Confirmed or suspected loss or unauthorized alteration of records related to cannabis goods, registered medical cannabis patients or primary caregivers, employees, or agents; or
- Any other suspected breach of security.

FACILITY SECURITY

The main entrance will be the primary access/egress to the building. Individuals wishing to enter the building will approach the main entrance to be identified by surveillance camera and/or access control device and be allowed to enter. The main entrance will be monitored during business hours by an unarmed, uniformed Security Officer posted outside the main entrance, and a Security Staff member posted at the Administrator's desk. All other doors will be secured and alarmed, and only opened from the inside in the event of an emergency.

SECURITY LIGHTING/ILLUMINATION OF EXTERIOR AREAS

Jane Dispensary site's outdoor security lighting will be designed to augment other security measures such as physical barriers, intrusion detection systems, video surveillance, and security personnel activities.

The security lighting system will provide advantages such as:

- Staff peace of mind when using the site after dark.
- Possible deterrence of adversaries and suspicious activities.
- Improved surveillance and security response.
- Reduced liability.
- Witness potential.
- Enhanced observation; and
- Allow officers to respond visually to alarms at night.

Outdoor security lighting will be an important part of the Jane Dispensary outdoor security intrusion detection system. The following elements will be incorporated into the security lighting system design:

- The camera fields of view will be illuminated with an Infrared (IR) or white-lighting system which will significantly improve the performance of the camera and allow the officer who is monitoring the IP cameras to respond visually when suspicious activity is detected.

- All exterior portions of the premises will be adequately illuminated in the evening as to make discernible the faces and clothing of persons utilizing the space.
- The front pedestrian walkways will be well lit to allow security officers to view anyone approaching during low light conditions.
- The parking area will be well lit to provide lighting for employees or who are coming or going at night.
- Some lighting may be controlled by motion sensors to: Save energy, Deter intruders, Alert Security Officers
- Lighting will be designed so as not to create a nuisance for neighbors after dark. To this end, outdoor lighting will be shielded and directed onto the site, such that the light source cannot be seen by persons on adjacent properties or from the public right-of-way.
- Lighting fixtures will be used that are aesthetically pleasing and will not create a hazard for drivers on nearby streets.
- Security personnel will conduct regular inspections of all outdoor security lighting equipment and either replace immediately or notify maintenance. In that process, they will do the following:
 - Ensure proper lamp functionality.
 - Ensure that lamps are kept clean and maintain their proper lighting angle.
 - Ensure that the lighting intensity continues to meet security requirements.
 - Ensure that batteries are charged for emergency lighting in compliance with regulations.

Outdoor lighting and controls will be designed to comply with the California Building Energy Efficiency Standards with astronomical time clocks and motion sensors.

SIGNAGE

“No Loitering, Public Drinking, or Public Smoking/ Consumption of Cannabis” signs will be posted in and outside of Jane Dispensary premises.

GRAFFITI

All graffiti on the site will be removed or painted over to match the color of the surface to which it is applied within 24 hours of its occurrence.

ACCESS CONTROL

A comprehensive access control program is an important part of a secure commercial cannabis operation. The term access control refers to the practice of restricting entrance to a property, a building, or a room to authorized persons. Physical access control barriers refer to the use of

walls, doors, locks, bars, etc., to secure an area. Electronic access control is performed by technological means using a network that stores authorizations and mechanical means by controlling an electric strike, or door lock. The system decides whether to allow access to a particular person based on authorization permissions previously granted and entered in the system by an administrator. Access to Jane Dispensary, site, entry and exit to all limited access areas will have electronic access control requiring identity verification that records the movements of employees. Jane Dispensary will ensure that the limited-access areas can be securely locked using commercial grade, nonresidential door locks in accordance with this security plan. Jane Dispensary will also use commercial-grade, nonresidential locks on all points of entry and exit to the premises.

In addition, the following measures will be put into place:

- The spaces on Jane Dispensary site will be separated into zones and classified according to security levels based on risk;
- Facility security systems will limit access to areas where product and/or cash is stored or handled;
- No single individual will be allowed unrestricted access to assets.
- Employees will be issued electronic access cards and these electronic badges will be needed to gain access to restricted areas.
- Electronic log shall be maintained with all exit/entry movements of employees; and
- Security system will restrict access to afterhours entry in vital areas of facility.

LIMITED ACCESS KEY CARDS

Access to different areas on the site will be compartmentalized and employee access credentials will be determined according to “need for access.” Not all employees will be allowed into restricted access areas, including security personnel.

It is important that access credentials be updated by managers on a constant basis to:

- Prevent current employees from entering areas they are no longer allowed to access.
- Update employee access according to changing schedules and roles; and
- Prevent former employees from having access to the site.

Key cards will only be issued to authorized persons and a strict inventory will be maintained of such cards.

- Tailgating or piggybacking is prohibited, each employee must swipe their own card.
- Sharing of access cards will be prohibited.
- Lost cards will require the filing of a security incident report and/or police report.

All doors leading into high security areas will have electronic access control and emergency egress capabilities, and an alarm will always sound when the door is opened without the use of a keycard or biometric identification.

IDENTIFICATION BADGES

All employees or other persons acting for Jane Dispensary will clearly display a laminated badge, issued by Jane Dispensary at time of hire, always while engaging in retail cannabis activity and while on-site.

- Employees must challenge others who are not displaying a badge.
- Lost badges will require the filing of a security incident report and/or police report; and
- Credential tampering will not be tolerated.

ID badges will be stored in a secured cabinet and arranged alphabetically by last name. Cards must be returned to the cabinet at the end of each employee's shift.

Employees will be informed at time of badge issuance, during on-boarding, and through signage posted above the secured cabinet that unauthorized removal of badges from the cabinet or premises is an offense that can lead to termination.

EVENT LOGGING

Jane Dispensary access control system will have event logging capabilities that record successful entries as well as unsuccessful attempts to access an area. This is important in the event a person is attempting to gain access to an area they should not have access to. All entry/exit events will be logged and retained in the system for more than 90 days.

POWER OUTAGE PREPAREDNESS

Jane Dispensary's security measures will have the capability to remain fully operational in the event of a power outage.

SURVEILLANCE CAMERA AND VIDEO SYSTEM

Jane Dispensary's digital security camera and monitoring system will be an important part of maintaining security at the site as well as compliance with the City of Santa Rosa's security requirements. The installation of security technology will be done by a licensed California company according to best practices and standards. Both systems will have a failure notification

system. The General Manager will maintain a list of authorized employees who have access to the system.

Jane Dispensary will install and maintain a fully operational digital video surveillance and camera recording system. At minimum, the digital video surveillance system will support a camera resolution of 1280 x 720 pixel and will record at a minimum of 15 frames per second. The surveillance-system storage device or the cameras will be transmission control protocol/TCP/capable of being accessed through the internet. All areas recorded by the video surveillance system will always have adequate lighting to allow the surveillance cameras to effectively record images. Cameras must be immobile and in a permanent location. Cameras will be placed in a location that allows the camera to clearly record activity occurring within 20 feet of all points of entry and exit on the business premises and allows for the clear and certain identification of any person and activities in all areas required to be filmed.

The IP-based camera system will have the following features:

- All cameras will be day/night cameras for maximum definition, resolution, and recording in any light conditions and will have memory and power backup capabilities.
- Be of adequate quality, color rendition, and resolution to allow the ready identification of any individual committing a crime anywhere on or adjacent to the exterior of the property.
- There will be 24-hour surveillance camera coverage, even inside the building.
- A minimum of 90 consecutive days of archival footage will be maintained. The recordings will clearly and accurately display the date and time (Time as measured in accordance with the United States National Institute Standards and Technology standards). The physical media or storage device on which surveillance recordings are stored will be secured in a manner to protect the recording from tampering or theft.
- Access to camera views and footage will be restricted to authorized personnel only and will be made available remotely from any computer with internet access for authorized personnel.
- A live feed of camera views will be available remotely on a secure, password-based platform, and accessible by the Police Chief or their designee/s.
- Historical footage will be available to the Police Chief in case there is a need for an investigation. Videos will also be made available for inspection by the Santa Rosa Police Department upon request.
- A sign will be posted in a conspicuous place near each monitored location on the interior or exterior of the premises which will be not less than twelve (12) inches wide and twelve (12) inches long, composed of letters not less than one (1) inch in height, stating "All Activities Monitored by Video Camera" advising all persons entering the premises that a video surveillance and camera recording system is in operation at the facility and recording all activity.

- The system will have the ability to print color images from video freeze frames and to copy video clips to portable storage media for investigative purposes.
- Outdoor cameras will be designed for weather resistance.
- Technical issues with any of the cameras or recording devices will be reported to managers and dealt with immediately.

The system shall monitor no less than:

- The front and rear of the property.
- All areas where cannabis goods are weighed, stored, quarantined.
- Areas where cannabis is destroyed.
- Limited access areas.
- Security rooms.
- Areas storing a surveillance-system storage device with at least one camera recording the access points to the secured surveillance recording area.
- Entrances and exits to the premises, which shall be recorded from both indoor and outdoor vantage points.
- Within 20 feet of all points of ingress and egress at the business.
- Entrances and exits to the premises will be recorded from both indoor and outdoor vantage points.
- Areas where product will be handled will have extra coverage to prevent diversion.
- All doors leading into high security areas will have electronic access control and emergency egress capabilities, and an alarm will always sound when the door is opened without the use of a keycard or biometric identification.
- In the hallway recording anyone attempting to access the vault/secure room.
- In the vault/secure room recording individuals accessing the room and recording individuals who are accessing the safes; and in
- All point-of-sale areas and areas where cannabis goods are displayed for sale. At each point-of-sale location, camera placement will allow for the recording of the facial features of any person purchasing or selling cannabis goods, or any person in the retail area, with sufficient clarity to determine identity.

ALARMS

The entire building will be equipped with a fire and burglar alarm system that is monitored by a third-party professional company, Bay Alarm, that is staffed 24 hours a day, 7 days a week. Intrusion and motion detection devices will be a part of the system that will sound an alarm and notify on site security in case of an unauthorized intrusion. The site will also have a fire alarm system that meets or exceeds City of Santa Rosa requirements. Jane Dispensary will maintain the

alarm system in accordance with this security plan as required by the State of California. Jane Dispensary will ensure a licensed alarm company operator or one or more of its registered alarm agents installs, maintains, monitors, and responds to the alarm system.

- The system will be monitored by a UL 24/7 Central Monitoring Station and supervised by our onsite Security Team via internet, analog, or cellular communications, in the event any of the three should have a communication failure.
- The systems main control panel will be in a secured room, accessible by management or the Security team only.
- For ease of access, the systems keypad for local alarm annunciation, building arming and disarming will be located at the main front entrance with a secondary control panel in the equipment room.
- All building perimeter entry doors will be provided with door position switches to monitor door status, in addition to the standard alarms contact switch which would activate immediately upon unauthorized or forced entry.
- Main corridors will be provided with interior ceiling or wall mounted motion detectors that will detect activity after the building has been secured; and
- Panic buttons shall be installed and insured to be always operational.

INTRUSION DETECTION

Intrusion detection is defined as the detection of a person or vehicle attempting to gain unauthorized entry (directly or remotely) into an area that is being protected by someone who is able to authorize or initiate an appropriate response. Jane Dispensary intrusion detection will consist of visual detection and intervention by any employee or by security personnel.

The electronic intrusion detection system (burglar alarm) consists of devices that will detect an intrusion and then initiate an early warning to enable a response to an attempted or unauthorized entry onto the site or into a high security area. The system will provide the protective elements of deterrence, detection, and delay, allowing time for the appropriate response by security personnel and/or Santa Rosa Police Department personnel.

The technical components of the Jane Dispensary intrusion detection system will be comprised of the following three elements:

- An alarm sensor -- a device specifically designed to sense and respond to a certain change in its environment's conditions.
- A circuit or sending device -- a device that transmits the changes in the condition of the alarm sensor to another location where it can be assessed by the specific responder forces.
- An enunciator or sounding device -- a device that alerts a change in the alarm condition.

SECURITY INTEGRATION

The intrusion detection system will be integrated with barriers, entry control devices, video surveillance systems (video alarm assessment), and alarm communications systems to provide an integrated systems alarm assessment. Video alarm assessment means that if an alarm is activated on-site security personnel, off-site Jane Dispensary management, and Santa Rosa Police Department personnel can check video to see if an incident requiring response has occurred or if it was a false alarm activation. Jane Dispensary security personnel and operations management will do everything possible to avoid false alarms which generate costly and repeated use of Santa Rosa Police Department resources and personnel.

METAL KEYS

All doors that are electronically controlled must have a key lock that can open the door in case of an emergency. Jane Dispensary will maintain a key management system with strict protocols and allow limited access to the keys and master keys. Jane Dispensary managers will conduct initial and periodic inventories of keys, maintain records of who has which keys, and maintain a secure key storage safe or lockbox.

Emergency Access

When access to a structure or area is unduly difficult because of secured openings the Fire Chief is authorized to require a key box be installed in an accessible location. The key box shall be of a type approved by the Chief. The Santa Rosa Fire Department accepts approved products from the Knox Company or Supra Company. The Santa Rosa Fire Department has the only master key to access key boxes. The Department maintains strict security of the key box keys carried on fire apparatus. The Fire Department shall approve the location and number of key boxes. Typically, the key box shall be placed to the right of the main entrance or near where any control valve or fire alarm panel is located. The key box shall normally be located at seven (7) feet above grade, high enough to be difficult for any vandalism but low enough to be reached by Firefighters.

Currency to and From the Business

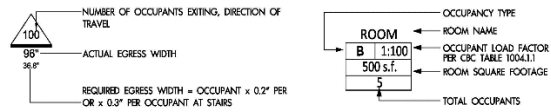
All currency will be transported by armored vehicle. City tax payments will be submitted via check in-person. The General Manager or other Responsible Party will schedule an appointment with the city by calling (707) 665-4236.

Security System Design

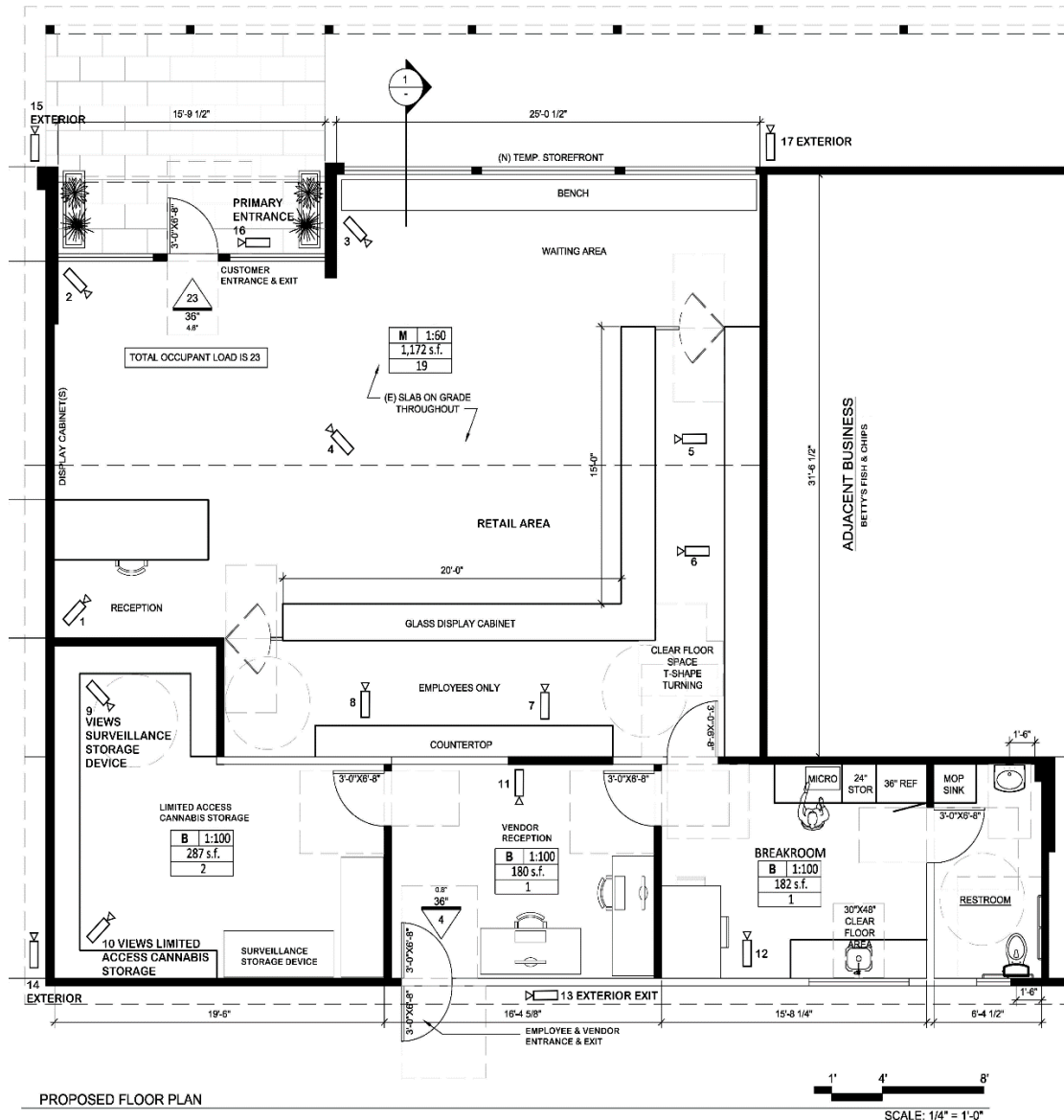
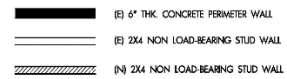


Surveillance System Design

EGRESS LEGEND



WALL TYPES





1016 Clegg Ct.
Petaluma, CA 94954
LA 28, Contractor's License #261003

(707) 761-9261
FAX: (707) 776-2919

August 11, 2021

City of Santa Rosa
RE: Jane Dispensary
4040 Highway 12
Santa Rosa, CA 95249

To whom it may concern,

Bay Alarm company provides security for Jane Dispensary at their current location and will be handling the security & fire alarm requirements for the new location at the above referenced address. We will be designing systems to meet or exceed NFPA 72 regulations covering fire and local/BCC regulations concerning security.

Bay Alarm is an industry leader and has provided hundreds of fire and security systems for the Cannabis Industry. We are a full service security provider with our own Northern California employee staffed central station. We also have a large staff of trained local service technicians who are available 24/7/365 as needed.

Feel free to reach out to me for any additional information.

Regards,

Mark Cook

Commercial Sales Representative
Bay Alarm Company
Petaluma Branch
1016 Clegg Court | Petaluma | CA | 94954
(707) 761-9261 Mark.Cook@bayalarm.com



15000 INC.

info@15000inc.com

phone: 707.577.0363

fax: 707.577.0364

City of Santa Rosa
Planning & Economic
Development Department

Aug 12, 2021

RECEIVED

June 15, 2021

To Whom It May Concern:

We have reviewed the attached odor mitigation plan, dated June 15, 2021, for Jane Dispensary, of Santa Rosa, CA.

It is our understanding that the attached plan meets, or exceeds, the requirements of the City of Santa Rosa for cannabis odor mitigation.



Sincerely,

Matthew Torre, Registered Professional Engineer
15000 Inc

ODOR CONTROL & MITIGATION PLAN

June 15, 2021

Jane Dispensary

4040 Sonoma Highway
Santa Rosa, CA 95409

Report prepared by

15000 Inc.

info@15000inc.com

707.577.0363

Policy

Document a process to limit objectionable odors from the project area utilizing building system components and adopted odor control plan.

Under California Occupational Health and Safety Act (“CalOSHA”) and Bay Area Air Quality Management District (“BAAQMD”) regulations, cannabis businesses do not have a specific set of regulations that govern their operations. However, JANE 4040, INC. (the “Applicant”), will nonetheless maintain a high standard for the air quality plans for all aspects of its proposed Cannabis Dispensary Facility (TYPE-10) at 4040 Sonoma Highway, Santa Rosa, CA 95409 (“Facility”).

Generally, the Applicant will meet and/or exceed the standards set by the City of Santa Rosa (“City”) Cannabis Ordinance, the Sonoma County (“County”) Code (including sections 26-88-250 through 26-88-256), California Labor Code §§6300 et seq., and Title 8, California Code of Regulations §§ 332.2, 332.3, 336, 3203, 3362, 5141 through 5143, 5155, and 14301, as published in the CalOSHA Policy and Procedures Manual C-48, Indoor Air Quality as applicable to other facilities.

Pursuant to State of California (“State”) regulations [California Energy Code, Section 120.1(c)3], mechanical outside air ventilation must meet a minimum code required cubic feet per minute (“CFM”) flow rate. Since existing State air quality regulations do not contain provisions specific to cannabis businesses, the Applicant will comply with these general State standards when designing the ventilation systems and air filtrations systems for the entire Facility. Each separate operation within the Facility building will have its own individual “air-scrubber” systems, as described below.

Purpose

To minimize and eliminate the off-site odor of cannabis caused by normal business practices.

Scope

Exterior of facility and surrounding areas.

Responsibilities

Business Owner/Operator (BO/O) is to provide, implement and supervise an odor mitigation plan.

General Procedures

Implementing and maintaining building systems to effectively minimize transmission of odor between building and surrounding areas.

- BO/O shall supervise installment and maintenance of an air treatment system to ensure there is no off-site odor of cannabis overly detectable from adjacent properties or the community. Air treatment systems consist of carbon filtration on the exhaust side of the ventilation system and negatively pressurizing the facility in relation to the exterior ambient condition.
- Staff members should immediately report any odor problems to the BO/O, who will take corrective action, implement upgrades to the system, upgrades to the facility or to the internal handling process of product within the facility to further deter odors.
- If such upgrades require the approval of any Agency Having Jurisdiction (AHJ), the BO/O shall seek and gain such approval prior to implementing new systems and/or procedures.

It is critical to the success of our organization that our various plans remain transparent to the community, so all stakeholders are aware of the importance of mitigated cannabis odors.

This mitigation plan and all associated records will be made available to the public for review and documents can be requested at our facility. All requests for documentation shall occur via written request only (email is acceptable).

The facility will have the following onsite functions: Administrative Processing Areas, Dispensary (Retail Sales Area), and Inventory (Storage). The company will provide packages within state-approved containers for distribution-to-distribution centers and/or retail outlets. The handling of product will require a properly engineered odor control system in order to mitigate the release of odors to the surrounding properties and community.

Active Measures

All cannabis products will be securely stored in the Storage Room. The secure storage room area will be provided with an exhaust air system for odor control. The exhaust system shall be provided with a carbon filter that will mitigate any odors which may emanate from the stored product.

Air Pressure & Carbon Filter Control

The Retail Sales Area will be kept under negative pressure. The exhaust system shall be electrically interlocked with the space conditioning system serving the area with an exhaust air quantity greater than the outside air quantity to ensure negative pressure is maintained whenever the system is operational. The space conditioning system will be provided with MERV-13 rated carbon filters, to further enhance the overall Indoor Air Quality (IAQ) which are recirculated within the airstream. The Product Storage will be kept under negative pressure with an independent exhaust filtration system similar to that serving the Retail and Welcome areas.

Above all, the facility will be kept under negative pressure to limit exfiltration by means of exhaust systems as described herein with carbon filters for odor mitigation. The exhaust discharge shall be designed to discharge at the roof level and exhaust away from any neighbors or pedestrian traffic.

Best Available Technology

The combination of activated carbon air filtration and building pressure control represent the current best available technology. For anticipated comfort space conditioning systems, the building shall be provided with MERV-13 filters on the fresh air intake side to limit particulate intake to the space and to enhance the overall quality of the supply air to the occupants.

Air System Design

The Facility shall have no operable windows or be kept locked and sealed at all times. All doors shall be sealed with proper weather stripping, keeping circulating and filtered air inside the facility.

On site usage of cannabis products is strictly prohibited while on the property. This will assist in mitigating odors to the surrounding neighbors.

Monitoring, Detection and Mitigation: Method for Assessing Impact of Odor

The importance of cannabis odor mitigation is very well understood, and we shall make decisions that best prevent the issue of odor to the surrounding areas. If odors are detected outside the facility, this plan shall serve as a guideline to provide corrective action.

The manager/supervisor of the Facility shall assess odors on a daily basis (see *Monitoring* for expanded responsibilities).

Monitoring

The manager/supervisor shall assess the on-site and off-site odors daily for the potential release of objectionable odors. The manager/supervisor on duty shall be responsible for assessing and documenting odor impacts on a daily basis.

The closest adjacent businesses include;

- Betty's Fish N Chips: 4046 Sonoma Highway #4128, Santa Rosa, CA 95409
- Computer's & More: 4044 Sonoma Highway, Santa Rosa, CA 95409
- Sunrise Villa Santa Rosa: 4225 Wayvern Drive, Santa Rosa, CA 95409

Mitigation

Should objectionable off-site cannabis odors be detected by the public and we are notified in writing, the following protocols will take place immediately:

- Investigate the likely source of the odor.
- Utilize on site management practices to resolve the odor event.
- Take steps to reduce the source of objectionable odors.
- Determine if the odor traveled off-site by surveying the perimeter and making observations of existing wind patterns.
- Document the event for further operational review.

If employees are not able to take steps to reduce the odor-generating source, they are to immediately notify the facility manager, who will then notify the BO/O. All communication shall be documented, and the team shall create a proper solution, if applicable. If necessary, we shall retain our certified engineer to review the problem and make recommendations for corrective action/s.

Staff Training

All employees shall be trained on how to detect, prevent, and remediate odor outside our facility and all corrective options outlined herein.

Odor Detection Documentation

The Odor Detection Form (ODF) shall be provided to those who suspect objectionable odors emanating from inside the facility. ODFs are available per request, on-site.

We shall maintain records of all odor detection notifications and/or complaints that will include the remediation measures employed. The records shall be made available to the AHJ or the general public on request. All requests shall be in writing (email is acceptable).

Odor Detection Form

Name of Reporting Party:

Phone Number:

Email Address:

Date:

Time:

Location of Odor:

Weather Conditions:

Date/Time of Notification:

Notification Method:

☐ Email ☐ Online ☐ In Person

Administrative Use Only

Mitigation Response Taken:

Date/Time Measures Employed:

Were Mitigation Measures Successful?

Signature/Date/Time:

[EXTERNAL] Jane 4040 Inc.

jonnadye@gmail.com <jonnadye@gmail.com>

Thu 12/2/2021 9:55 AM

To: McKay, Conor <CTMcKay@srcity.org>

Dear Mr. McKay,

We were unable to attend the neighborhood meeting regarding Jane 4040 Inc., the other evening, however, we have grave concerns regarding this type of business in this location. The business space in question was not meant for this type of business. Just one of many reasons is that 4040 Hwy 12 is literally steps away from a children's playground.

Thank you for your consideration.

Regards,
James and Jonna Dye
4209 Kintyre Road
Santa Rosa CA
707-217-7028

RESOLUTION NO.

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA ROSA
MAKING FINDINGS AND DETERMINATIONS AND APPROVING A CONDITIONAL
USE PERMIT FOR JANE DISPENSARY TO ALLOW 1,997-SQUARE-FEET OF
CANNABIS RETAIL (DISPENSARY) WITH DELIVERY - LOCATED AT 4040 HIGHWAY
12) - FILE NO. CUP21-071 - NEIGHBORHOOD MEETING WAS CONDUCTED ON
NOVEMBER 22, 2021

WHEREAS, an application was submitted on August 12, 2021, requesting the approval of a Conditional Use Permit for Jane Dispensary to operate a 1,997-square-foot cannabis retail dispensary with delivery, located at 4040 Highway 12, also identified as Sonoma County Assessor's Parcel Number 032-500-040;

WHEREAS, the Planning Commission held a duly noticed public hearing on the application at which all those wishing to be heard were allowed to speak or present written comments and other materials; and

WHEREAS, the Planning Commission has considered the application, the staff reports, oral and written, the General Plan and zoning on the subject property, the testimony, written comments, and other materials presented at the public hearing; and

NOW, THEREFORE, BE IT RESOLVED, that after consideration of the reports, documents, testimony, and other materials presented, and pursuant to City Code Section 20-52.050 (Conditional Use Permit), the Planning Commission of the City of Santa Rosa finds and determines:

- A. The proposed use is allowed within the Neighborhood Commercial (CN) Zoning District and complies with all other applicable provisions of this Zoning Code and the City Code. Zoning Code Section 20-23.030 Table 2-7 lists allowable uses within the Neighborhood Commercial Zoning District, which implements the Retail and Business Services General Plan land use designation. The proposed commercial cannabis retail (dispensary) use with delivery will occupy 1,997-square-feet of an existing 4,776-square-foot multi-tenant commercial building in the Neighborhood Commercial (CN) zoning district, which is allowed subject to Planning Commission approval of a Conditional Use Permit; and
- B. The proposed use is consistent with the General Plan land use designation of Retail and Business Services. The proposed use is consistent with the applicable underlying General Plan goals and policies related to economic vitality and the associated Retail and Business Services land use designation; and
- C. The design, location, size, and operating characteristics of the proposed activity would be compatible with the existing and future land uses in the vicinity. The proposed project is allowed under Section 20-23.030 Table 2-7 of the City Zoning Code with approval of a Conditional Use Permit. The project site is developed for commercial uses with a total of 36 vehicle parking spaces, including 2 ADA accessible spaces. One bicycle parking space

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is required for this project. No additional vehicle parking spaces are required per Zoning Code Section 20-36.040.

The Project complies with the general operating requirements for cannabis businesses and the operating requirements specific to medical and adult use cannabis retail dispensaries. The entrance to the retail dispensary is located on the north side of the building and is visible from Highway 12. The proposed project is compatible with the existing adjacent uses on the property and is adequately screened from the residential uses located to the south; and

- D. The site is physically suitable for the type, density, and intensity of use being proposed, including access, utilities, and the absence of physical constraints in that the proposed use will be located entirely within an existing commercial building. The proposed project plans comply with all operational standards as specified in Chapter 20-46. All necessary utilities are available at the project site, including water, wastewater, storm drainage, gas and electric services; and
- E. Granting the permit would not constitute a nuisance or be injurious or detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zoning district in which the property is located. The applicant has provided an Odor Mitigation Plan certified by a licensed engineer ensuring that all mitigation controls are sufficient to mitigate odors. The project is compliant with Zoning Code Section 20-46.050(G) which states that Cannabis Businesses shall provide adequate security on the premises, including lighting and alarms, to insure the public safety and the safety of persons within the facility and to protect the premises from theft. A security plan has been provided by the applicant which states that hired security personnel will be on-site during hours of operation and will track and monitor the entryway and the parking lot. Additionally, the project shall have video surveillance, intrusion detection systems and outdoor security lighting. There are no schools or established cannabis dispensaries within 600 feet of the subject property; and
- F. The proposed project has been reviewed in compliance with the California Environmental Quality Act (CEQA) and staff has determined that the project qualifies for the following exemptions:
 - Class 1 Categorical Exemption under CEQA Guidelines Section 15301 in that the project is located within an existing structure involving a negligible expansion of an existing use that will not result in significant impact(s).
 - Class 3 Categorical Exemption under CEQA Guidelines Section 15303 in that the project involves a change of use, which will require only minor exterior modifications to the structure/site.
 - Class 32 Categorical Exemption under CEQA Guidelines Section 15332 (In-fill Development Projects) in that:
 - 1. The Project is consistent with Santa Rosa General Plan 2035 and the current City of Santa Rosa Zoning Code. The site is zoned

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Neighborhood Commercial (CN) and dispensaries are a permitted use through a Major Conditional Use permit;

2. The Project is located within City of Santa Rosa jurisdiction, on a project site of no more than five acres substantially surrounded by urban uses;
3. The project site is currently developed with one multi-tenant commercial building and parking lot, and does not have any habitat value for endangered, rare, or threatened species;
4. The Project will not result in any significant effects relating to traffic, noise, air quality, or water quality. The Traffic Report prepared by W-Trans, dated January 27, 2022, concludes the Project would result in a less-than-significant transportation impact on VMT. The proposed project will occupy 1,997-square-feet of an existing 4,776-square-foot multi-tenant commercial building and most of the work will take place inside the building, and all the work will be required to meet the City noise ordinance. Based on the certified Odor Control Plan, the Project will not emit cannabis-related odors. The City Sewer Treatment facility will treat any wastewater; and
5. The Project site is located in a developed area where it can be adequately served by all required utilities and public services. Staff have reviewed the plans and conditions the project appropriately.

BE IT FURTHER RESOLVED, that this Conditional Use Permit is subject to all applicable provisions of the Zoning Code, including Section 20-54.100 (Permit Revocation or Modification).

BE IT FURTHER RESOLVED that a Conditional Use Permit for the Project to allow include 1,997-square-feet of Cannabis Retail (dispensary) with delivery, to be located at 4040 Highway 12, is approved subject to each of the following conditions:

DEPARTMENT OF COMMUNITY DEVELOPMENT

GENERAL:

1. Compliance with the latest adopted ordinances, resolutions, policies, and fees adopted by the City Council at the time of building permit review and approval. All fees must be paid prior to issuance of a building permit.
2. Comply with all applicable federal, state, and local codes. Failure to comply may result in issuance of a citation and/or revocation of approval.

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3. Operations of the project shall be consistent with the project description dated August 12, 2021. Any changes to operations may be subject to review by the Planning and Economic Development Department.

EXPIRATION AND EXTENSION:

4. This Conditional Use Permit shall be valid for a two-year period. If construction has not begun or if an approved use has not commenced within two (2) years from date of approval, this approval shall automatically expire and shall be invalid unless an application for extension is filed prior to expiration.
5. If implemented within the initial approval period in accordance with all conditions of approval, this Conditional Use Permit shall be valid for the duration of use.

BUILDING DIVISION:

6. Obtain building permits for the proposed project.

ENGINEERING DIVISION:

7. Compliance with all conditions as specified by the attached Exhibit “A” dated December 7, 2021.

FIRE DEPARTMENT

8. Compliance with all conditions as specified by the attached Exhibit “B” dated October 26, 2021.

PLANNING DIVISION:

9. The building materials, elevations, and appearance of this project, as presented for issuance of a building permit, shall be the same as that approved by the Planning Commission. Any future additions, expansions, remodeling, etc., will be subject to review and approval of the Planning Division.
10. The sale of any cannabis related paraphernalia products must comply with the City’s zoning code and any other applicable State regulations.
11. Compliance with all applicable operational provisions of Zoning Code Chapter 20-46 is required.
12. No signs are approved as part of this Conditional Use Permit. All signs require a separate review process and both Planning and Building permits.
13. At least 1 bike parking space shall be installed in compliance with Zoning Code Chapter 20-36.

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14. All exterior lighting shall comply with Zoning Code Section 20-30.080.
15. Compliance with City Graffiti Abatement Program Standards for Graffiti Removal (City Code 10-17.080).

NOW, THEREFORE, BE IT FURTHER RESOLVED, that the Planning Commission finds and determines this entitlement to use would not be granted but for the applicability and validity of each and every one of the above conditions and that if any one or more of the above said conditions are invalid, this entitlement to use would not have been granted without requiring other valid conditions for achieving the purposes and intent of such approval.

REGULARLY PASSED AND ADOPTED by the Planning Commission of the City of Santa Rosa on the 22nd day of September, 2022 by the following vote:

AYES: ()

NOES: ()

ABSTAIN: ()

ABSENT: ()

APPROVED:

KAREN WEEKS, CHAIR

ATTEST:

CLARE HARTMAN, EXECUTIVE SECRETARY

ATTACHMENTS:

Exhibit A: Engineering Development Services Exhibit "A" dated December 7, 2021.

Exhibit B: Fire Department Memorandum Exhibit "B" dated October 26, 2021.

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Jane Dispensary

Conditional Use Permit

4040 HWY 12 (SONOMA HIGHWAY)

September 22, 2022

Suzanne Hartman, City Planner
Planning and Economic Development

- **Proposed Use**

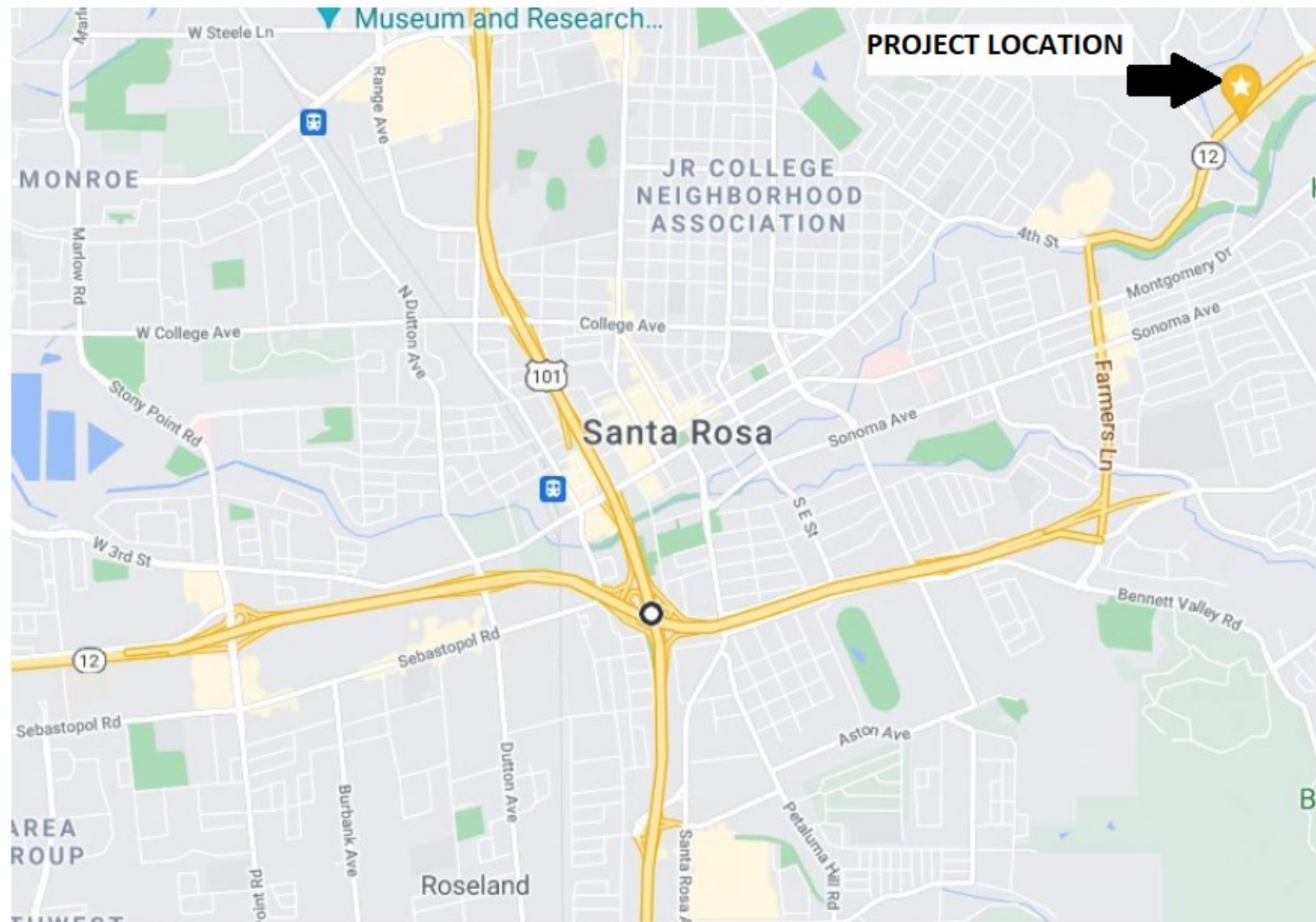
- The applicant proposes to operate a cannabis retail facility with delivery service within a 1,997-square-foot tenant space of an existing 4,776-square-foot multi-tenant building.
- The applicant does not propose on-site consumption.

- **Retail Hours**

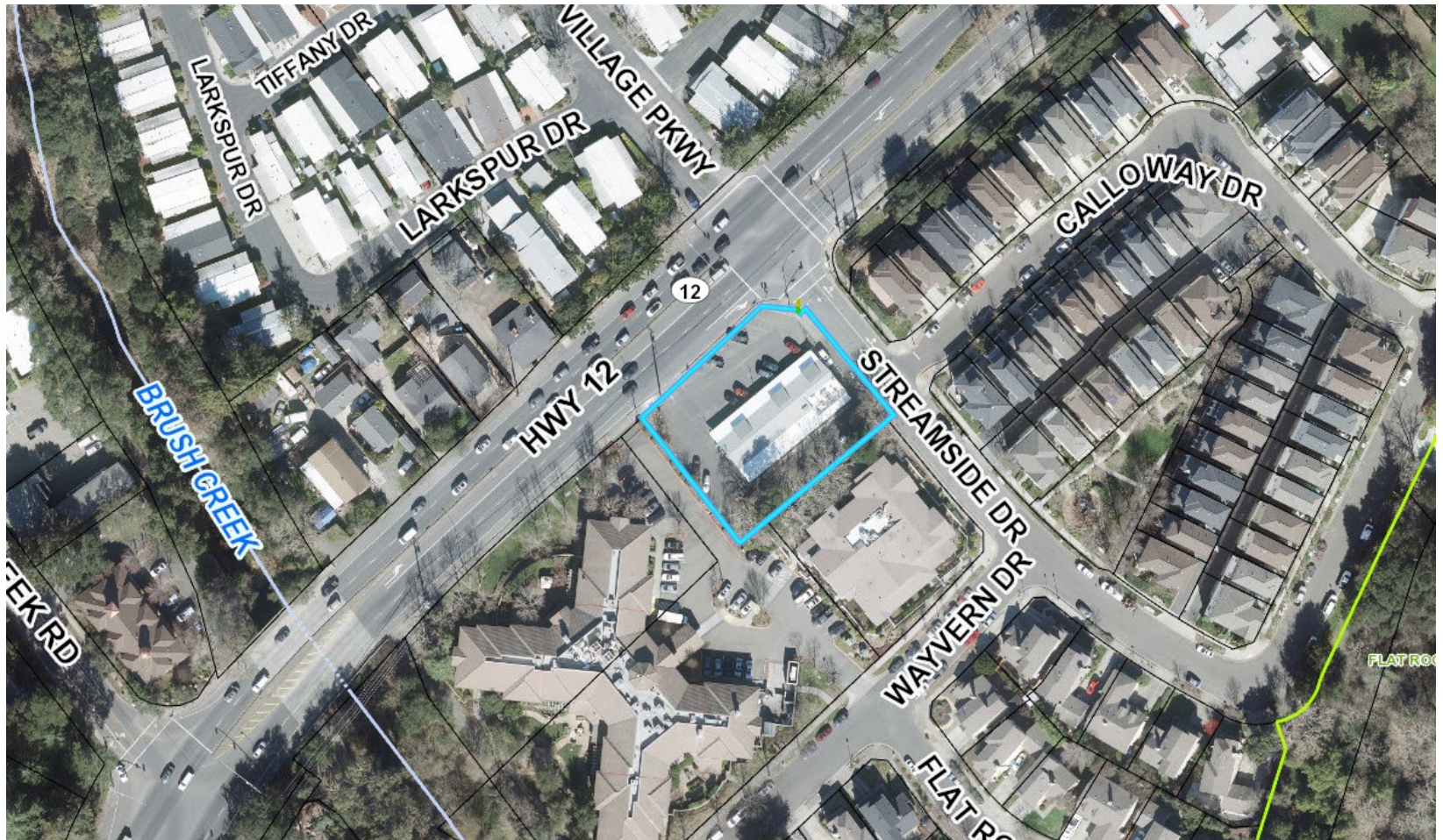
- The applicant proposes to operate the retail dispensary between the hours of 9:00 a.m. and 9:00 p.m., 7 days a week.
- The applicant will limit all commercial deliveries to the hours of 9:00 a.m. to 5:00 p.m., Monday through Friday.

- On August 18, 2021, the applicant submitted a Major Conditional Use Permit Review application.
- On November 22, 2021, Planning staff held a neighborhood meeting to discuss the proposed project. Several neighbors participated in the meeting and voiced their concerns about the cannabis retail facility that is surrounding various residential districts.
- On August 30, 2022, the application was deemed complete.

Project Location

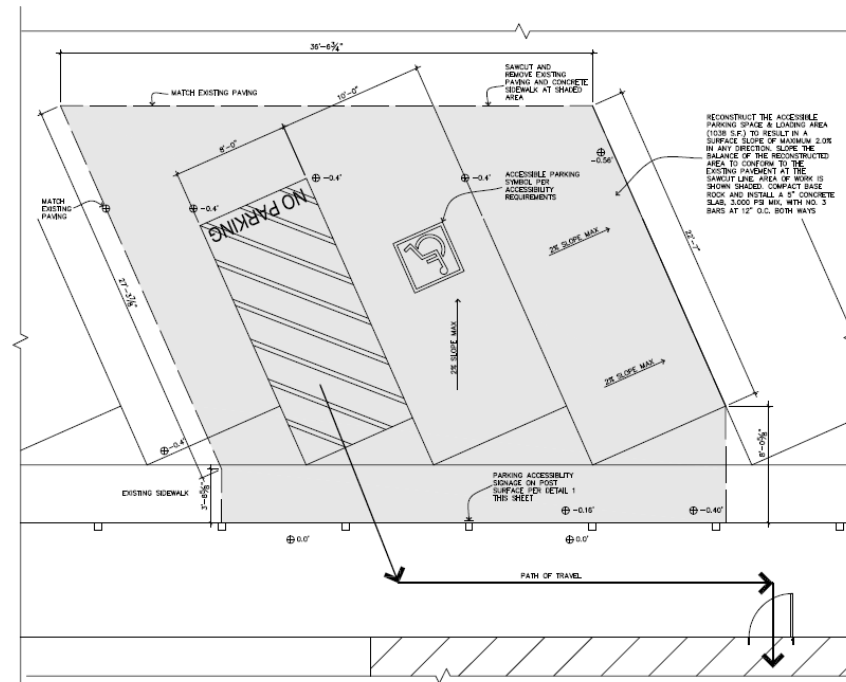


4040 HWY 12 – Aerial View

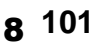


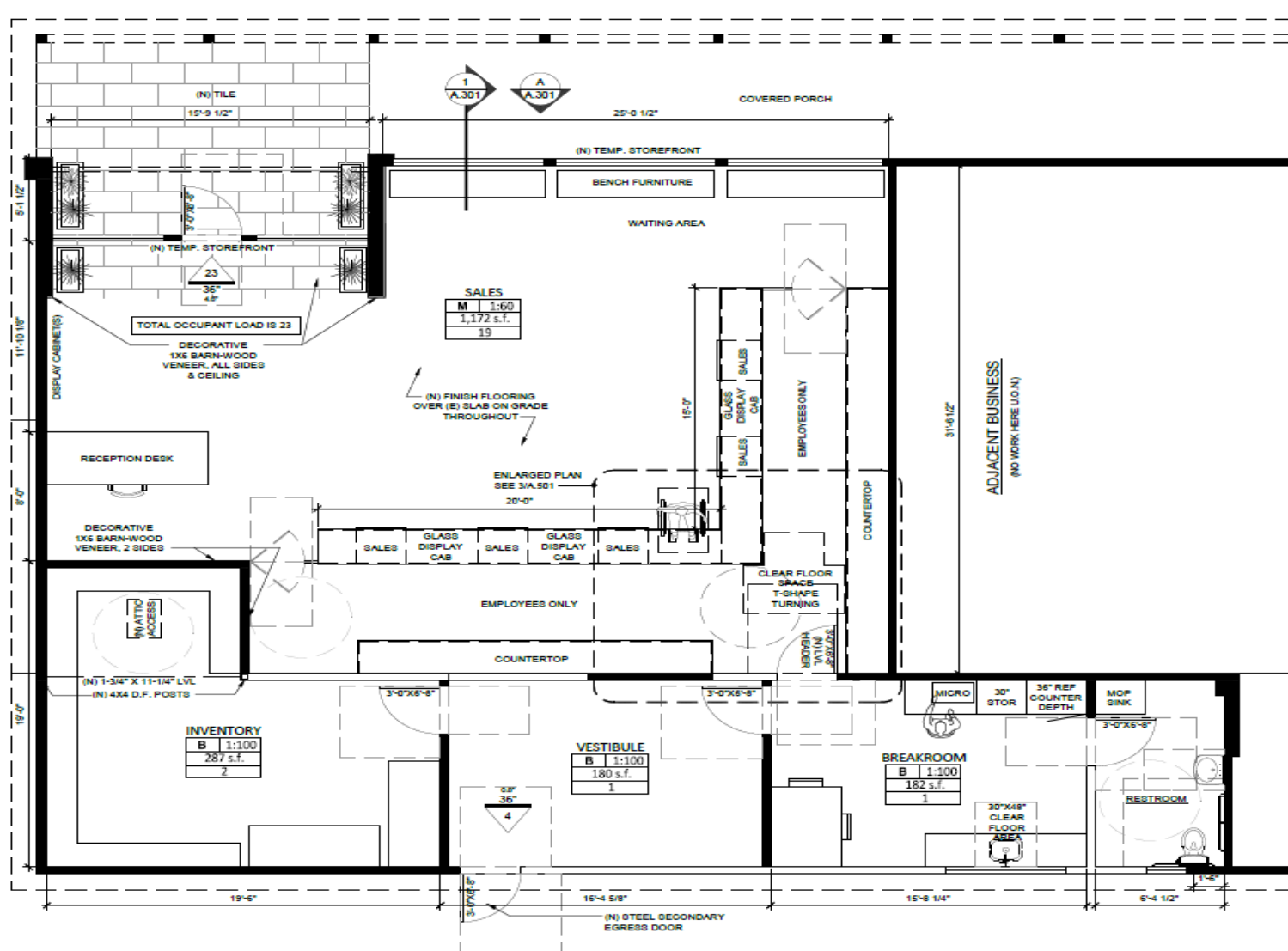
General Plan & Zoning





7 100



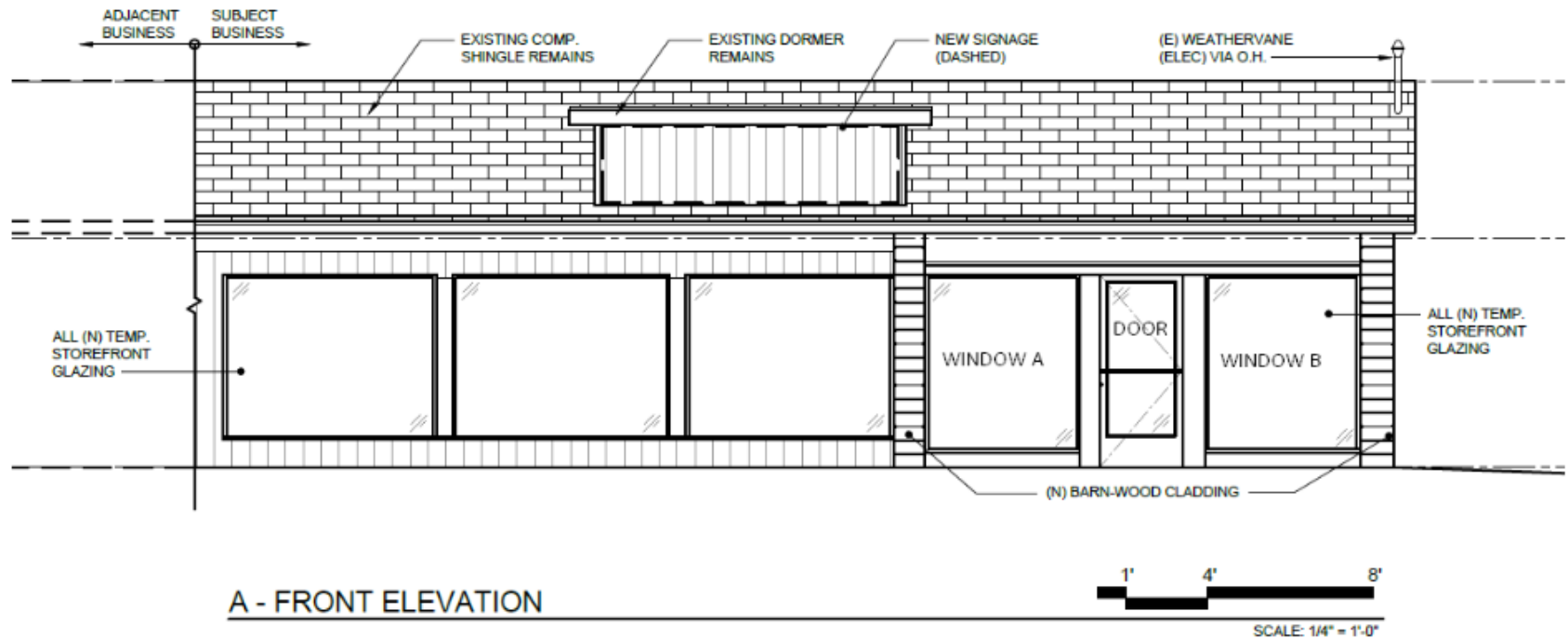


Existing Storefront



Proposed Storefront

Storefront §20-46.080 e



- Based on the size of the lot (2,000-square-feet), 1 bicycle parking space and 8 vehicle parking spaces are required.
- The total parking area of the Project property is 36 vehicle parking spaces, including 2 ADA-compliant vehicle parking spaces.

Use	Parking Required	Total Square Footage	Parking Required Spaces
Retail	1 vehicle parking space per 250 square feet; 1 bicycle space per 5,000 square feet	2,000 Square Feet	Vehicle: 8 Bicycle: 1
Total Parking Spaces Required			Vehicle: 8 Bicycle: 1

- In compliance with CEQA Guidelines -
 - The proposed project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303 in that it involves a change of use, which will require minor exterior modifications to the structure/site.
 - The proposed project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301 in that it involves minor modifications to an existing facility, with no expansion of use.
 - The Project qualifies for a Class 32 exemption under California Government Code Section 15332 (In-fill Development Projects).
 - The Project qualifies for an exemption pursuant to CEQA Guidelines section 15183 in that the Project is consistent with the City's General Plan and the Roseland Area/Sebastopol Road Specific Plan for which EIRs were prepared and certified.

Recommendation

- The Planning and Economic Development Department recommends that the Planning Commission, by resolution, approve a Conditional Use Permit to allow the proposed cannabis retail (dispensary) facility with delivery use located at 4040 HWY 12 (Sonoma Highway).

Suzanne Hartman, City Planner
Planning and Economic Development
SHartman@srcity.org
(707) 543-4299

