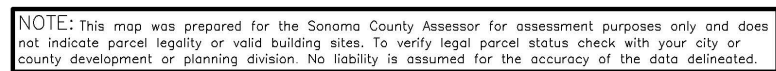


BISBEE

ARCHITECTURE+DESIGN

City of Santa Rosa
Planning & Economic
Development Department
11/25/2024
RECEIVED

Nate Bisbee, AIA
629 Fourth Street, #A
Santa Rosa, CA 95404
(707) 492-9960

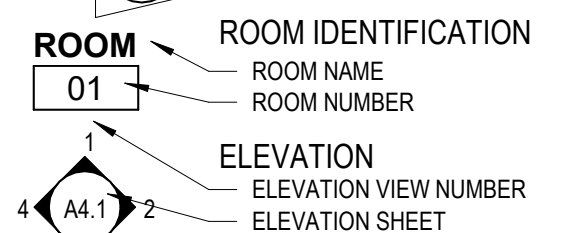


NOT TO SCALE

&	AND	ENCL.
<	ANGLE	EQUIV.
@	AT	E.S.
C	CENTERLINE	E.W.
O	DIAMETER	EXP.
D	FLOOR LINE	EXP.B.
I	PROPERTY LINE	EXPO.
F		

(E)	EXISTING	JAN.
E.	EAST	J.H.
EA.	EACH	JST.
E.E.	EACH END	JT.
E.F.	EXHAUST FAN	
E.J.	EXPANSION JOINT	KIT.
ELEC.	ELECTRICAL	
ELEV.	ELEVATION	LAB.
EN.	EDGE NAII	LAM.

(WHERE USED)



BUILDING CODES AND STANDARDS
2022 CALIFORNIA ADMINISTRATIVE CODE
(CALIFORNIA CODE OF REGULATIONS, TITLE 24)

CITY OF SANTA ROSA ADOPTED CODE AMENDMENTS, WHERE APPLICABLE
(REF. CITY CODE SEC. 18-04.015)

NATIONAL CODES AND REFERENCE STANDARDS

INTERNATIONAL PROPERTY MAINTENANCE CODE, 2021 EDITION

NPDES PERMIT AND WASTE DISCHARGE REQUIREMENTS NO. CA00250504 AND AMENDMENTS

AISC MANUAL OF STEEL CONSTRUCTION, 15TH EDITION.

ACI-318-19 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE

ASCE/SEI 7-16 MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES W/ SUPPLEMENTS

ANSI/AISC SDPWS 2021, SPECIAL DESIGN PROVISIONS FOR WIND & SEISMIC

ANSI/AISC NDS 2018, NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION

NFPA 10, 2021 EDITION, PORTABLE FIRE EXTINGUISHERS

NFPA 13, 2022 EDITION, INSTALLATION OF AUTOMATIC SPRINKLER SYSTEMS AND CA AMENDMENTS

NFPA 14, 2019 EDITION, INSTALLATION OF STANDPIPE AND HOSE SYSTEMS

NFPA 244, 2019 EDITION, INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES AND CA AMENDMENTS

NFPA 72, 2022 EDITION, NATIONAL FIRE ALARM AND SIGNALING CODE AND CA AMENDMENTS

NFPA 110, 2019 EDITION, EMERGENCY AND STANDBY POWER SYSTEMS

NFPA 111, 2019 EDITION, STORED ELECTRICAL ENERGY EMERGENCY AND STANDBY POWER SYSTEMS

ADA (AMERICANS WITH DISABILITIES ACT, 1990, REVISED 2010)

OWNER
JEAN SCHULZ
1 SNOOPY PLACE
SANTA ROSA, CA 95403
CONTACT: RANDY PENNINGTON
PHONE:

STEEL BUILDING DESIGN-BUILDER
SOULE BUILDING SYSTEMS
8800 LAKEWOOD DRIVE, #1963
WINDSOR, CA 95492
CONTACT: JOSHUA JOHNSON
PHONE: 707-793-9277

PHONE: 707-528-8539

STRUCTURAL ENGINEER
STRUCTURAL DESIGN GROUP
2455 BENNETT VALLEY ROAD, #B119
SANTA ROSA, CA 95404
CONTACT: BRIAN HARTLEY
PHONE: 707-284-3641

CIVIL ENGINEER (OWNER)
CARLILE MACY
15 THIRD STREET
SANTA ROSA, CA 95401
CONTACT: PETE CRUDO
PHONE: 707-542-6451

(AND SEPARATE PERMITS)

- ## SUBMITTAL NOTES

1. STRUCTURAL SUBMITTALS, S.S.D.
2. STEEL BUILDING SUBMITTALS, SEE PLANS.
3. THERMAL AND ACOUSTICAL INSULATION DATA SHEETS.
4. DOOR, WINDOW, FRAME AND GLAZING SHOP DRAWINGS & DATA SHEETS.
5. DOOR HARDWARE, COMPLETE DELEGATED DESIGN.
6. COUNTERTOP AND BACKSPLASH DATA SHEETS & SAMPLES.
7. CONC. FLOOR FINISHING DATA SHEETS & MOCK-UP.
8. TILE FLOORING AND BASE DATA SHEETS & SAMPLES.
9. PLASTIC PANELING DATA SHEETS & SAMPLES.
10. PAINTED FINISHES DATA SHEETS & BRUSH-OUT SAMPLES.
11. ACCESSIBLE AND ROOM PANEL SIGNAGE SHOP DRAWINGS & SAMPLES.
12. FIRE EXTINGUISHERS AND CABINET DATA SHEETS.
13. AUTOMATIC FIRE SUPPRESSION SYSTEM (SEPARATE PERMIT).
14. FIRE ALARM SYSTEM (SEPARATE PERMIT).
15. PLUMBING FIXTURE & EQUIPMENT DATA SHEETS, S.P.D.
16. MECHANICAL HVAC EQUIPMENT DATA SHEETS, S.M.D.
17. ELECTRICAL EQUIP. DATA SHEETS, S.E.D.
18. LIGHT FIXTURES DATA SHEETS & SAMPLES FOR SELECTION, S.E.D.

GENERAL
G01 TITLE SHEET

ARCHITECTURAL	
A01	OVERALL SITE PLAN
A11	SITE / FLOOR PLAN
A12	REFLECTED CEILING & ROOF PLANS
A21	EXTERIOR ELEVATIONS
A91	EXISTING CONDITIONS PHOTOS
A92	DESIGN NARRATIVE, EXT. MATERIALS & PROJECT DATA

PLANNING SUBMITTAL

1. AUTOMATIC FIRE SUPPRESSION SYSTEM SHALL BE DESIGNED, PERMITTED, AND INSTALLED BY THE CONTRACTOR PER NFPA 13, 2022 CBC SECT 903 AND 2022 CFC SEC 903. FIRE SPRINKLERS LAYOUT PLANS AND CALCULATIONS SHALL BE A SEPARATE PERMIT SUBMITTAL BY THE CONTRACTOR, INCLUDING SUBMITTAL TO THE ARCHITECT. REF. CBC 903.3.1.1. CONTRACTOR SHALL OBTAIN FIRE SPRINKLER PERMIT PRIOR TO BUILDING PERMIT ISSUANCE.

7. OTHER THAN THE ARCHITECTURAL SHEETS, THE DRAWINGS CONTAINED HEREIN HAVE BEEN PREPARED BY OTHERS. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE WORK OF OTHERS.
8. SITE GRADING, FOUNDATION SUPPORT, UTILITY TRENCHING, GEOTECHNICAL DRAINAGE, PERIMETER FOUNDATION DRAINS, AND ANY OTHER RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER SHALL BE PROVIDED PER THE MIN. REQ'TS. OF A GEOTECHNICAL REPORT.

DESCRIPTION: THE PROPOSED PROJECT IS A MAINTENANCE SHOP WITH A GROSS FLOOR AREA OF 1,965 GSF ON 1-STORY, SPRINKLERED. THE SHOP IS FOR EMPLOYEE USE ONLY. IT IS AN ACCESSORY ADDITION TO THE EXISTING ARCHIVES WAREHOUSE AND IS CONNECTED TO BY A NON-COMBUSTIBLE, SPRINKLERED CANOPY ROOF. THE SHOP SUPPORTS EXISTING USES ON THE SITE. A SINGLE-OCCUPANCY ACCESSIBLE RESTROOM IS INCLUDED. NO NEW PARKING IS PROPOSED. THE MAIN ENTRY IS CONNECTED BY ACCESSIBLE ROUTE TO THE EXISTING ACCESSIBLE PARKING AND SITE ARRIVAL.

VICINITY MAP



PROJECT NUMBER 24007.00
DATE NOV. 22, 2024
DRAWN BY NB
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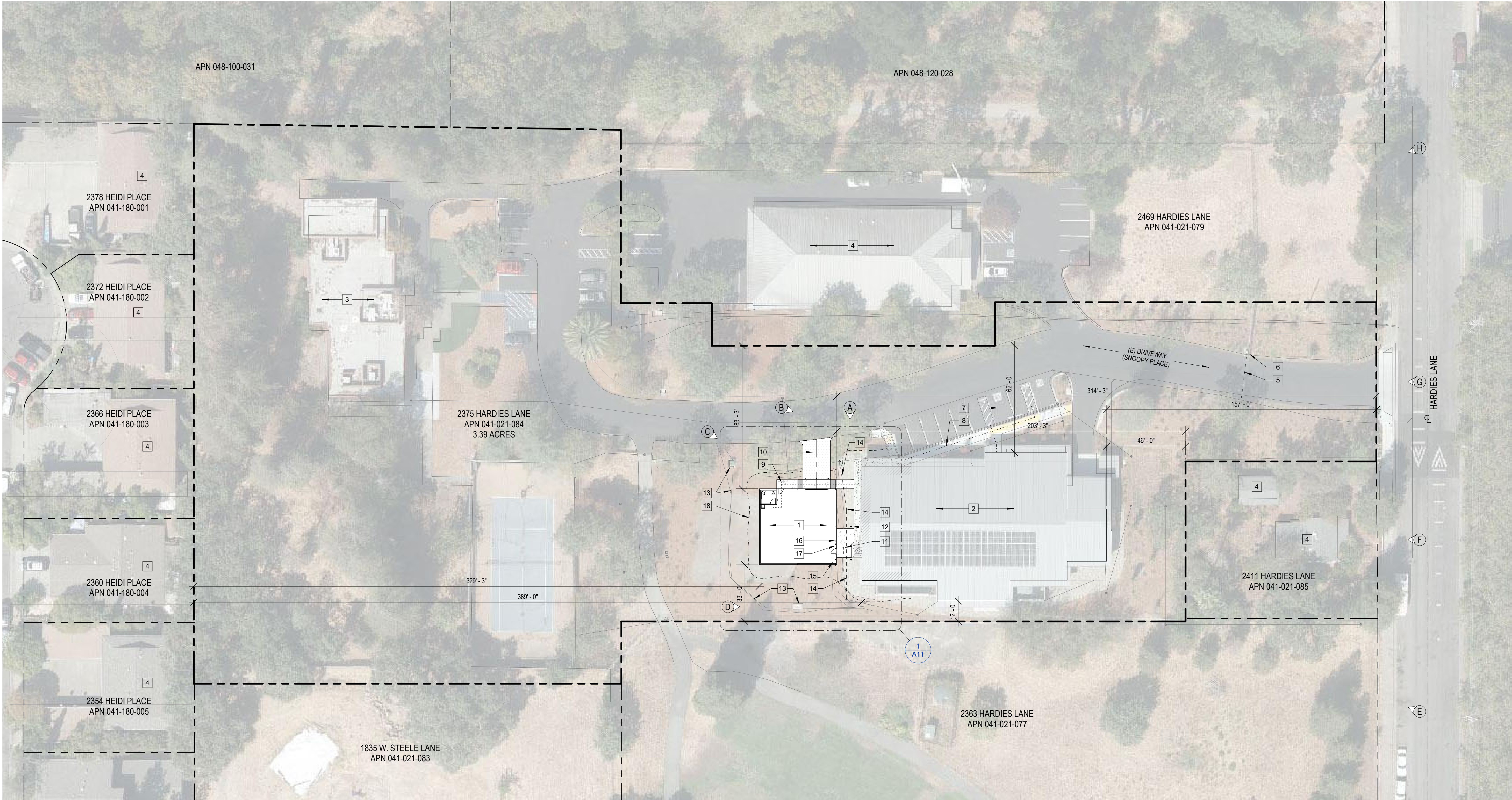
G01

NOT FOR
CONSTRUCTION

PLANNING
SUBMITTAL

MAINT. SHOP

2375 HARDIES LANE
SANTA ROSA, CA 95403
APN: 041-021-084



1 OVERALL SITE PLAN
1" = 30'-0"

SEE KEYED EXISTING CONDITIONS PHOTOS A91



PARKING NOTES

NO NEW PARKING.

EXISTING PARKING SUMMARY:
9 TOTAL STALLS PROVIDED.

ACCESSIBLE PARKING:
2 ACCESSIBLE VAN STALLS.

ELECTRICAL VEHICLE CHARGING:
1 CHARGER AT VAN ACCESSIBLE STALL.

SITE PLAN GENERAL NOTES

1. CONTRACTOR SHALL COORDINATE ALL NEW SITE WORK W/ EXISTING UTILITIES. PROTECT EXISTING UTILITIES AND EXISTING TRENCHES IN PLACE. REPAIR AND REPLACE ANY UTILITY LINES, EQUIPMENT OR SERVICE BOXES AT NEW SITE WORK. CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FOR ANY WORK WITHIN THE RIGHT-OF-WAY. ENCROACHMENT PERMIT IS REQUIRED PRIOR TO BUILDING PERMIT ISSUANCE.

2. PROTECT EXISTING TREES IN PLACE DURING CONSTRUCTION, U.O.N.

3. SOIL PREPARATIONS, PAD DESIGN, BASE SECTIONS, FDN. DRAINAGE, FOUNDATION DESIGN, FLATWORK, REINFORCING AND INSTALLATION SHALL MEET THE MIN. REQ'MTS. OF THE GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER, S.S.D.

4. MIN. YARD REQUIREMENTS: FRONT, REAR AND SIDE:
FRONT: 15 FT., SIDE INT.: 5 FT., REAR: 15 FT.

YARDS/SETBACKS PROVIDED:
FRONT: 314'-3"
REAR: 329'-3"
SIDE - NORTH: 83'-3"
SIDE - SOUTH: 33'-0"

5. PROTECT EXISTING DRAINAGE FEATURES IN PLACE DURING CONSTRUCTION. REPAIR AND REPLACE ANY DRAINAGE FEATURES AT NEW SITE WORK, S.C.D.

SITE PLAN DRAWING NOTES

- 1 MAINTENANCE SHOP, 1,965 GSF, 1-STORY, TYPE V-B, SPRINKLERED, UNCONDITIONED.
- 2 (E) ARCHIVES WAREHOUSE, 9,277 GSF, 1-STORY, TYPE V-B, SPRINKLERED.
- 3 (E) STUDIO, NO WORK THIS AREA.
- 4 (E) NEIGHBORING BUILDINGS ON ADJACENT PARCELS.
- 5 (E) AUTOMATIC VEHICLE GATE.
- 6 ILLUMINATED ADDRESS SIGNAGE AND KNOX BOX PER FIRE DEPT. REQ'MTS.
- 7 (E) ACCESSIBLE VAN PARKING STALL AND VAN EV STALL, SERVING AREA OF WORK.
- 8 (E) ACCESSIBLE PATH OF TRAVEL CONC. WALKWAY TO AREA OF WORK.
- 9 ACCESSIBLE CONC. WALKWAY TO SHOP ACCESSIBLE MAIN ENTRY, TIE-IN TO (E) CONC. WALKWAY, S.C.D.
- 10 ASPHALT DRIVE TO OVERHEAD DOOR AT SHOP W/ REMOVABLE BOLLARDS, S.C.D.
- 11 ACCESSIBLE CONC. PAVING AT SECONDARY SHOP DOOR, TIE-IN TO (E) CONC. WALKWAY, S.C.D.

- 12 NON-COMBUSTIBLE METAL ROOF COVERING CONNECTING SHOP TO (E) ARCHIVES WAREHOUSE, SPRINKLERED.
- 13 (E) ELECTRICAL VAULT, TRANSFORMER, AND UNDERGROUND POWER AND COMMUNICATION LINES, PROTECT IN PLACE.
- 14 RELOCATE AREA DRAIN AND ADJUST LINE LOCATION, TIE-IN TO (E), S.C.D.
- 15 RELOCATE IRRIGATION EQUIPMENT.
- 16 ELECTRICAL SUB-PANEL AT SHOP, VERIFY LOCATION, EXTEND SYSTEM FROM (E) ARCHIVES WAREHOUSE SERVICE, S.E.D.
- 17 FIRE SPRINKLER LINE OVERHEAD, VERIFY LOCATION, EXTEND SYSTEM FROM (E) ARCHIVES WAREHOUSE SERVICE.
- 18 GRAVEL APRON, EXTEND AROUND SHOP FROM (E) GRAVEL AREA AROUND (E) ARCHIVES WAREHOUSE, S.C.D.

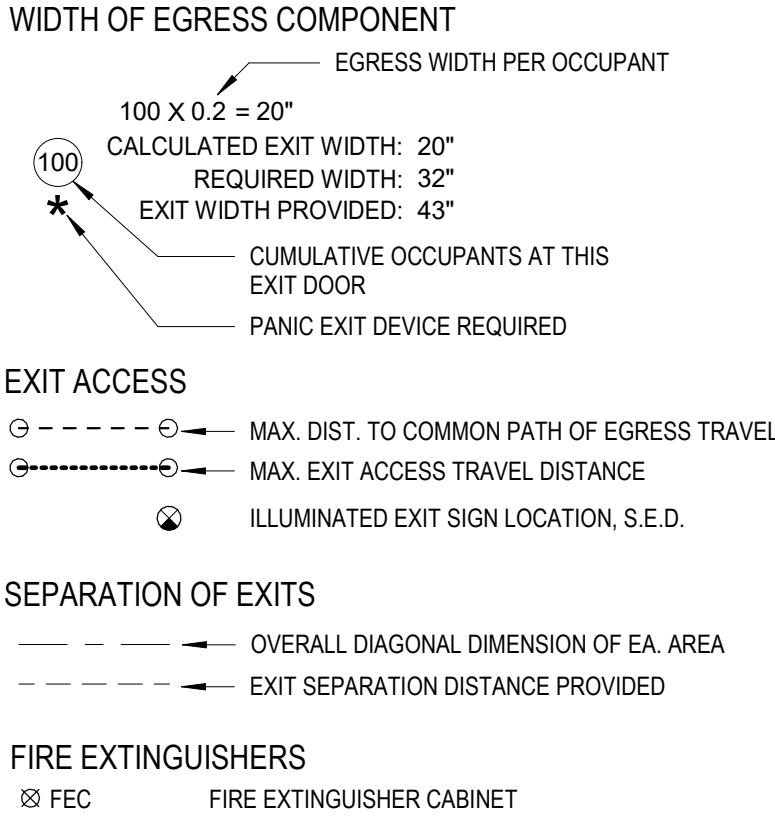
REV. # DESCRIPTION DATE

OVERALL SITE PLAN

PROJECT NUMBER 24007.00
DATE NOV. 22, 2024
DRAWN BY NB
CHECKED BY -

A01

CODE COMPLIANCE LEGEND



CODE COMPLIANCE NOTES

- SEE CODE ANALYSIS NOTES AND CODE COMPLIANCE DETAILS FOR ADDITIONAL INFORMATION.
- SEE CALGREEN COMPLIANCE NOTES AND CHECKLIST FOR ADDITIONAL INFORMATION.
- NOTE: EXISTING WALKWAYS, PARKING AREAS AND BUILDING ENTRY HAVE BEEN PERMITTED AND INSTALLED UNDER SEPARATE PERMIT UNDER THE 2019 CBC.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IN WRITING IF CONDITIONS FOR ACCESSIBILITY VARY FROM THOSE REPRESENTED IN THE DRAWINGS.
- IF REQUESTED BY FIRE DEPT., MAIN ENTRY ADDRESS NUMERALS OR BUILDING ADDRESS NUMERALS SHALL BE REPLACED TO COMPLY WITH CITY STANDARDS.
- SIGNAGE IDENTIFYING THE LOCATION OF THE FSR ACCESS PANELS SHALL BE PROVIDED AS DIRECTED BY THE FIRE DEPT.
- ALL EXITS ARE TO BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.
- DOOR LANDINGS SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44 INCHES.

PLUMBING FIXTURE SUMMARY

2022 CALIFORNIA PLUMBING CODE, CHPT. 4, MIN. PLUMBING FIXTURES

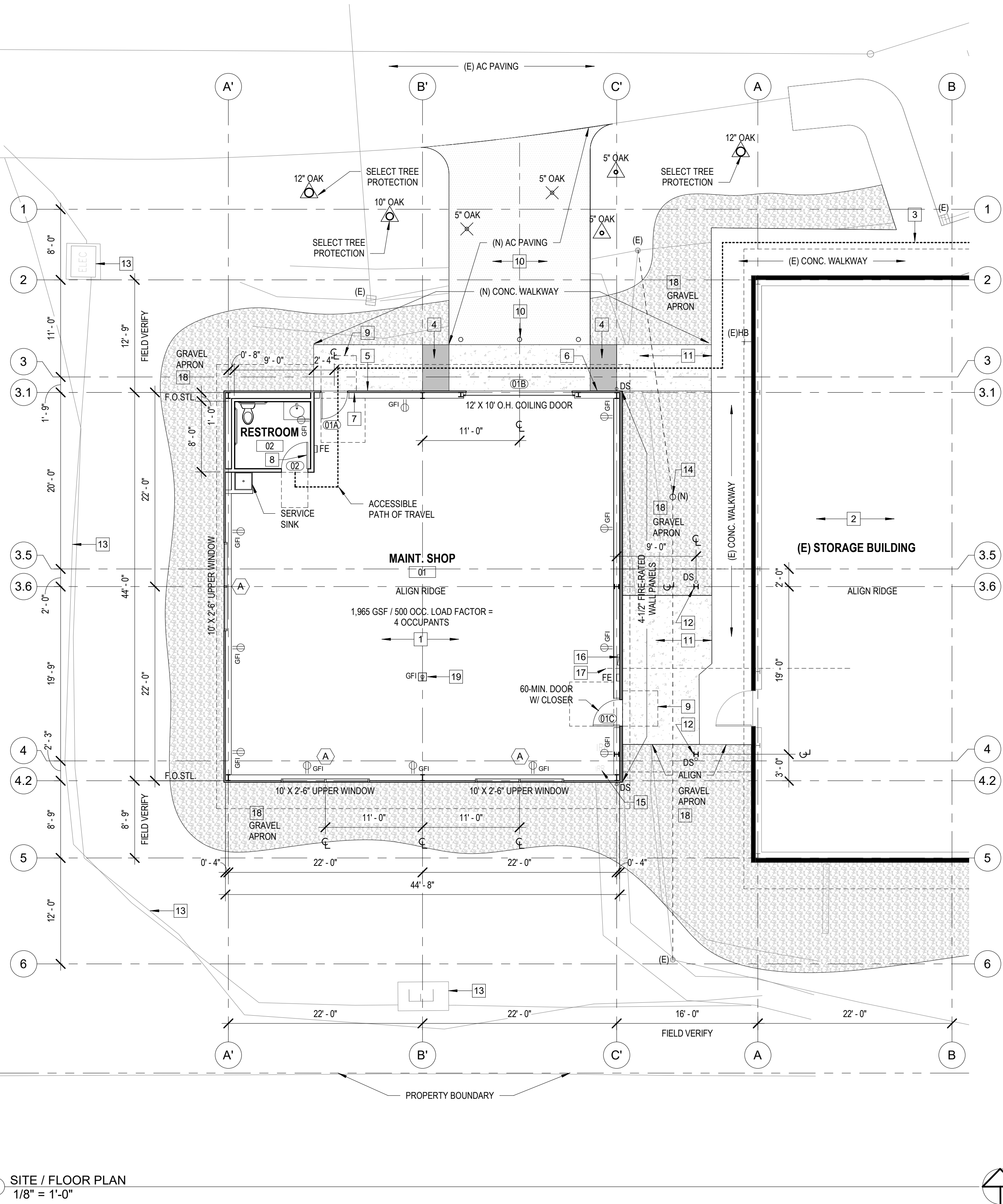
OCC. LOAD FACTOR PER CBC CHPT. 10:
WAREHOUSE - ACCESSORY: 500 GROSS

OCC. LOAD CALC:
1,965 GSF / 500 = 4 OCCUPANTS

MIN. PLUMBING FACILITIES OFFICE AND STORAGE (CPC 422.2, EXC. 2):
SINGLE-USER TOILET FACILITY: 1 REQUIRED, 1 PROVIDED [OK]

DRINKING FOUNTAINS: NOT REQUIRED PER 415.2.

SERVICE SINKS: 1 REQ'D. PER TBL. 422.1, 1 PROVIDED [OK]



1 SITE / FLOOR PLAN
1/8" = 1'-0"

DEMOLITION NOTES

- PROTECT MATERIALS TO REMAIN IN PLACE DURING DEMOLITION.
- DRAWING DIMENSIONS ARE APPROXIMATE AND ARE BASED ON INFORMATION AVAILABLE, CONTRACTOR SHALL VERIFY (E) CONDITIONS PRIOR TO COMMENCING DEMOLITION.
- THESE DOCUMENTS HAVE BEEN PREPARED WITH INFORMATION PROVIDED BY THE OWNER AND LIMITED EXISTING DOCUMENTATION. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED AS THE BASIS OF THE WORK.
- COORDINATE DELIVERY OF ITEMS TO BE SALVAGED FROM DEMO. VERIFY SALVAGE ITEMS WITH OWNER PRIOR TO COMMENCING THE WORK.
- COORDINATE ALL DEMO WORK W/ EXISTING UTILITIES. CAP AND PROTECT EXISTING UTILITIES IN PLACE.
- COORDINATE ALL DEMO WORK W/ EXISTING STRUCTURAL SYSTEMS AND PROVIDE ALL NECESSARY SHORING. CONSULTATION W/ THE PROJECT STRUCTURAL ENGINEER IS REQ'D. PRIOR TO REMOVAL OF STRUCTURAL ELEMENTS AND PRIOR TO INSTALL OF SHORING.
- THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO, HAZARADOUS MATERIALS OR TOXIC SUBSTANCES IN ANY FORM AT THE PROJECT SITE. NOTIFICATION, TESTING AND VERIFICATION SHALL BE COMPLETED BY THE CONTRACTOR PRIOR TO COMMENCING DEMOLITION WORK.
- THE MATERIALS AND METHODS OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL COMPLY WITH ALL APPLICABLE INDUSTRY AND PRODUCT MANUFACTURER REQUIREMENTS AND RECOMMENDATIONS FOR STORAGE, INSTALLATION, MAINTENANCE AND PERFORMANCE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT MATERIALS AND SYSTEMS ARE PROVIDED AND INSTALLED IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES AND JURISDICTIONAL REQUIREMENTS.
- PROTECT AND MAINTAIN IN OPERATION THE (E) AUTOMATIC FIRE SUPPRESSION AND FIRE ALARM SYSTEMS DURING DEMOLITION.
- CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FOR ANY WORK WITHIN THE RIGHT-OF-WAY.
- CONTRACTOR SHALL PROVIDE BAY AREA AIR QUALITY NOTIFICATION AND/OR PERMITTING AND DOCUMENTATION AS REQ'D., PRIOR TO COMMENCING THE WORK.
- THE WORK SHALL COMPLY WITH CALGREEN CODE.

NEW FLOOR PLAN DRAWING NOTES

- MAINTENANCE SHOP, 1,965 GSF, 1-STORY, TYPE V-B, SPRINKLERED, UNCONDITIONED.
- (E) ARCHIVES WAREHOUSE, 9,277 GSF, 1-STORY, TYPE V-B, SPRINKLERED.
- ACCESSIBLE ROUTE CONNECTING SHOP ENTRY TO (E) ACCESSIBLE VAN PARKING STALL AND VAN EV STALL. SEE OVERALL SITE PLAN.
- DETECTABLE WARNINGS PER CBC 11B-705.1.
- INTERNATIONAL SYMBOL OF ACCESSIBILITY, ISA SIGN TYPE "A".
- ILLUMINATED ADDRESS SIGNAGE PER FIRE DEPT. REQ'TMS.
- PROVIDE TACTILE EXIT SIGN TYPE "L".
- PROVIDE UNISEX RESTROOM DOOR SIGN TYPE "D".
- ACCESSIBLE LEVEL LANDING AT ENTRY/EXIT DOORS.
- ASPHALT DRIVE TO OVERHEAD DOOR AT SHOP W/ REMOVABLE BOLLARDS, TYP. OF 3, S.C.D.
- ACCESSIBLE CONC. PAVING W/ SLIP RESISTANT FINISH, TIE-IN TO (E) CONC. WALKWAY, S.C.D.. 2% MAX. SLOPE IN ANY DIRECTION, PROVIDE ACCESSIBLE TRANSITIONS, TYP.
- STL. COLUMN AT NON-COMBUSTIBLE METAL ROOF COVERING CONNECTING SHOP TO (E) ARCHIVES WAREHOUSE, SPRINKLERED.
- (E) ELECTRICAL VAULT, TRANSFORMER, AND UNDERGROUND POWER AND COMMUNICATION LINES, PROTECT IN PLACE.
- RELOCATE AREA DRAIN AND ADJUST LINE LOCATION, TIE-IN TO (E), S.C.D.
- RELOCATE IRRIGATION EQUIPMENT, VERIFY NEW LOCATION(S).
- ELECTRICAL SUB-PANEL AT SHOP, VERIFY LOCATION, EXTEND SYSTEM FROM (E) ARCHIVES WAREHOUSE SERVICE, S.E.D.
- FIRE SPRINKLER LINE OVERHEAD, VERIFY LOCATION, EXTEND SYSTEM FROM (E) ARCHIVES WAREHOUSE SERVICE.
- GRAVEL APRON. EXTEND AROUND SHOP FROM (E) GRAVEL AREA AROUND (E) ARCHIVES WAREHOUSE, S.C.D., MATCH (E) GRAVEL TYPE.
- FLUSH POWER AND DATA FLOOR BOX, S.E.D., VERIFY LOCATION.

FLOOR PLAN NOTES

- DIMENSIONS ARE TO FACE OF STUD (FOS) U.O.N., FIELD VERIFY. DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL VERIFY MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEM DESIGN REQ'TMS. PRIOR TO INSTALL. MECHANICAL, ELECTRICAL, AND LIGHTING LOCATIONS ARE DIAGRAMMATIC. SYSTEMS INSTALLATION SHALL BE PER MANUF. REQ'TMS, S.M.D, S.P.D., S.E.D.
- FOR ALL (N) MECHANICAL, PLUMBING, ELECTRICAL WORK, PROVIDE ACCESS PANELS AS REQUIRED, TYP. FINISH TO MATCH ADJACENT SURFACE, TYP. COORDINATE ALL DEMO WORK W/ EXISTING UTILITIES. CAP AND PROTECT EXISTING UTILITIES IN PLACE.
- PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, AND BRACING FOR LIGHT FIXTURES, MECH. EQUIPMENT, AND ALL OTHER ITEMS REQUIRED FOR A COMPLETE INSTALLATION.
- COORDINATE LAYOUT OF ALL CONCEALED ABOVE CEILING AND IN-WALL EQUIPMENT, SYSTEMS AND DEVICES PRIOR TO INSTALLATION TO AVOID CONFLICTS / INTERFERENCES AND TO PROVIDE CLEAR ACCESS FOR MAINTENANCE, SERVICE AND REPAIRS.
- TYPICAL NEW INTERIOR PARTITION ASSEMBLY: LT. GA. STL. STUD @ 24" O.C. MIN., SOUND ATTENUATION BATT INSUL., 5/8" TYPE-X GYP. BD. EA. SIDE, U.O.N., SEE DETAILS.
- PROTECT AND MAINTAIN IN OPERATION THE (E) AUTOMATIC FIRE SUPPRESSION AND FIRE ALARM SYSTEMS DURING CONSTRUCTION.
- AUTOMATIC FIRE SUPPRESSION SYSTEM SHALL BE DESIGNED, PERMITTED, AND INSTALLED BY THE CONTRACTOR PER NFPA 13, 2022 CBC SECT 903 AND 2022 CFC SEC 903. FIRE SPRINKLERS LAYOUT PLANS AND CALCULATIONS SHALL BE A SEPARATE PERMIT SUBMITTAL BY THE CONTRACTOR, INCLUDING SUBMITTAL TO THE ARCHITECT. REF. CBC 903.3.1.1. CONTRACTOR SHALL OBTAIN FIRE SPRINKLER PERMIT PRIOR TO BUILDING PERMIT ISSUANCE.
- FIRE ALARM SYSTEM SHALL BE DESIGNED, PERMITTED, AND INSTALLED BY THE CONTRACTOR.
- SEE CODE ANALYSIS FOR ADD'L. INFO.
- SEE DOOR, WINDOW, AND FINISH SCHEDULES FOR ADD'L. INFO.
- SEE ENLARGED PLAN AND INT. ELEVATIONS FOR ADD'L. INFO.
- APPLIANCES, EQUIPMENT, FURNITURE AND FURNITURE SYSTEMS SHALL BE PROVIDED AND INSTALLED BY THE OWNER, U.O.N.
- PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS AND ROOF CEILINGS SHALL BE PROTECTED AS REQUIRED IN CBC SECS. 714.3 & 714.4
- RATED WALL PANELS ARE BEING USED VOLUNTARILY AT EAST WALL OF SHOP AND ARE NOT REQUIRED FOR SEPARATION, SEE CODE ANALYSIS.

NOT FOR
CONSTRUCTION

PLANNING
SUBMITTAL

MAINT. SHOP

2375 HARDIES LANE
SANTA ROSA, CA 95403
APN: 041-021-084

REV. # DESCRIPTION DATE

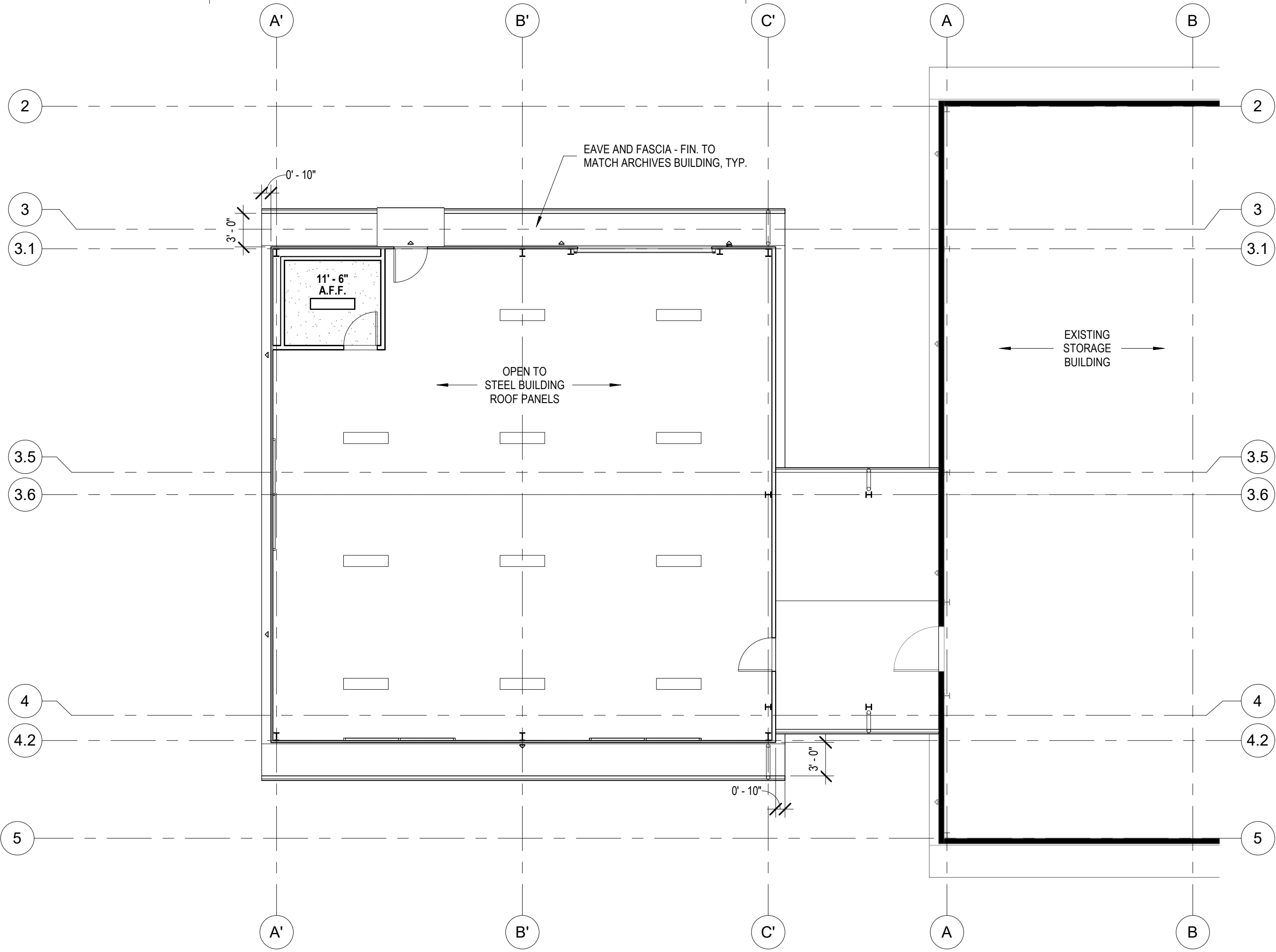
SITE / FLOOR PLAN

PROJECT NUMBER 24007.00
DATE NOV. 22, 2024
DRAWN BY NB
CHECKED BY -

A11

CEILING PLAN NOTES

- 1. COORDINATE LAYOUT OF ALL CONCEALED ABOVE CEILING EQUIPMENT, SYSTEMS AND DEVICES PRIOR TO INSTALLATION TO AVOID CONFLICTS / INTERFERENCES AND TO PROVIDE CLEAR ACCESS FOR MAINTENANCE, SERVICE AND REPAIRS. FIELD VERIFY LOCATIONS AND COORDINATE WITH OTHER EQUIPMENT AND STRUCTURAL ELEMENTS PRIOR TO INSTALL, S.E.D.
- 2. PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, SUPPORT WIRES AND SPLAY BRACING FOR LIGHT FIXTURES, MECH. EQUIPMENT, AND ALL OTHER ITEMS REQUIRED FOR A COMPLETE INSTALLATION.
- 3. LIGHT FIXTURES SHALL BE LED, DIMMING, AND COMPLIANT WITH T-24 ENERGY CODES, TYP., LIGHTING CONTROLS, TESTING AND VERIFICATION SHALL COMPLY WITH LOCAL ORDINANCE, T-24 AND CALGREEN CODE., S.E.D. IF REQ'D., SEE LIGHTING SCHEDULE FOR FIXTURES TYPES, S.E.D. FIXTURES SHALL BE UL LISTED FOR ZERO CLEARANCE INSUL. CONTACT.
- 4. LIGHTING LAYOUTS AND HVAC EQUIP. LAYOUTS ARE DIAGRAMMATIC, PROVIDED FOR COORDINATION, S.E.D.
- 5. FOR ALL (N) MECHANICAL, PLUMBING, ELECTRICAL WORK, PROVIDE ACCESS PANELS AS REQUIRED, TYP. FINISH TO MATCH ADJACENT SURFACE, TYP.
- 6. AUDIO-VISUAL, DATA, AND SECURITY SYSTEMS BY OWNER.
- 7. SEE SCHEDULES FOR ADDTL INFO.
- 8. PENETRATIONS OF FIRE-RESISTIVE WALLS SHALL BE PROTECTED AS REQUIRED IN CBC SECS. 714.3 & 714.4.



CEILING PLAN LEGEND

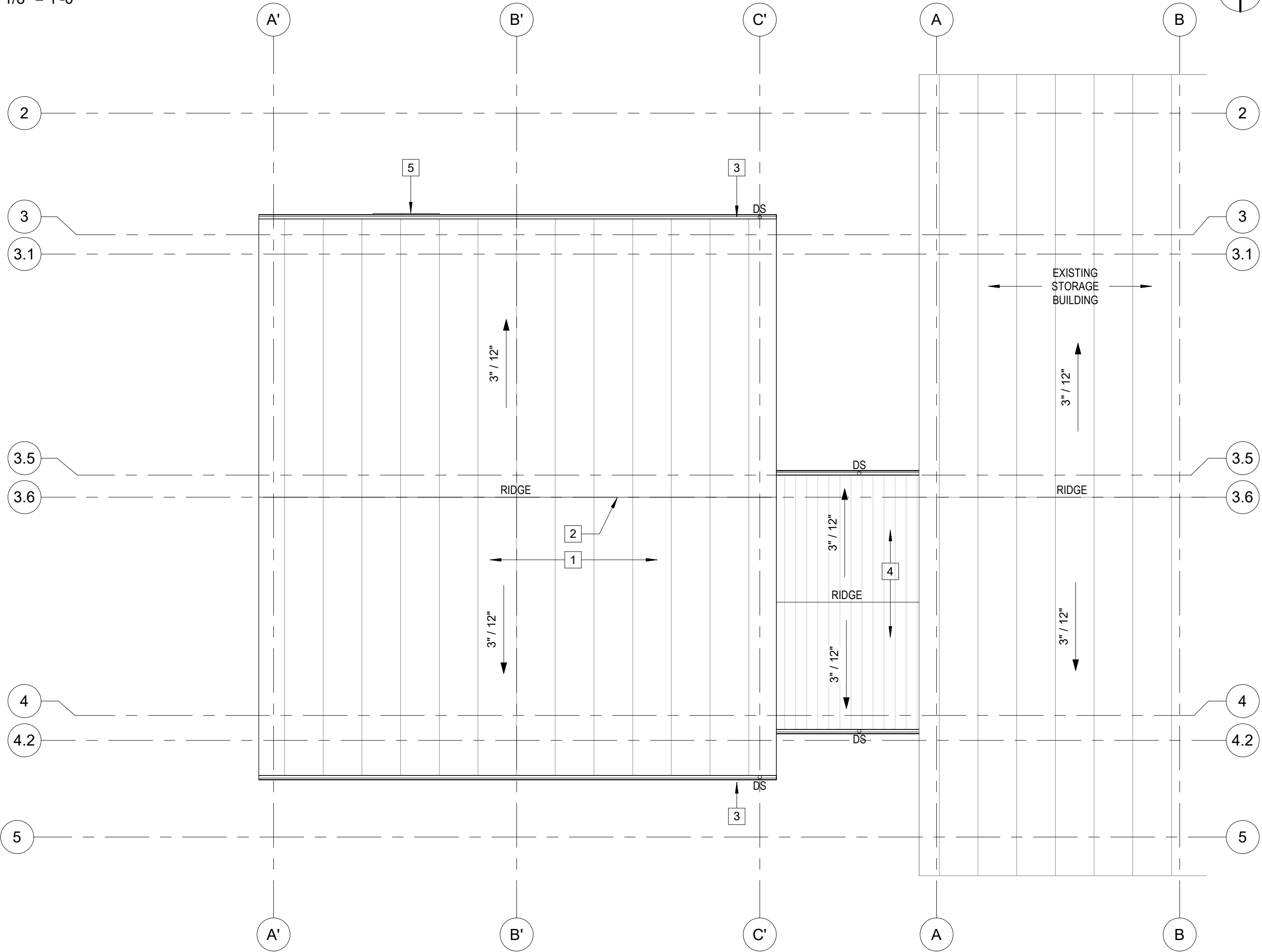
- GYPSUM BOARD CEILING, PAINTED FINISH SMOOTH, LEVEL 4 FIN. MIN., TYP., COLOR AND SHEEN AS SELECTED
- RECESSED LED LIGHT FIXTURE, CEILING INLAY, S.E.D.
- PENDANT LINEAR LED LIGHT FIXTURE, S.E.D.
- SURFACE-MOUNTED LED LIGHT FIXTURE, S.E.D.
- RECESSED LED DOWNLIGHT FIXTURE, S.E.D.
- INT. WALL-MOUNTED LED LIGHT FIXTURE, S.E.D.
- EXT. WALL-MOUNTED LED LIGHT FIXTURE, S.E.D.
- 2' X 2' SUPPLY AIR DIFFUSER, CEILING INLAY, S.M.D.
- 2' X 2' RETURN AIR GRILLE, CEILING INLAY, S.M.D.
- SUPPLY / RETURN WALL AIR GRILLE, S.M.D.
- EXHAUST FAN/GRILLE, CEILING INLAY, S.M.D.

EQUIP. LAYOUTS SHOWN FOR REF. AND COORD., S.E.D., S.M.D.

NOT FOR
CONSTRUCTION

PLANNING
SUBMITTAL

1 REFLECTED CEILING PLAN
1/8" = 1'-0"



2 ROOF PLAN
1/8" = 1'-0"

ROOF PLAN DRAWING NOTES

- 1 STANDING SEAM METAL INSULATED PANEL ROOFING SYSTEM CLASS A, BY STEEL BUILDING MANUF., FACTORY FINISH, NON-REFLECTIVE, COLOR: MATCH ADJACENT ARCHIVES WAREHOUSE, SEE EXT. ELEVATIONS.
- 2 METAL RIDGE SYSTEM AND EAVE FLASHINGS BY STEEL BUILDING MANUF., FACTORY FINISH, NON-REFLECTIVE. MATCH ROOFING COLOR.
- 3 MTL. GUTTER, PROFILE AND FINISH TO MATCH ARCHIVES WAREHOUSE TIE-IN DOWNSPOUTS TO STORM DRAIN, TYP., S.C.D., DOWNSPOUTS FIN. TO ADJACENT WALL OR COLUMN.
- 4 STL. CANOPY BELOW, S.S.D., W/ STANDING SEAM METAL ROOFING, PROVIDE DRAINAGE, TIE-IN DOWNSPOUTS TO STORM DRAIN, TYP., S.C.D., FINISHED AT BOTH SIDES MTL. ROOFING PANELS.
- 5 MTL. DOOR AWNING W/ STL. FRAME, RELOCATED FROM EXISTING LOCATION AS DIRECTED BY OWNER.

MAINT. SHOP

2375 HARDIES LANE
SANTA ROSA, CA 95403
APN: 041-021-084

REV. #	DESCRIPTION	DATE
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REFLECTED CEILING
& ROOF PLANS

PROJECT NUMBER	24007.00
DATE	NOV. 22, 2024
DRAWN BY	NB
CHECKED BY	-

ROOF VENTILATION NOTE

NO ROOF VENTILATION REQUIRED. THERE ARE NO ENCLOSED ATTICS IN THE PROJECT. ADDITIONALLY, THERE ARE NO AIRSPACES WITHIN THE ROOF CONSTRUCTION TO VENTILATE, CLOSED-CELL INSUL. USED AT ROOF PANELS.

A12

NOT FOR
CONSTRUCTION

PLANNING
SUBMITTAL

MAINT. SHOP

2375 HARDIES LANE
SANTA ROSA, CA 95403
APN: 041-021-084

EXTERIOR
ELEVATIONS

PROJECT NUMBER 24007.00
DATE NOV. 22, 2024
DRAWN BY NB
CHECKED BY -

A21

EXTERIOR MATERIALS LEGEND

- INSULATED STANDING SEAM METAL ROOF PANELS, 4" SR2 CLASS A, FACTORY FINISH, NON-REFLECTIVE MATCH (E) ARCHIVES, COLOR: "NATURAL GREEN"
- INSULATED METAL WALL AND EAVE PANELS, 2-1/2" HE40 TEXTURED, FACTORY FINISH, MATCH (E) ARCHIVES WALL: KM "BEACHCOMBER", EAVE: KM "SLIPPERY SHALE"
- STANDING SEAM METAL ROOFING PANELS CLASS A, FACTORY FINISH, NON-REFLECTIVE MATCH (E) ARCHIVES, COLOR: "NATURAL GREEN"

EXTERIOR MATERIALS LEGEND NOTES:

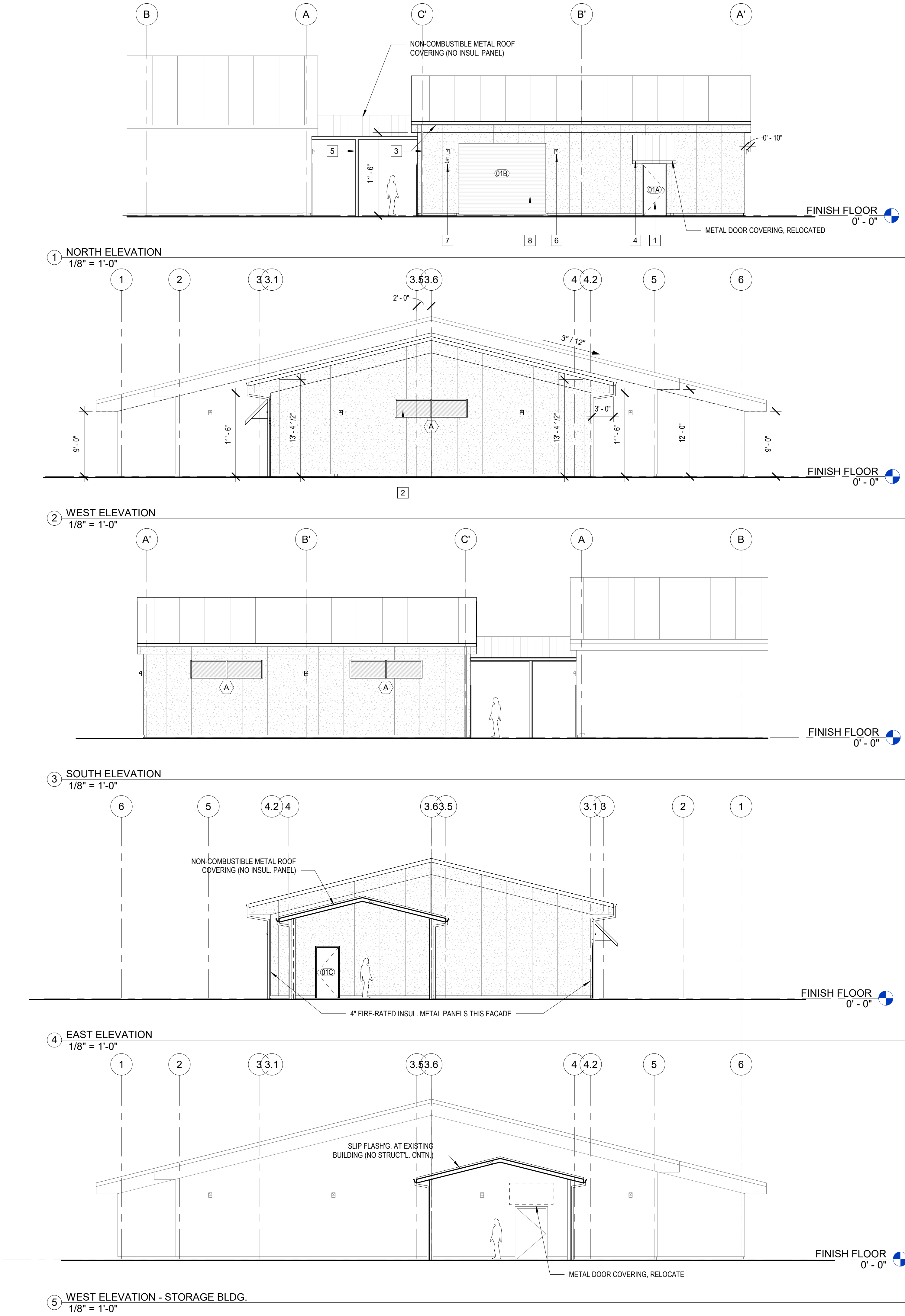
1. MIN. 2-1/2" METAL INSULATED BUILDING WALL PANELS, USE FIRE-RATED 4-1/2" PANELS AT EAST SIDE.
2. MIN. 4" METAL INSULATED BUILDING ROOF PANELS.
3. THERMALLY-BROKEN ALUM. STOREFRONT WINDOW SYSTEMS, TYP., CLEAR ANODIZED ALUMINUM FRAME FINISH.
4. MIN. 1" CLEAR INSULATED GLAZING UNITS, TEMPERED, TYP., USE SOLARBAN XL 70, ARGON FILLED, OR EQUAL.
5. EXT. ENTRY AND OVERHEAD DOORS AND FRAMES FINISH COLOR: KM "BURNISHED PEWTER."
6. EXT. FINISHES AND SYSTEMS SHALL BE COMPLIANT WITH BUILDING AND FIRE CODES FOR WILDLAND URBAN INTERFACE (WUI), TYP.
7. PROVIDE COMPLETE SUBMITTAL FOR METAL BUILDING SYSTEM AND FINISH LAYOUTS TO ARCHITECT PRIOR TO INSTALLATION..

EXT. ELEVATIONS DRAWING NOTES

- 1 STL. ENTRY DOOR W/ WELDED HOLLOW METAL FRAME.
- 2 EXT. ALUM. STOREFRONT WINDOW SYSTEM, THERMALLY-BROKEN, TYP.
- 3 MTL. GUTTER, PROFILE AND FINISH TO MATCH ARCHIVES WAREHOUSE TIE-IN DOWNSPOUTS TO STORM DRAIN, TYP., S.C.D., DOWNSPOUTS FIN. TO ADJACENT WALL OR COLUMN.
- 4 STL. DOOR COVERING W/ STL. FRAME, RELOCATED, VERIFY WITH OWNER.
- 5 STL. CANOPY COLUMN, GALVANIZED PAINTED FIN., TYP., S.S.D.
- 6 EXT. LIGHT FIXTURE, WEATHER PROTECTED, FULL CUT-OFF, PROVIDE MIN. 80" CLR. A.F.F. TO FIXT. WHERE ABOVE WALK SURFACES, TYP., S.E.D.
- 7 ILLUMINATED ADDRESS SIGNAGE PER CITY FIRE STANDARDS.
- 8 INSULATED OVERHEAD COILING DOOR, FACTORY FIN. TO MATCH WALL PANELS, OR COLOR AS SELECTED FROM FULL RANGE.

EXTERIOR ELEVATIONS NOTES

1. STORE, HANDLE, AND INSTALL MATERIALS PER MANUFACTURER REQUIREMENTS.
2. SEE FLOOR, REFLECTED CLG., AND ROOF PLANS FOR ADDT'L. INFO.
3. SEE CALGREEN COMPLIANCE NOTES FOR ADDT'L. INFO.
4. EXT. CONC. SLAB SURFACES SHALL RECEIVE A SLIP-RESISTANT FINISH, VERIFY FIN. W/ OWNER. VERIFY FIN. @ EXPOSED SURFACES OF CONC. CURBS & WALLS W/ OWNER, TYP.
5. STEEL COLS, TRUSSES, BEAMS AND GIRDERS SHALL BE SHOP-PRIMED. EXTERIOR STEEL SHALL RECEIVE A HIGH-PERFORMANCE COATING FOR EXPOSURE TO WEATHER.
6. STEEL GIRTS AND SECONDARY FRAMING SHALL BE CORR. RES., TYP.
7. EXTERIOR SIDING FINISH SHALL BE 24 GA. TEXTURED W/ MIN. VALSPAR FLUOROPON SR OR EQUAL., TO MATCH (E) ARCHIVES BUILDING.
8. EXTERIOR METAL COPINGS, TRIMS, GUTTERS, RAIN WATER LEADERS, & LOUVERS SHALL BE FINISHED TO MATCH CUSTOM EXT. SIDING COLOR, TYP.
9. DOORS & DOOR / WINDOW / LOUVER FRAMES SHALL BE FINISHED TO MATCH SIDING COLOR, TYP.
10. OVERHEAD COILING DOOR FIN. SHALL BE AS SELECTED BY OWNER FROM FULL-RANGE OF AVAILABLE COLORS AND FINISHES. STL. SUPPORTS AND TRIMS SHALL BE FINISHES TO MATCH CUSTOM SIDING COLOR, TYP.
11. INSTALL EXT. LIGHT FIXTURES PER MANUF. REQ'MTS., TYP., S.E.D.

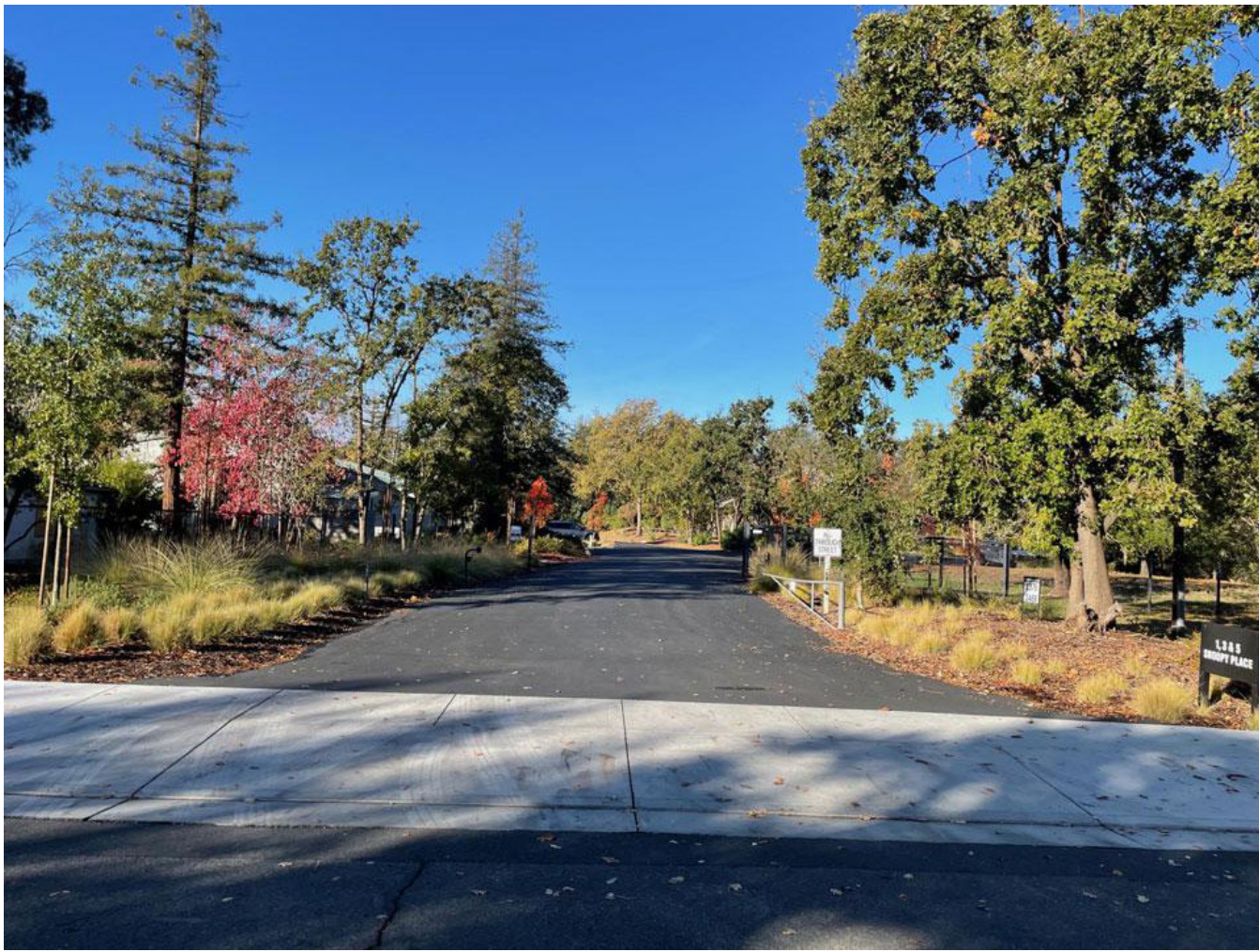




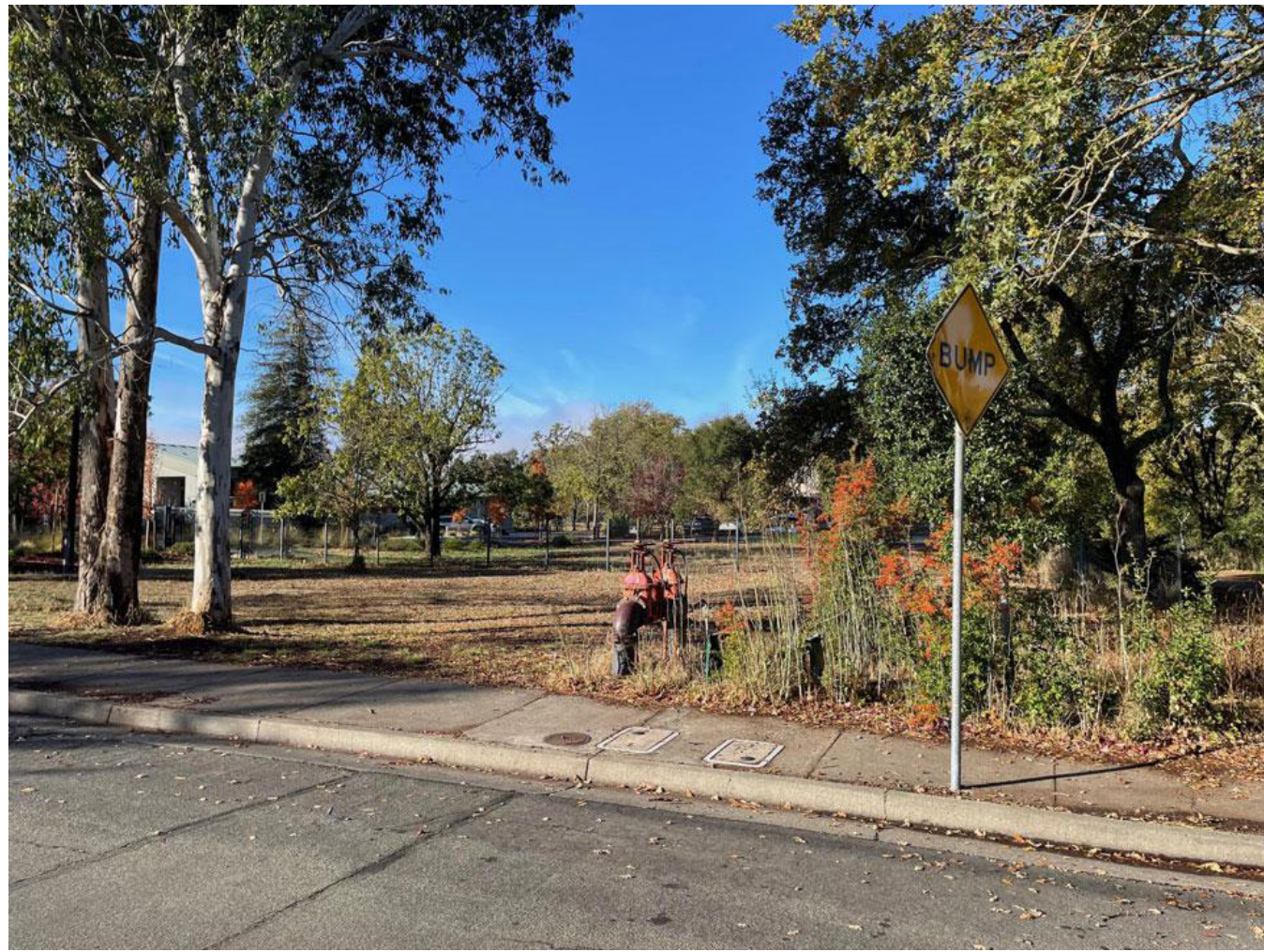
E



F



G



H

SITE VIEWS FROM HARDIES LANE



PANORAMA VIEW OF SITE ENTRY AT HARDIES LANE
"SNOOPY PLACE"



A



B



C



D

SITE VIEWS OF MAINT. SHOP LOCATION

NOT FOR
CONSTRUCTION

PLANNING
SUBMITTAL

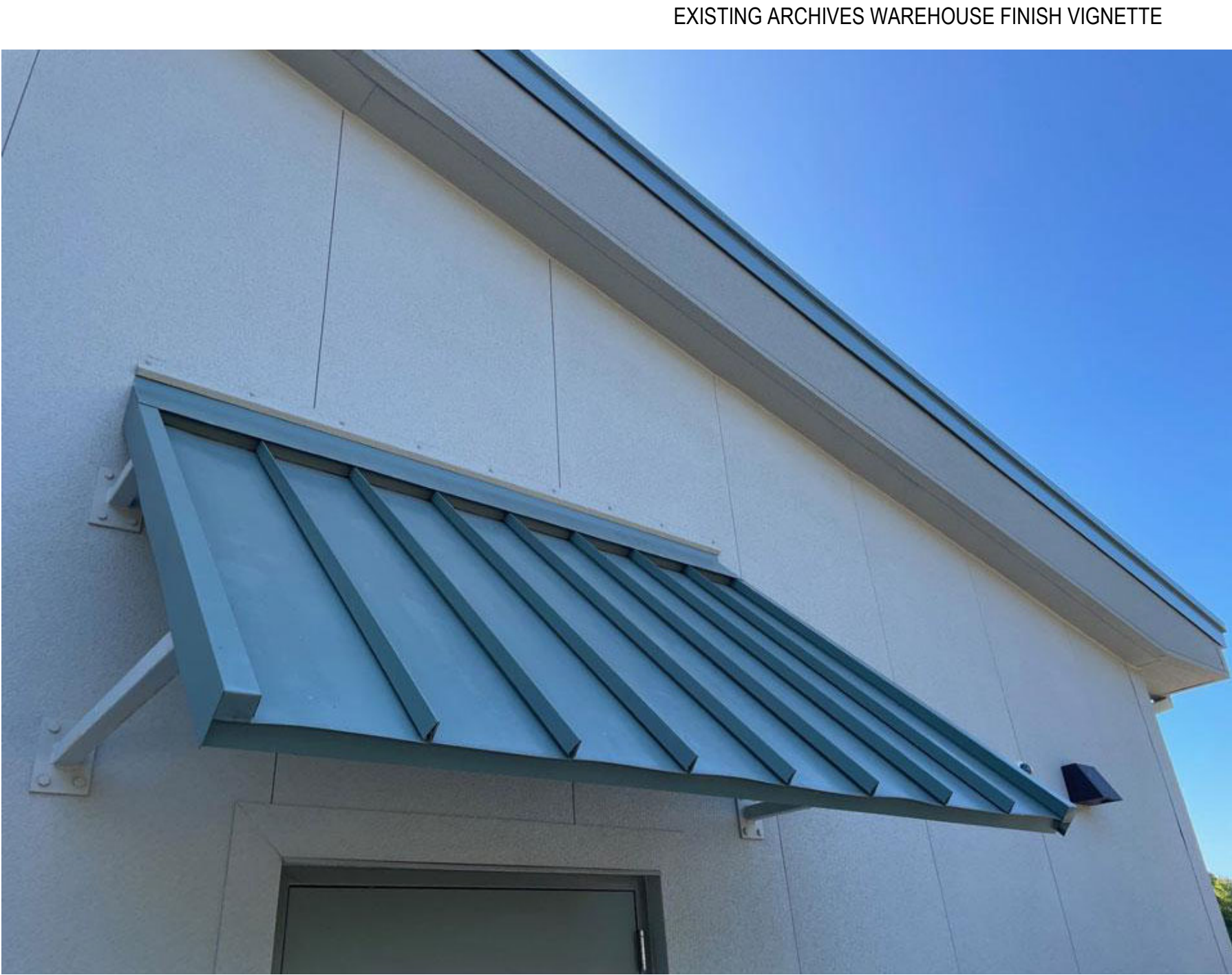
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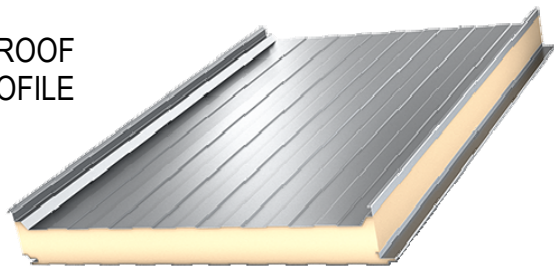
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EXISTING
CONDITIONS PHOTOS

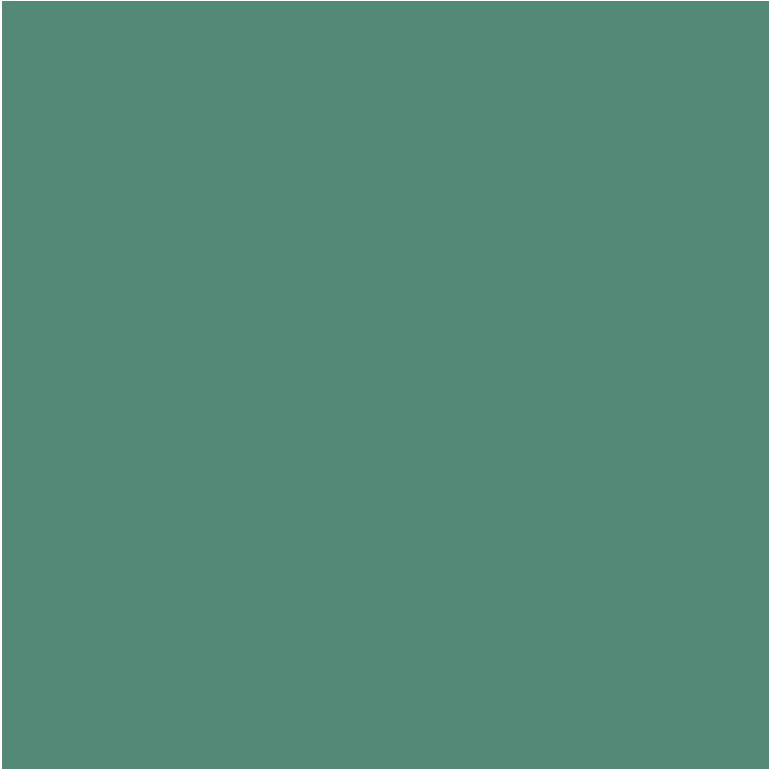
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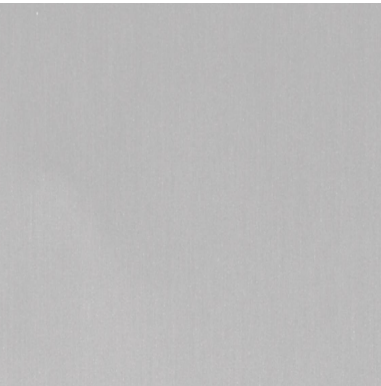
INSULATED METAL ROOF
STANDING SEAM PANEL PROFILE



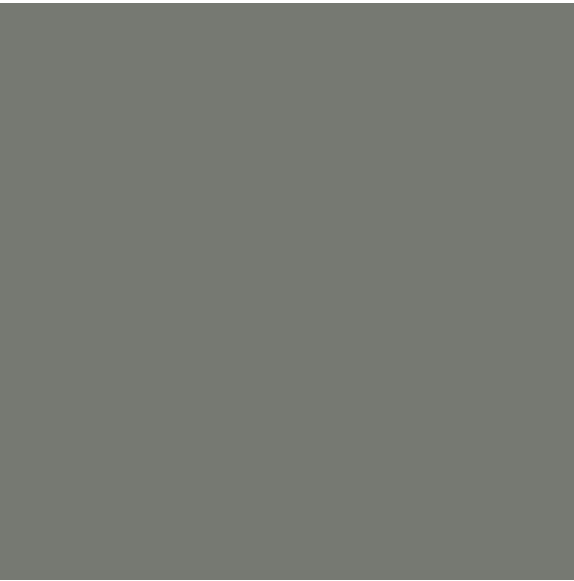
INSULATED METAL ROOF PANELS:
"NATURAL GREEN"



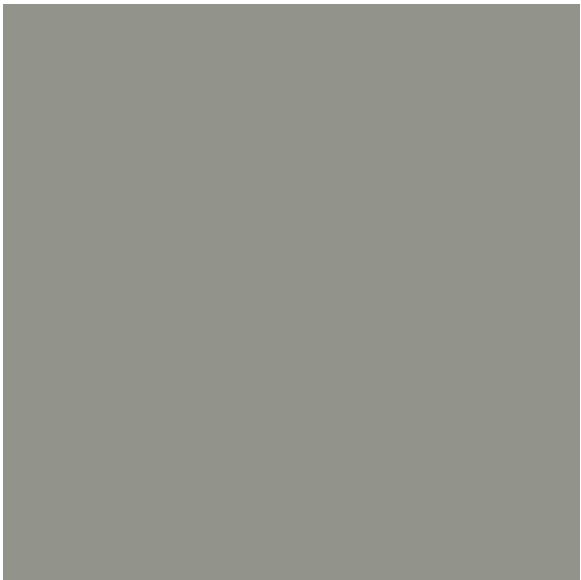
EXTERIOR WINDOW FRAME FINISH:
CLEAR ANODIZED ALUMINUM



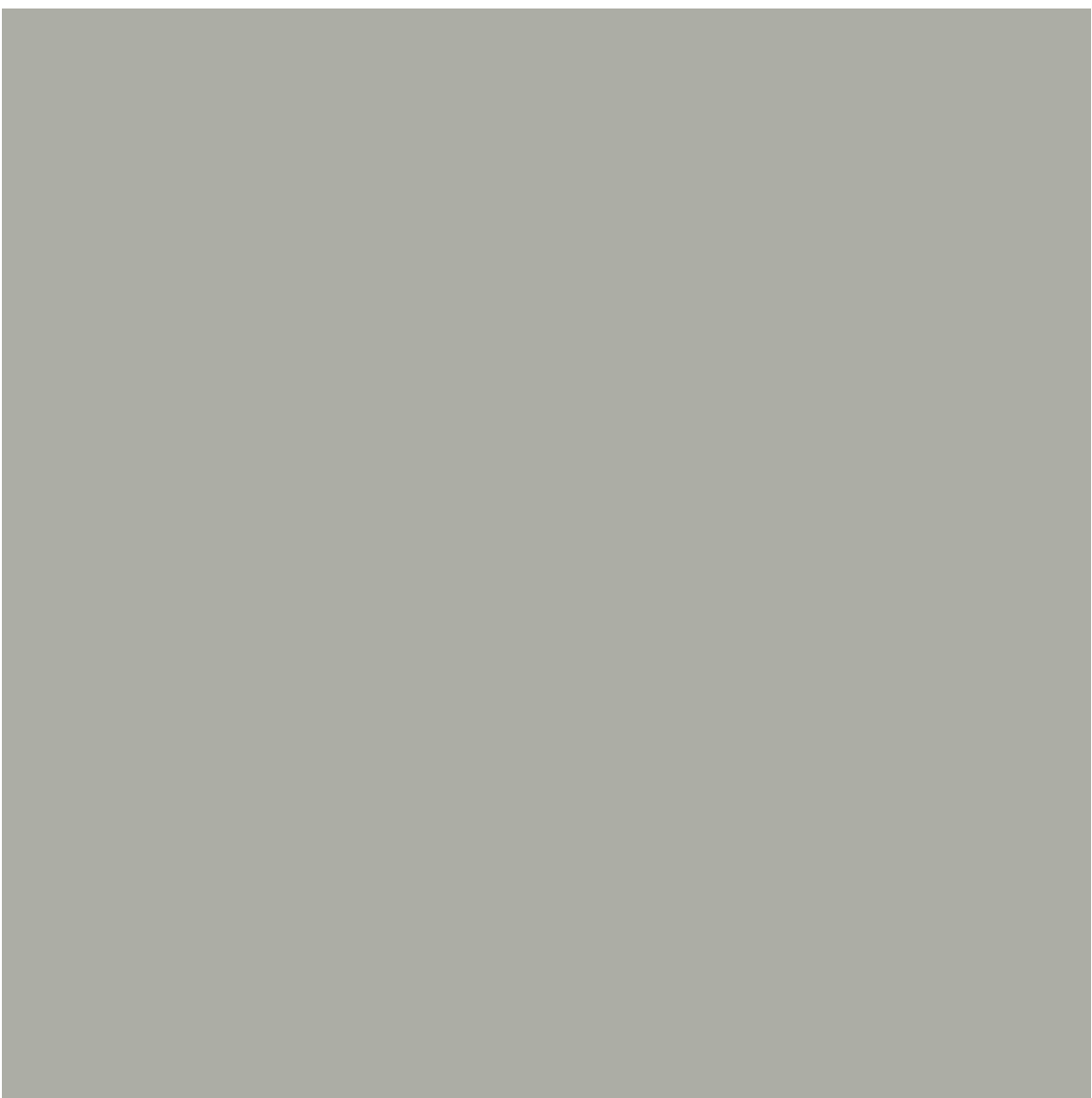
EXTERIOR DOORS AND FRAMES COLOR:
KM 3846-3 "BURNISHED PEWTER"



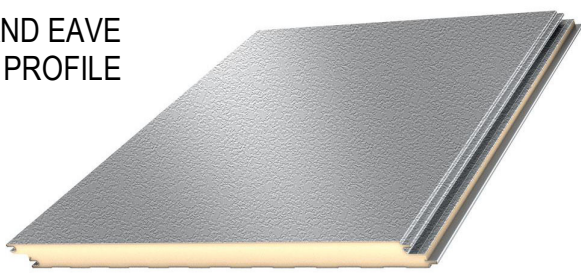
INSULATED METAL EAVE PANELS:
KM 3845-2 "SLIPPERY SHALE"



INSULATED METAL WALL PANELS:
KM 3844-2 "BEACHCOMBER"



INSULATED METAL WALL AND EAVE
TEXTURED PANEL PROFILE



LITHONIA WEDGE
LED WALL-MOUNTED LIGHT FIXTURE
FULL CUT-OFF, "DARK BRONZE"

DESIGN NARRATIVE

GENERAL:
THE MAINTENANCE SHOP IS A PRE-ENGINEERED METAL BUILDING WITH GROSS FLOOR AREA OF 1,965 GSF ON 1-STORY WITH AUTOMATIC FIRE SPRINKLERS. THE SHOP IS FOR EMPLOYEE USE ONLY AND IS UNCONDITIONED. IT IS AN ACCESSORY ADDITION TO THE EXISTING ARCHIVES WAREHOUSE AND IS DESIGNED TO BLEND AND APPEAR LIKE A NATURAL EXTENSION OF THE EXISTING BUILDING. THE SHOP FOOTPRINT IS SEPARATED BY ABOUT 15' FROM THE ARCHIVES FOOTPRINT. ADDITIONALLY, IT IS CONNECTED TO THE ARCHIVES WAREHOUSE BY A NON-COMBUSTIBLE, SPRINKLERED CANOPY ROOF. SEE BUILDING PLANS FOR ADDITIONAL INFORMATION.

LOCATION ON SITE:
THE MAINTENANCE SHOP IS LOCATED IN THE MIDDLE OF THE PARCEL, MORE THAN 300' FROM THE FRONT PROPERTY LINE. SIGHT LINES FROM HARDIES LANE MOSTLY OBSCURE THE LOCATION FROM VIEW. SEE EXISTING CONDITIONS PHOTOS FOR REFERENCE. THE SITE ARRIVAL FOR THE SHOP IS SHARED WITH THE ARCHIVES WAREHOUSE AND IS LOCATED ON THE MAIN SHARED DRIVEWAY, ALSO KNOWN AS "SNOOPY LANE." SEE SITE PLANS FOR ADDITIONAL INFORMATION.

ACCESSIBILITY:
THE EXISTING ACCESSIBLE SITE ARRIVAL, ACCESSIBLE PARKING, EV PARKING, AND ACCESSIBLE PATH OF TRAVEL AROUND THE ARCHIVES WAREHOUSE SERVE THE MAINTENANCE SHOP. THE SHOP IS FOR EMPLOYEE USE ONLY AND PROVIDES ACCESSIBLE ENTRY, SINGLE-OCCUPANCY RESTROOM, AND ACCESS TO PLANNED FUNCTIONS. SEE SITE AND BUILDING PLANS FOR ADDITIONAL INFORMATION.

MATERIALS AND FINISHES:
THE MAINTENANCE SHOP FINISH MATERIALS, COLORS, AND DETAILS ARE DESIGNED TO MATCH THE ADJACENT ARCHIVES WAREHOUSE. EXTERIOR FINISHES AND COLORS ARE PROVIDED ON THIS SHEET FOR REFERENCE. SEE EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.

EXTERIOR LIGHTING:
THE FULL CUT-OFF EXTERIOR WALL MOUNTED LED LIGHT FIXTURE IS ALSO IDENTIFIED ON THIS SHEET. THE FIXTURE IS A MATCH TO THE ARCHIVES WAREHOUSE FIXTURE IN TYPE, SIZE, AND COLOR. SEE EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.

TREE PRESERVATION:
THE MAINTENANCE SHOP ASPHALT ACCESS DRIVEWAY IS LOCATED IN THE VICINITY OF TWO 12" OAKS AND ONE 10" OAK. THE 3 OAKS ARE OUTSIDE OF THE AREA OF DRIVEWAY WORK AND ARE IDENTIFIED TO BE PROTECTED. NO TREES PROTECTED BY CITY ORDINANCE ARE AFFECTED BY THE PROJECT. SEE SITE / FLOOR PLAN FOR ADDITIONAL INFORMATION.

PROJECT DATA

PROJECT DESCRIPTION:
THE PROPOSED PROJECT IS A MAINTENANCE SHOP WITH GROSS FLOOR AREA OF 1,965 GSF ON 1-STORY. THE SHOP IS FOR EMPLOYEE USE ONLY. THE SHOP SUPPORTS EXISTING USES ON THE SITE. A SINGLE-OCCUPANCY ACCESSIBLE RESTROOM IS INCLUDED. NO NEW PARKING IS PROPOSED. THE MAIN ENTRY IS CONNECTED BY ACCESSIBLE ROUTE TO THE EXISTING ACCESSIBLE PARKING AND SITE ARRIVAL.

PROPERTY INFORMATION:
APN: 041-021-084
ADDRESS: 2375 HARDIES LANE, SANTA ROSA, CA 95403
CROSS STREET: WEST STEELE LANE

PLANNING INFORMATION (TITLE 20):
ZONING (CH. 20-26): PI-SA, SPECIAL PURPOSE DISTRICT
GENERAL PLAN LAND USE: PUBLIC INSTITUTIONAL, STATION AREA
LAND USE (TBL. 2-12): STORAGE - ACCESSORY: PERMITTED
MIN. SETBACKS (TBL. 2-13): FRONT: 15', SIDE INT.: 5', REAR: 15'
SETBACKS PROVIDED: FRONT: 314'-3", SIDE INT. SOUTH: 33'-0"
SIDE INT. NORTH: 83'-3", REAR: 329'-3" [OK]
MAX. COVERAGE (TBL. 2-13): 65%
MAX. HEIGHT (TBL. 2-13): 35', PROPOSED MAX. HEIGHT AT RIDGE: 19' [OK]
PARKING: NO NEW PARKING

BUILDING INFORMATION
APPLICABLE BUILDING CODE: 2022 CBC
BUILDING OCCUPANCY: U
OCCUPANCY TYPE: MAINT. SHOP ACCESSORY TO ARCHIVES STORAGE
CONSTRUCTION TYPE: V-B, 1-STORY, SPRINKLERED
NO HIGH-PILE STORAGE
SEE CODE ANALYSIS FOR ADD'L. INFORMATION.

AREA SUMMARY:
MAINTENANCE SHOP FLOOR AREA: 1,965 GSF (U)
EXISTING ARCHIVES STORAGE FLOOR AREA: 9,277 GSF (S-1)
EXISTING STUDIO FLOOR AREA: 4,107 GSF (B)
SITE AREA: 3.39 ACRES (147,668 SF)
COVERAGE: 15,349/147,668 = 10.4% [OK]

ADDITIONAL INFORMATION:
CA CLIMATE ZONE: 02
SEISMIC CATEGORY: D / E
BASIC WIND DESIGN SPEED: 110 MPH, EXPOSURE C
FLOOD ZONE: NOT IN FEMA FLOOD ZONE
FIRE HAZARD SEVERITY ZONE: WITHIN LRA

DEFERRED APPROVALS:
AUTOMATIC FIRE SPINKLER SYSTEM (SEPARATE PERMIT)
FIRE ALARM SYSTEM (SEPARATE PERMIT)

BISBEE

ARCHITECTURE+DESIGN

Nate Bisbee, AIA
629 Fourth Street, #A
Santa Rosa, CA 95404
(707) 492-9960

NOT FOR CONSTRUCTION

PLANNING SUBMITTAL

MAINT. SHOP

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DESIGN NARRATIVE, EXT. MATERIALS & PROJECT DATA

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