

# SANTA ROSA HOTEL - LOBBY

3555 ROUND BARN BLVD, SANTA ROSA

## PROJECT DESCRIPTION

THIS PROJECT PROPOSES A NEW SEPARATE DETACHED LOBBY BUILDING TO SUPPORT THE EXISTING HOTEL LOCATED AT 3555 ROUND BARN BOULEVARD.

THIS BUILDING WILL BE A 1-STORY OF TYPE V-A WOOD CONSTRUCTED BUILDING. PLACED IN THE SAME PAD LOCATION AS THE ORIGINAL PRE-FIRE LOBBY BUILDING.

THE CONSTRUCTION SCOPE OF WORK INCLUDES, BUT IS NOT LIMED TO, THE FOLLOWING:

1. CONSTRUCTION OF A NEW 1-STORY LOBBY BUILDING TO BE FULLY OPERATIONAL ONCE COMPLETED AND READY TO OCCUPY.
2. FULL MECHANICAL, ELECTRICAL AND PLUMBING AS REQUIRED
3. LANDSCAPING
4. FLATWORK
5. FIRE SPRINKLERS, CURRENTLY IN DESIGN PROCESS AND WILL BE SUBMITTED AS A DEFERRED SUBMITTAL.

## WILDLAND URBAN INTERFACE

THIS PROJECT IS LOCATED WITHIN AND WILDLAND-URBAN INTERFACE AREA AND SHALL COMPLY WITH THE CITY OF SANTA ROSA ADOPTED BUILDING STANDARDS AND CODE. CHAPTER R327 OF CRC, SECTION 7A OF CBC, CHAPTER 49 OF CFC AND CHAPTER 12-7A OF THE CRSC.

## FIRE DEPARTMENT NOTES

THIS PROJECT SHALL COMPLY WITH CITY OF SANTA ROSA FIRE DEPARTMENT STANDARD FOR FIRE SAFETY DURING CONSTRUCTION.

## PROJECT DATA

ADDRESS	3555 ROUND BARN BOULEVARD SANTA ROSA, CA
ASSESSOR PARCEL NUMBER	173-020-005
LOT AREA	11.22 ACRES
LOCAL ZONING	PD (PLANNED DEVELOPMENT) RC (RESILIENT CITY)
FIRE HAZARD SEVERITY	HIGH
USE	
EXISTING USE	HOTEL PARKING
PROPOSED USE	HOTEL AMENITY
OCCUPANCY GROUPS	
HOTEL (EXISTING)	R-1 (HOTEL)
LOBBY (NEW)	B (OFFICE)
CONSTRUCTION TYPES	
HOTEL (EXISTING)	TYPE V-A
LOBBY (NEW)	TYPE V-A
FIRE SPRINKLERS	
HOTEL (EXISTING)	YES/NFPA-13
LOBBY (NEW)	YES/NFPA-13
NUMBER OF STORIES	
HOTEL (EXISTING)	3-STORIES
LOBBY(NEW)	1-STORY
BUILDING HEIGHT	
HOTEL (EXISTING)	37'-6"
LOBBY (NEW)	33'-4"
NUMBER OF GUEST ROOMS	
HOTEL (EXISTING)	108 GUEST ROOMS
BUILDING AREAS	
HOTEL (EXISTING)	58,734 SF
LOBBY (NEW)	2,690 SF
COURTYARD	2,039 SF

## PROJECT DIRECTORY

### PROJECT APPLICANT

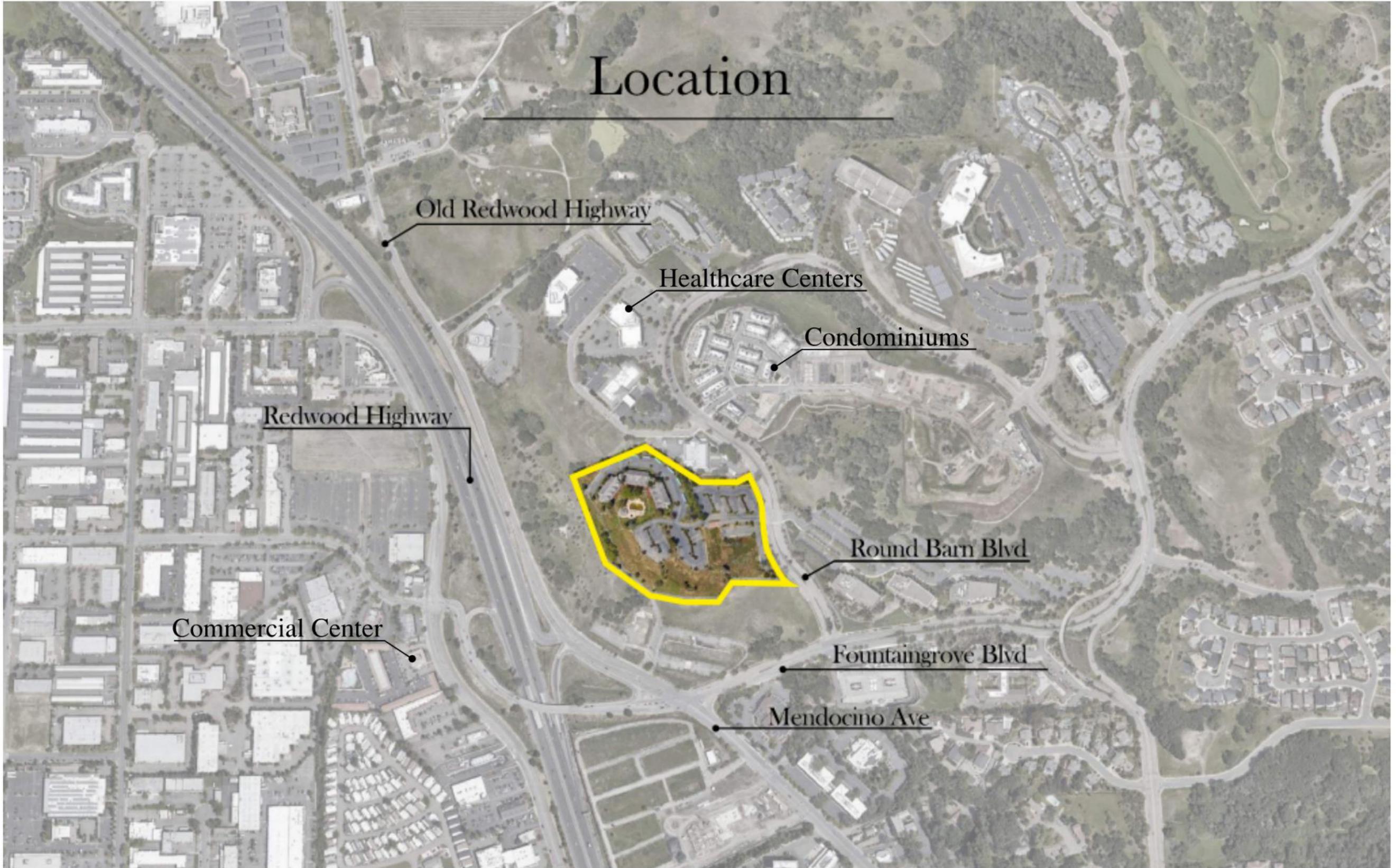
RADIATE HOSPITALITY  
 953 INDUSTRIAL AVENUE  
 PALO ALTO, CA 93403  
 ATTN: PERRY PATEL  
 PHONE: (650) 223-6711  
 EMAIL: PERRY@RADIATEHOTELS.COM

### ARCHITECT

ARRIS STUDIO ARCHITECTS  
 1319 MARSH ST, SUITE 200  
 SAN LUIS OBISPO, CA 93401  
 ATTN: THOM JESS  
 PHONE: (805) 547-2240  
 EMAIL: TJESS@ARRIS-STUDIO.COM

## SHEET INDEX

ARCHITECTURAL
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A. VIEW FROM REDWOOD HIGHWAY



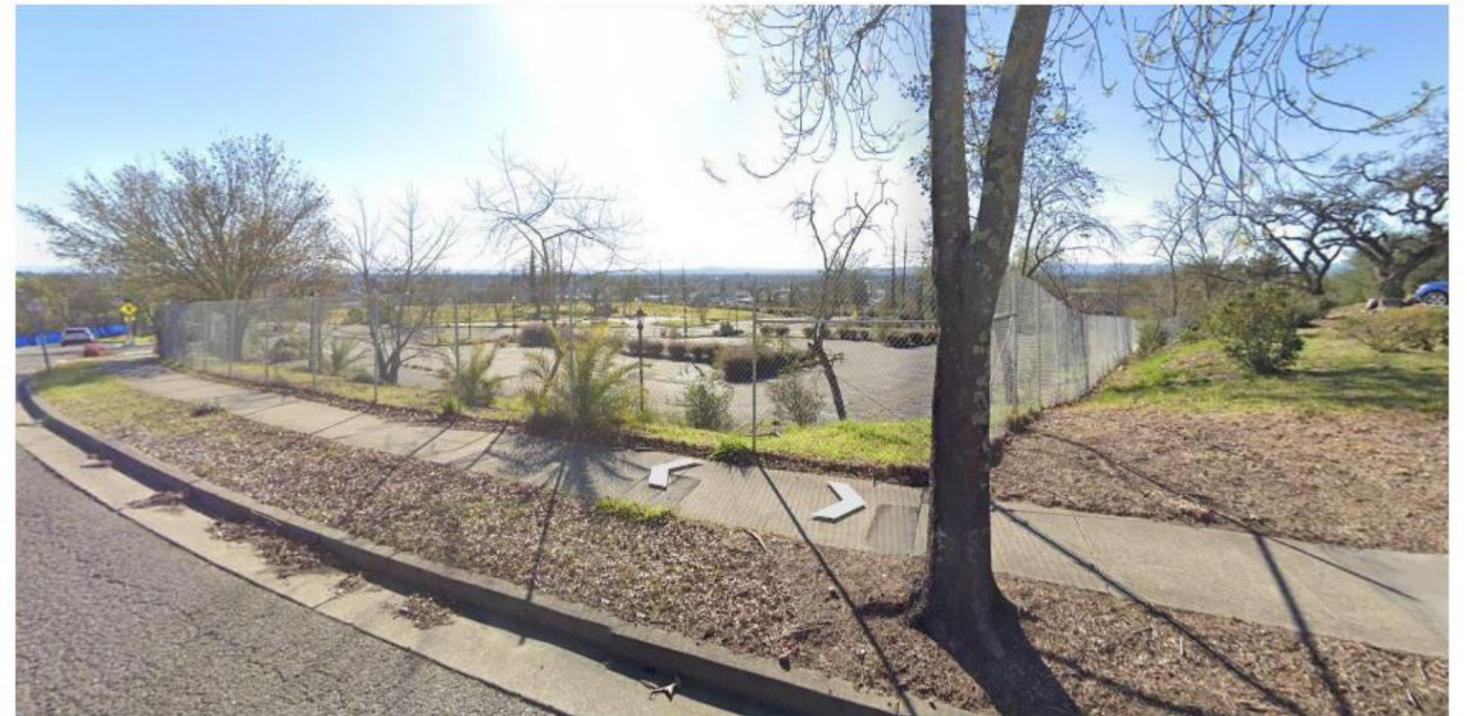
C. VIEW FROM ROUND BARN BOULEVARD

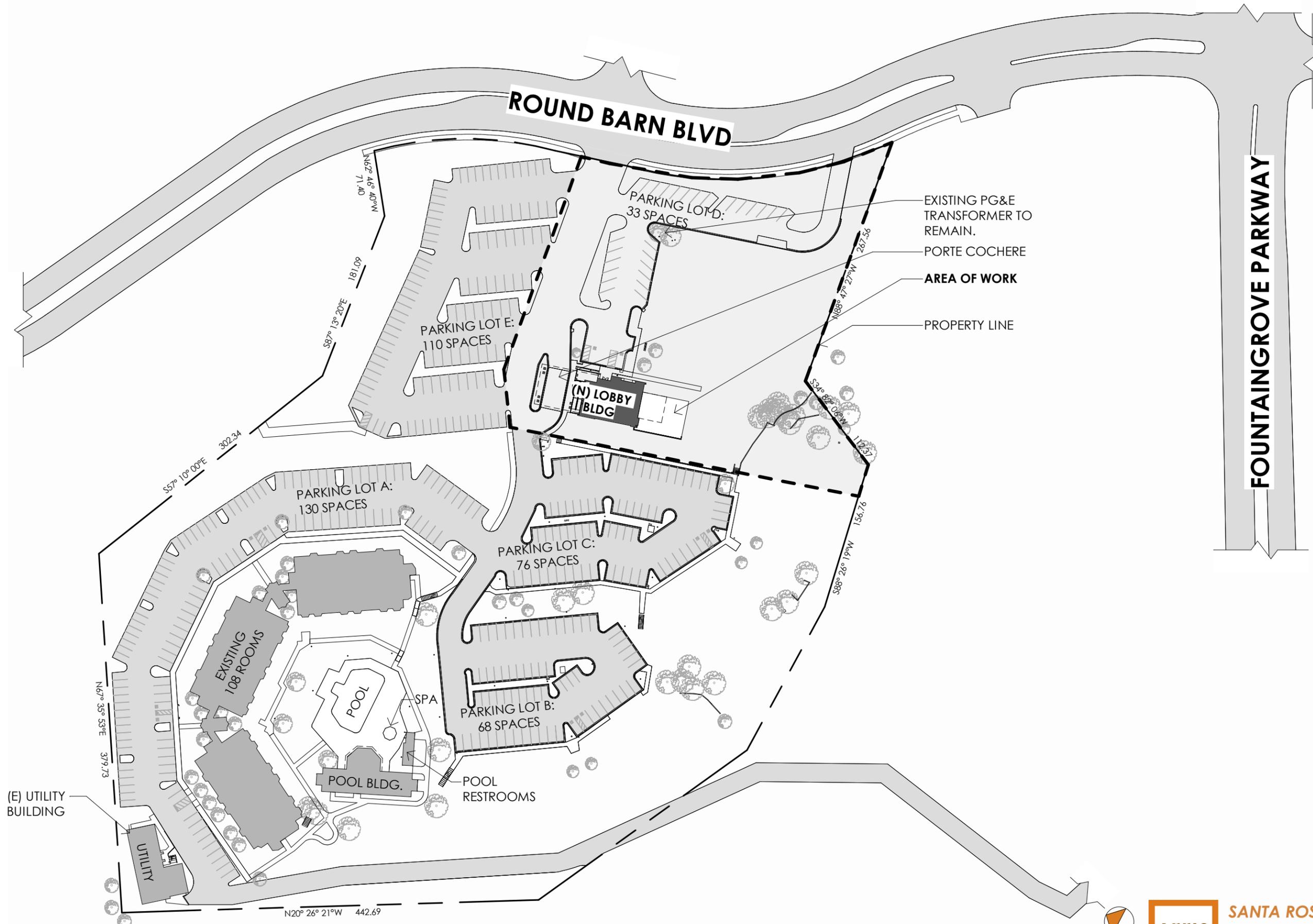


B. VIEW FROM FIRE LANE



D. VIEW FROM ROUND BARN BOULEVARD



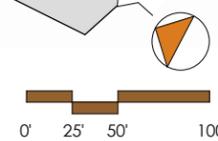


(E) UTILITY BUILDING

- EXISTING PG&E TRANSFORMER TO REMAIN.
- PORTE COCHERE
- AREA OF WORK**
- PROPERTY LINE

**FOUNTAINGROVE PARKWAY**

**CONCEPTUAL SITE PLAN - OVERALL**



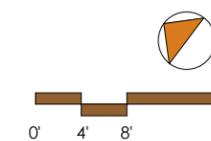
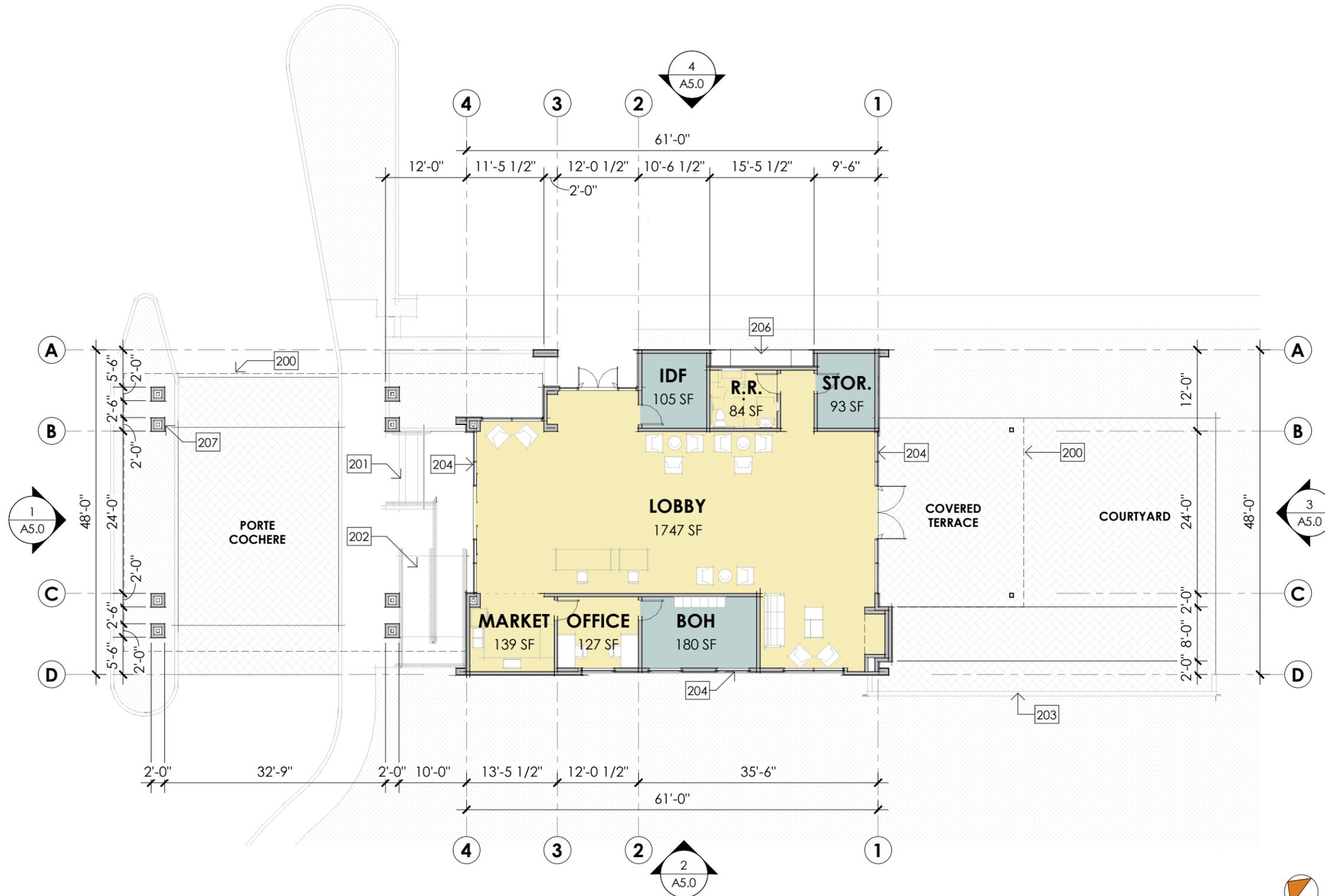
**SANTA ROSA HOTEL - LOBBY**  
 SANTA ROSA, CA  
 CONCEPTUAL SITE PLAN

A24082

**A2.1**  
 05/28/2025

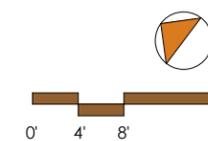
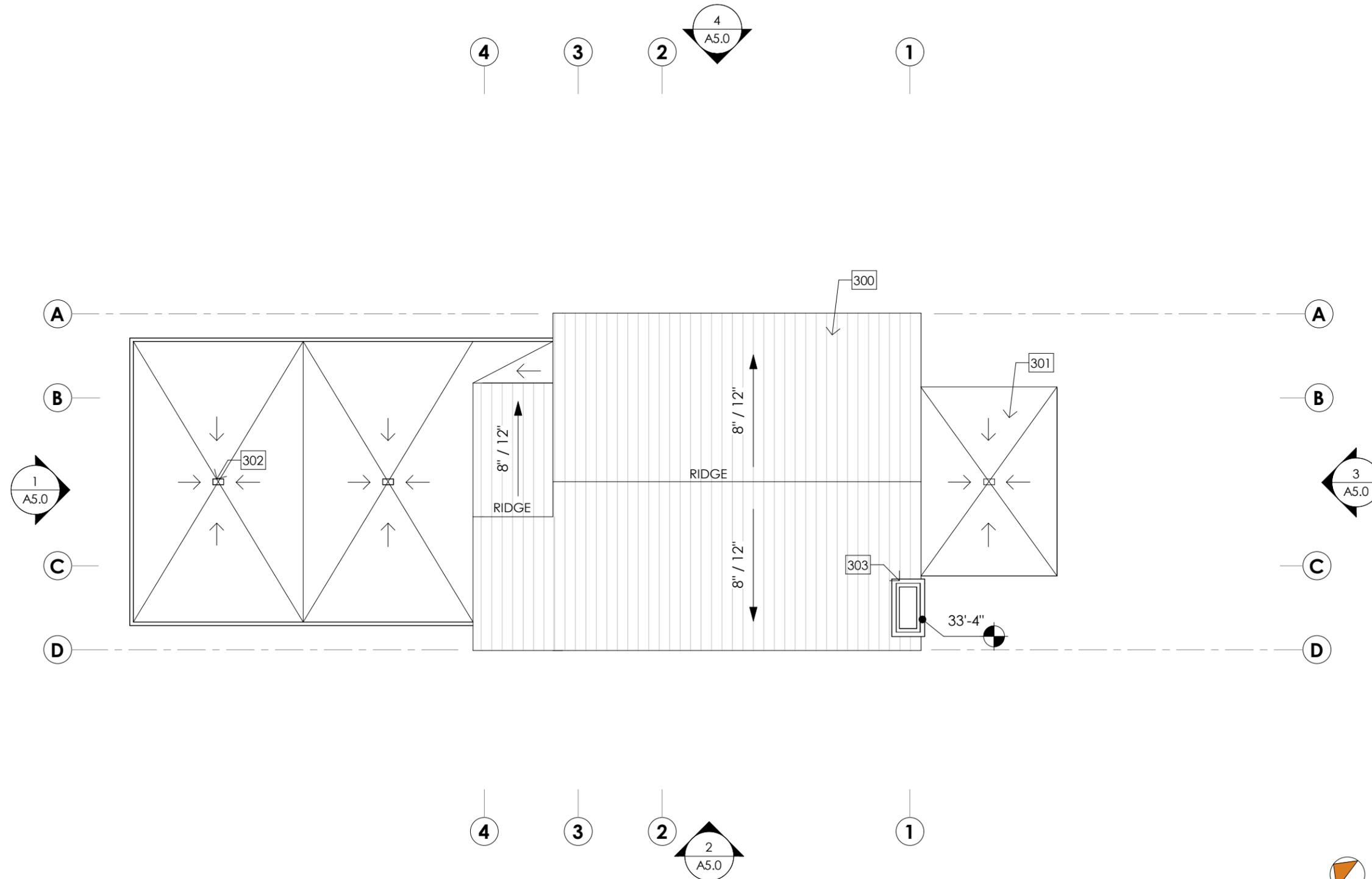
**REFERENCE NOTES**

- 200 LINE OF ROOF ABOVE
- 201 ENTRY DECORATIVE STEPS
- 202 ENTRY ACCESSIBLE RAMP
- 203 LOW SITE RETAINING WALL
- 204 STOREFRONT SYSTEM
- 206 ELECTRICAL EQUIPMENT, SHOWN FOR REFERENCE.
- 207 DECORATIVE STRUCTURAL COLUMNS



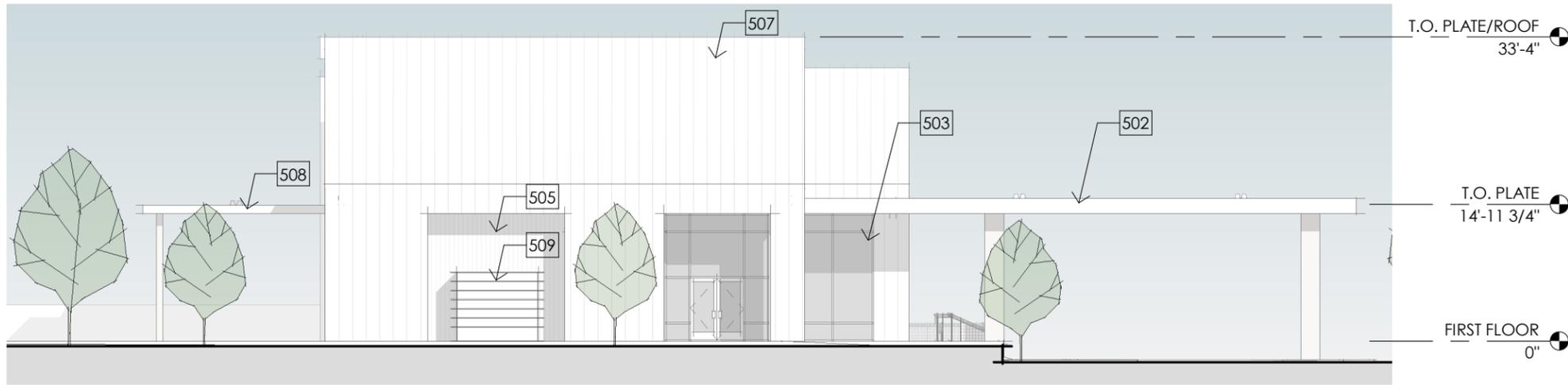
**REFERENCE NOTES**

- 300 STANDING SEAM METAL ROOF
- 301 TPO MEMBRANE ROOF, SLOPED TO DRAIN
- 302 ROOF DRAIN, TYP.
- 303 CHIMNEY

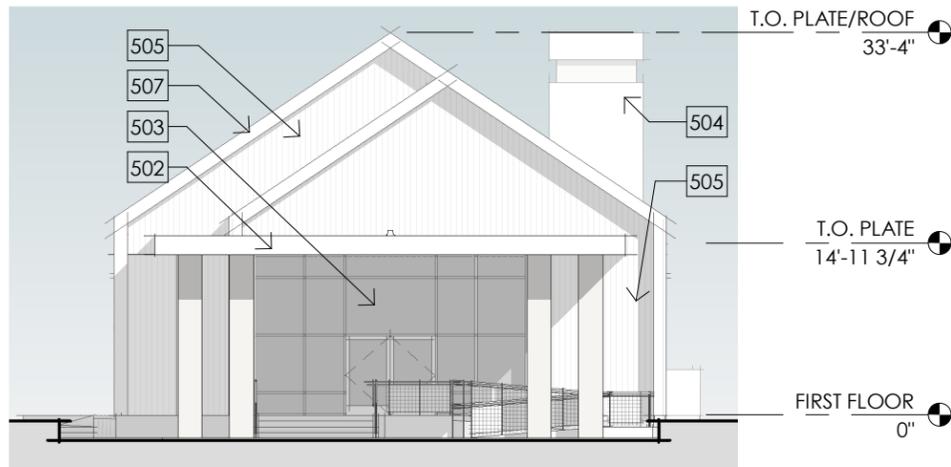


**REFERENCE NOTES**

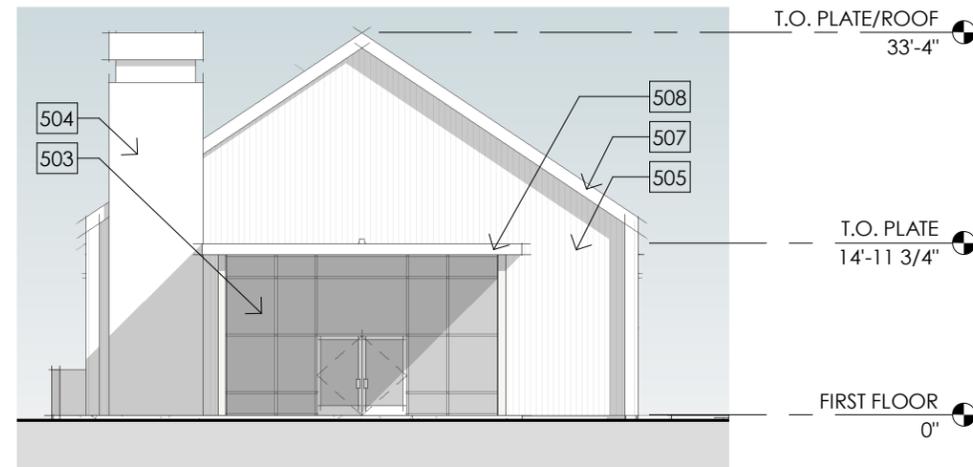
- 502 PORTE COCHERE
- 503 STOREFRONT SYSTEM
- 504 CHIMNEY
- 505 WOOD VERTICAL SIDING
- 506 LOW SITE RETAINING WALL
- 507 STANDING SEAM METAL ROOF
- 508 COVERED TERRACE
- 509 ELECTRICAL EQUIPMENT, SHOWN FOR REFERENCE.



**NORTH ELEVATION**



**WEST ELEVATION**



**EAST ELEVATION**



**SOUTH ELEVATION**



**SANTA ROSA HOTEL - LOBBY**

SANTA ROSA, CA

**BUILDING ELEVATIONS**

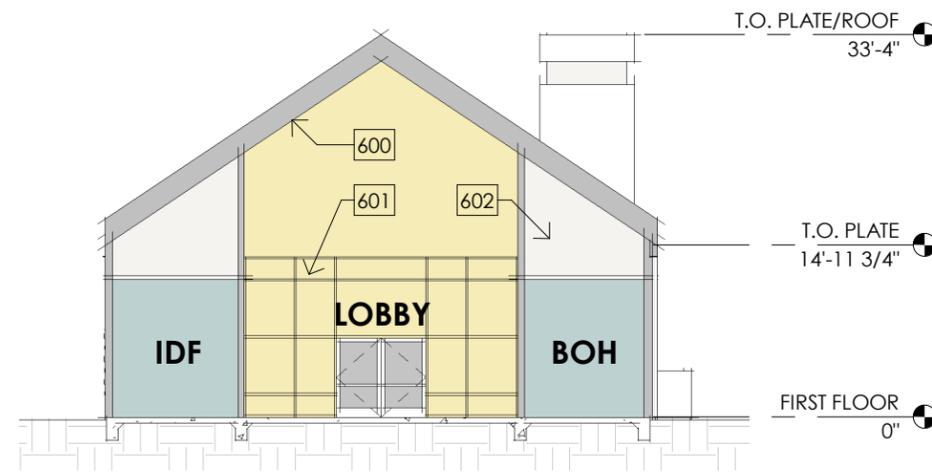
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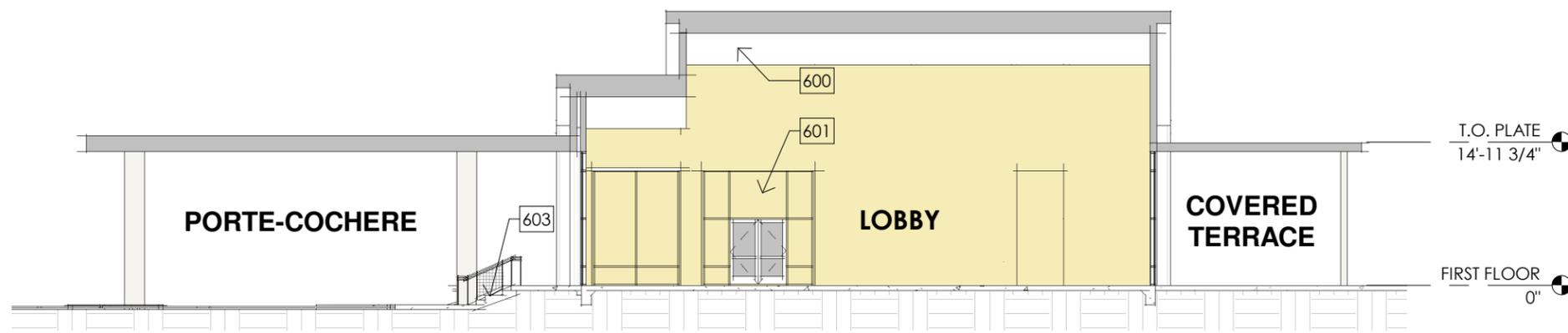
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**REFERENCE NOTES**

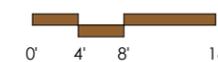
- 600 PARALLEL CHORD TRUSS, HIGH CEILING
- 601 STOREFRONT SYSTEM
- 602 ATTIC SPACE FOR MECH. EQUIPMENT
- 603 ENTRY DECORATIVE STEPS



**CROSS SECTION**



**LONGITUDINAL SECTION**



**SANTA ROSA HOTEL - LOBBY**

SANTA ROSA, CA

**BUILDING SECTIONS**

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**A6.0**

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# LEGEND



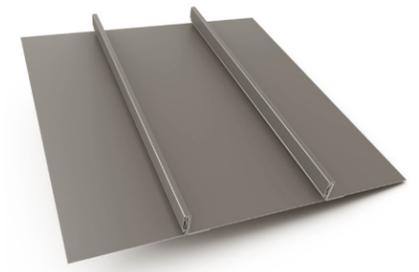
**P1 (CHIMNEY + SITE WALL)**  
**PAINTED STUCCO**  
 CEMENT PLASTER, SMOOTH FINISH  
 SHERWIN WILLIAMS  
 SW 7001 "MARSHMALLOW"



**W1**  
**VERTICAL WOOD CLADDING**  
 THERMORY  
 BENCHMARK ASH 1X8



**M1**  
**METAL TRIM & STOREFRONT**  
 DARK BRONZE



**M2**  
**METAL SIDING AND ROOFING**  
 PAC-CLAD  
 SNAP-CLAD PANEL  
 "ANTIQUE BRONZE"

## COLORS & MATERIALS



**SANTA ROSA HOTEL - LOBBY**

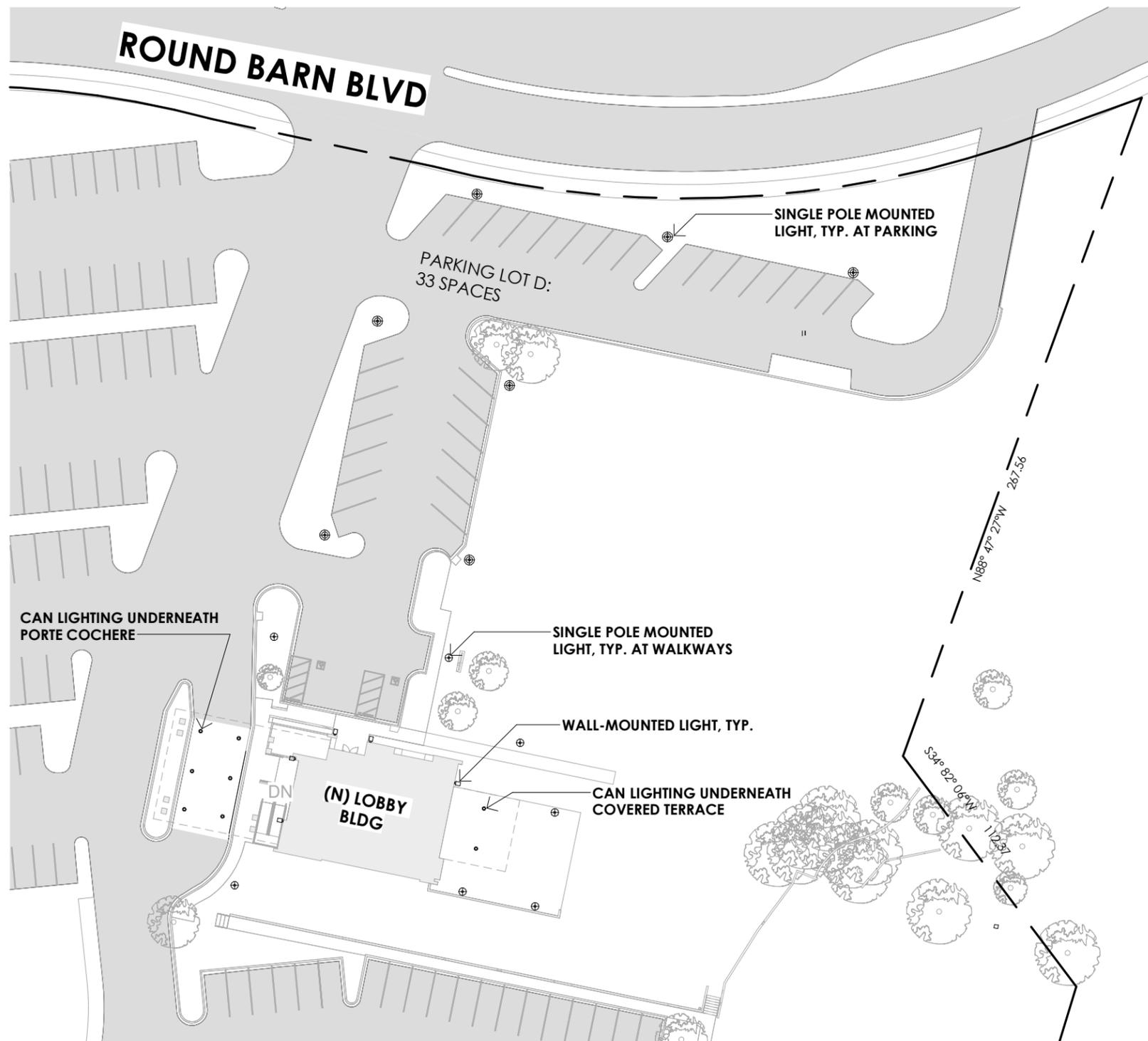
SANTA ROSA, CA

A24082

**MATERIAL & COLOR**



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## LIGHTING NOTES

- A. MAXIMUM HEIGHT FOR ANY OUTDOOR LIGHTING SHALL BE 16 FEET.
- B. OUTDOOR LIGHTING SHALL UTILIZE ENERGY-EFFICIENT FIXTURES/LAMPS.
- C. DURING BUSINESS HOURS, ALL AREAS HAVING FREQUENT VEHICULAR AND PEDESTRIAN TRAFFIC SHALL BE EQUIPPED WITH A LIGHTING DEVICE PROVIDING A MINIMUM ONE-FOOT CANDLE OF LIGHT AT GROUND LEVEL DURING THE HOURS OF DARKNESS.
- D. LIGHTING FIXTURES SHALL BE SHIELDED OR RECESSED TO REDUCE LIGHT BLEED TO ADJOINING PROPERTIES:
  - a. ENSURE THE LIGHT SOURCE IS NOT VISIBLE FROM OFF THE SITE
  - b. CONFINE GLARE AND REFLECTIONS WITH BOUNDARIES OF THE SITE TO THE MAXIMUM EXTENT FEASIBLE
- E. LIGHT FIXTURE DIRECTION SHALL BE DOWN OR AWAY FROM ADJOINING PROPERTIES AND PUBLIC RIGHTS-OF-WAY, SO THAT NO SITE LIGHTING FIXTURE DIRECTLY ILLUMINATES AN AREA OFF THE SITE.
- F. NO LIGHTING ON PRIVATE PROPERTY SHALL PRODUCE AN ILLUMINATION LEVEL GREATER THAN ONE FOOTCANDLE ON ANY PROPERTY WITHIN A RESIDENTIAL ZONING DISTRICT EXCEPT ON THE SITE OF THE LIGHT SOURCE.
- G. NO PERMANENTLY INSTALLED SITE OR BUILDING LIGHTING SHALL FLASH, BLINK OR BE OF UNUSUALLY HIGH INTENSITY OR BRIGHTNESS.

## LIGHTING LEGEND

-  WALL MOUNTED LINEAR LIGHT
-  FLUSH MOUNT CAN LIGHT
-  SINGLE POLE AREA LIGHT (12' MOUNTING HEIGHT)
-  SINGLE POLE AREA LIGHT (16' MOUNTING HEIGHT)

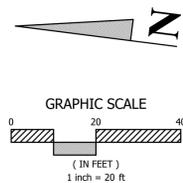
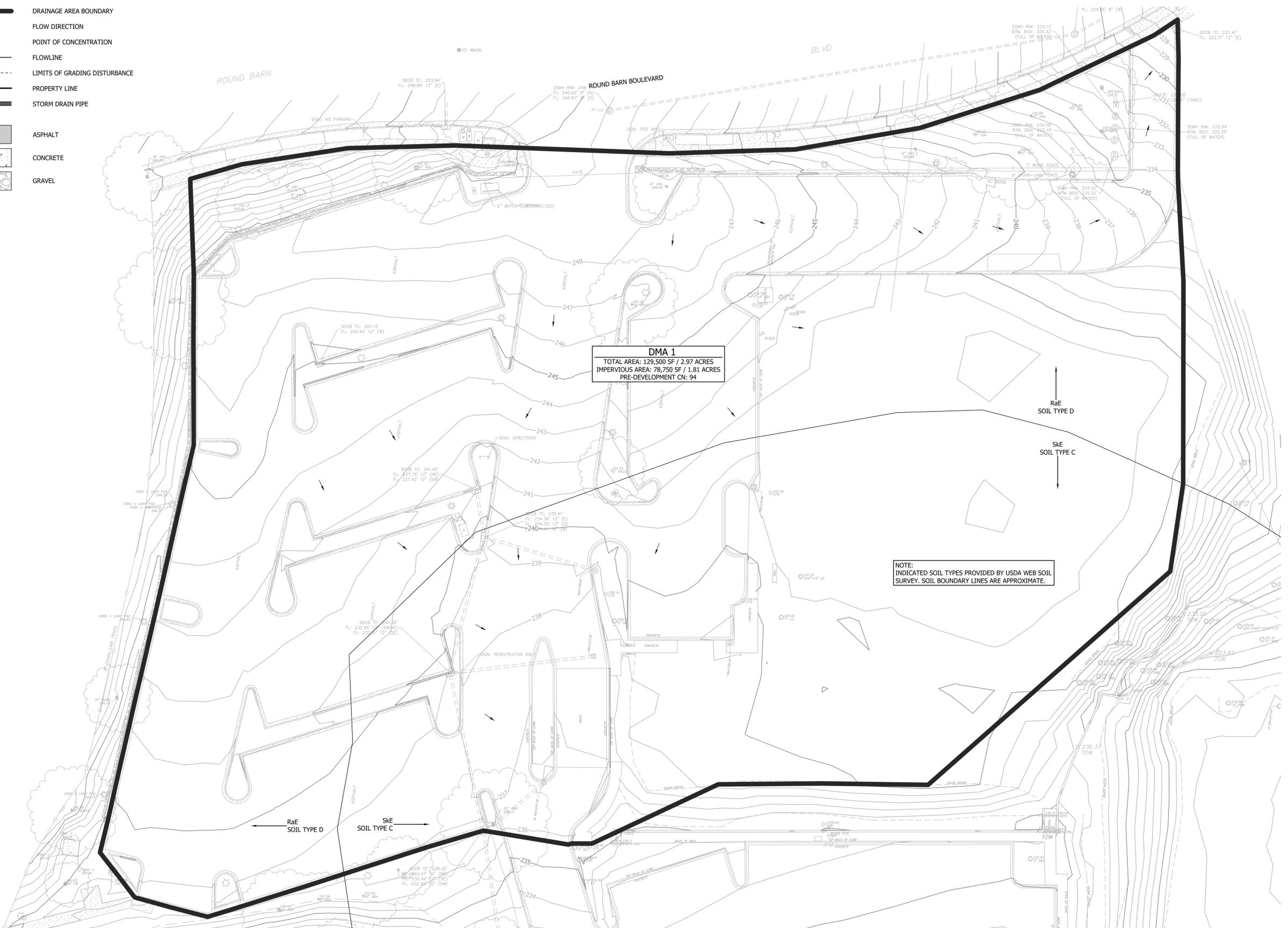
## FIXTURE TYPES

**NOTE:** ALL LIGHT FIXTURES SHALL BE DARK SKY COMPLIANT

-  WALL MOUNTED LINEAR LIGHT  
KUZCO LIGHTING  
VESTA AT7950-BK
-  FLUSH MOUNT CAN LIGHT  
COOPER PORTFOLIO  
LDA4A
-  SINGLE POLE AREA LIGHT (12' MOUNTING HEIGHT)  
LITHONIA LIGHTING  
RADPT LED P3 30K ASY MVOLT PT4 PE DNAXD/RSA 12 4C PT
-  SINGLE POLE AREA LIGHT (16' MOUNTING HEIGHT)  
LITHONIA LIGHTING  
MODEL DSX0 LED P2 40K 80CRI T3M MVOLT SPA PIRH-BLACK

# DRAINAGE AREA LEGEND

- | EXISTING (E) | PROPOSED (P) |                               |
|--------------|--------------|-------------------------------|
|              |              | DRAINAGE AREA BOUNDARY        |
|              |              | FLOW DIRECTION                |
|              |              | POINT OF CONCENTRATION        |
|              |              | FLOWLINE                      |
|              |              | LIMITS OF GRADING DISTURBANCE |
|              |              | PROPERTY LINE                 |
|              |              | STORM DRAIN PIPE              |
|              |              | ASPHALT                       |
|              |              | CONCRETE                      |
|              |              | GRAVEL                        |



**PRE-DEVELOPMENT HYDROLOGY MAP**  
 SCALE: 1"=20'

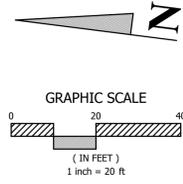
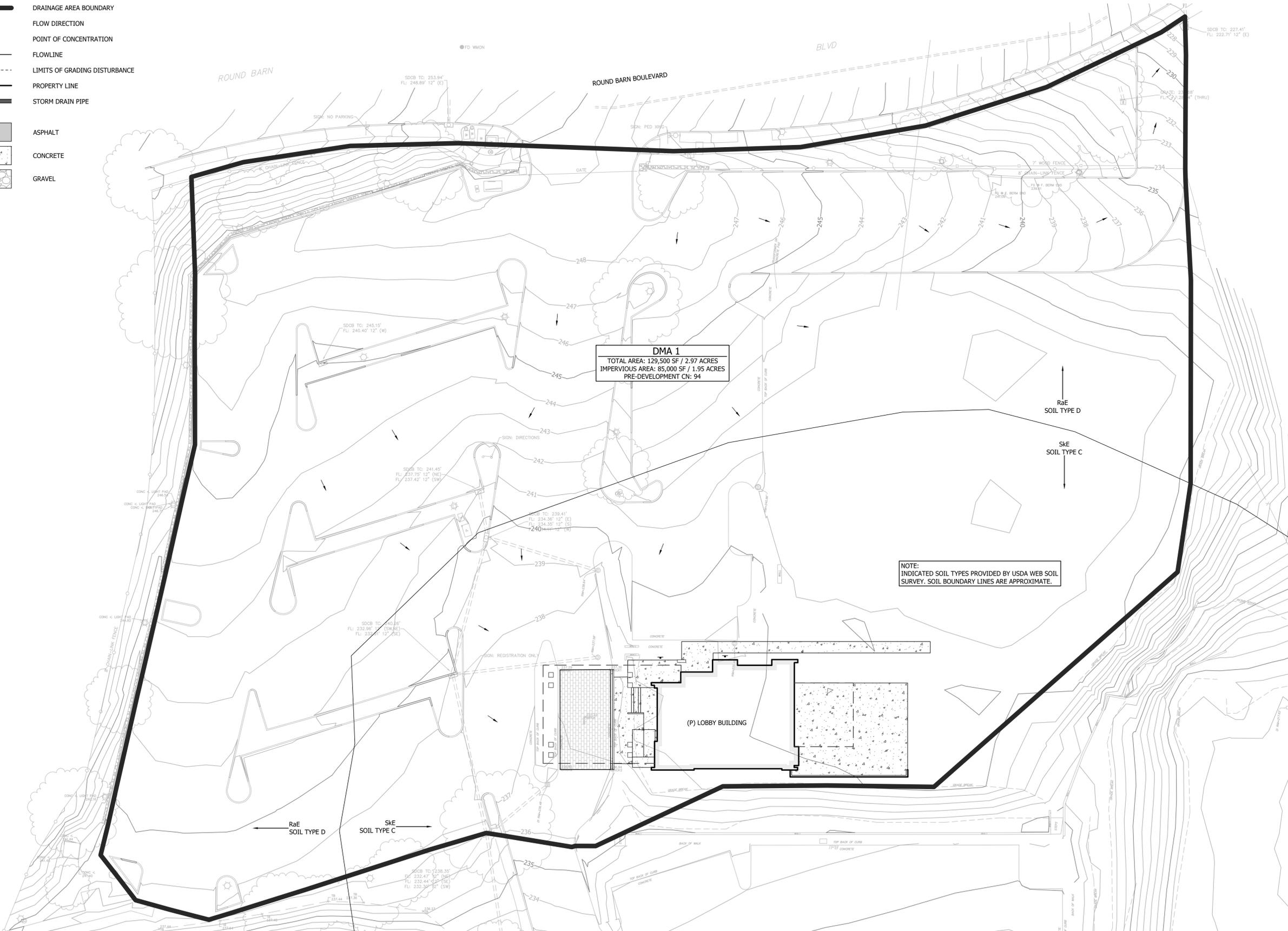
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	DATE				
	BY				
	DESCRIPTION				
	REV.				
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<p><b>HYDROLOGY DRAWINGS</b>          PRE-DEVELOPMENT HYDROLOGY MAP          C/O PERRY PATEL          RADIATE HOSPITALITY          3555 ROUND BARN BLVD.          SANTA ROSA, CA 95403</p>					
Date: 6/3/2025					
Job: 3271-24					
Drawn: JF					
Scale: AS SHOWN					
APN: 173-020-005					
Permit #:					
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<p><b>H1.0</b>          1 of 3</p>					

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# DRAINAGE AREA LEGEND

EXISTING (E)	PROPOSED (P)	
		DRAINAGE AREA BOUNDARY
		FLOW DIRECTION
		POINT OF CONCENTRATION
		FLOWLINE
		LIMITS OF GRADING DISTURBANCE
		PROPERTY LINE
		STORM DRAIN PIPE
		ASPHALT
		CONCRETE
		GRAVEL



**POST-DEVELOPMENT HYDROLOGY MAP**  
 SCALE: 1"=20'

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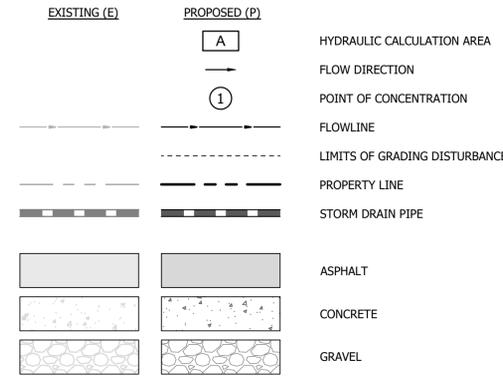
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<p><b>HYDROLOGY DRAWINGS</b>                  POST-DEVELOPMENT HYDROLOGY MAP</p>
<p>C/O PERRY PATEL                  RADIATE HOSPITALITY                  3555 ROUND BARN BLVD.                  SANTA ROSA, CA 95403</p>
<p>Date: 6/3/2025</p>
<p>Job: 3271-24</p>
<p>Drawn: JF</p>
<p>Scale: AS SHOWN</p>
<p>APN: 173-020-005</p>
<p>Permit #:</p>
<p>Sheet:  <b>H1.1</b>                  2 of 3</p>

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# HYDRAULIC AREA LEGEND

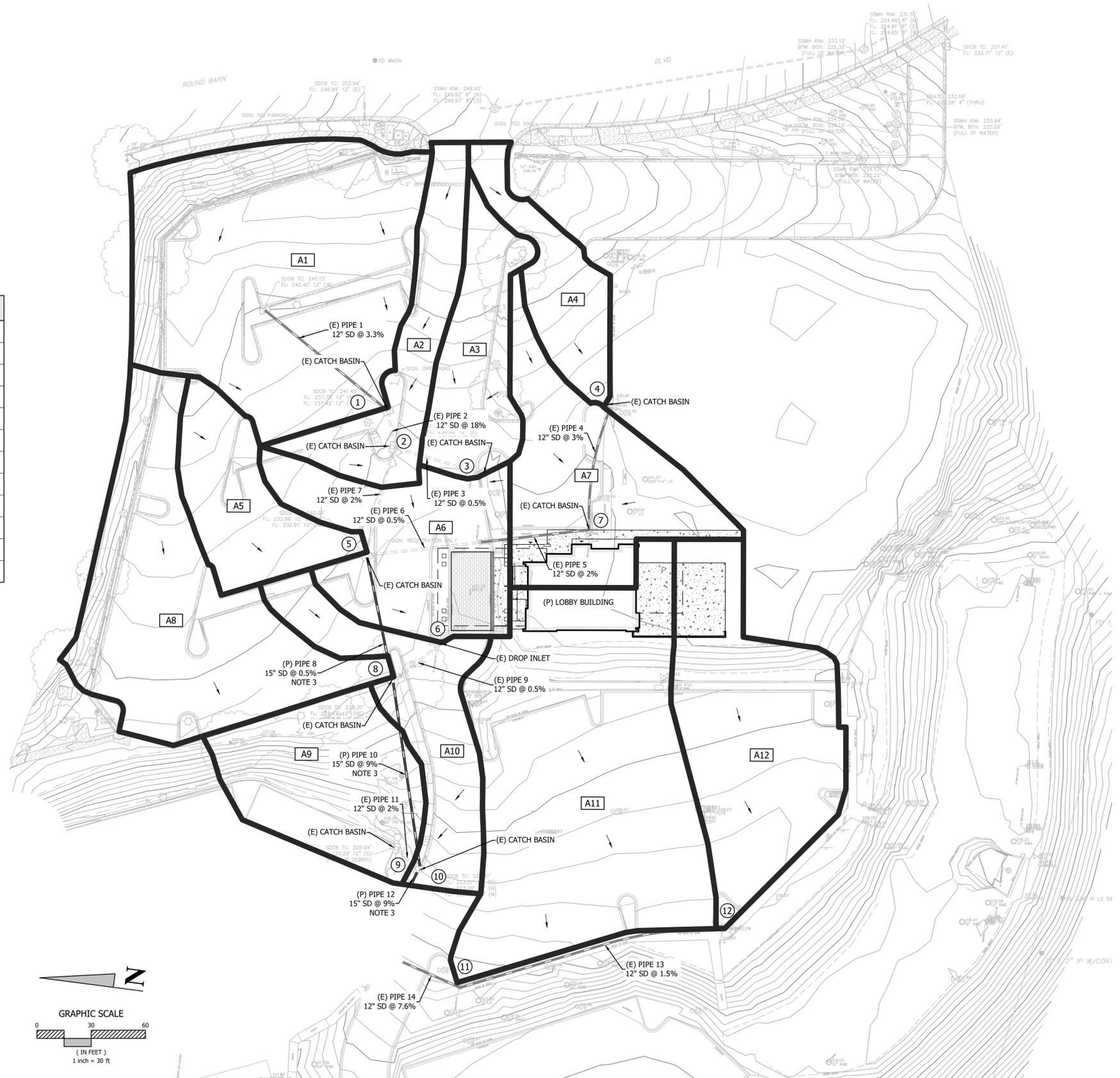
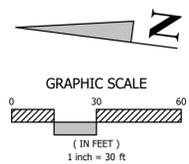


TRIBUTARY AREA (SF)	IMPERVIOUS AREA (SF)	POINT OF CONCENTRATION
A1	21,760	①
A2	5,990	②
A3	5,800	③
A4	4,410	④
A5	5,785	⑤
A6	9,320	⑥
A7	10,025	⑦
A8	14,985	⑧
A9	8,505	⑨
A10	7,315	⑩
A11	23,680	⑪
A12	12,950	⑫

NOTE: TRIBUTARY AREAS ASSUMED TO BE 100% IMPERVIOUS SURFACE TO PROVIDE CONSERVATIVE STORM DRAIN SIZING.

PIPE ID	FLOW RECEIVED
PIPE 1 - 12" SD @ 3.3%	A1
PIPE 2 - 12" SD @ 18%	A1
PIPE 3 - 12" SD @ 0.5%	A3
PIPE 4 - 12" SD @ 3.0%	A4
PIPE 5 - 12" SD @ 2.0%	A4 & A7
PIPE 6 - 12" SD @ 0.5%	A4 & A7
PIPE 7 - 12" SD @ 2.0%	A1-A3
PIPE 8 - 15" SD @ 0.5%	A1-A5 & A7
PIPE 9 - 12" SD @ 0.5%	A6
PIPE 10 - 15" SD @ 9%	A1-A8
PIPE 11 - 12" SD @ 2.0%	A9
PIPE 12 - 15" SD @ 9%	A1-A10
PIPE 13 - 12" SD @ 1.5%	A12
PIPE 14 - 12" SD @ 7.6%	A11-A12

- NOTES:
- CONTRACTOR TO FIELD VERIFY SIZE AND SLOPE OF ALL STORM DRAIN PIPES AND ALERT ENGINEER IF SIZES AND SLOPES DIFFER FROM WHAT IS SHOWN ON THIS PLAN. SLOPES AND SIZES SHOWN AS DEPICTED ON TOPOGRAPHIC FIELD SURVEY BY CINQUINI & PASSARINO, INC. DATED 11/11/24. IF SLOPE AND SIZE OF PIPE NOT SHOWN ON TOPOGRAPHIC SURVEY, SLOPE AND SIZE OF PIPE SHOWN AS DEPICTED IN PARKING LOT IMPROVEMENT DRAWINGS BY BRELJE & RACE, DATED 6/22/1983.
  - SLOPE OF PIPE 3 IS UNKNOWN AND MODELED AT 0.5% TO PROVIDE A CONSERVATIVE ESTIMATE FOR DRAINAGE CAPACITY.
  - IF PIPES 8, 10, AND 12 ARE CURRENTLY 15" AND IN FUNCTIONAL CONDITION, THEN EXISTING PIPES TO REMAIN.



**100-YEAR HYDROLOGY MAP**  
SCALE: 1"=30'

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 UCJAH OFFICE: 603 S. State Street, Ukiah CA 95482

**HYDROLOGY DRAWINGS**  
**100-YEAR HYDROLOGY MAP**  
 C/O PERRY PATEL  
 RADIATE HOSPITALITY  
 3555 ROUND BARN BLVD.  
 SANTA ROSA, CA 95403

Date:	6/3/2025
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