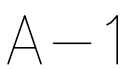
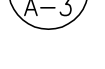
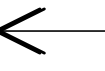
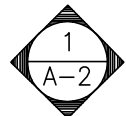
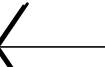


SYMBOL & MATERIALS

	DRAWING NUMBER		
	DISCIPLINE PREFIX		INDICATES SPAN AND DIRECTION OF FLOOR JOISTS
	REVISION		INDICATES SPAN AND DIRECTION OF TRUSSES
	CLOUD AROUND REVISION		INDICATES SHEAR WALL IDENTIFICATION
	OPTIONAL		INDICATES BEAM NUMBER
	DETAIL		
	DETAIL IDENTIFICATION		
	SHEET WHERE DETAIL IS DRAWN		
	INTERIOR ELEVATION/S		
	ELEVATION IDENTIFICATION (UNFOLD)		INTERIOR ELEVATION/S IDENTIFICATIONS
	ELEVATIONS CLOCKWISE, NO ARROWS		
	MEANS ELEVATION NOT SHOWN		
	NUMBERED NOTES		
	NORTH		
	INDICATES SPAN & DIRECTION OF ROOF RAFTERS OR ROOF JOIST		
	INDICATES SPAN AND DIRECTION OF CEILING JOISTS OR FURRING		

GENERAL NOTES

1. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AND SPECIFICATIONS THAT MAY SUPPLEMENT THESE DRAWINGS ARE A PART OF THE CONTRACT DOCUMENT.
2. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS WORK.
3. CONTRACTOR SHALL EXAMINE THE PREMISES AND SITE SO AS TO COMPARE THEM WITH THE DRAWINGS. ANY CONFLICTS OR DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS SHALL BE BROUGHT TO THE OWNERS ATTENTION PRIOR TO COMMENCING WORK.
4. BY ACCEPTING AND USING THESE DRAWINGS, CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, NOT LIMITED TO NORMAL WORKING HOURS.
5. CONTRACTOR ACKNOWLEDGES THOROUGH FAMILIARIZATION WITH THE BUILDING SITE CONDITIONS, WITH THE DRAWINGS, AND FULL SCOPE OF WORK, WHICH MAY AFFECT THE OPERATIONS AND COMPLETION OF THE WORK, AND ASSUMES ALL RISK THEREFROM.
6. CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS OR ERRORS OF THE SUBCONTRACTORS AND OF PERSONS EMPLOYED BY THEM.
7. CONTRACTOR TO VERIFY ALL EXISTING AND PROPOSED WRITTEN DIMENSIONS ON PLAN. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY AND BE MADE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. OWNER MUST BE NOTIFIED IN WRITING OF ANY PROPOSED OR REQUIRED VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN, AND A WRITTEN CHANGE ORDER ISSUED BEFORE MAKING ANY CHANGES AT THE JOB SITE.
8. ALL CONSTRUCTION MATERIALS AND SUPPLIES TO BE STORED, HANDLED AND INSTALLED ACCORDING TO MANUFACTURERS RECOMMENDATIONS.
9. DRAWINGS INDICATE (N) NEW CONSTRUCTION UNLESS NOTED AS (E) EXISTING. BASED ON EXPERIENCE, THE CONTRACTOR SHOULD ANTICIPATE A REASONABLE NUMBER OF ADJUSTMENTS AND REPAIR TO EXISTING CONDITIONS, TO FULLY MEET THE DESIGN OBJECTIVES.
10. WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL MATCH SIMILAR OR EXISTING CONDITIONS, OR AS REQUIRED BY APPLICABLE LOCAL CODE.

ABBREVIATION LIST									
A.B.	ANCHOR BOLT	EXT.	EXTERIOR	M.A.X.	MAXIMUM	R.R.	ROOF RAFTER	ROOM AREA ABBREVIATIONS	
ABV.	ABOVE	E.W.	EACH WAY	M.B.	MACHINE BOLT	RWD.	REDWOOD	BA.	BATH
A/C.	AIR CONDITIONING			M.C.	MEDECINE CABINET			BDRM.	BEDROOM
ACOUS.	ACOUSTICAL	FAU.	FAUCET	MFR.	MANUFACTURER	S.	SINK	BRW.	BROOM
ADJ.	ADJUSTABLE	F.G.	FINISH GRADE	MIN.	MINIMUM	S.C.	SOLID CORE	CLO.	CLOSET
ALUMJ.	ALUMINIUM	F.G.	FUEL GLASS	MIR.	MIRROR	SCH.	SCHEDULE	DIN.	DINING
ALT.	ALTERNATE	FIN.	FINISH	ML	MICRO LAM	SCRND.	SCREENED	ENT.	ENTRY
AMP.	AMPERAGE	FIN. FLR.	FINISH FLOOR	M.O.	MASONRY OPENING	SEC.	SECOND	FAM.	FAMILY
AVG.	AVERAGE	F.J.	FLOOR JOIST	MTD.	MOUNTED	SECT.	SECTION	GAR.	GARAGE
		FL.	FLUSH	MTL.	METAL	SEL.	SELECT	KIT.	KITCHEN
BD.	BOARD	FLUOR.	FLUORESCENT			SEL.STR.	SELECT STRUCTURAL	LAU.	LAUNDRY
BLDG.	BUILDING	F.M.C.	FLOOR MATERIAL CHANGE	N.G.	NATURAL GRADE	SER.	SERVICE	LIB.	LIBRARY
BLKG.	BLOCKING	F.N.	FIELD NAILING	N.L.C.	NAIL IN CONTRACT	S.H.	SINGLE HUNG	LIN.	LINEN
BLT-IN	BUILT-IN	FND.	FOUNDATION	NOM.	NOMINAL	SHT.	SHEET	LIV.	LIVING
BM.	BEAM	F.O.C.	FACE OF CURB	N.T.S.	NOT TO SCALE	SHHG.	SHEATING	M.B.A.	MASTER BATH
B.N.	BOUNDARY NAILING	F.O.H.C.	FREE OF HEART CENTER	O/	OVER	SHWR.	SHOWER	M. BR.	MASTER BEDROOM
BRG.	BEARING	F.O.M.	FACE OF MASONRY	O.A.	OVERALL	SL.	SLIDING	M. DR.	MASTER DRESSING
B.S.	BAR SINK	F.O.S.	FACE OF STUD	OB.S.	OBSCURE	SPL.	SPLASH	PAN.	PANTRY
		FR. DR.	FRENCH DOOR	O.C. OR	O/C ON CENTER	SPN.	SILL PLATE NAILING	PDR.	POWDER ROOM
CABT.	CABINET	F.R.P.	FIBERGLASS REINF.	O.H.	OVER HEAD	S & P	SHEUT JOINT POLE	RTR.	RETREAT
CALC.	CALCULATIONS	PCE.	POLYESTER	OPENING		S.S.	SERVICE SINK	SER.	SERVICE
CMBR.	CAMBER	FTG.	FOOTING	OSA	OUTSIDE AIR	S.V.	STANDARD	STO.	STORAGE
C.H.C.	CEILING HEIGHT CHANGE			O.S.B.	ORIENTED STRAND BOARD	STRUCT.	STRUCTURAL	W/R	WARDROBE
C.I.	CAST IRON	GA.	GAUGE			SW.	SWITCH	W.I.C.	WALK-IN CLOSET
C.J.	CEILING JOIST	GALV.	GALVANIZED	P.B.	PUSH BUTTON			CODE ABBREVIATIONS	
CLG.	CEILING	G.B.	GYPNUM BOARD	P.C.	PORITLAND CEMENT	T.	TREAD	U.B.C.	UNIFORM BUILDING CODE
CLR.	CLEAR	G.D.	GARAGE DISPOSAL	P.C.	PIST CHAIN	T&B	TOP & BOTTOM	U.M.C.	UNIFORM MECHANICAL CODE
CNTR.	COUNTER	G.D.O.	GARAGE DOOR OPERATOR	P.C.	PIECE	T.C.	TRASH COMPACTOR	U.P.C.	UNIFORM PLUMBING CODE
CNTRTP.	COUNTER TOP	G.F.I.	GROUND-FAULT	PH.	PHONE	T & G	TONGUE & GROOVE	N.E.C.	NATIONAL ELECTRICAL CODE
C.O.	CASED OPENING		CIRCUIT-INTERRUPTER	PLT.	PLATER	TJ	TRUSS JOINT	B.O.C.A.	NATIONAL BUILDING CODE
CONC.	CONCRETE	G.I.	GALVANIZED IRON	PLAS.	PLASTER	TM.C.	TIME CLOCK		
CONTS.	CONTINUOUS	GLS.	GLASS	PLWD.	PLYWOOD	T.O.P.	TOP OF CURB		
CPT.	CARPET	GRD.	GRADE	PNLG.	PANELLING	T.O.S.	TOP OF SLAB		
C.R.	CURTAIN ROD	GRND.	GROUND	POLG.	POLISHED	T.O.W.	TOP OF WALL		
CSMT. WDW.	CASEMENT WINDOW	GYP.	GYPNUM	POG.	POLISHED PLATE GLASS	T.V.	TELEVISION		
C.T.	CERAMIC TILE	GLB.	GLUED - LAMINATED BEAM	PR.	PAIR	UNFIN.	UNFINISHED		
CULT.	CULTURED	G.T.	GIRDER TRUSS	PSF.	POUNDS / SQUARE FOOT	U.	URNAL		
				PSI.	POUNDS / SQUARE INCH	U.O.N.	UNLESS OTHERWISE NOTED		
				P.L.	PARALLAM				
D.	DRYER	H.C.	HOLLOW CORE	P.T.D.F.	PRESSURE TREATED	VAN.	VANITY		
DBL	DOUBLE	H.D.	HOLD DOWN ANCHOR			VEN.	VENEER		
D.F.	DOUGLAS FIR	HDR.	HEADER			VERT.	VERTICAL		
DIA. OR Ø	DIAMETER	HGT.	HEIGHT	PVC.	POLY VINYL CHLORIDE	V.G.	VERTICAL GRAIN		
DIAG.	DIAGONAL	HNGR.	HANGER			V.B.	VAPOR BARRIER		
DIM.	DIMENSION	HTR.	HEATER	R.	RISER	V.P.	VAPORPROOF		
DISP.	DISPOSAL			RAD.	RADIAL / RADIUS				
DP.	DEEP	INSUL.	INSULATION	R.A.G.	RETURN AIR GRILLE	W	WASHER		
DR.	DOOR	INT.	INTERIOR	RECP.T.	RECEPTACLE	W/	WITH		
DRP.	DROP			REF.	REFERENCE	W.C.	WATER CLOSET		
D.S.	DOWNSPOUT	JAL.	JALOUSIE	REFR.	REFRIGERATOR	W.D.	WOOD		
DTL	DETAIL	L.	LAVATORY	REINF.	REINFORCING	WDW.	WINDOW		
D.W.	DISHWASHER	LAM.	LAMINATED	RE /S	RE-SAWN	W.H.	WATER HEATER		
DWG.	DRAWING	LAM.PLAS.	LAMINATED PLASTIC	REQ'D.	REQUIRED	W/O	WITHOUT		
DWR.	DRAWER	L.F.	LINAL FEET / FOOT	REV.	REVERSE	W.P.	WEATHER PROOF		
EA.	EACH	L.L.	LOG LIGHTER	REV.	REVISION / REVISE	W/R	WARDROBE		
ELECT.	ELECTRICAL	L.T.	LAUNDR						

VICINITY MAP

The map shows the project location at the intersection of Vallejo St and Alameda Ave. The site is marked with a black dot and labeled 'SITE LOCATION'. Surrounding streets include Metacase Creek, Vallejo St, Alameda Ave, and Highway 12. Landmarks and businesses shown include Doyle Park Baseball Field, Brook Hill Elementary School, Santa Rosa Nazarene Church, National Holistic Institute - Santa Rosa, Flourish! Integrative Health, Angel Award, John Wehde - State Farm Insurance Agent, American Wedding, You Say Spalwa, Chertoni, K.H. Bookkeeping, Sherrill Williams Pleasanton, Barometer & Associates, Vaseco, Jack in the Box, and Starbucks. Other streets visible are Vallejo St, Alameda Ave, Highway 12, and Highway 99.

SITE UTILITIES	
1. (E) WATER FROM THE CITY OF SANTA ROSA 2. (N) 200A ELECTRICAL SUB-PANEL / FROM (E) 200A SERVICE METER FROM THE MAIN RESIDENCE. 3. (E) WASTE WATER FROM THE CITY OF SANTA ROSA	
PROJECT INFORMATION	
PROJECT LOCATION:	2364 MELBROOK WAY SANTA ROSA, CA 95405
ASSESSOR'S PARCEL NUMBER:	014-212-003
ZONING:	R-1-6
CONSTRUCTION:	VB, 2 STORY STRUCTURE
FIRE AREA:	SPRINKLED AT PROPOSED STRUCTURE
PROJECT DESCRIPTION:	(N) BUILDING ADDITION & A.D.U.
SITE AREA:	±8,200 SF.
PROPOSED 1ST FLOOR AREA:	±980 S.F.
PROPOSED ADU FLOOR AREA:	±646 S.F.
PROPOSED STRUCTURE AREA:	±1,626 S.F.
<u>SITE TABULATION:</u> SITE LOT SIZE: 8,200 SF. STRUCTURE: 3,426 = 42% WOOD DECKING: 770 = 9% LANDSCAPE: 2,637 = 32% HARD SCAPE: 1,344 = 16%	
<u>PARKING REQUIRED:</u> COMMUNITY CARE FACILITIES REQUIRE 1 PARKING SPACE PER 3 RESIDENTS (9 BEDS REQUIRE 3 SPACES) REPLACEMENT COVERED PARKING IS NOT REQUIRED FOR COMMUNITY CARE FACILITIES (PER SUSIE MURRAY.)	
CODE SUMMARY	
2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ENERGY CODE COUNTY OF SONOMA MUNICIPAL CODES AND ALL OTHER APPLICABLE STATE AND LOCAL ORDINANCES AND REGULATIONS.	
PROJECT TEAM	
<u>OWNER:</u> KATHLEEN ALBANO 2364 MELBROOK WAY SANTA ROSA, CA CONTACT: KATHLEEN ALBANO TEL: 707-623-5543 EMAIL: OURHOME.SR@GMAIL.COM <u>STRUCTURAL:</u> CONTACT: TEL: XX EMAIL: XX <u>DRAFTING:</u> DESIGN & DRAFTING BY DEAN VILLANUEVA 6058 OXFORD PLACE ROHNERT PARK, CA 94928 CONTACT: DEAN E. VILLANUEVA TEL: 707.564.3575 EMAIL: DEAN_VILLANUEVA@ATT.NET <u>TITLE 24 ENERGY:</u> SOLDATA ENERGY CONSULTING, INC 2227 CAPRICORN WAY, SUITE 202 SANTA ROSA, CA 95407 (707) 545-4440 <u>CalGreen SPECIAL INSPECTOR:</u> SOLDATA ENERGY CONSULTING, IN 2227 CAPRICORN WAY, SUITE 202 SANTA ROSA, CA 95407 (707) 545-4440	

SHEET INDEX	
<u>ARCHITECTURAL:</u>	
CVR	COVER SHEET
SP1	SITE PLAN
SP0	EXHIBIT 1
SP0.1	EXHIBIT 2
A0.1	DEMO FLOOR PLAN
A1.0	1ST FLOOR PLAN
A1.1	2ND FLOOR PLAN
A2.2	ELEVATIONS
A2.3	ELEVATIONS

City of Santa Rosa

Planning & Economic

Development Department

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BUSINESS DESCRIPTION

1. BUSINESS DESCRIPTION

THE FACILITY WILL PROVIDE 24-HOUR NON-MEDICAL CARE AND SUPERVISION, INCLUDING ASSISTANCE WITH ACTIVITIES OF DAILY LIVING (ADLS), MEDICATION MANAGEMENT, AND STRUCTURED ACTIVITIES. THE USE REMAINS RESIDENTIAL IN NATURE.

2. DAYS AND HOURS OF OPERATION

THE RESIDENTIAL CARE FACILITY OF THE ELDERLY (RCFE) WILL OPERATE 24 HOURS A DAY, SEVEN DAYS A WEEK.

3. STAFFING PLAN AND SHIFT SCHEDULE

STAFFING WILL MEET CCLD REQUIREMENTS.

DAY SHIFT (7:00 AM - 7:00 PM): 2 CAREGIVERS

NIGHT SHIFT (7:00 PM – 7:00 AM): 1 AWAKE NIGHT STAFF AND 1 ON CALL STAFF

4. RESIDENT ARRIVAL AND DEPARTURE

RESIDENTS MOVE IN BY APPOINTMENT. VISITORS AND MEDICAL TRANSPORT WILL ARRIVE ON AN AS-NEEDED BASIS USING ON-SITE DRIVEWAY PARKING TO PREVENT STREET CONGESTION OR QUEUING. TRAFFIC GENERATION IS EXPECTED TO BE MINIMAL.

ON-SITE VISITING

VISITING HOURS ARE 9:00 AM – 6:00 PM DAILY. VISITORS WILL CHECK IN WITH STAFF. OFF-SITE VISITING WILL BE MANAGED WITHIN THE DRIVEWAY AND AVAILABLE STREET SPACES. NO LARGE GROUP OR COMMERCIAL EVENTS ARE PROPOSED.

5. TRANSPORTATION AND PARKING

NO COMMERCIAL SHUTTLES OR OVERSIZED VEHICLES WILL BE USED. STAFF PARKING WILL BE ACCOMMODATED WITHIN THE DRIVEWAY OR AVAILABLE STREET SPACES.

6. DELIVERIES AND SERVICE SCHEDULE

DELIVERIES WILL OCCUR DURING DAYTIME HOURS USING RESIDENTIAL-SIZED VEHICLES. THIS INCLUDES PHARMACY DELIVERIES, LETTERS AND REGULAR TRASH COLLECTION. GROCERIES WILL BE HANDLED BY THE OWNER ON A WEEKLY BASIS.

7. NOISE AND ODOR

THE FACILITY WILL NOT GENERATE UNUSUAL NOISE OR ODORS. QUIET HOURS WILL BE OBSERVED FROM 8:00 PM TO 7:00 AM. STANDARD RESIDENTIAL WASTE DISPOSAL AND MEAL PREPARATION MEASURES ARE IN PLACE.

ACTIVITIES

DAILY PROGRAMMING INCLUDES LOW-IMPACT ACTIVITIES SUCH AS ARTS, READING, LIGHT EXERCISES AND MUSIC.

8. NEIGHBORHOOD COMPATIBILITY

THE FACILITY IS NOT A MEDICAL OR SKILLED NURSING FACILITY. IT WILL PROVIDE SUPPORTIVE SERVICES IN A HOMELIKE ENVIRONMENT DESIGNED TO ASSIST RESIDENTS WITH ACTIVITIES OF DAILY LIVING WHILE PROMOTING DIGNITY, INDEPENDENCE, AND QUALITY OF LIFE.

THE RCFE WILL PROVIDE THE FOLLOWING LEVELS OF CARE:

ASSISTANCE WITH ACTIVITIES OF DAILY LIVING (ADLS)

ASSISTANCE WITH SELF-ADMINISTRATION OF MEDICATION

SUPERVISION AND SAFETY

PERSONAL AND SUPPORTIVE SERVICES THE FACILITY WILL ALSO PROVIDE:

THREE DAILY MEALS AND SNACKS

HOUSEKEEPING AND LAUNDRY SERVICES

LAUNEN SERVICE

ASSISTANCE WITH MEDICAL APPOINTMENT COORDINATION

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DRAWING ISSUANCE

CONVERSION & ADDITION
2364 MELBROOK WAY
SANTA ROSA, CA 95405
APN # 014-212-003

TITLE

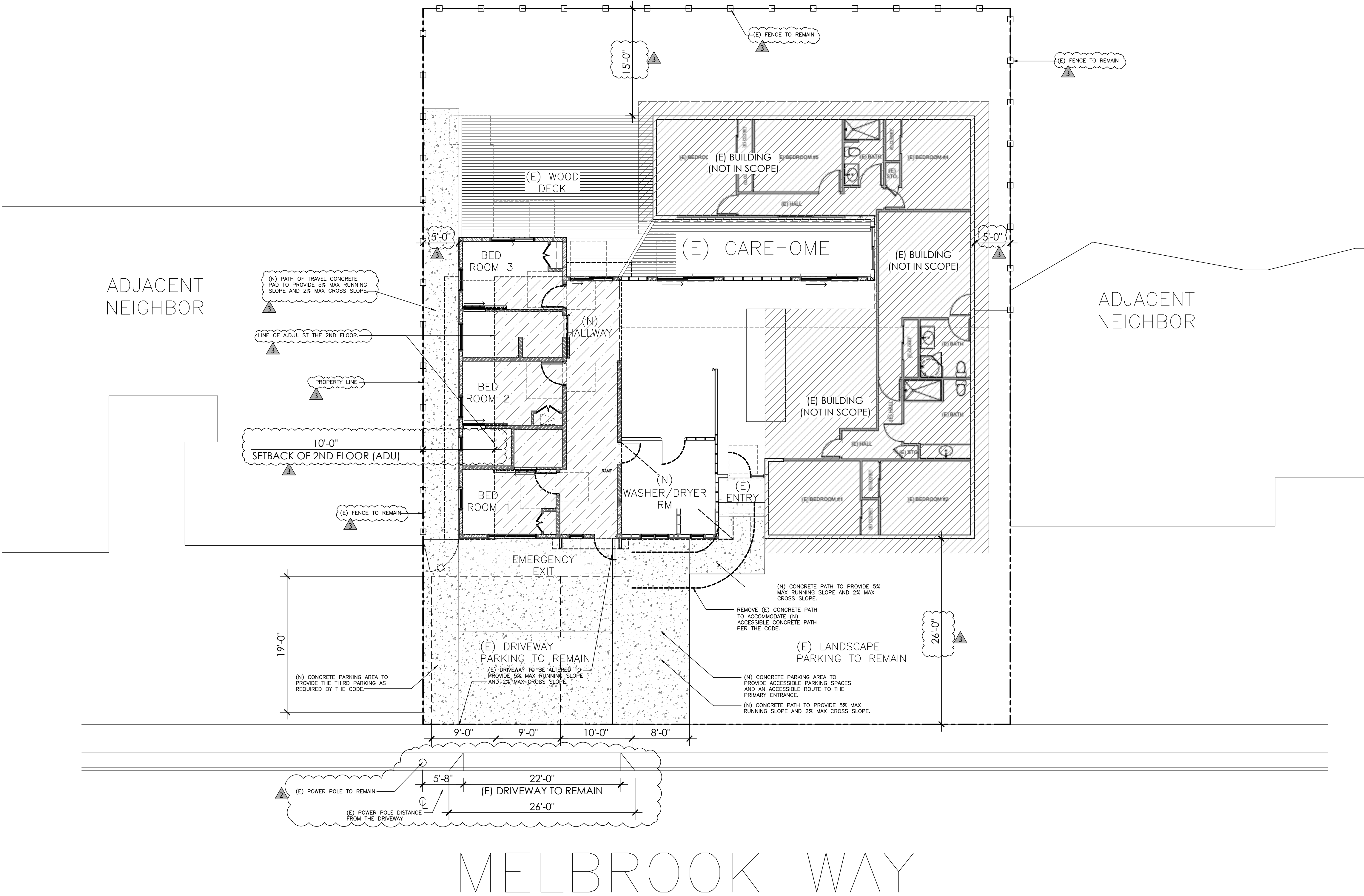
SHEET
NUMBER

CVR

ADJACENT
NEIGHBOR

ADJACENT
NEIGHBOR

ADJACENT
NEIGHBOR



CAL GREEN NOTES:

- SEE SHEETS GR-1 & GR-2 FOR MORE CALGREEN INFORMATION - TIER 1.
- CONTRACTOR/OWNER MAY OBTAIN BLANK CALGREEN FORMS @ WEBSITE: www.hcd.ca.gov/CalGreen.htm
- 4.2 ENERGY EFFICIENCY SEE T-24 DOCUMENTATIONS FOR MORE INFORMATION.
- 4.3 PLUMBING FIXTURES.
 - WATER CLOSETS 1.28 GALLONS PER FLUSH.
 - SHOWERHEADS <1.8 GPM @ 80 psi (MULTIPLE SHOWERHEADS IN 1 SHOWER CONTROLLED BY SINGLE VALVE @ 1.8 GPM @ 80psi OR DESIGNED TO ALLOW ONLY ONE OUTLET TO BE OPERATIONAL @ A TIME.
 - LAVATORY FAUCETS <1.2 GPM @ 60psi (> 0.8 GPM @ 20psi)
 - KITCHEN FAUCET <1.5 GPM @ 60psi
 - STANDARDS FOR PLUMBING FIXTURES SHALL MEET APPLICABLE STANDARDS REFERENCED IN 2022 CPC TABLE 1401.1
 - A4.303.1 ENERGY STAR RATED - DISHWASHER TO BE 4.25 GPC MAX. & CLOTHES WASHER.
 - OUTDOOR WATER USE - NO CHANGES TO EXISTING SYSTEM ANTICIPATED.
- 4.4 MATERIAL CONSERVATION & RESOURCE EFFICIENCY. SEE SHEET GR-1 & GR-2 FOR REQUIREMENTS & A2.0 EXTERIOR ELEVATION NOTES.
 - A4.404.3 BUILDING SYSTEM PREFINISHED SYSTEMS, MFR'D FLOOR JOISTS, & EXTERIOR TRIM.
 - A4.405.1 WINDOWS TO BE PREFINISHED (NO PAINT REQUIRED.)
 - A4.407.4 PROTECT BUILDING MATERIALS DELIVERED TO THE SITE FROM RAIN OR OTHER SOURCES OF MOISTURE.
- 4.5 ENVIRONMENTAL QUALITY
 - NO FIREPLACE
 - POLLUTANT CONTROL - SEE SHEET GR-1 & GR-2 FOR REQUIREMENTS, & VOC LIMITS.
 - INTERIOR MOISTURE CONTROL - WALL & FLOOR FRAMING SHALL NOT BE ENCLOSED IF MEMBERS EXCEED 19% MOISTURE CONTENT. USE A PROBE OR CONTACT TYPE METER. READINGS ON WALL & FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO ENFORCING AGENCY PROVIDED AT TIME OF APPROVAL TO ENCLOSE THE WALL OR FLOOR FRAMING.
- 702.1 HVAC SYSTEM INSTALLER TO BE TRAINED & CERTIFIED. A QUALIFICATION CERTIFICATE SHALL BE PROVIDED TO LOCAL BUILDING OFFICIAL.
- EXHAUST FANS IN BATHROOMS (ROOMS CONTAINING A BATHUB, SHOWER OR TUB/SHOWER) SHALL BE ENERGY STAR RATED CONTROLLED BY HUMIDITY CONTROL CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF LESS THAN OR EQUAL TO 50% TO MAX OF 80% (BY MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT - EXPECT 24/7 WHOLE HOUSE FAN. SEE ELECTRICAL.
- COVER ALL DUCTS DURING CONSTRUCTION

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PERMIT DRAWINGS

(N) ADDITION AND 2ND STORY ADU
2364 MELBROOK WAY
SANTA ROSA, CA 95405
APN # 014-212-003

SHEET TITLE

SITE PLAN

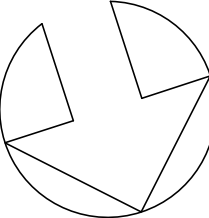
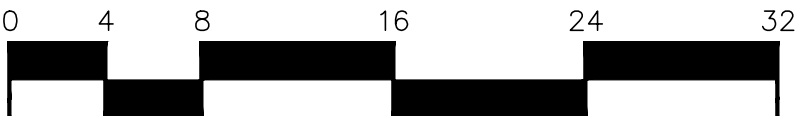
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NUMBER

SP1

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Planning & Economic
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LEGEND

- EXISTING RESIDENCE (NOT IN SCOPE)
- EXISTING LANDSCAPE
- (E) LEACHFIELD
- APPROXIMATE PROPERTY BOUNDARY
- CW COLD WATER
- SW SEWER
- E U.G. LINE FOR ELECTRICAL
- LINE FOR THE A.D.U. ON 2ND FLOOR

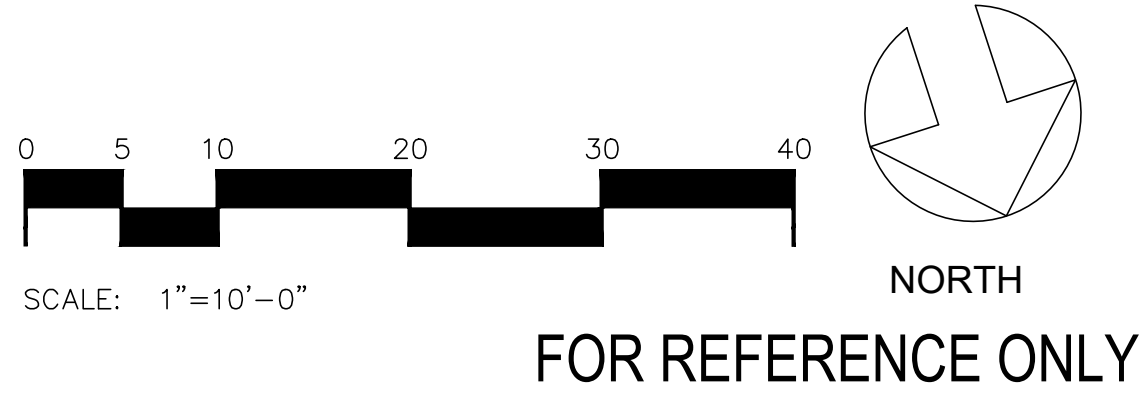


01 EXISTING SITE PLAN
SCALE: 1" = 10'-0"



01 EXISTING SITE PLAN
SCALE: 1" = 10'-0"

City of Santa Rosa
Planning & Economic
Development Department
04/16/2026
RECEIVED



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PERMIT DRAWINGS				
	11/10/2025	PERMIT SUBMITTAL		
A	12/21/2025	PLANNING SUBMITTAL		
A	01/20/2026	PLANNING RE-SUBMITTAL		
A	04/15/2026	PLANNING RE-SUBMITTAL		

(N) ADDITION AND 2ND STORY ADU
2364 MELBROOK WAY
SANTA ROSA, CA 95405
APN # 014-212-003

SHEET TITLE

EXHIBIT - 1

SHEET
NUMBER

SP0

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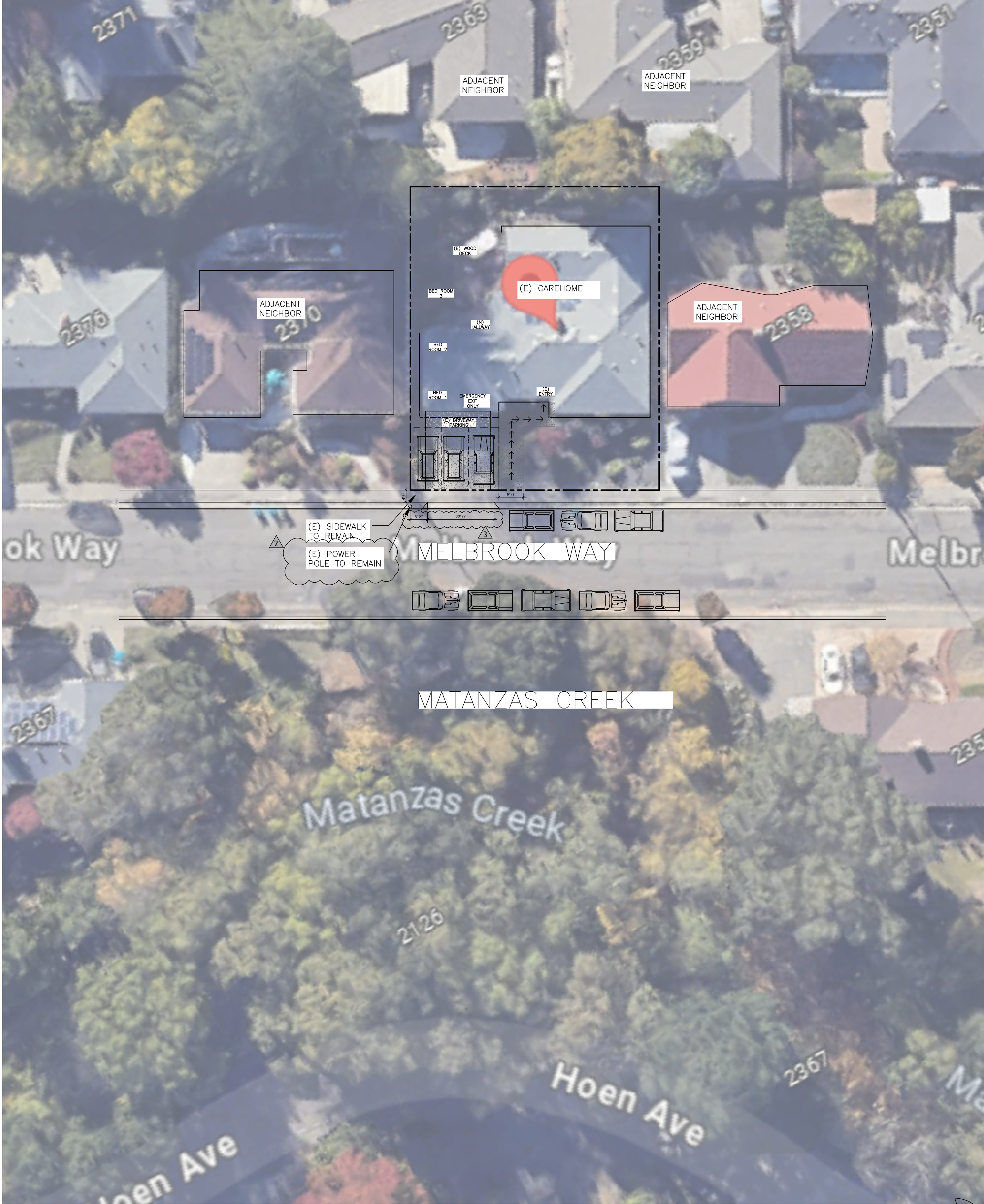
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	PERMIT SUBMITTAL	PLANNING SUBMITTAL	PLANNING RE-SUBMITTAL	PLANNING RE-SUBMITTAL
	☒	☒	☒	☒

(N) ADDITION AND 2ND STORY ADU
2364 MELBROOK WAY
SANTA ROSA, CA 95405
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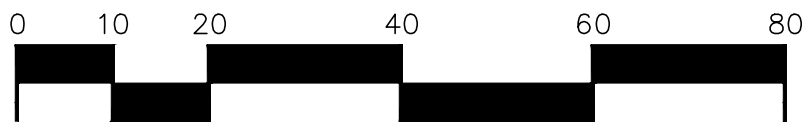
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EXHIBIT - 2

SHEET
NUMBER

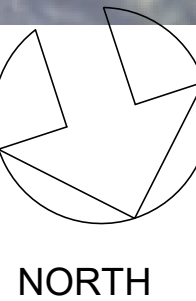
SP0.1



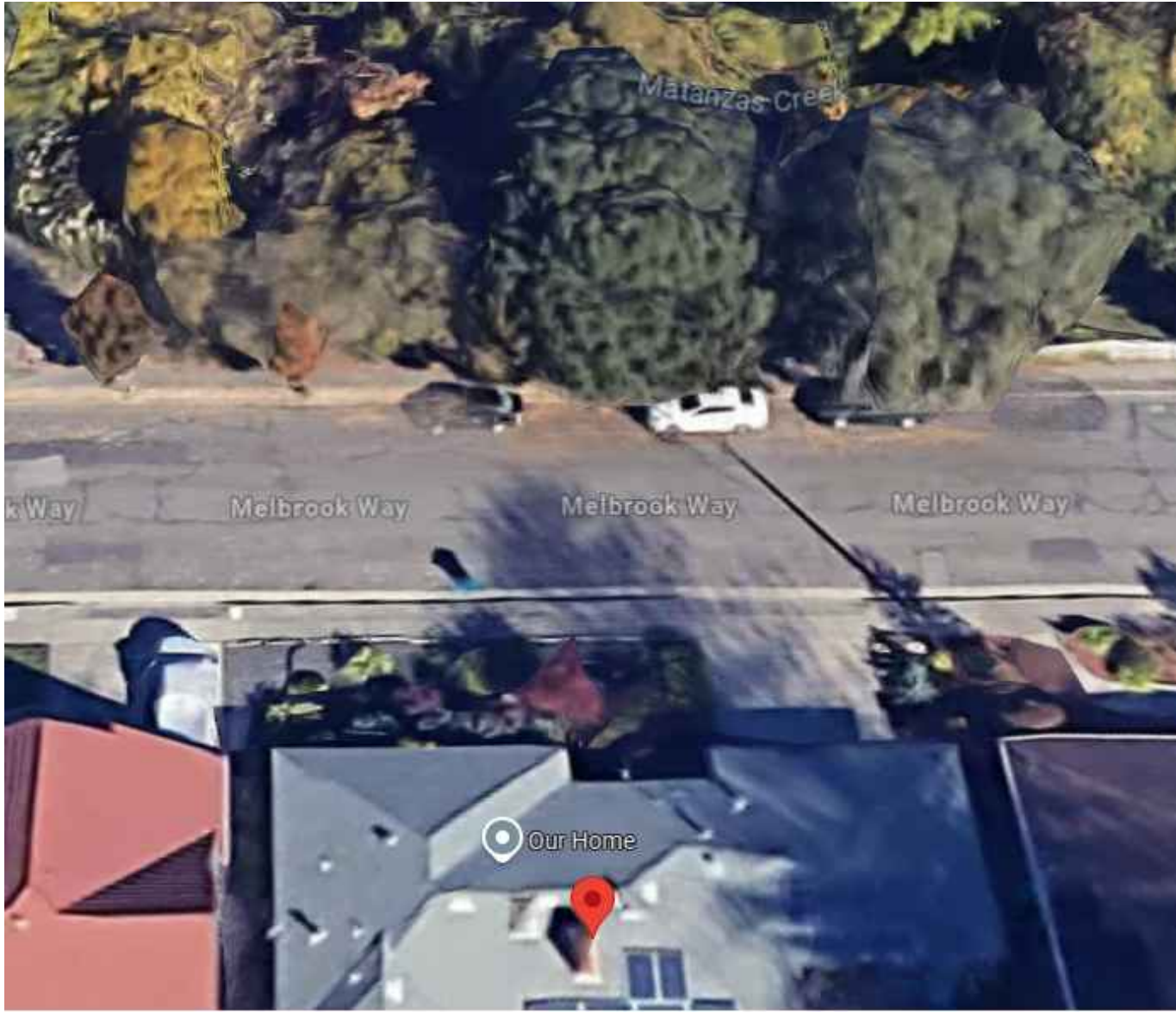
01 EXISTING SITE PLAN
SCALE: 1" = 10'-0"



SCALE: 1"=20'-0"



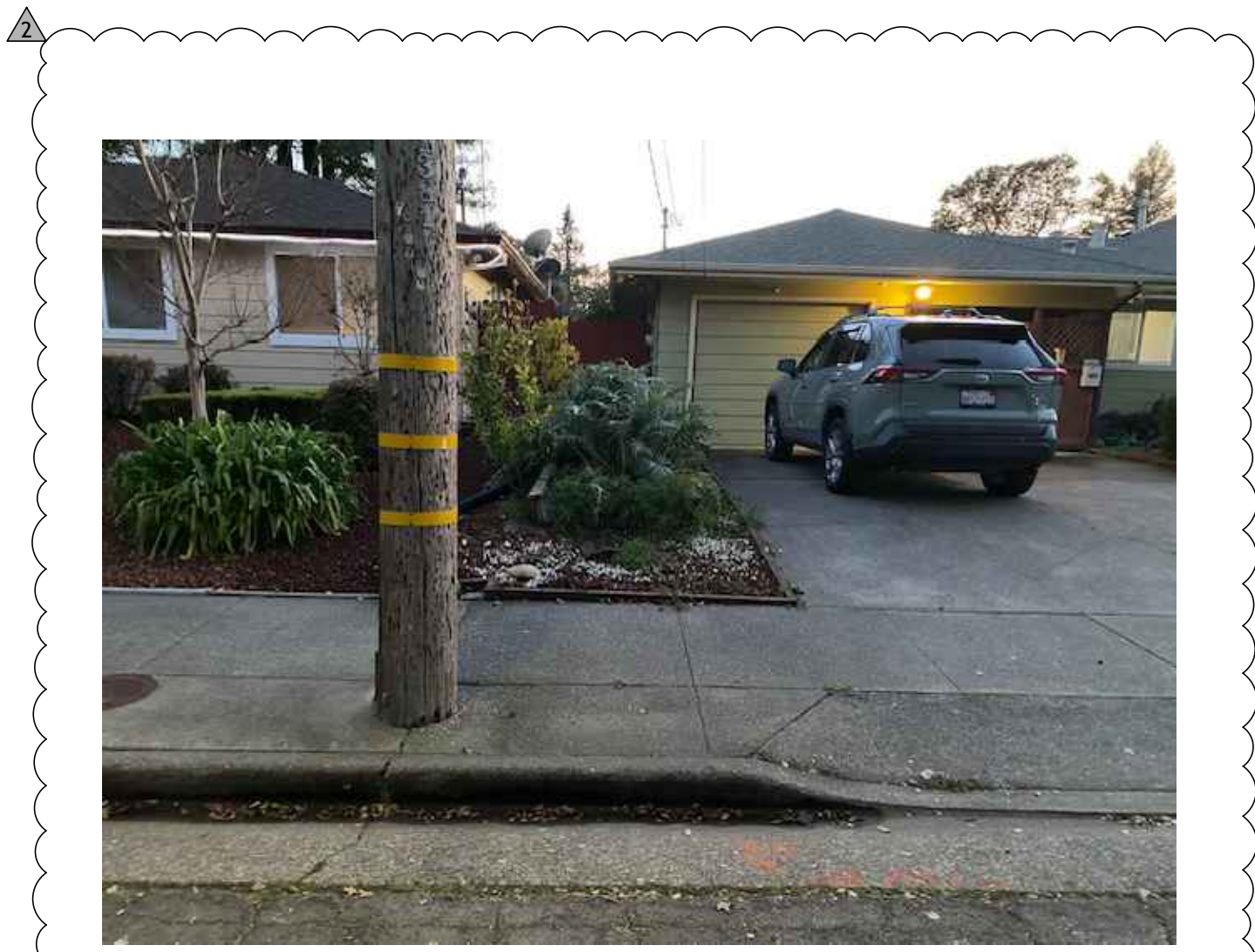
02 EXISTING SITE VIEW
SCALE: N.T.S.



03 EXISTING SITE VIEW FACING THE CREEK
SCALE: N.T.S.



04 EXISTING SITE VIEW
SCALE: N.T.S.



05 EXISTING POWER POLE TO REMAIN
SCALE: N.T.S.

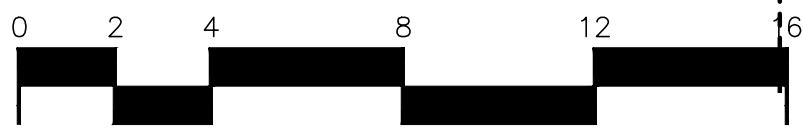
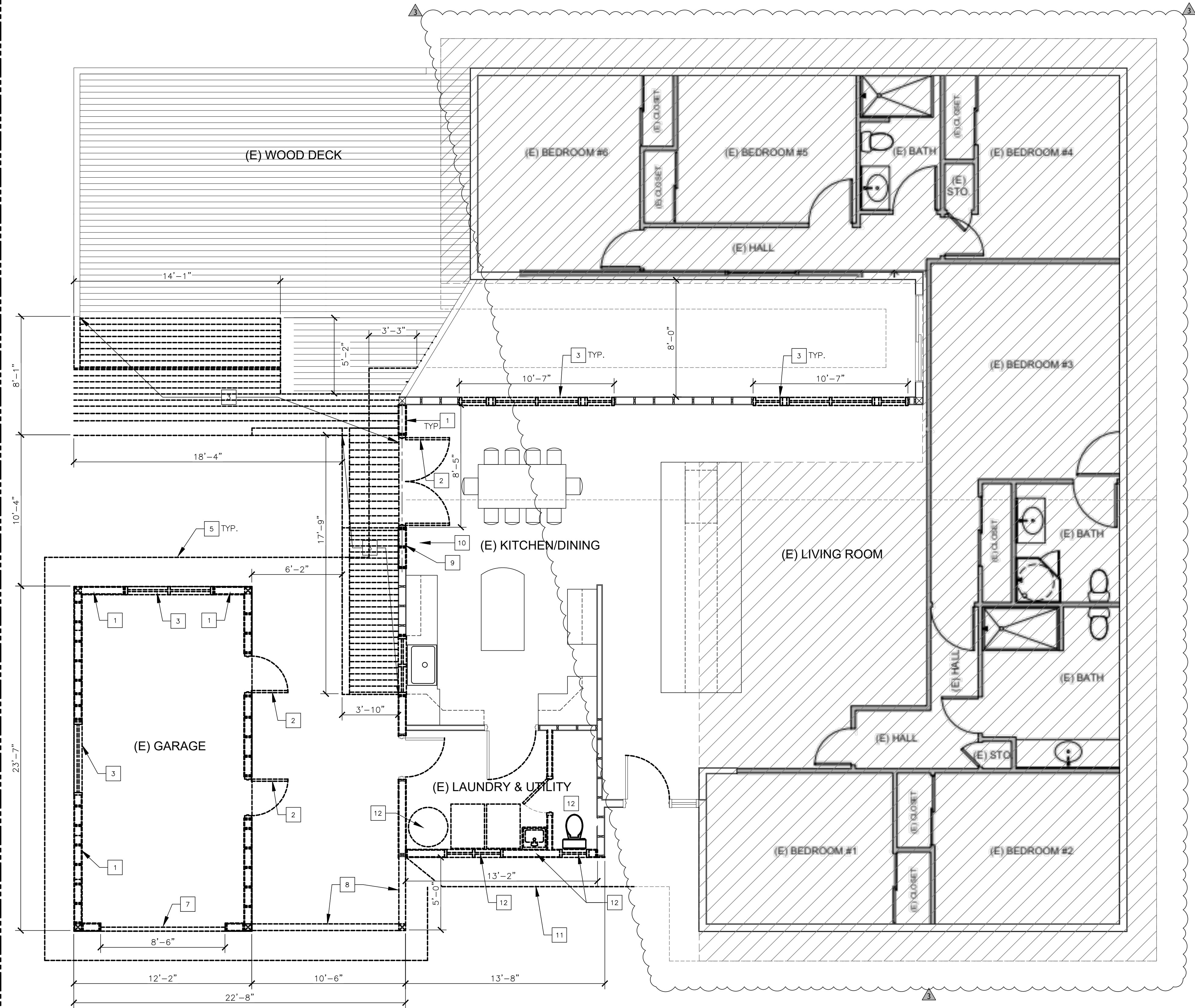


06 (E) POWER POLE AND DRIVEWAY TO REMAIN
SCALE: N.T.S.

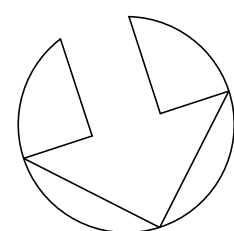
FOR REFERENCE ONLY

01 DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"



SCALE: 1/4"=1'-0"



NORTH

LEGEND

- 2X4 & 2X6 WOOD STUD FOR INTERIOR WALL W/ 5/8" GYP/ BD. EA. SIDE WALL
- 2X8 WOOD STUD WALL W/ 5/8" GYP. BD. EA. SIDE - PLUMBING WALL
- 2X6 WOOD STUD WALL W/ 5/8" GYP. BD. AND EXTERIOR 1/2 PLYWOOD
- DEMO WALL, DOOR, WINDOWS, FURNITURE, AND PLUMB FIXTURES
- DOOR TYPE. SEE DOOR SCHEDULE ON SHEET A3
- WINDOW TYPE. SEE WINDOW SCHEDULE ON SHEET A3
- 36"X 36" ENTRY/EXIT REQUIRED LANDING

DEMO KEYNOTES

- 2X STUD WALL TO BE REMOVED
- (E) DOOR TO BE REMOVED, STORED AND PROTECTED DURING THE CONSTRUCTION.
- (E) GLAZED WINDOW. TYP. TO BE DEMOED.
- PARTIAL OF (E) DECKING TO BE REMOVED.
- (E) ROOF AND ACCESSORIES TO BE REMOVED. PROTECT RAFTERS AND ROOF SHINGLES DURING THE CONSTRUCTION.
- PARTIAL OF (E) RAMP DECKING TO BE REMOVED.
- (E) GARAGE DOOR TO BE REMOVED.
- (E) WOODEN GATE TO BE REMOVED.
- PARTIAL 2X STUD WALL TO BE REMOVED
- PARTIAL OF KITCHEN CABINET TO BE REMOVED. PATCH AND REPAIR TO MATCH THE EXISTING.
- DEMO WALL AND PARTIAL ROOF RAFTERS, ROOF SHINGLES AND ASSOCIATED PARTS. CONTRACTOR TO ENSURE THIS ROOM ARE TEMPORARY CLOSED AND SAFE DURING CONSTRUCTION.
- REMOVE WALL, WINDOWS, DOORS, WATER HEATER, AND PLUMBING FIXTURES. ALL THESE EQUIPMENT, ACCESSORIES, AND FIXTURES EXCEPT FOR THE WALL MUST BE KEPT IN SAFE AND PROTECTED DURING THE CONSTRUCTION. ALL THESE PARTS AND EQUIPMENT WILL BE RE-USED AND RELOCATED.

DEMOLITION NOTES:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH EXISTING CONDITIONS FOR SIZES, QUANTITIES, AND LOCATIONS.
- ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION.
- IN AREAS OF WORK, AT EXISTING WALLS TO REMAIN WHERE OUTLETS, ETC., ARE REMOVED, PATCH AND REPAIR WALL TO MATCH EXISTING WALL TEXTURE, PREPARE WALL TO RECEIVE NEW FINISHES.
- ALL LOOSE ITEMS (ARTWORK, FRAMED PICTURES, ETC.) ON WALL WILL BE REMOVED BY OWNER. FIXED ITEMS ON THE WALLS WILL REMAIN IN PLACE DURING CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL EXISTING WALL SIGNAGE ADJACENT TO DOORS AND TURN OVER TO OWNER.
- ALL EXISTING WALLS SHALL BE REPAINTED AS SCHEDULED. CONTRACTOR RESPONSIBLE FOR PREPARING WALLS AND MINOR PATCHING (IN ADDITION TO SPECIFIC PATCHING AS NOTED.) ALL EXISTING DOOR FRAMES SHALL BE REPAINTED. PREPARE EXISTING FRAMES PRIOR TO PAINTING.

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Signature

PERMIT DRAWINGS

	11/10/2025	12/21/2025	01/20/2026	04/15/2026
	PERMIT SUBMITTAL	PLANNING SUBMITTAL	PLANNING RE-SUBMITTAL	PLANNING RE-SUBMITTAL

(N) ADDITION AND 2ND STORY ADU
2364 MELBROOK WAY
SANTA ROSA, CA 95405
APN # 014-212-003

SHEET TITLE

DEMO FLOOR PLAN

SHEET
NUMBER

A0.1

City of Santa Rosa
Planning & Economic
Development Department
04/16/2026
RECEIVED

LEGEND

- 2X4 & 2X6 WOOD STUD FOR INTERIOR WALL W/ 5/8" GYP/ BD. EA. SIDE WALL
- 2X8 WOOD STUD WALL W/ 5/8" GYP. BD. EA. SIDE - PLUMBING WALL
- 2X6 WOOD STUD WALL W/ 5/8" GYP. BD. AND EXTERIOR 1/2 PLYWOOD
- DEMO WALL, DOOR, WINDOWS, FURNITURE, AND PLUMB FIXTURES
- DOOR TYPE. SEE DOOR SCHEDULE ON SHEET A3
- WINDOW TYPE. SEE WINDOW SCHEDULE ON SHEET A3
- 36"X 36" ENTRY/EXIT REQUIRED LANDING

FLOOR PLAN KEYNOTES

- (N) 2"x6" STUD WALL AT 16" O.C. WITH 5/8" INTERIOR GYP. BD. AND HARDIE PANELS SIDING ON THE EXTERIOR
- (N) EXTERIOR DOOR (GLASS). REFER TO DOOR SCHEDULE, SEE SHEET A3.3.
- (N) DOUBLE PANE GLAZED WINDOW. TYP. SEE WINDOW SCHEDULE ON SHEET A3.3
- (N) 8'-0" DOUBLE PANE SLIDING DOOR. TYP. OF 2.
- (N) 6'-0" DOUBLE PANE SLIDING DOOR. TYP. OF 1.
- NEW BATH ROOM FIXTURE, U.O.N.
- (N) WOOD DECKING
- 60" X 60" LANDING
- (E) 100A ELECTRICAL PANEL. SEE ELECTRICAL SHEET E1.0
- (N) 2"x4" & 2"x6" STUD WALL AT 16" O.C. WITH 5/8" INTERIOR GYP. BD. EA. SIDE.
- RELOCATED (E) WATER HEATER.
- (N) ADA CONCRETE RAMP.
- RELOCATED (E) DBL. PANE WINDOW TO BE PROTECTED DURING THE CONSTRUCTION.
- (E) KITCHEN IS NOT PART OF THE SCOPE.
- (E) LAUNDRY/UTILITY IS NOT PART OF THE SCOPE.
- (N) ROOF CLASS 'A' SHINGLES. SEE ROOF PLAN ON SHEET A1.2.
- (N) 36" BARN DOOR (HOLLOW AND EASY SLIDE)
- (N) EXTERIOR 36" GLASS DOOR (TEMPERED)
- (N) INTERIOR 3-0 DOOR. REFER TO DOOR SCHEDULE, SEE SHEET A3.3.

GENERAL FLOOR PLAN NOTES

- FINISHES: VERIFY ALL FINISH & MFR'R COLORS TYPE WITH OWNER.
WALL: TO HAVE PAINTED FINISH (PER OWNER) OVER 1/2" MIN. GYP. BD. (OR FIRE RATED WALL BD.)
CEILINGS: 5/8" GYP. BD. PAINTED FINISH OR WOOD W/ SEALER (PER OWNER.)
FLOOR: LIVING/KITCHEN/DINING AREA TO HAVE WOOD FLOORING OR CARPET OVER INSULATED PLYWOOD FLOOR. BATHROOM WITH CERAMIC TILE OR SHEET VINYL.
- 18" X 24" MIN. CRAWL SPACE ACCESS WITHIN 20' OF PLUMBING.
- HEATER (SPACE HEATING HSFF 8.0 EFFICIENCY & AIR CONDITIONING: 14 SEER. VERIFY W/ MFR'R LITERATURE PLACEMENT OF UNIT & SIZE DUCTWORK AS NEEDED AND REQUIRED. SEE ELECTRICAL PLANS, FOR MORE REQUIREMENTS SEE CalGreen CHECKLIST AND T-24 ENERGY REPORT FOR MORE INFORMATION.
- WATER HEATER: ELECTRIC HEAT PUMP DHW 43 GAL. NEED RATED 287 ENERGY FACTOR W/ EARTHQUAKE STRAPS ATTACHMENT TO WALL. PRESSURE RELIEF VALVE & DRAIN PAN (AS REQUIRED) W/ DRAIN LINES TO OUTSIDE. SEE T-24 ENERGY DOCUMENTS & CalGreen CHECKLIST FOR MORE INFORMATION.
- SEE 8-1/2"x 11" PACKETS FOR TITLE 24ENERGY DOCUMENTATION FOR PROJECT, INCLUDING WINDOW U-VALUES, INSULATION TYPES & LOCATIONS, HEATING & WATER HEATING REQUIREMENTS, ETC. A COPY OF THE T-24 ENERGY REPORT AND CalGreen CHECKLISTS ARE ALSO INCLUDED ON THE PERMIT PLAN SET.
- STEPS TO BE MAXIMUM OF 3 RISERS WITHOUT NEEDING HANDRAILS. RISERS TO BE 4" MIN. TO 7.75" MAX., TREADS TO 10-1/2" MIN. NO RISER OR TREAD SHALL EXCEED MORE THAN 1/8" FROM THE SMALLEST TO THE LARGEST. 36" X 36" MIN. LANDINGS TO RESIDENCE TO HAVE A STEP UP OF 1/4" MIN. TO 1" MAX. OR 4" MIN. TO 7 1/2" MAX. SEE DETAILS 1, 5, & 6 ON SHEET A3.1.
- DOORS: EXTERIOR ENTRY DOOR METAL CLAD WOOD 1-3/4" THICK W/ TEMPERED SAFETY GLAZING SIZE & STYLE PER ELEVATION & PROVIDE WEATHER STRIPPING. SEE SHEET T-24 ENERGY REPORT FOR U-VALUE.
- WINDOWS: TO BE VINYL FRAME W/ DUAL GLAZED W/ U-VALUE PER T-24 DOCS. SEE ENERGY REPORT W/ SCREENS ON OPERABLE PANES. WINDOWS WITHIN 2' OF DOORS & SHOWER AREA TO BE TEMPERED GLASS OR SAFETY GLAZING.
- 2022 CalGreen CODE REQUIREMENTS SEE SHEET GR1 AND GR2 FOR MORE INFORMATION.
- FANS, HOODS SHALL HAVE 26ga. G.S.M. SMOOTH WALL FLUE / DUCT TO OUTSIDE W/ BACKDRAFT DAMPERS.
- TUB / SHOWER STALL BE FIBERGLASS W/ WALL PANELS TO HAVE TOP AT 70" MIN. ABOVE DRAIN. SHOWER AREA OF 1024 SQ. IN. & ENCOMPASSING A 30" MIN. CIRCLE SPACE A SHOWER CURTAIN WITH ROD OR METAL FRAME (WITH WEEP DRAINS INTO TUB/SHOWER DRAIN AREA) TEMPERED GLASS SLIDING DOOR (VERIFY W/ OWNER.) SEE CalGreen NOTES ON SHEET SP1 & SHEET GR1 FOR MORE INFORMATION.
- SOLAR SYSTEM 247 KW SOLAR OV SYSTEM - DESIGNED BY OTHERS. DEFERRED SUBMITTAL.
- WATER CLOSETS & BIDET (IF PRESENT) SHALL BE IN AREAS OF 30" WIDE MIN. (15" FROM SIDE CABINET OR WALL) WITH A 24" CLEAR IN-FRONT OF BOWL/SEAT LIP.

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PERMIT DRAWINGS

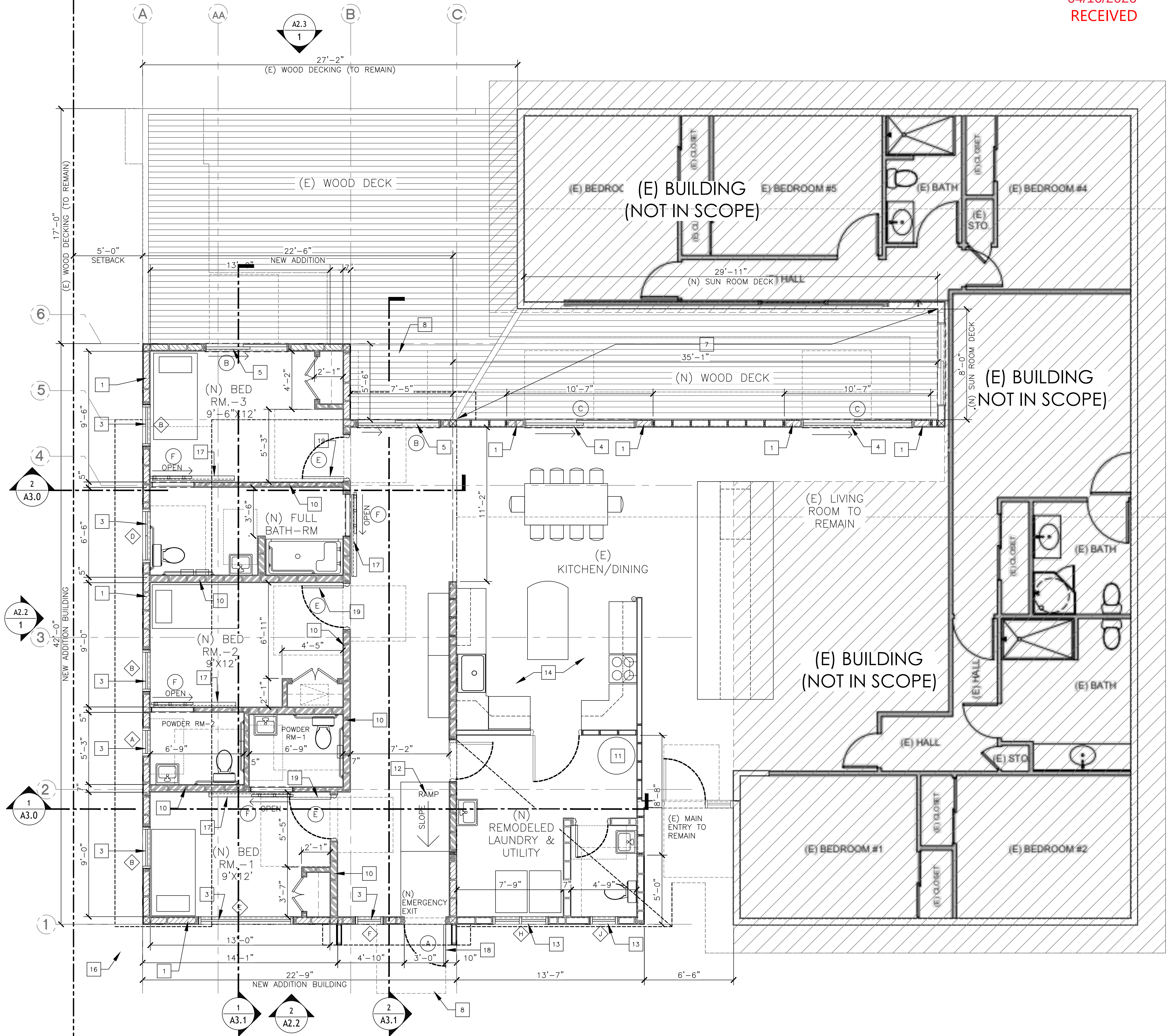
(N) ADDITION AND 2ND STORY ADU
2364 MELBROOK WAY
SANTA ROSA, CA 95405
APN # 014-212-003

SHEET TITLE

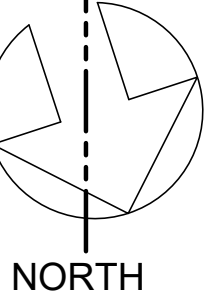
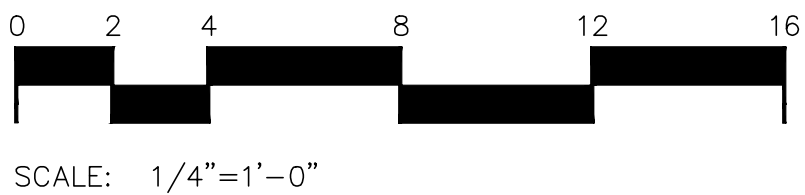
NEW FLOOR PLAN

SHEET
NUMBER

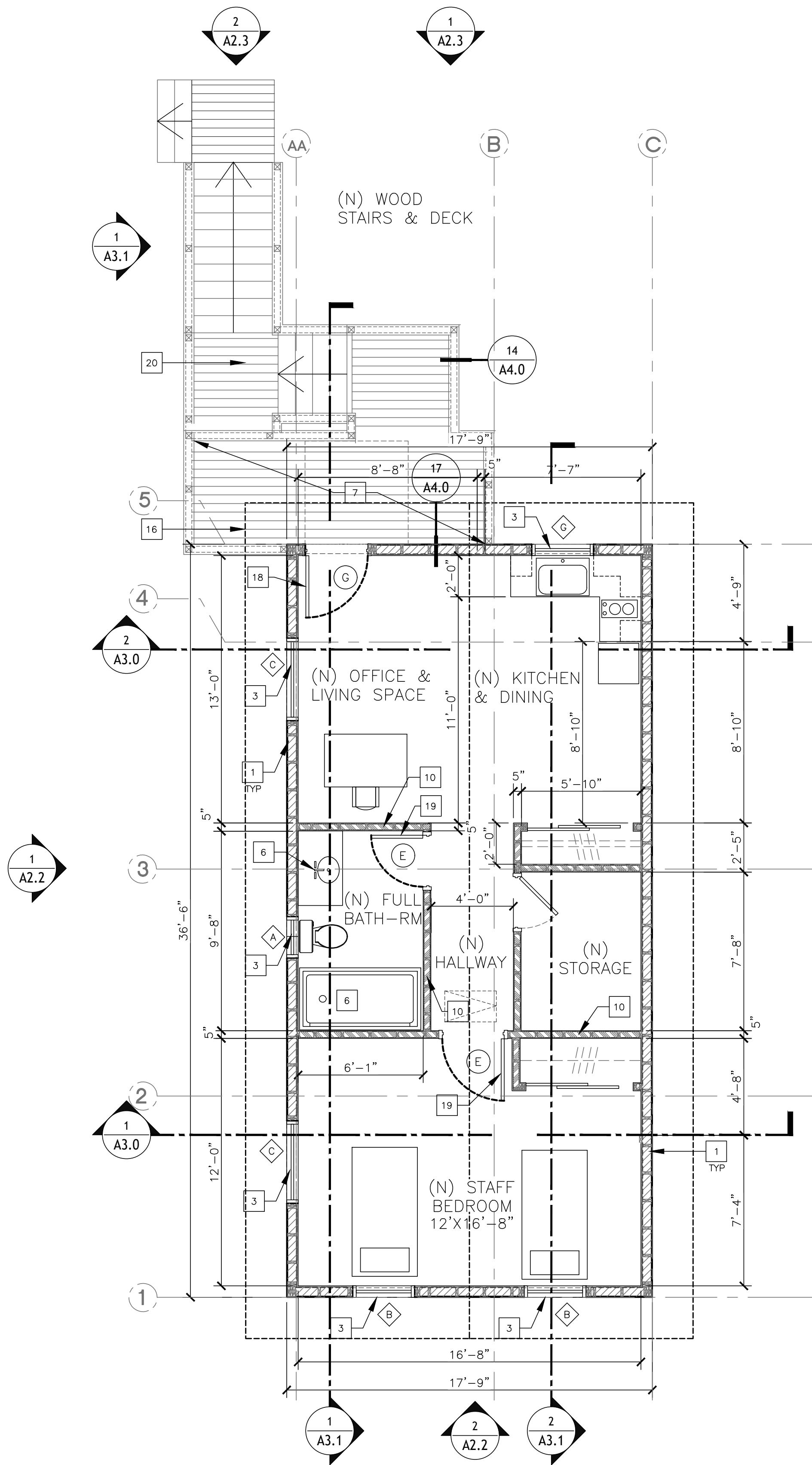
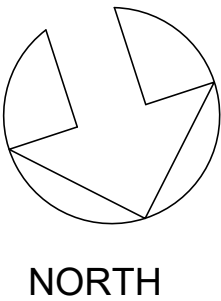
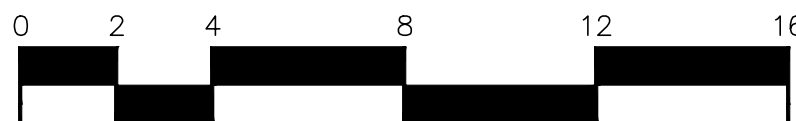
A1.0



01 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 PROPOSED 2ND STORY ADU FLOOR PLAN
SCALE: 1/4" = 1'-0"



LEGEND

- 2X4 & 2X6 WOOD STUD FOR INTERIOR WALL W/ 5/8" GYP/ BD. EA. SIDE WALL
- 2X8 WOOD STUD WALL W/ 5/8" GYP. BD. EA. SIDE - PLUMBING WALL
- 2X6 WOOD STUD WALL W/ 5/8" GYP. BD. AND EXTERIOR 1/2 PLYWOOD
- DEMO WALL, DOOR, WINDOWS, FURNITURE, AND PLUMB FIXTURES
- DOOR TYPE. SEE DOOR SCHEDULE ON SHEET A3
- WINDOW TYPE. SEE WINDOW SCHEDULE ON SHEET A3
- 36"X 36" ENTRY/EXIT REQUIRED LANDING

FLOOR PLAN KEYNOTES

- (N) 2"x6" STUD WALL AT 16" O.C. WITH 5/8" INTERIOR GYP. BD. AND HARDIE PANELS SIDING ON THE EXTERIOR
- ~~(N) EXTERIOR DOOR (GLASS). REFER TO DOOR SCHEDULE. SEE SHEET A3.3.~~
- (N) DOUBLE PANE GLAZED WINDOW. TYP. SEE WINDOW SCHEDULE ON SHEET A3.3
- ~~(N) 8' - 0" DOUBLE PANE SLIDING DOOR. TYP. OF 2.~~
- ~~(N) 8' - 0" DOUBLE PANE SLIDING DOOR. TYP. OF 1.~~
- NEW BATH ROOM FIXTURE, U.O.N.
- WEST COAT "WALKABLE" ROOF SYSTEM OVER 3/4" CDX T&G UPPER ROOF OVER TJI 360 @ 16" O.C. SLOPE AT 1/8" TO 1/4" PER FT. SLOPE TO ROOF DRAIN.
- 60" X 60" LANDING
- (E) 100A ELECTRICAL PANEL. SEE ELECTRICAL SHEET E1.0
- (N) 2"x4" & 2"x6" STUD WALL AT 16" O.C. WITH 5/8" INTERIOR GYP. BD. EA. SIDE.
- ~~(E) WATER HEATER TO REMAIN.~~
- ~~(N) ADA CONCRETE RAMP.~~
- ~~(E) DBL PANE WINDOW TO REMAIN AND BE PROTECTED DURING THE CONSTRUCTION.~~
- ~~(E) KITCHEN IS NOT PART OF THE SCOPE.~~
- ~~(E) LAUNDRY/UTILITY IS NOT PART OF THE SCOPE.~~
- (N) ROOF CLASS 'A' SHINGLES. SEE ROOF PLAN ON SHEET AX.X.
- ~~(N) 36" BARN DOOR (HOLLOW AND EASY SLIDE)~~
- (N) EXTERIOR 36" GLASS DOOR (TEMPERED)
- (N) INTERIOR 3-0 DOOR. REFER TO DOOR SCHEDULE, SEE SHEET A3.3.
- (N) WOOD DECK AND STAIRS. SEE SHEET A4.0 FOR STAIR'S WOOD AND DECK DETAILS.

GENERAL FLOOR PLAN NOTES

- FINISHES: VERIFY ALL FINISH & MFR'R COLORS TYPE WITH OWNER.
WALL: TO HAVE PAINTED FINISH (PER OWNER) OVER 1/2" MIN. GYP. BD. (OR FIRE RATED WALL BD.)
CEILINGS: 5/8" GYP. BD. PAINTED FINISH OR WOOD W/ SEALER (PER OWNER.)
FLOOR: LIVING/KITCHEN/DINING AREA TO HAVE WOOD FLOORING OR CARPET OVER INSULATED PLYWOOD FLOOR. BATHROOM WITH CERAMIC TILE OR SHEET VINYL.
- 18" X 24" MIN. CRAWL SPACE ACCESS WITHIN 20' OF PLUMBING.
- HEATER (SPACE HEATING HSFF 8.0 EFFICIENCY & AIR CONDITIONING: 14 SEER. VERIFY W/ MFR'R LITERATURE PLACEMENT OF UNIT & SIZE DUCTWORK AS NEEDED AND REQUIRED. SEE ELECTRICAL PLANS, FOR MORE REQUIREMENTS SEE CalGreen CHECKLIST AND T-24 ENERGY REPORT FOR MORE INFORMATION.
- WATER HEATER: ELECTRIC HEAT PUMP DHW 43 GAL. NEED RATED 287 ENERGY FACTOR W/ EARTHQUAKE STRAPS ATTACHMENT TO WALL. PRESSURE RELIEF VALVE & DRAIN PAN (AS REQUIRED) W/ DRAIN LINES TO OUTSIDE. SEE T-24 ENERGY DOCUMENTS & CalGreen CHECKLIST FOR MORE INFORMATION.
- SEE 8-1/2"x 11" PACKETS FOR TITLE 24ENERGY DOCUMENTATION FOR PROJECT, INCLUDING WINDOW U-VALUES, INSULATION TYPES & LOCATIONS, HEATING & WATER HEATING REQUIREMENTS, ETC. A COPY OF THE T-24 ENERGY REPORT AND CalGreen CHECKLISTS ARE ALSO INCLUDED ON THE PERMIT PLAN SET.
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- DOORS: EXTERIOR ENTRY DOOR METAL CLAD WOOD 1-3/4" THICK W/ TEMPERED SAFETY GLAZING SIZE & STYLE PER ELEVATION & PROVIDE WEATHER STRIPPING. SEE SHEET T-24 ENERGY REPORT FOR U-VALUE.
- WINDOWS: TO BE VINYL FRAME W/ DUAL GLAZED W/ U-VALUE PER T-24 DOCS. SEE ENERGY REPORT W/ SCREENS ON OPERABLE PANES. WINDOWS WITHIN 2' OF DOORS & SHOWER AREA TO BE TEMPERED GLASS OR SAFETY GLAZING.
- 2022 CalGreen CODE REQUIREMENTS SEE SHEET GR1 AND GR2 FOR MORE INFORMATION.
- FANS, HOODS SHALL HAVE 26ga. G.S.M. SMOOTH WALL FLUE / DUCT TO OUTSIDE W/ BACKDRAFT DAMPERS.
- TUB / SHOWER STALL BE FIBERGLASS W/ WALL PANELS TO HAVE TOP AT 70" MIN. ABOVE DRAIN. SHOWER AREA OF 1024 SQ. IN. & ENCOMPASSING A 30" MIN. CIRCLE SPACE A SHOWER CURTAIN WITH ROD OR METAL FRAME (WITH WEEP DRAINS INTO TUB/SHOWER DRAIN AREA) TEMPERED GLASS SLIDING DOOR (VERIFY W/ OWNER.) SEE CalGreen NOTES ON SHEET SP1 & SHEET GR1 FOR MORE INFORMATION.
- SOLAR SYSTEM 247 KW SOLAR OV SYSTEM - DESIGNED BY OTHERS. DEFERRED SUBMITTAL.
- WATER CLOSETS & BIDET (IF PRESENT) SHALL BE IN AREAS OF 30" WIDE MIN. (15" FROM SIDE CABINET OR WALL) WITH A 24" CLEAR IN-FRONT OF BOWL/SEAT LIP.

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PERMIT DRAWINGS

	11/10/2025	12/21/2025	01/20/2026	04/15/2026
	PERMIT SUBMITTAL	PLANNING SUBMITTAL	PLANNING RE-SUBMITTAL	PLANNING RE-SUBMITTAL
				

(N) ADDITION AND 2ND STORY ADU
2364 MELBROOK WAY
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APN # 014-212-003

SHEET TITLE

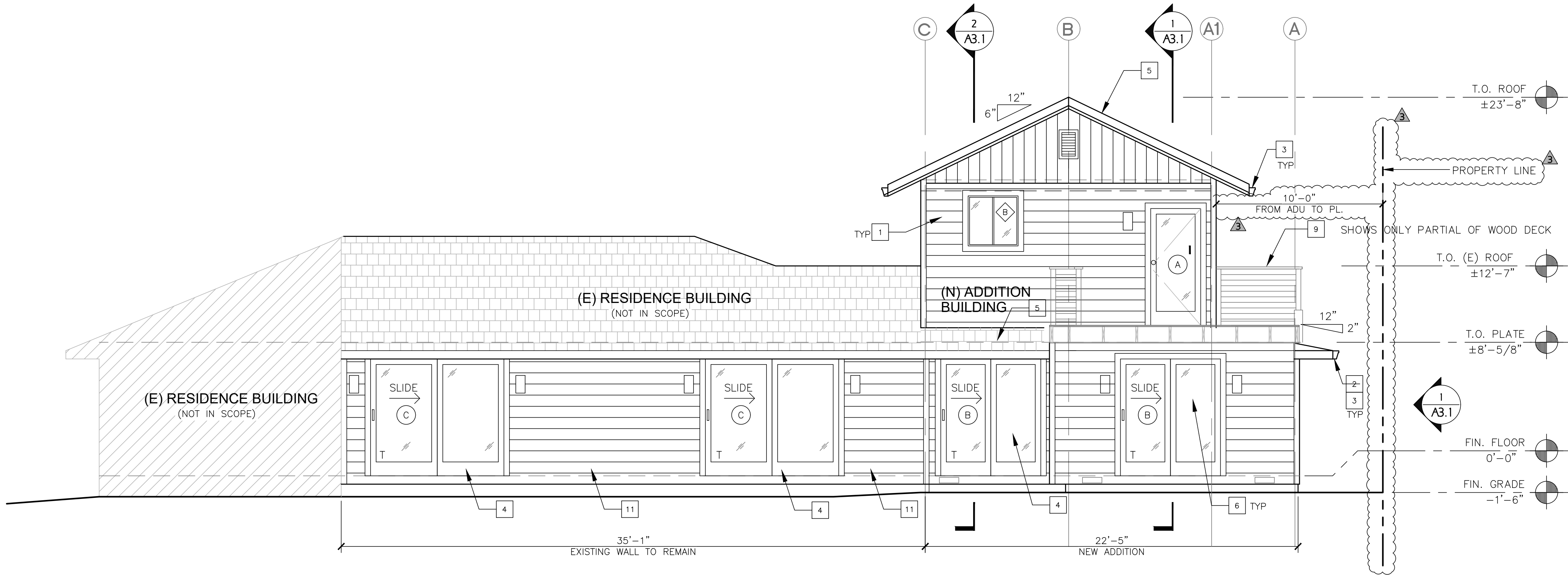
NEW 2ND FLOOR PLAN

SHEET NUMBER

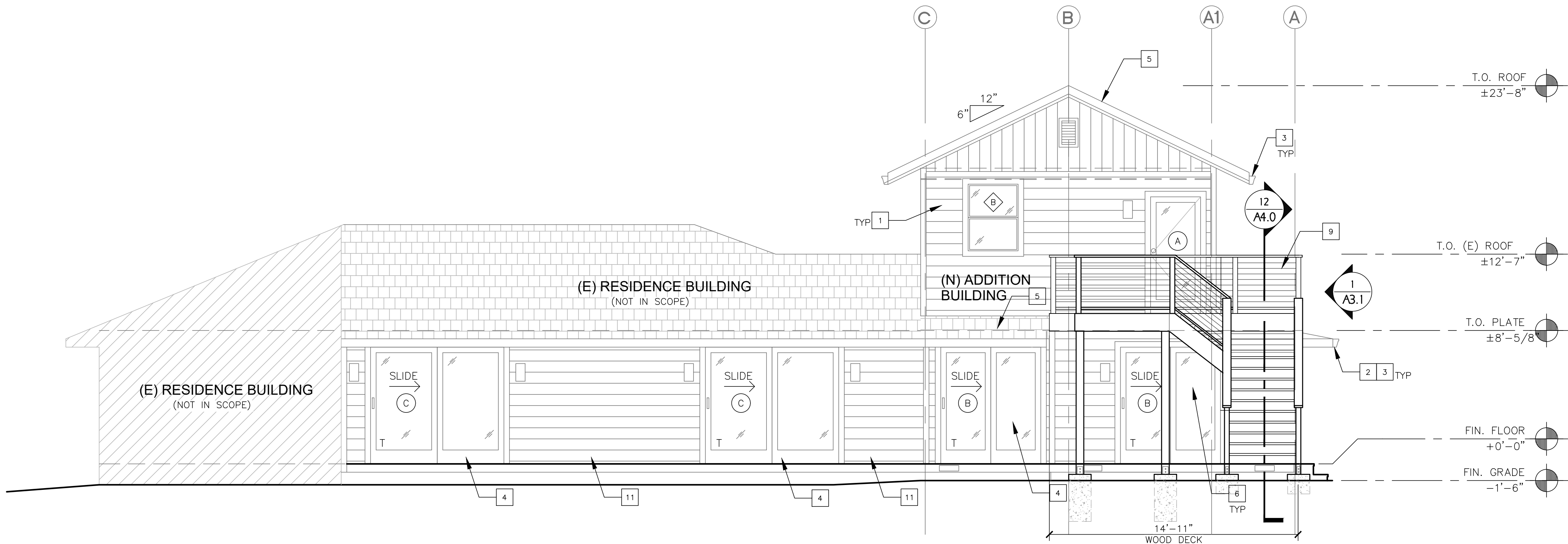
A1.1



A2.2



1 SOUTH ELEVATION PLAN
SCALE: 1/2" = 1'-0"



2 SOUTH ELEVATION OF STAIRS AND WOOD DECK
SCALE: 1/2" = 1'-0"

EXTERIOR FINISH NOTES

- 12" TO 24" OVERHANG LENGTH PER PLAN.
- 2X6 MIN. PAINTED WOOD FASCIA, TYP.
- 2X4 PAINTED WOOD TRIMS & CORNERS, DOORS & WINDOWS.
- PAINTED SIDING WALL FINISH PER OWNERS CHOICE.
- CLASS 'B' MIN. COMP. ROOFING, PER PLAN.
- ALL PAINT TO BE LOW SHEEN.

LEGEND

- (A) DOOR TYPE. SEE DOOR SCHEDULE ON SHEET A3
- (B) WINDOW TYPE. SEE WINDOW SCHEDULE ON SHEET A3

CRAWL SPACE VENT NOTES

NOTE:
CRAWLSPACE VENTILATION CALCULATION IS NOT LESS THAN 1 SQUARE FEET PER EACH 150 SQUARE FEET OF AREA VENTILATED. PROVIDE 12 PROVIDED OF 4X14 SIZE VENTS. SEE ELEVATIONS

ELEVATION KEYNOTES

- HARDIE PLANK TO MATCH EXISTING - INSTALL PRODUCT PER MFR'R SPECIFICATIONS
- 1X FASCIA BD. NOMINAL PRIME (2X MIN.)
- G.I. FASCIA GUTTER, TYP
- SLIDING DOOR (GLASS). REFER TO DOOR SCHEDULE, SEE SHEET A3.3.
- COMP. SHINGLE ROOF MATERIAL
- DOUBLE PANE GLAZED WINDOW, TYP. SEE WINDOW SCHEDULE ON SHEET A3.3
- 4"x14" CRAWL SPACE VENTILATION, SEE DETAIL 3/A3.0
- DOUBLE PANE GLAZED FIX WINDOW, TYP. OF 2. SEE WINDOW SCHEDULE ON SHEET A3.3
- NEW WOOD DECK & STAIRS (ENTRANCE TO THE 2ND FLOOR DWELLING UNIT.)
- 200A SUB PANEL CONNECTED TO THE MAIN ELECTRICAL METER AT THE (E) RESIDENCE HOUSE. SEE SITE PLAN FOR LOCATION.
- (E) WALL TO REMAIN - INSTALL NEW 8' SLIDING DOOR.

GENERAL NOTES

- THIS STRUCTURE IS REQUIRED TO BE PER 2022 CalGreen. FOR MORE NOTES REQUIREMENTS SEE SHEET GR-1.
- CONTRACTOR TO INSTALL DOORS, WINDOWS & FLUE AS PER MFR'R INSTRUCTIONS & ASSURE A WATER TIGHT BUILDING ASSEMBLY.
- ALL EXISTING GRADING IS TO BE PER PLANS MINIMAL IN SCOPE. NEW WORK SHOULD BE MINIMAL IN SCOPE TO PROVIDE POSITIVE DRAINAGE. INSTALL PROPER EROSION CONTROL MEASURES AS REQUIRED BY THE COUNTY OF SONOMA CODE.
- ALL FLASHING (Cap, Edge, Hip, Valley, 'Z' OR 'L' ETC.) TO BE 26ga. G.S.M. AS A MINIMUM, WHEN INSTALLED W/ AN APPLIANCE AS PER MFR'R LITERATURE.
- OUTSIDE RECEPTACLES TO BE GROUND FAULT CIRCUIT INTERUPER TYPE IN A WATER PROOF BOX. SEE SHEET E2.
- ALL EXTERIOR LIGHT FIXTURES TO BE HIGH EFFICACY TYPE WITH PHOTOCELL & MOTION SENSOR.
- VENTILATION CALCULATION FOR VENTS REQUIRED. SEE CRAWL SPACE VENT NOTES ON THIS SHEET.
- 26ga. G.S.M. GUTTERS WITH 2"x3" RWL TO SPLASH BLOCKS DRAINING AWAY FROM STRUCTURE.

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PERMIT DRAWINGS

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APN # 014-212-003

SHEET TITLE

ELEVATIONS

SHEET
NUMBER

A2.3