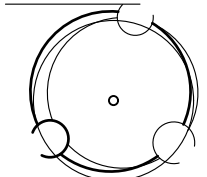


PROPOSED LANDSCAPE PLAN

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	WATER USE
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TREES

	5	PRUNUS CERASIFERA 'THUNDERCLOUD' / CHERRY PLUM NURSERY GROWN FOR STREET TREE USE, BRANCHING AT 5'. STAKE AND GUY ONE GROWING SEASON	B & B	15 GAL	LOW
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SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT.	WATER USE	FOLIAGE
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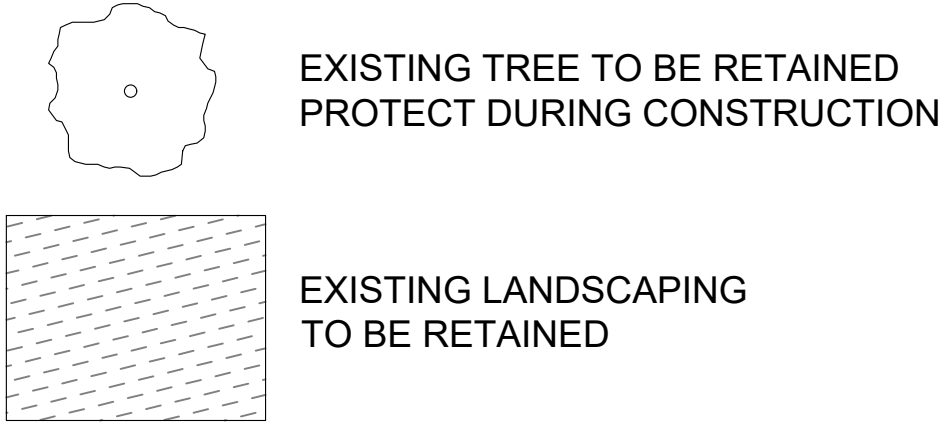
SHRUBS

	17	BACCHARIS PILULARIS 'PIGEON POINT' / PIGEON POINT COYOTE BRUSH FULL AND BUSHY.	1 GAL.	LOW	EVERGREEN
	11	OLEA EUROPAEA 'LITTLE OLLIE' / DWARF OLIVE SYN. 'MONTRA'	5 GAL.	LOW	EVERGREEN
	35	RHAPHIOLEPIS UMBELLATA 'GULF GREEN' / YEDDA HAWTHORN	5 GAL.	LOW	EVERGREEN
	17	ROSMARINUS OFFICINALIS 'PROSTRATUS' / CREEPING ROSEMARY	1 GAL.	LOW	EVERGREEN

GRASSES AND PERENNIALS

	34	LYGEUM SPARTUM / FALSE ESPARTO GRASS	1 GAL.	LOW	GRASS/GRASS-LIKE
	18	MUHLBERGIA CAPILLARIS 'PINK CLOUD' / PINK MUHLY	1 GAL.	LOW	GRASS/GRASS-LIKE

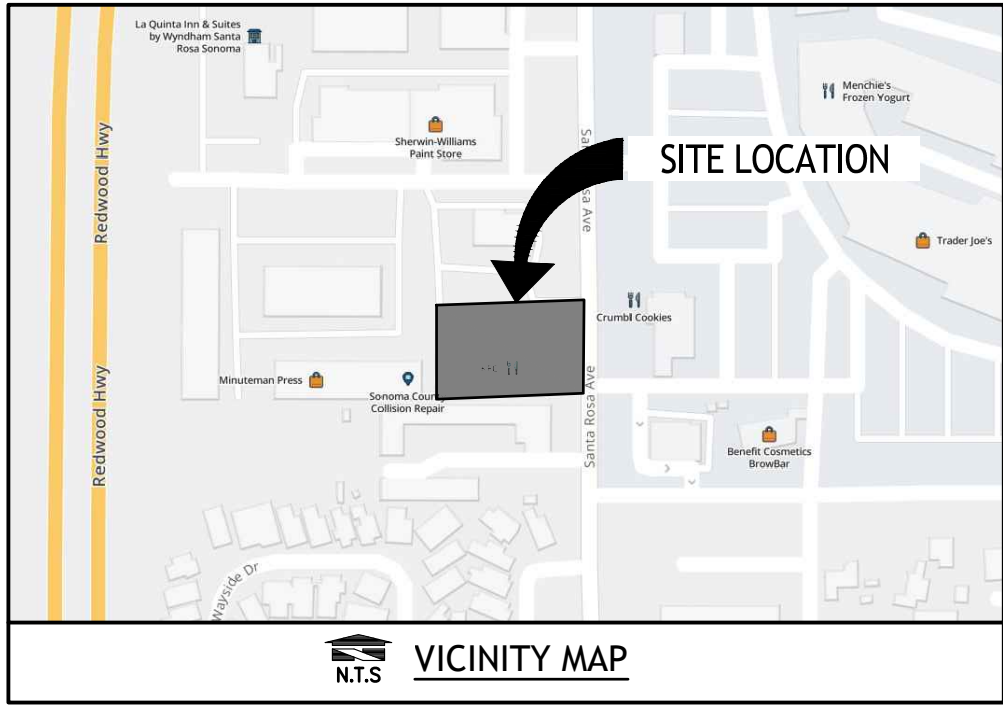
LANDSCAPE LEGEND



IRRIGATION NOTE

THESE PLANS ARE PRELIMINARY. IRRIGATION PLANS WILL BE INCLUDED WITH FINAL LANDSCAPE SET.

City of Santa Rosa
Received on June 8, 2026
Planning & Economic
Development Department



PROJECT DATA

NAME: 7 BREW DRIVE-THRU COFFEE
ADDRESS: 2249 SANTA ROSA AVE, SANTA ROSA, CA

PARCEL NO.: 043-062-015 (A PORTION OF)
PARCEL AREA = 1.17 AC

EX. BUILDING FLOOR AREA = 3,644 SQ. FT.
PROP. BUILDING FLOOR AREA = 2,333 SQ. FT.

TRASH ENCLOSURE = 18.2' X 16.7'

REQUIRED PARKING SPACES:
TO BE DETERMINED BY REVIEWING AUTHORITY PER 20-42.064

PROPOSED PARKING SPACES:
- EXISTING PARKING TO REMAIN = 18
- PROPOSED ADA PARKING = 1
TOTAL PARKING = 19

DRIVE-UP SPACES (QUEUING) = 12

REQUIRED BICYCLE SPACES:
1 SPACE PER 6,000 GFA = 2,333/6000= 0.4

PROPOSED BICYCLE SPACES:
EXISTING RACKS TO REMAIN = 3

SITE COVERAGE %:	
EXISTING SITE:	
BUILDINGS	7,277 SF (14.2%)
DRIVE AISLES, PARKING, CURBS, SIDEWALK	36,403 SF (71.3%)
LANDSCAPING	7,385 SF (14.5%)
TOTAL	51,065 SF (100%)

PROPOSED DEVELOPMENT:	
BUILDINGS & ROOF	5,966 SF (11.7%)
DRIVE AISLES, PARKING, CURBS, SIDEWALK	35,351 SF (69.2%)
LANDSCAPING	9,748 SF (19.1%)
TOTAL	51,065 SF (100%)

SETBACKS:
FRONT 0"
SIDE 0"
REAR 0"
*WHEN NOT ADJACENT TO RESIDENTIAL

OWNER

BRENTON JACKSON
595 MILLICH DR, SUITE 106
CAMPBELL, CA
TEL: (650) 941-5681
CONTACT: BRENTON JACKSON

DEVELOPER

FORZA DEVELOPMENT
2180 S 1300 E, SUITE 240
SALT LAKE CITY, UT
TEL: (916) 765-7270
CONTACT: RUSS ORSI

ENGINEER

CORE STATES GROUP
18215 72ND AVE. SOUTH
KENT, WA 98032
TEL: (425) 251-6222
FAX: (425) 251-8782
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18215 72ND AVE. SOUTH
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LANDSCAPE ARCHITECT

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SURVEYOR

MACKAY SPOSITO
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ROSEVILLE, CA
TEL: (916) 783-8898
CONTACT: TIMOTHY E PETERSON P.L.S.

18215 72nd Avenue South
Kent, WA 98032
855.CSG. 1999

www.core-states.com

CoreStates, Inc.

California Engineering
CERTIFICATE OF AUTHORIZATION
NO. 100524452



Know what's below.
Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

7 BREW DRIVE-THRU COFFEE
2249 SANTA ROSA AVE
SANTA ROSA, CA 95407

264 SUVANASENG 264 INC.
2180 S. 1300 E., STE 240
SALT LAKE CITY, UT 84106

REV	DATE	COMMENT	BY
1	4/16/26	PER CITY COMMENTS	TCR

Drawn: TCR
Reviewed: JMV
Sheet Date: 4/16/2026
Proj. Number: 25.42281.01

PRELIMINARY
LANDSCAPE PLAN

LANDSCAPE NOTES AND DETAILS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
- B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.
- PRODUCTS
- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMACTIC CONDITIONS.
2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTBLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN ½ INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- D. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- E. PLANTING MIX FOR POTS: AN EQUAL PART MIXTURE OF TOPSOIL, SAND AND COMPOST. INCORPORATE "GELSCAPE", AS MADE BY AMEREQ, INC., (800) 832-8788, AT THE RATE OF 3 LB. PER CUBIC YARD OF PLANTING MIX.
- F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- H. TREE STAKING AND GUYING
1. STAKES: 6" LONG GREEN METAL T-POSTS.
2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- L. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- M. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.
- METHODS
- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
2. SOIL TESTING:
- a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
- b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
- c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
- d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
4. SEE PLANT SCHEDULE THIS SET FOR SOIL CONDITIONING NOTE.
5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.

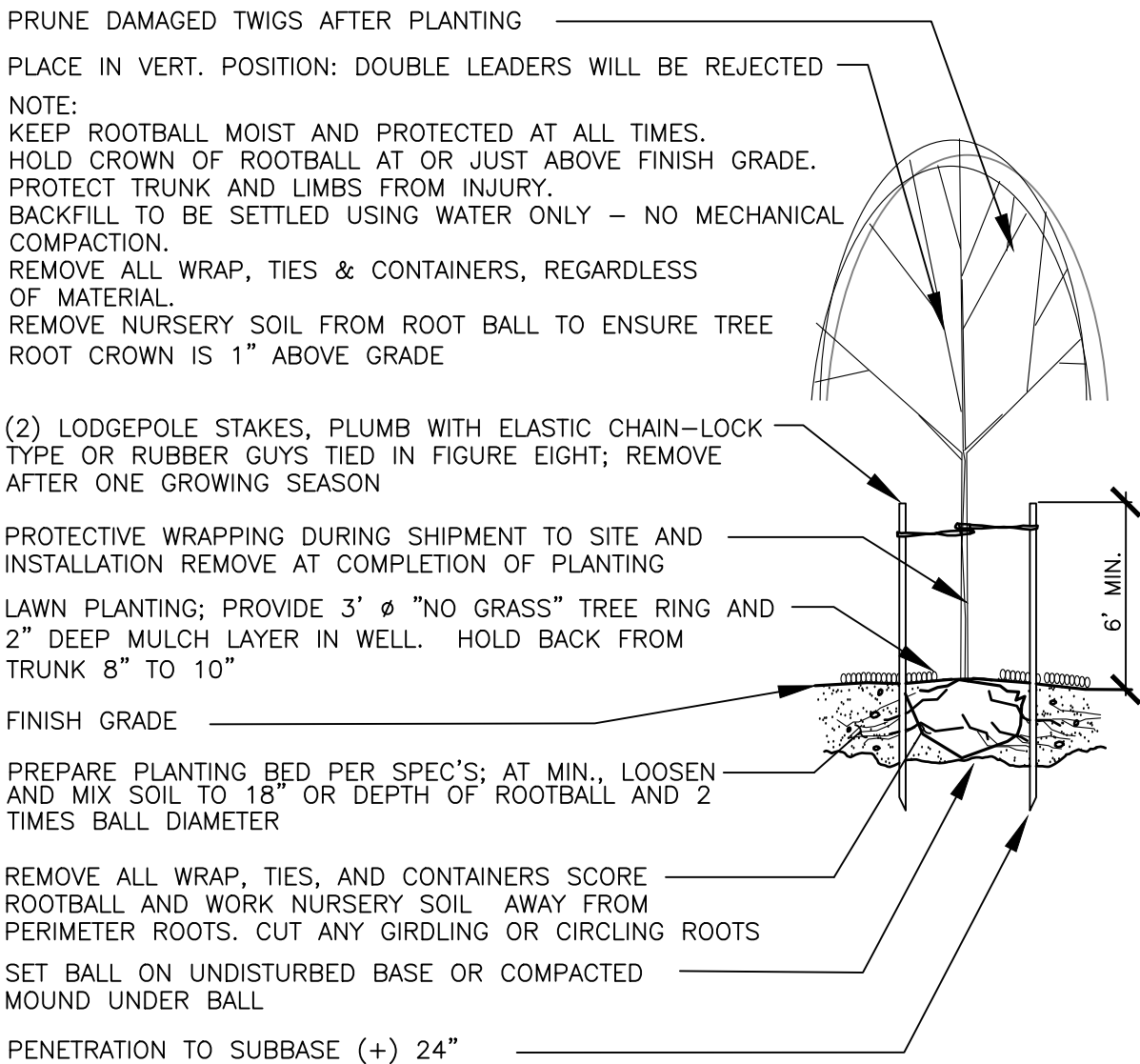
- c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
- d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- e. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

- B. SUBMITTALS
1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
3. TRENCING NEAR EXISTING TREES:
- a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
- b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
- c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
- d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
- D. TREE PLANTING
1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
3. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
5. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
6. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:

- a. #15 CONT. - 24" BOX TREES TWO STAKES PER TREE
- b. 36"-48" BOX TREES THREE STAKES PER TREE
- c. OVER 48" BOX TREES GUY AS NEEDED
- d. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH MULCH (TYPE AND DEPTH PER PLANS).
- E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
2. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- H. MULCH
1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

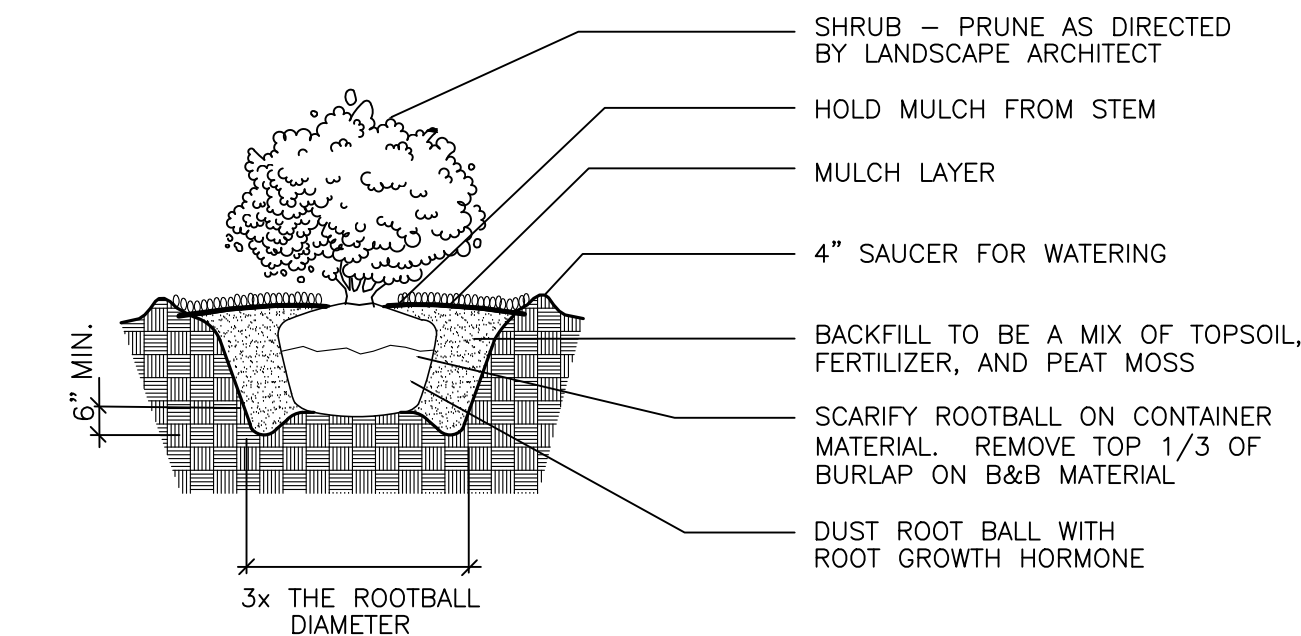
- I. CLEAN UP
1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- J. INSPECTION AND ACCEPTANCE
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

- K. LANDSCAPE MAINTENANCE
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTNG OF PLANTS THAT HAVE SETTLED, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
2. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
- a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
- b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
- L. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
- M. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



DECIDUOUS TREE PLANTING/STAKING DETAIL

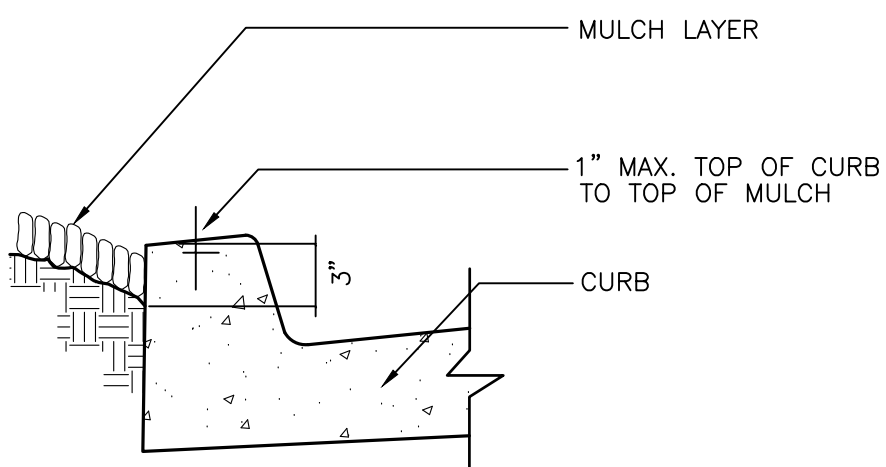
NOT TO SCALE



- NOTE:
- APPLY ADDITIONAL 4 OZ. 8-32-16 FERTILIZER INTO TOP 2" OF PLANTING MIX.
- PLANT SHRUB HIGH ENOUGH TO ALLOW POSITIVE DRAINAGE AWAY FROM ROOTBALL. ROUGHEN ALL SURFACES OF PIT.
- CUT AND REMOVE BURLAP FROM ROOT BALL

SHRUB PLANTING DETAIL

NOT TO SCALE



MULCH AT CURB DETAIL

NOT TO SCALE

CORE STATES

GROUP

18215 72nd Avenue South
Kent, WA 98032
855.CSG.1999

www.core-states.com

CoreStates, Inc.

California Engineering
CERTIFICATE OF AUTHORIZATION
NO. 100524452



Know what's below.

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7 BREW DRIVE-THRU COFFEE
2249 SANTA ROSA AVE
SANTA ROSA, CA 95407

264 SUVANASENG 264 INC.
2180 S. 1300 E., STE 240
SALT LAKE CITY, UT 84106

REV	DATE	COMMENT	BY
1	4/16/26	PER CITY COMMENTS	TCR

Drawn: TCR
Reviewed: JMV
Sheet Date: 4/16/2026
Proj. Number: 25.42281.01

LANDSCAPE NOTES AND DETAILS

FINISH MATERIALS SCHEDULE				
SYMBOL	ITEM	DESCRIPTION	LOCATION	IMAGE
PT-1	PAINT	SHERWIN WILLIAMS SW7664 STEELY GRAY	SEE ELEVATIONS	
PT-2	PAINT	SHERWIN WILLIAMS CUSTOM 78 DARK GREY	WAINSCOT AND CORNER ACCENT	
PT-3	PAINT	TBD. TO MATCH MP-2	SEE ELEVATIONS	
MP-2	BRAKE METAL	COLOR: REGAL BLUE FINISH: SMOOTH	METAL COPING AND CANOPIES	
MP-5	BRAKE METAL	COLOR: CLEAR ANODIZED FINISH: SMOOTH	TRIM AT STOREFRONTS	
LT-1	BLUE FLEX LIGHT		CANOPIES AND FASCIA	SEE ELEVATIONS



ARCHITECT OF RECORD:
NAME: PATRICK BLEES
LICENSE NO. 31531

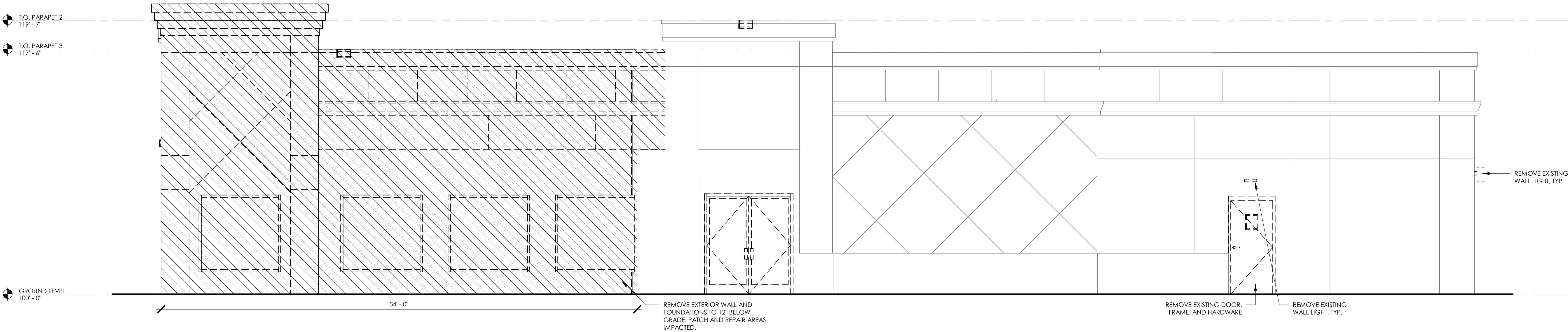
PROJECT NUMBER: FOR.25.42281.01
REVISION:
06/15/2026 ISSUE FOR PERMIT

7 BREW COFFEE
EXISTING RESTAURANT CONVERSION
2249 SANTA ROSA AVE
SANTA ROSA, CA 95407

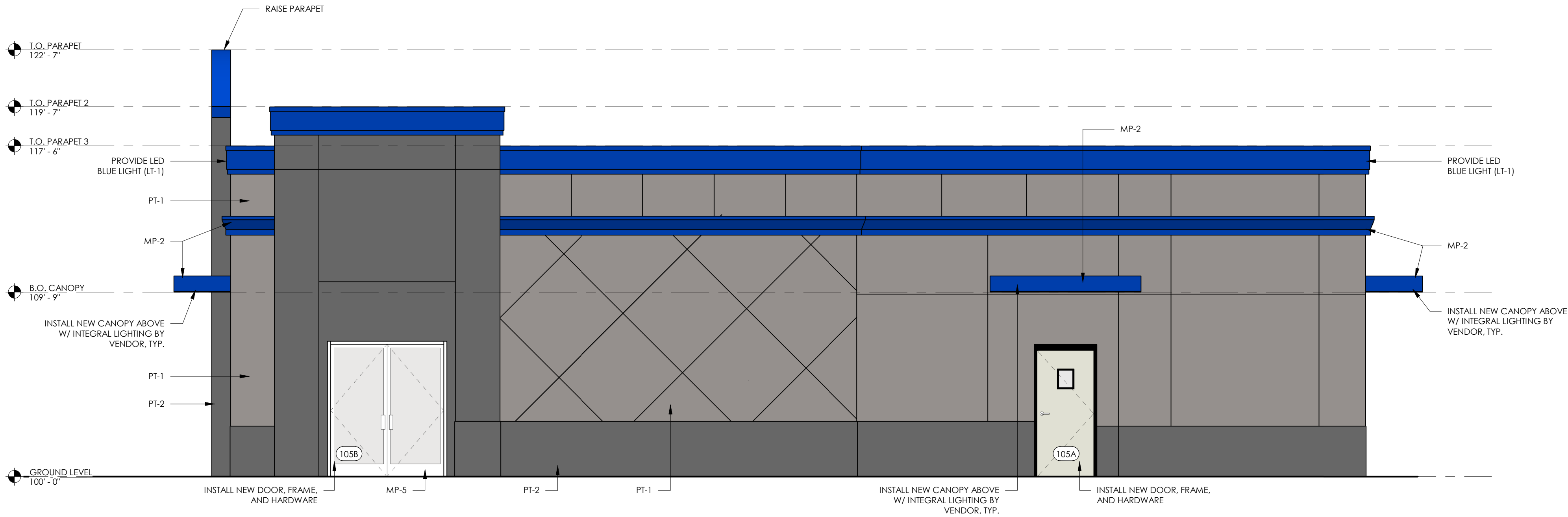
A2.2

DEMO EXTERIOR ELEVATION &
EXTERIOR ELEVATION

DATE: XX/XX/2026



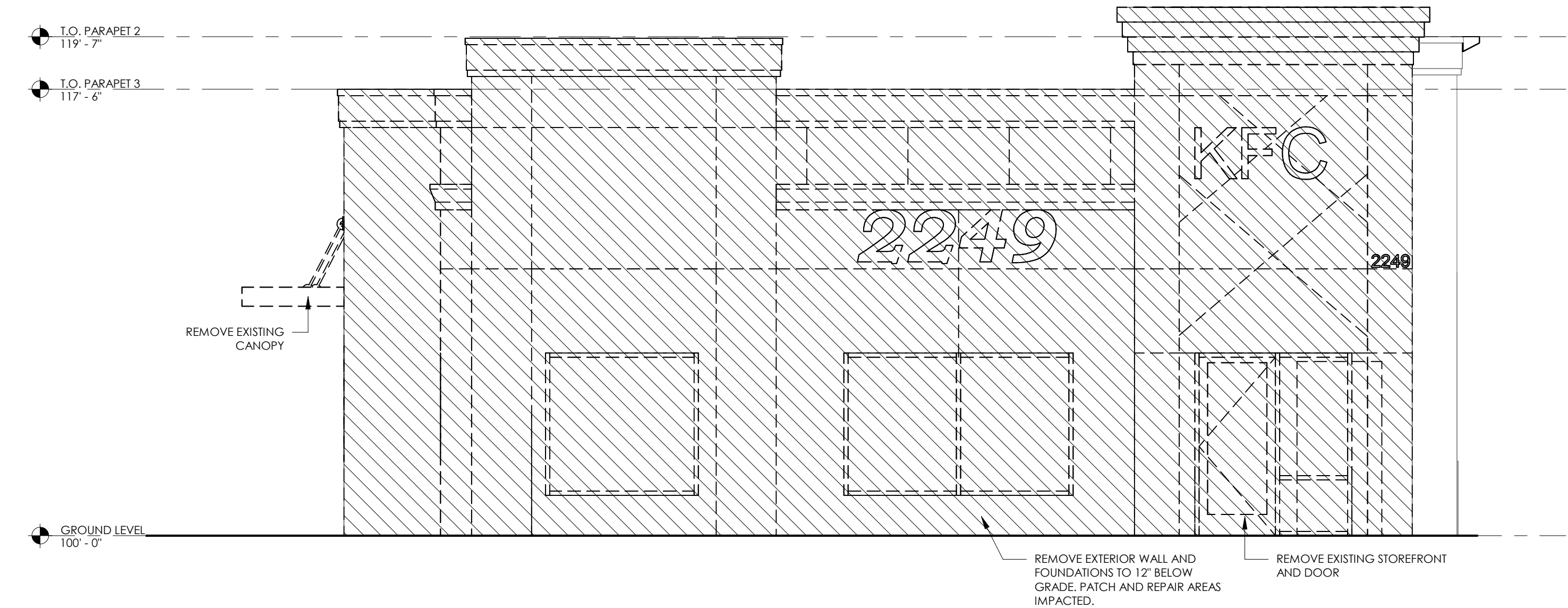
1 DEMO EXTERIOR ELEVATION - LEFT SIDE
1/4" = 1'-0"



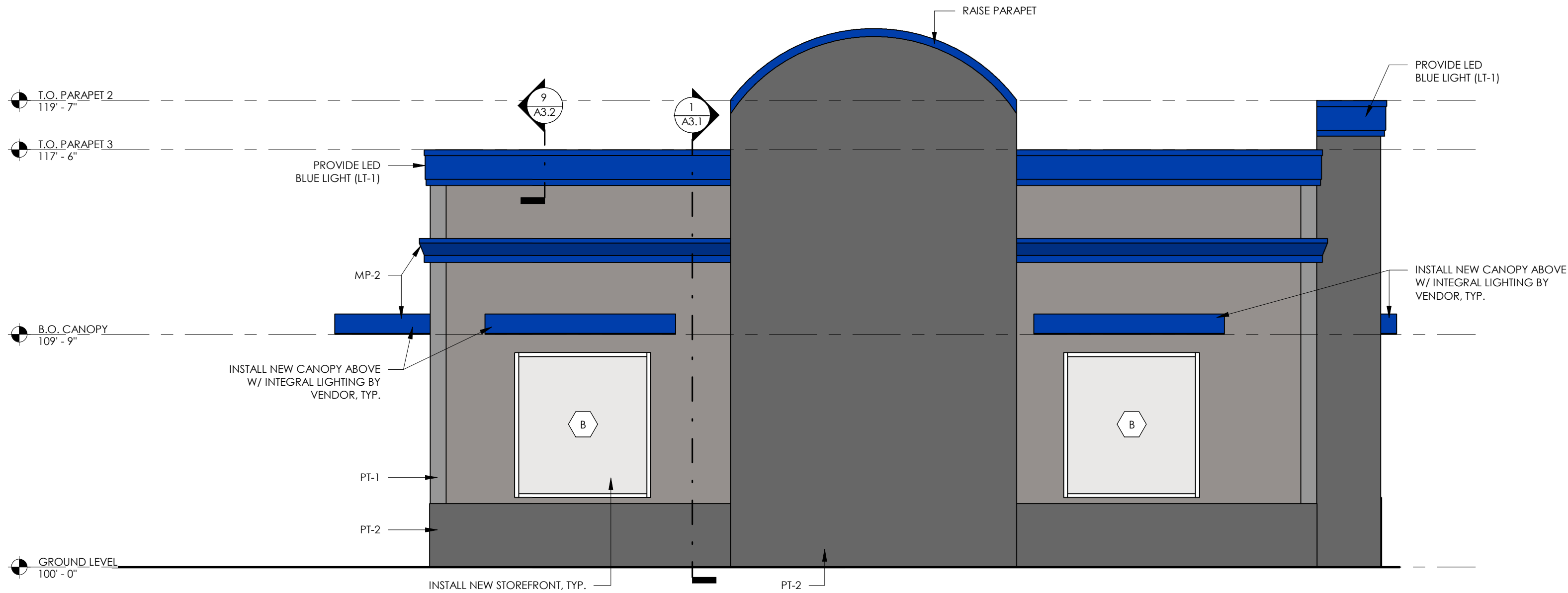
2 EXTERIOR ELEVATION - LEFT SIDE
1/4" = 1'-0"

SIGNAGE:

SIGNAGE SHOWN IS FOR REPRESENTATION AND COORDINATION ONLY.
REFER TO PERMITTED SIGN PACKAGE FOR PRECISE LOCATION AND
SIGNAGE QUANTITY



1 DEMO EXTERIOR ELEVATION - FRONT
1/4" = 1'-0"



2 EXTERIOR ELEVATION - FRONT
1/4" = 1'-0"

FINISH MATERIALS SCHEDULE				
SYMBOL	ITEM	DESCRIPTION	LOCATION	IMAGE
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PT-2	PAINT	SHERWIN WILLIAMS CUSTOM 78 DARK GREY	WAINSCOT AND CORNER ACCENT	
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MP-2	BRAKE METAL	COLOR: REGAL BLUE FINISH: SMOOTH	METAL COPING AND CANOPIES	
MP-5	BRAKE METAL	COLOR: CLEAR ANODIZED FINISH: SMOOTH	TRIM AT STOREFRONTS	
LT-1	BLUE FLEX LIGHT		CANOPIES AND FASCIA	SEE ELEVATIONS



ARCHITECT OF RECORD:
NAME: PATRICK BLEES
LICENSE NO. 31531

PROJECT NUMBER: FOR.25.42281.01
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7 BREW COFFEE
EXISTING RESTAURANT CONVERSION
2249 SANTA ROSA AVE
SANTA ROSA, CA 95407

A2.3
DEMO EXTERIOR ELEVATION &
EXTERIOR ELEVATION

DATE: XX/XX/2026

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SIGNAGE QUANTITY

FINISH MATERIALS SCHEDULE				
SYMBOL	ITEM	DESCRIPTION	LOCATION	IMAGE
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PT-2	PAINT	SHERWIN WILLIAMS CUSTOM 78 DARK GREY	WAINSCOT AND CORNER ACCENT	
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MP-2	BRAKE METAL	COLOR: REGAL BLUE FINISH: SMOOTH	METAL COPING AND CANOPIES	
MP-5	BRAKE METAL	COLOR: CLEAR ANODIZED FINISH: SMOOTH	TRIM AT STOREFRONTS	
LT-1	BLUE FLEX LIGHT		CANOPIES AND FASCIA	SEE ELEVATIONS



ARCHITECT OF RECORD:
NAME: PATRICK BLEES
LICENSE NO. 31531

PROJECT NUMBER: FOR.25.42281.01
REVISION:
06/15/2026 ISSUE FOR PERMIT

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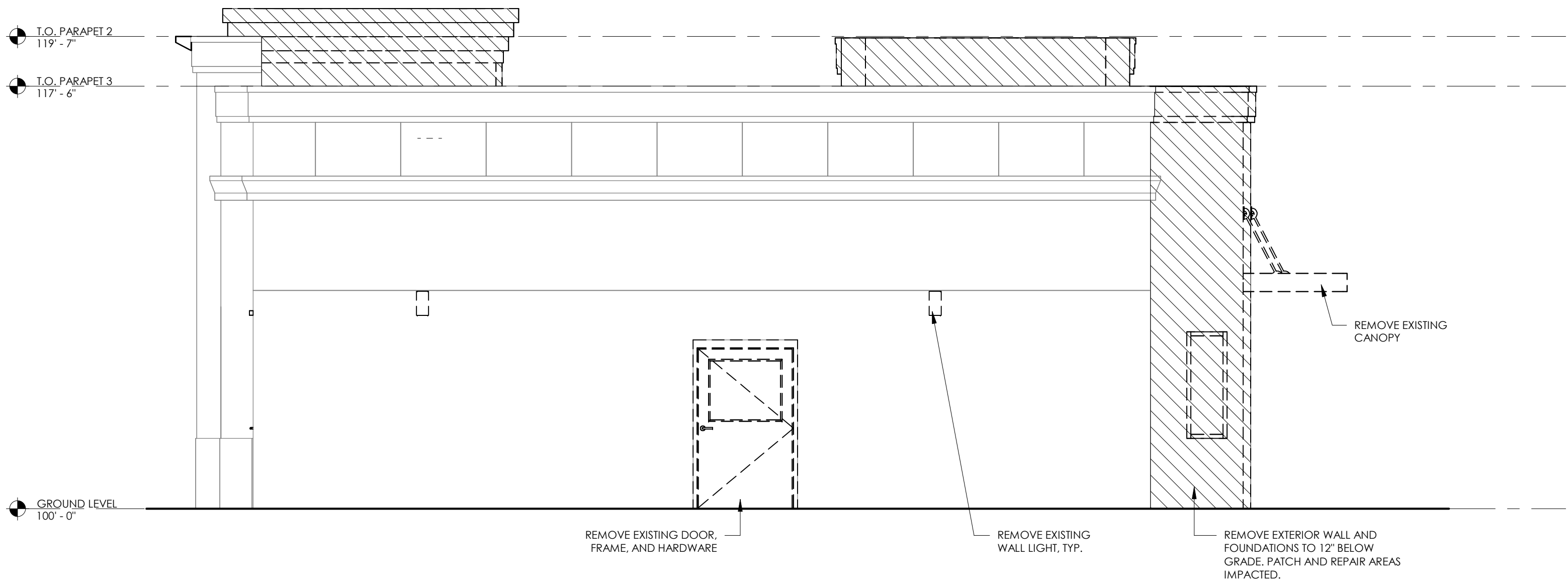
A2.4

DEMO EXTERIOR ELEVATION &
EXTERIOR ELEVATION

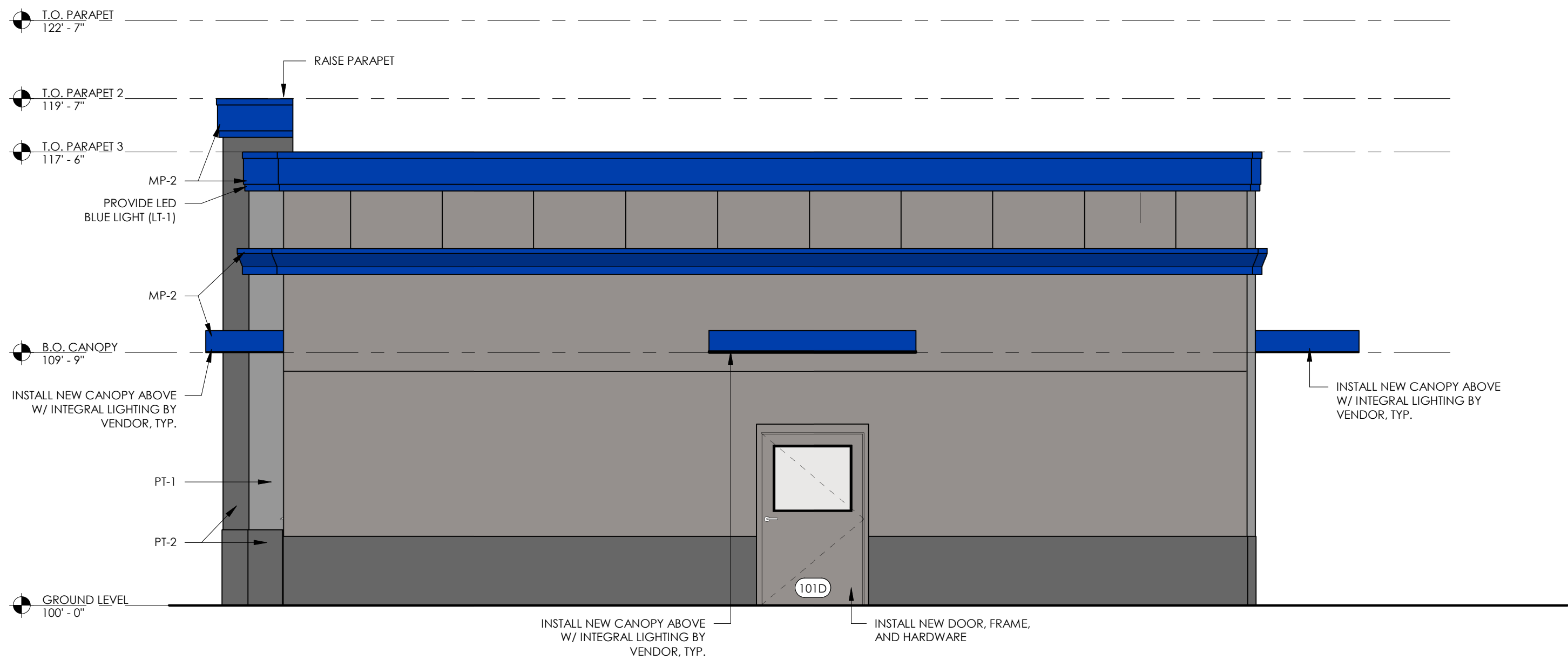
DATE: XX/XX/2026

SIGNAGE:

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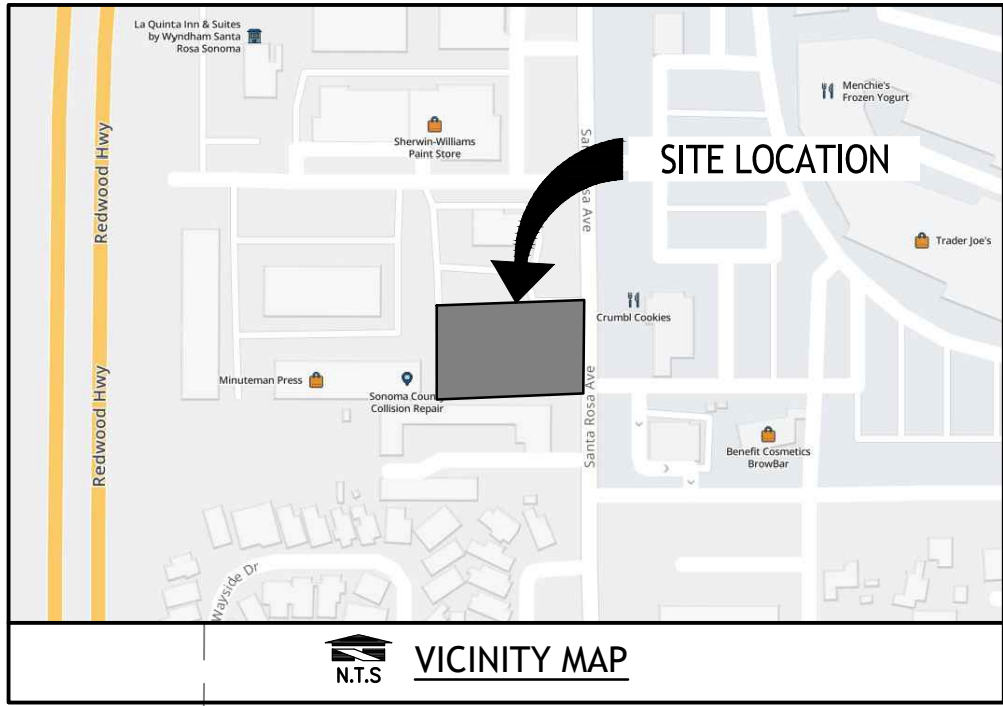
1 DEMO EXTERIOR ELEVATION - BACK
1/4" = 1'-0"



2 EXTERIOR ELEVATION - BACK
1/4" = 1'-0"

SITE IMPROVEMENT PLAN

- KEY NOTES:
1. LOCATION OF EXISTING CONVERSION BUILDING. REFER TO ARCHITECTURE ELEVATIONS FOR MORE INFORMATION.
 2. PROPOSED CONCRETE BARRIER CURB
 3. PROPOSED ASPHALT PAVEMENT
 4. PROPOSED ON-SITE CONCRETE SIDEWALK
 5. PROPOSED CONCRETE PAVEMENT
 6. PROPOSED LANDSCAPE AREA, TYPICAL.
 7. ACCESSIBLE PATH, TYPICAL.
 8. PROPOSED ADA ACCESSIBLE RAMP WITH DETECTABLE WARNING STRIP.
 9. PROPOSED ACCESSIBLE PARKING SPACE
 10. EXISTING GREASE INTERCEPTOR LIDS. GREASE INTERCEPTOR TO BE PROTECTED DURING CONSTRUCTION.
 11. EXISTING SEWER CLEAN OUTS. CLEANOUTS TO BE PROTECTED DURING CONSTRUCTION.
 12. EXISTING FIRE HYDRANT TO REMAIN.
 13. LOCATION OF PROPOSED TRASH ENCLOSURE.
 14. EXISTING CURB TO BE REMOVED & INSTALL PROPOSED ADA CURB RAMP
 15. PROPOSED SITE LIGHT.
 16. PROPOSED PEDESTRIAN SCALE DOOR TO BE INSTALLED ON THE EXISTING BUILDING.
 17. PROPOSED CURB CUTS.



PROJECT DATA:

NAME: 7 BREW DRIVE-THRU COFFEE
ADDRESS: 2249 SANTA ROSA AVE, SANTA ROSA, CA

PARCEL NO.: 043-062-015 (A PORTION OF)
PARCEL AREA = 1.17 AC

EX. BUILDING FLOOR AREA = 3,644 SQ FT
PROP. BUILDING FLOOR AREA = 2,333 SQ FT

PROPOSED PARKING SPACES:

- EXISTING PARKING TO REMAIN = 18
- PROPOSED ADA PARKING = 1

TOTAL PARKING

= 19

DRIVE-UP SPACES (QUEUING)

= 12

REQUIRED BICYCLE SPACES:

1 SPACE PER 6,000 GFA = 2,333/6000= 0.4

EXISTING BICYCLE SPACES TO REMAIN

= 4

SITE COVERAGE %:

EXISTING SITE: 7,277 SF (14.2%)
BUILDINGS: 2,777 SF (14.2%)
DRIVE AISLES, PARKING, CURBS, SIDEWALK: 36,403 SF (71.3%)
LANDSCAPING: 7,385 SF (14.5%)
TOTAL: 51,065 SF (100%)

PROPOSED DEVELOPMENT:

			CHANGE
EXISTING BUILDINGS & ROOF AREA TO REMAIN	5,966 SF	(11.7%)	-2.6%
EXISTING LANDSCAPING TO REMAIN	5,212 SF	(10.2%)	
EXISTING PAVEMENT TO REMAIN	28,866 SF	(56.5%)	
PROPOSED TRASH ENCLOSURE	227 SF	(0.5%)	+0.5%
PROPOSED PAVEMENT	6,808 SF	(13.3%)	-1.4%
PROPOSED LANDSCAPING	3,986 SF	(7.8%)	+3.5%
TOTAL	51,065 SF	(100%)	

SETBACKS:

FRONT 0'
SIDE 0'
REAR 0'
*WHEN NOT ADJACENT TO RESIDENTIAL

OWNER

BRENTON JACKSON
595 MILLICH DR, SUITE 106
CAMPBELL, CA
TEL: (650) 941-5681
CONTACT: BRENTON JACKSON

DEVELOPER

FORZA DEVELOPMENT
2180 S 1300 E, SUITE 240
SALT LAKE CITY, UT
TEL: (916) 765-7270
CONTACT: RUSS ORSI

ENGINEER

CORE STATES GROUP
18215 72ND AVE. SOUTH
KENT, WA 98032
TEL: (425) 251-6222
FAX: (425) 251-8782
CONTACT: ANTHONY MERLINO, P.E.

ARCHITECT

CORE STATES GROUP
18215 72ND AVE. SOUTH
KENT, WA 98032
TEL: (425) 251-6222
FAX: (425) 251-8782
CONTACT: KELLY TESKA, R.A.

LANDSCAPE ARCHITECT

CORE STATES GROUP
18215 72ND AVE. SOUTH
KENT, WA 98032
TEL: (425) 251-6222
FAX: (425) 251-8782
CONTACT: JEFF VARLEY, R.L.A.

SURVEYOR

MACKAY SPOSITO
2000 OPPORTUNITY DRIVE, SUITE 100
ROSEVILLE, CA
TEL: (916) 783-8898
CONTACT: TIMOTHY E PETERSON P.L.S.

18215 72nd Avenue South
Kent, WA 98032
855.CSG.1999

www.core-states.com

CoreStates, Inc.

California Engineering
CERTIFICATE OF AUTHORIZATION
NO. 100524452

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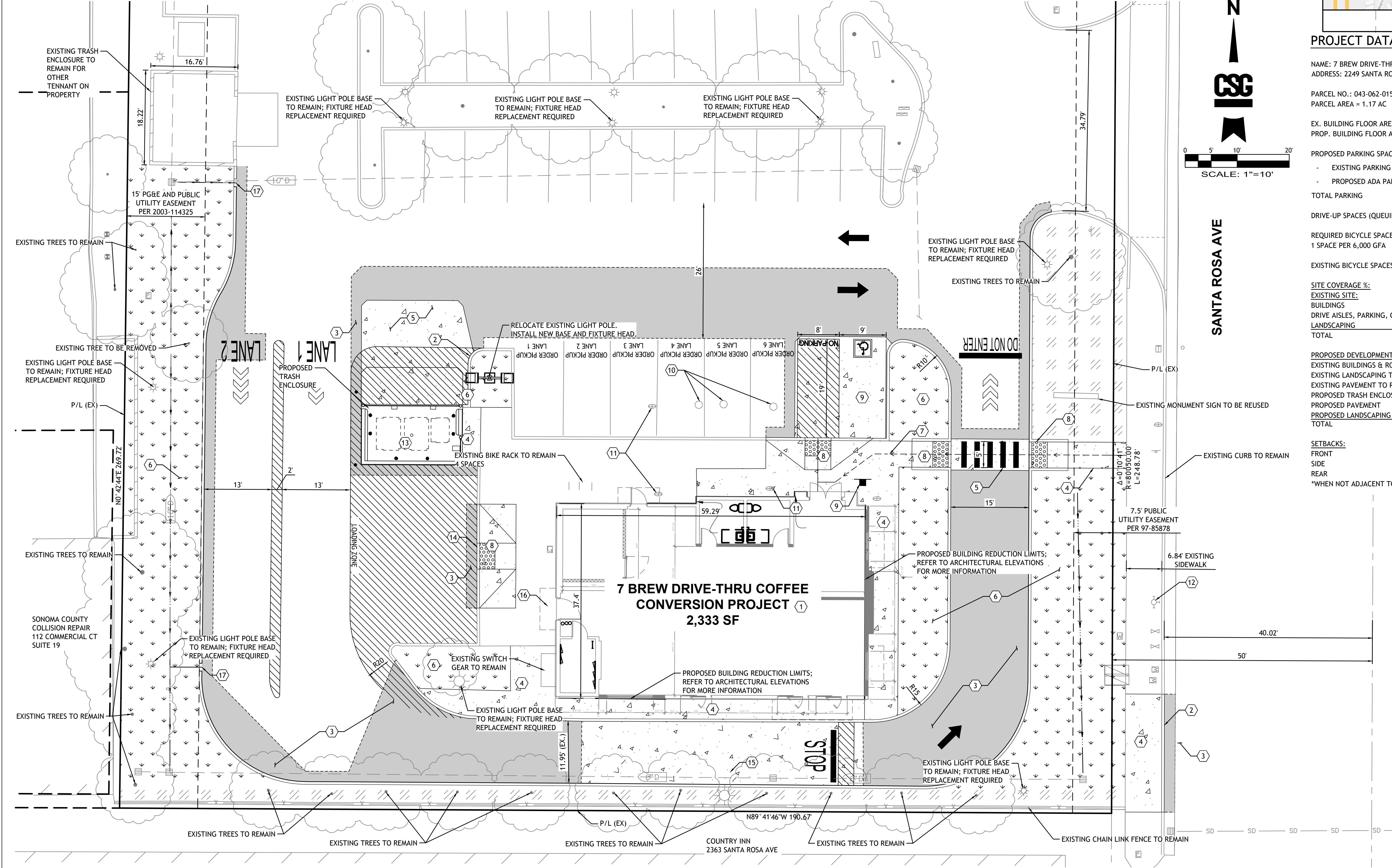
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2249 SANTA ROSA AVE
SANTA ROSA, CA 95407

264 SUVANASENG 264 INC.
2180 S. 1300 E., STE 240
SALT LAKE CITY, UT 84106

REV	DATE	COMMENT	BY

Drawn: KES
Reviewed: AEM
Sheet Date: 06/12/2026
Proj. Number: 25.42281.01

SITE IMPROVEMENT PLAN



LEGEND	EXISTING	PROPOSED
CURB AND GUTTER	---	==
BARRIER CURB	---	==
CONCRETE	[Pattern]	[Pattern]
ASPHALT	[Pattern]	[Pattern]
LANDSCAPING AREA	[Pattern]	[Pattern]
SAWCUT LINE	---	---

LEGEND	EXISTING	PROPOSED
PAINT STRIPING	---	---
DIRECTIONAL ARROW	→	→
SIGN	[Symbol]	[Symbol]
BUILDING LINE	---	---
CONTOURS	---432---	---432---
WATER LINE	---W---	---W---

LEGEND	EXISTING	PROPOSED
FIRE HYDRANT	[Symbol]	[Symbol]
WATER METER	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]
FIRE DEPARTMENT CONN.	[Symbol]	[Symbol]
POST INDICATOR VALVE	[Symbol]	[Symbol]
STORM LINE	---SD---	---SD---

LEGEND	EXISTING	PROPOSED
CATCH BASIN TYPE 1	[Symbol]	[Symbol]
CATCH BASIN TYPE 2	[Symbol]	[Symbol]
SANITARY SEWER LINE	---SS---	---SS---
SANITARY SEWER MANHOLE	[Symbol]	[Symbol]
CLEANOUT (AS NOTED)	[Symbol]	[Symbol]
POWER OVERHEAD	---P(OH)---	---P(OH)---

LEGEND	EXISTING	PROPOSED
POWER UNDERGROUND	---P(UG)---	---P(UG)---
POWER METER	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]
JUNCTION BOX (TYPE 1,2,3)	[Symbol]	[Symbol]
LUMINAIRE	[Symbol]	[Symbol]
YARD LIGHT	[Symbol]	[Symbol]

LEGEND	EXISTING	PROPOSED
TELEPHONE	---T(UG)---	---T(UG)---
GAS	---G---	---G---
GAS METER	[Symbol]	[Symbol]
GAS VALVE	[Symbol]	[Symbol]

GRADING & DRAINAGE PLAN

18215 72nd Avenue South
Kent, WA 98032
855.CSG. 1999

www.core-states.com

CoreStates, Inc.

California Engineering
CERTIFICATE OF AUTHORIZATION
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2249 SANTA ROSA AVE
SANTA ROSA, CA 95407

264 SUVANASENG 264 INC.
2180 S. 1300 E., STE 240
SALT LAKE CITY, UT 84106

GRADING GENERAL NOTES:

- ALL GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY ORDINANCE AND STANDARD PLANS. THE GRADING IS SUBJECT TO THE OBSERVATION AND APPROVAL OF THE PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED GRADES IN RELATIONSHIP TO SURVEYED BASIS OF ELEVATION.
- BUILDING FINISH FLOOR (FF) ELEVATION, THE FINISH FLOOR OF THE BUILDING(S) IS DESIGNED TO BE FLUSH WITH SURROUNDING CONCRETE PAVING UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MATCH EXISTING ELEVATIONS AT ALL SAWCUT LOCATIONS.
- ALL MATCH EXISTING ELEVATIONS SHALL BE CONSTRUCTED TO BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES. ALL SAWCUT LOCATIONS, SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
- ALL PAVEMENT SAWCUTS ARE DESIGNED TO BE REPLACED TO MATCH EXISTING PAVEMENTS AND SHALL BE FLUSH AND FREE OF ANY VERTICAL CHANGES. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR TO PROTECT AND MAINTAIN EROSION CONTROL FACILITIES DURING GRADING OPERATIONS.
- CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.
- CONCRETE SHALL NOT BE PLACED UNTIL THE FORMS HAVE BEEN INSPECTED BY PUBLIC IMPROVEMENT INSPECTIONS.
- ALL TRENCHING IN THE RIGHT-OF-WAY SHALL BE REPLACED AND GRADED TO MATCH EXISTING CONDITIONS, CROSS SLOPES SHALL BE MAINTAINED.
- ALL PUBLIC SIDEWALKS BEING CONSTRUCTED WHERE THE EXISTING CURBING IS TO REMAIN SHALL BE CONSTRUCTED AT A CROSS SLOPE OF $\pm 1.5\%$ FROM THE EXISTING BACK OF CURB ELEVATION (CROSS SLOPE MAY REQUIRE TO BE VARIED: 0.0% TO 0.2%). CONTRACTOR SHALL VERIFY CONSTRUCTION FORMS COMPLY WITH ADA STANDARDS PRIOR TO POURING CONCRETE.

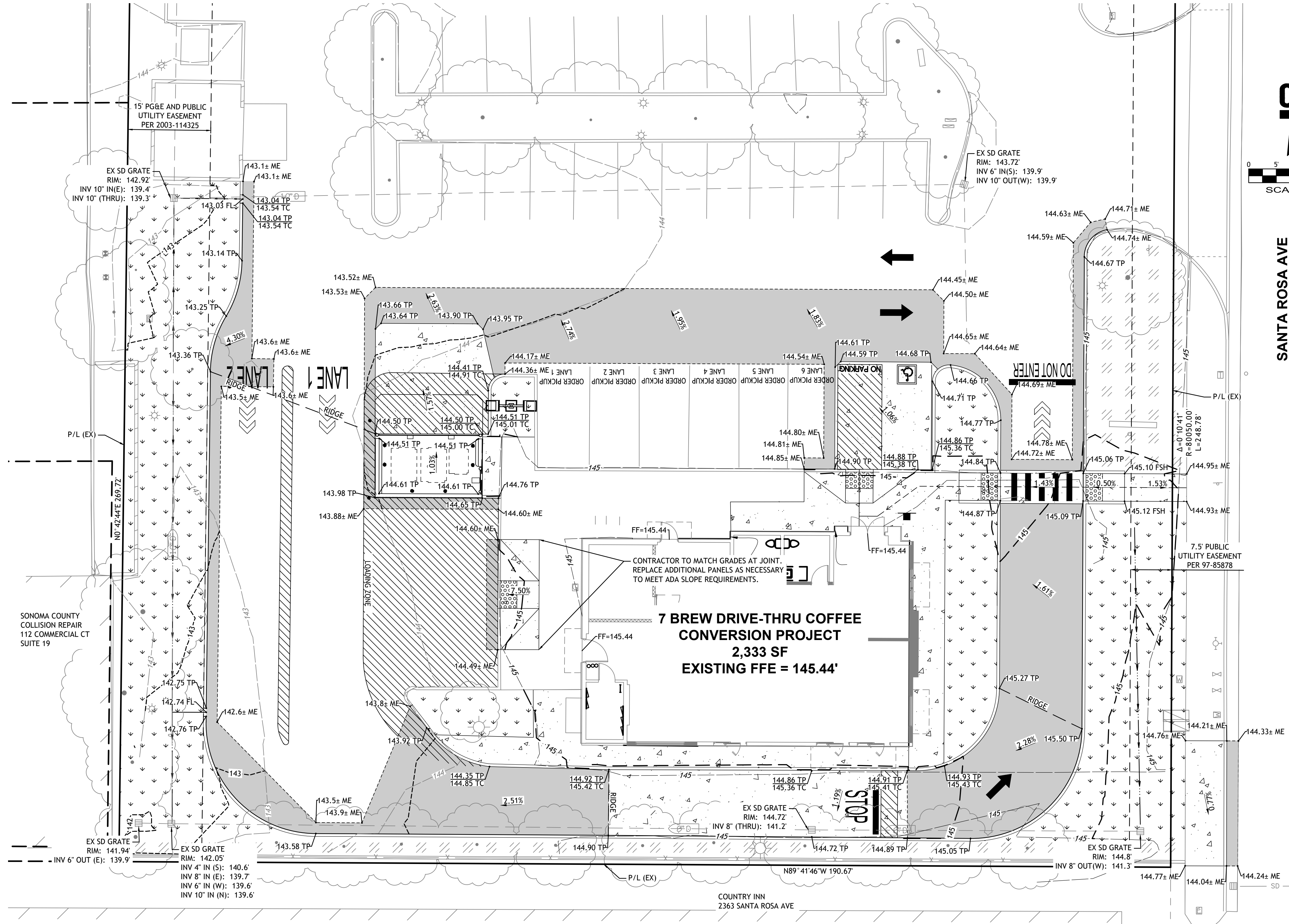
SITE COVERAGE %:

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TOTAL	51,065 SF	(100%)



SANTA ROSA AVE



UTILITY COORDINATION NOTE:

ALL POWER, AND DATA/COMMUNICATIONS/TELEPHONE CONNECTIONS AND SERVICES COORDINATION IS ON GOING. WE ARE CURRENTLY WORKING WITH ALL APPLICABLE AGENCIES TO COORDINATE POINTS OF CONNECTIONS AND ROUTING. ONSITE UTILITY LAYOUT MAY SHIFT AND OR BE RELOCATED ACCORDINGLY DURING CONSTRUCTION.

UTILITY CROSSING NOTE:

CONTRACTOR SHALL MAINTAIN MINIMUM VERTICAL SEPARATION BETWEEN UTILITIES AS REQUIRED BY JURISDICTION HAVING AUTHORITY. CONTRACTOR TO VERIFY SEPARATION REQUIREMENTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-332-2344 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT CORE STATES GROUP TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

UTILITY POTHOLES NOTE:

THE CIRCLED LOCATIONS ARE REQUIRED TO BE POTHOLED TO VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITY AND/OR POTENTIAL CONFLICTS WITH EXISTING UTILITIES. POTHOLES SHALL BE PERFORMED PRIOR TO INSTALLING ANY PROPOSED UTILITIES. CONTRACTOR SHALL NOTIFY CORE STATES GROUP OF ANY CONFLICTS.

SEWER CONNECTION NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE SANITARY SEWER CONNECTION POINT TIES INTO AN ACTIVE SEWER SYSTEM. CONTRACTOR SHALL PROVIDE CAMERA INSPECTION OF EXISTING SANITARY SEWER FROM POINT OF CONNECTION TO THE EXISTING DOWN STREAM MANHOLE. CONTRACTOR SHALL COORDINATE SCOPE OF WORK WITH CITY/OWNER PRIOR TO CONSTRUCTION.

POWER SERVICE NOTE:

EXISTING POWER SERVICES ARE AS SHOWN PER THE SURVEY DATA AND UTILITY LOCATE INFORMATION OBTAINED FOR THIS SITE. CONTRACTOR SHALL ORDER INDEPENDENT UTILITY LOCATES, COORDINATE WITH PURVEYOR, AND TAKE ANY OTHER NECESSARY ACTIONS TO CLARIFY THE LOCATION OF GAS AND POWER SERVICES ON SITE PRIOR TO CONSTRUCTION.

FLOWLINE GRADING NOTE:

ALL PROPOSED FLOWLINE ELEVATIONS DESIGNED WITH CROSS SLOPE MATCHING EXISTING FROM SAWCUT LINE. CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION TO CONFIRM EXISTING CROSS SLOPE FROM SAWCUT IS ACHIEVED. GUTTER LIP SHALL BE SET 3/4-INCHES HIGHER THAN THE GUTTER FLOWLINE PER CITY OF PETALUMA REQUIREMENTS. CONTRACTOR TO CONFIRM POSITIVE DRAINAGE FROM WEST TO EAST TO MATCH THE EXISTING DRAINAGE PATTERN WITHIN THE ACCESS ROAD. CONTACT CORE STATES GROUP WITH ANY DISCREPANCIES.

EXISTING UTILITY STRUCTURES:

ALL EXISTING UTILITY STRUCTURES AND ASSOCIATED LIDS THAT FALL WITHIN THE AREA OF WORK SHALL BE ADJUSTED TO FINISHED GRADE ELEVATIONS. CONTRACTOR SHALL CONFIRM THE FEASIBILITY OF ADJUSTING EXISTING UTILITY STRUCTURE LIDS TO FINISHED GRADE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

UNDERGROUND UTILITY NOTE:

THE EXISTING BUILDING IS SERVICED BY MULTIPLE UNDERGROUND UTILITIES. FIELD LOCATION OF THESE UTILITIES HAS NOT BEEN DETERMINED AT THIS TIME. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE THE EXISTING UTILITIES AND AVOID/PROTECT THEM THROUGHOUT ALL STAGES OF THE CONSTRUCTION PROCESS. ALL KNOWN UTILITY STRUCTURES HAVE BEEN INCLUDED WITHIN THE CONSTRUCTION DOCUMENTS.

GRADING PLAN LEGEND:

FL	- FLOWLINE
FF	- FINISHED FLOOR
FSH	- FLUSH
ME	- MATCH EXISTING ELEVATION
RIM	- RIM/GRADE ELEVATION OF STRUCTURE
SW	- SIDEWALK
TC	- TOP OF CURB/SIDEWALK
TP	- TOP OF PAVEMENT
TPI	- TOP OF ISLAND
GB	- GRADE BREAK
GRD	- FINISH GROUND

PROPOSED CONTOURS

EXISTING CONTOURS

GRADING LEGEND:

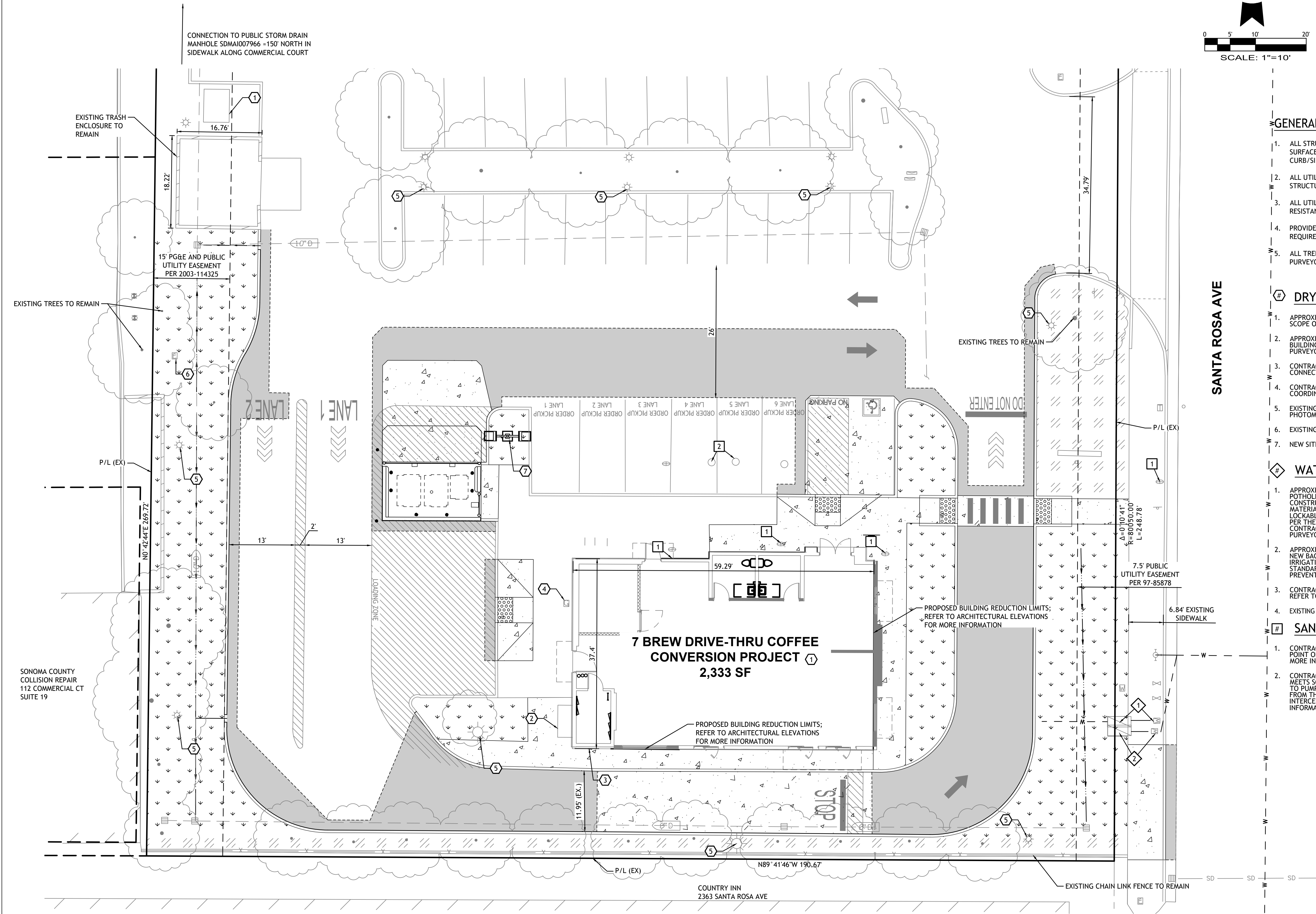
PROPOSED CONTOUR	----- 30 -----
EXISTING CONTOUR	----- 30 -----
PROPOSED RIDGE LINE	----- RIDGE -----
PROPOSED GRADE BREAK	----- GB -----
SWALE FLOWLINE	----- 1.00% -----
PROPOSED GRADING SLOPE	----- 30.01 -----
SPOT ELEVATION	----- 30.01 FSH -----
FLUSH ELEVATION	----- 30.01± ME -----
MATCH EXISTING ELEVATION	----- 30.01± SW -----
TOP OF SIDEWALK	----- 30.01 FF -----
FINISH FLOOR	----- 30.01 FL -----
FLOWLINE	----- BW=30.01 TW=30.51 -----
BOTTOM OF WALL/TOP OF WALL	----- 30.01 TA -----
TOP OF ASPHALT/TOP OF CURB	----- 30.51 TC -----
FLOW/GUTTER LINE/TOP OF CURB	----- 30.51 TC -----
TOP OF PAVEMENT/TOP OF CURB	----- 30.51 TP -----

REV	DATE	COMMENT	BY

Drawn: KES
Reviewed: AEM
Sheet Date: 06/12/2026
Proj. Number: 25.42281.01

GRADING & DRAINAGE
PLAN

UTILITY PLAN



GENERAL UTILITY NOTES:

1. ALL STRUCTURE ELEVATIONS SHOWN ARE TO CENTER OF STRUCTURE AT FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
2. ALL UTILITY STRUCTURES EXPOSED TO TRAFFIC SHALL BE TRAFFIC RATED INCLUDING STRUCTURE, LID, ETC.
3. ALL UTILITY STRUCTURES WITH LIDS EXPOSED TO PEDESTRIAN TRAFFIC SHALL BE SLIP RESISTANT IN ACCORDANCE WITH ACCESSIBILITY REQUIREMENTS.
4. PROVIDE ALL INCIDENTAL FITTINGS, BENDS, WYES, TEES, COUPLINGS, GASKETS, ETC. REQUIRED TO CONSTRUCT THE INFRASTRUCTURE DEPICTED.
5. ALL TRENCHING SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE PURVEYOR.

DRY UTILITIES CONSTRUCTION NOTES:

1. APPROXIMATE LOCATION OF EXISTING TRANSFORMER. CONTRACTOR TO COORDINATE SCOPE OF WORK WITH MEP PLANS AND PURVEYOR PRIOR TO CONSTRUCTION.
2. APPROXIMATE LOCATION OF EXISTING SWITCHGEAR, METER, AND CONNECTION TO BUILDING. CONTRACTOR TO COORDINATE SCOPE OF WORK WITH MEP PLANS AND PURVEYOR PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO VERIFY EXISTING LOCATION OF PHONE, CABLE AND INTERNET CONNECTION TO BUILDING. REFER TO MEP PLANS FOR FINAL LOCATION.
4. CONTRACTOR TO VERIFY EXISTING LOCATION OF GAS METER. ANY ADJUSTMENTS TO BE COORDINATED WITH GAS COMPANY. REFER TO MEP PLANS FOR MORE INFORMATION.
5. EXISTING LIGHT POLE TO BE REPAINTED 7-BREW BLUE, LUMINAIRE TO BE REPLACED. SEE PHOTOMETRIC PLAN FOR MORE INFORMATION.
6. EXISTING ELECTRIC BOX, TO REMAIN.
7. NEW SITE LIGHT POLE, SEE PHOTOMETRIC PLAN FOR MORE INFORMATION.

WATER CONSTRUCTION NOTES:

1. APPROXIMATE LOCATION OF EXISTING DOMESTIC WATER SERVICE. CONTRACTOR TO POTHOLE TO VERIFY METER TYPE, SIZE, AND CONDITION FOR REUSE PRIOR TO CONSTRUCTION. REPORT RESULTS TO CORE STATES GROUP PRIOR TO ORDERING MATERIALS. CONTRACTOR TO INSTALL NEW BACKFLOW DEVICE, CONCRETE PAD, AND LOCKABLE CAGE FOR PROPOSED DOMESTIC WATER SERVICE AT THE OWNERS EXPENSE PER THE CITY OF SALINAS AND WATER COMPANY STANDARDS AND REQUIREMENTS. CONTRACTOR SHALL COORDINATE BACKFLOW DEVICE LOCATION WITH WATER PURVEYOR PRIOR TO CONSTRUCTION.
2. APPROXIMATE LOCATION OF EXISTING IRRIGATION SERVICE. CONTRACTOR TO INSTALL NEW BACKFLOW DEVICE, CONCRETE PAD, AND LOCKABLE CAGE FOR PROPOSED IRRIGATION SERVICE AT THE OWNERS EXPENSE PER THE CITY OF SANTA ROSA STANDARDS AND REQUIREMENTS. CONTRACTOR SHALL COORDINATE BACKFLOW PREVENTION DEVICE LOCATION WITH WATER PURVEYOR PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO VERIFY LOCATION OF WATER SERVICE CONNECTION TO BUILDING. REFER TO PLUMBING PLANS.
4. EXISTING FIRE HYDRANT

SANITARY CONSTRUCTION NOTES:

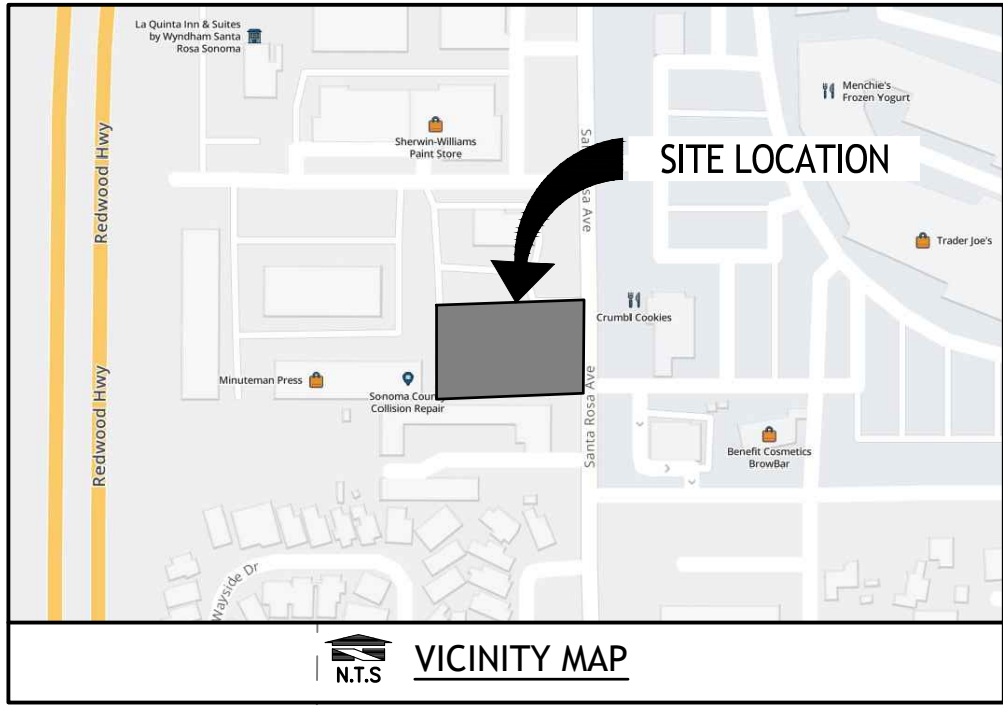
1. CONTRACTOR TO VERIFY EXISTING POINT OF CONNECTION TO BUILDING AND EXISTING POINT OF CONNECTION TO SANITARY SEWER MAIN. REFER TO PLUMBING PLANS FOR MORE INFORMATION.
2. CONTRACTOR TO VERIFY LOCATION OF EXISTING GREASE INTERCEPTOR AND VERIFY IT MEETS SONOMA COUNTY AND THE CITY OF SANTA ROSA SPECIFICATIONS. CONTRACTOR TO PUMP OUT THE EXISTING GREASE INTERCEPTOR. CONTRACTOR TO CAMERA THE LINE FROM THE BUILDING CONNECTION TO THE GREASE INTERCEPTOR, FROM THE GREASE INTERCEPTOR TO THE SANITARY SEWER MAIN. REFER TO PLUMBING PLANS FOR MORE INFORMATION.

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PRELIMINARY SITE PLAN

- # KEY NOTES:
1. LOCATION OF EXISTING CONVERSION BUILDING. REFER TO ARCHITECTURE ELEVATIONS FOR MORE INFORMATION.
 2. PROPOSED CONCRETE BARRIER CURB
 3. PROPOSED ASPHALT PAVEMENT
 4. PROPOSED ON-SITE CONCRETE SIDEWALK
 5. PROPOSED CONCRETE PAVEMENT
 6. PROPOSED LANDSCAPE AREA, TYPICAL.
 7. ACCESSIBLE PATH, TYPICAL.
 8. PROPOSED ADA ACCESSIBLE RAMP WITH DETECTABLE WARNING STRIP.
 9. PROPOSED ACCESSIBLE PARKING SPACE
 10. EXISTING GREASE INTERCEPTOR LIDS. GREASE INTERCEPTOR TO BE PROTECTED DURING CONSTRUCTION
 11. EXISTING SEWER CLEAN OUTS. CLEANOUTS TO BE PROTECTED DURING CONSTRUCTION.
 12. EXISTING FIRE HYDRANT TO REMAIN.
 13. PROPOSED PEDESTRIAN SCALE DOOR TO BE INSTALLED ON EXISTING TRASH ENCLOSURE.
 14. EXISTING CURB TO BE REMOVED & INSTALL PROPOSED ADA CURB RAMP



PROJECT DATA

NAME: 7 BREW DRIVE-THRU COFFEE
ADDRESS: 2249 SANTA ROSA AVE, SANTA ROSA, CA

PARCEL NO.: 043-062-015 (A PORTION OF)
PARCEL AREA = 1.17 AC

EX. BUILDING FLOOR AREA = 3,644 SQ. FT.
PROP. BUILDING FLOOR AREA = 2,333 SQ. FT.

PROPOSED PARKING SPACES:

- EXISTING PARKING TO REMAIN = 18
- PROPOSED ADA PARKING = 1
TOTAL PARKING = 19

DRIVE-UP SPACES (QUEUING) = 12

REQUIRED BICYCLE SPACES:
1 SPACE PER 6,000 GFA = 2,333/6000= 0.4

PROPOSED BICYCLE SPACES:
EXISTING RACKS TO REMAIN = 3

SITE COVERAGE %:		
EXISTING SITE:		
BUILDINGS	7,277 SF	(14.2%)
DRIVE AISLES, PARKING, CURBS, SIDEWALK	36,403 SF	(71.3%)
LANDSCAPING	7,385 SF	(14.5%)
TOTAL	51,065 SF	(100%)

PROPOSED DEVELOPMENT:		
EXISTING BUILDINGS & ROOF AREA TO REMAIN	5,966 SF	(11.7%)
EXISTING LANDSCAPING TO REMAIN	4,832 SF	(9.5%)
EXISTING PAVEMENT TO REMAIN	32,586 SF	(63.8%)
PROPOSED PAVEMENT	4,091 SF	(8.0%)
PROPOSED LANDSCAPING	3,590 SF	(7.0%)
TOTAL	51,065 SF	(100%)

SETBACKS:	
FRONT	0"
SIDE	0"
REAR	0"
*WHEN NOT ADJACENT TO RESIDENTIAL	

OWNER

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CAMPBELL, CA
TEL: (650) 941-5681
CONTACT: BRENTON JACKSON

DEVELOPER

FORZA DEVELOPMENT
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SALT LAKE CITY, UT
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ENGINEER

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SURVEYOR

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CoreStates, Inc.

California Engineering
CERTIFICATE OF AUTHORIZATION
NO. 100524452

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CONSTRUCTION

1/22/2026 2:27 PM



Know what's below.
Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORESTATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

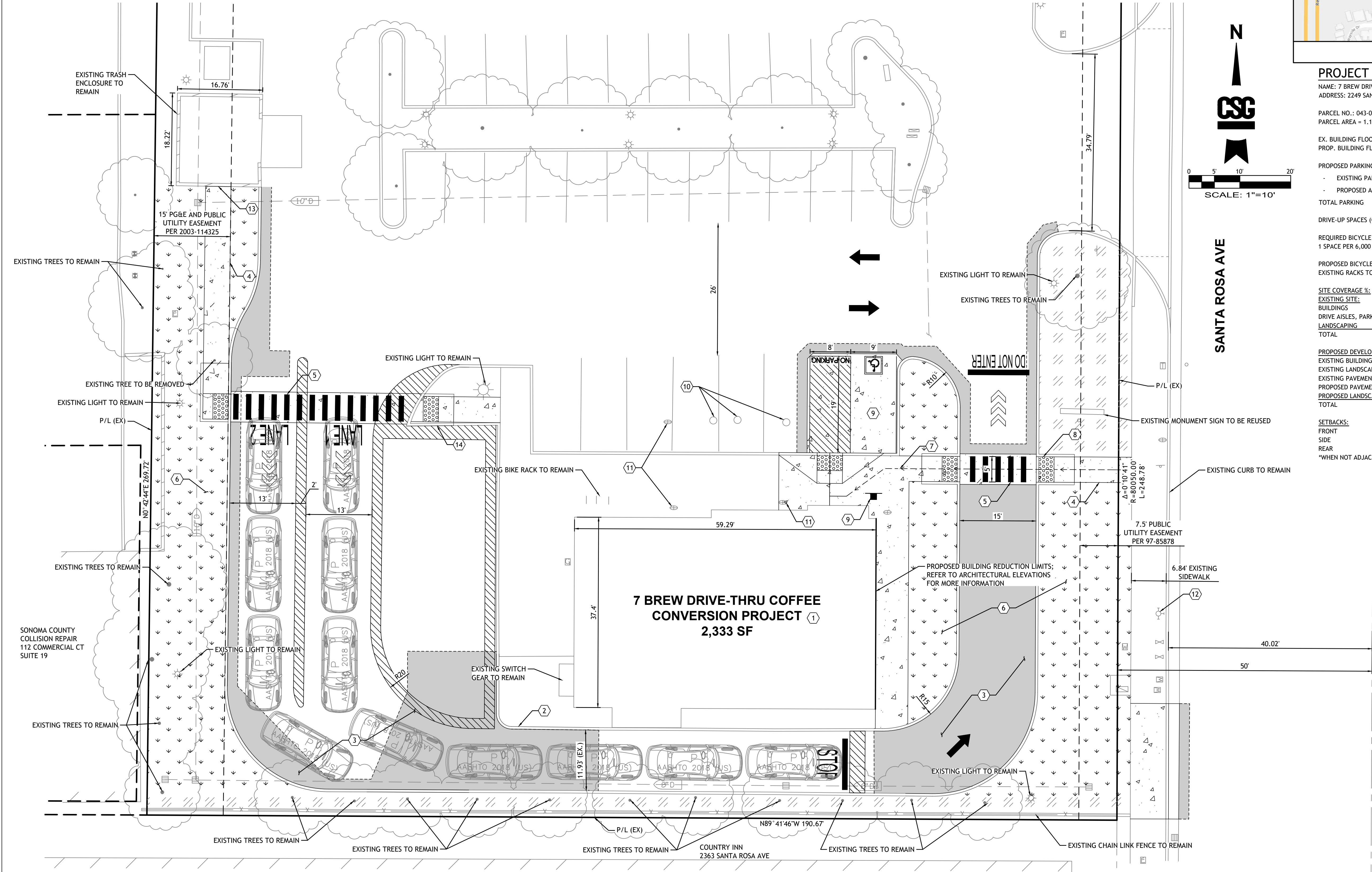
7 BREW DRIVE-THRU COFFEE
2249 SANTA ROSA AVE
SANTA ROSA, CA 95407

264 SUVANASENG 264 INC.
2180 S. 1300 E., STE 240
SALT LAKE CITY, UT 84106

REV	DATE	COMMENT	BY

Drawn: NJG
Reviewed: AEM
Sheet Date: 1/23/2026
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PRELIMINARY SITE PLAN



LEGEND

EXISTING	PROPOSED
CURB AND GUTTER	
BARRIER CURB	
CONCRETE	
ASPHALT	
LANDSCAPING AREA	
SAWCUT LINE	

LEGEND

EXISTING	PROPOSED
PAINT STRIPING	
DIRECTIONAL ARROW	
SIGN	
BUILDING LINE	
CONTOURS	
WATER LINE	

LEGEND

EXISTING	PROPOSED
FIRE HYDRANT	
WATER METER	
WATER VALVE	
FIRE DEPARTMENT CONN.	
POST INDICATOR VALVE	
STORM LINE	

LEGEND

EXISTING	PROPOSED
CATCH BASIN TYPE 1	
CATCH BASIN TYPE 2	
SANITARY SEWER LINE	
SANITARY SEWER MANHOLE	
CLEANOUT (AS NOTED)	
POWER OVERHEAD	

LEGEND

EXISTING	PROPOSED
POWER UNDERGROUND	
POWER METER	
UTILITY POLE	
JUNCTION BOX (TYPE 1,2,3)	
LUMINAIRE	
YARD LIGHT	

LEGEND

EXISTING	PROPOSED
TELEPHONE	
GAS	
GAS METER	
GAS VALVE	