



FIRSTNET/AT&T SITE ID: CCL02094
FIRSTNET/AT&T SITE NAME: NORTHPOINT
FA LOCATION CODE: 10547968
USID: 325581
PACE ID: MRSFR002840

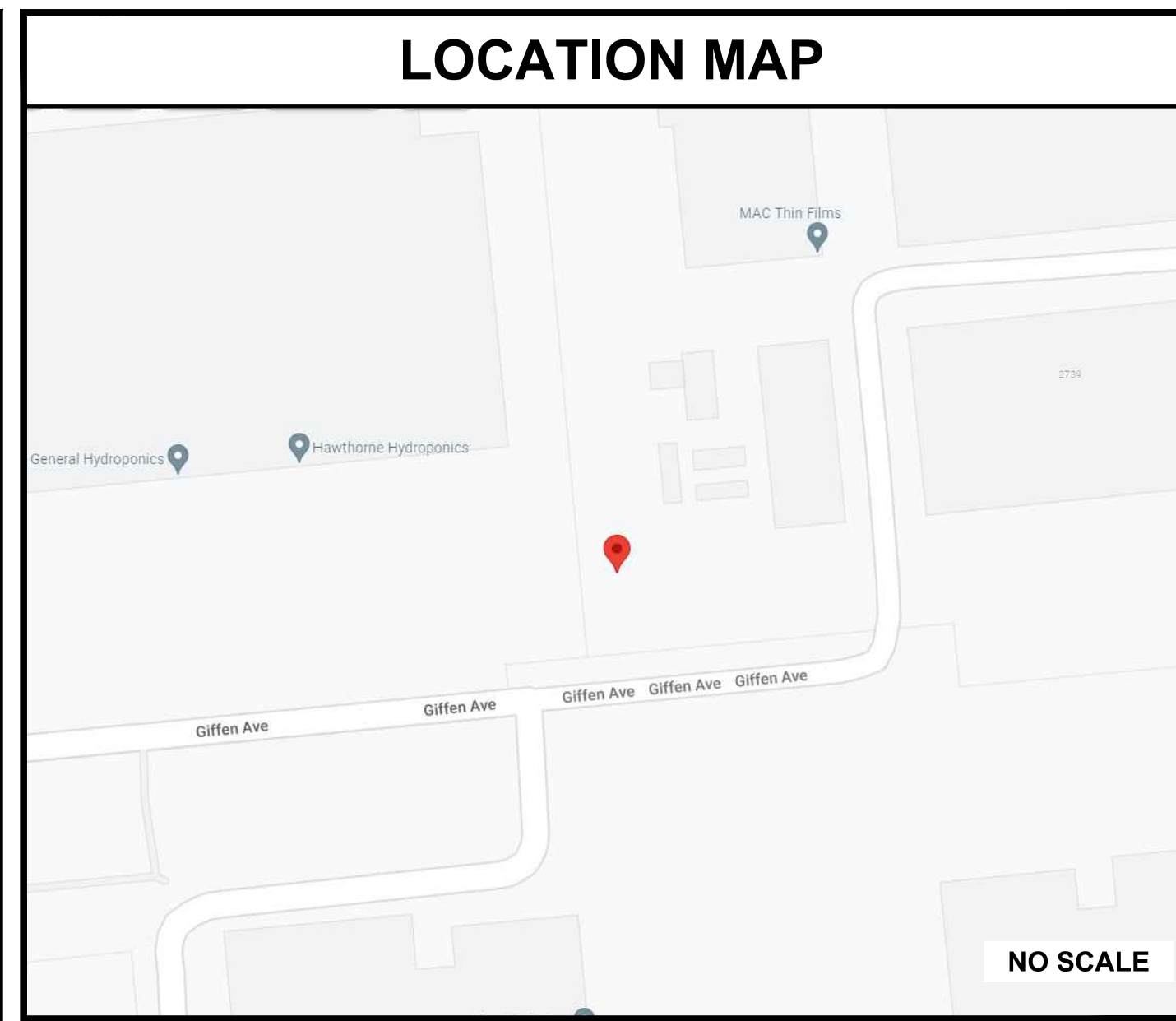
PSTC SITE #: CANC-SROSA01
SITE ADDRESS: 2715 GIFFEN AVE
 SANTA ROSA, CA 95407
COUNTY: SONOMA
SITE TYPE: MONOPINE
TOWER HEIGHT: 80'-0"



| SITE INFORMATION | |
|---------------------------|---------------------------------------------------------------------------------|
| PSTC SITE NAME: | NORTHPOINT |
| SITE ADDRESS: | 2715 GIFFEN AVE SANTA ROSA, CA 95407 |
| COUNTY: | SONOMA |
| MAP/PARCEL #: | 010-450-008 |
| AREA OF CONSTRUCTION: | 2,640 SQ FT |
| LATITUDE: | N 38° 25' 03.16" (38.417544°) [NAD83] |
| LONGITUDE: | W 122° 45' 01.67" (-122.750464°) [NAD83] |
| GROUND ELEVATION: | 109.0' [NAVD88] |
| CURRENT ZONING: | IL |
| JURISDICTION: | SONOMA COUNTY |
| OCCUPANCY CLASSIFICATION: | U |
| TYPE OF CONSTRUCTION: | VB |
| A.D.A. COMPLIANCE: | FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION |
| PROPERTY OWNER: | GIFFEN AVENUE PROPERTY LLC 1206 4TH ST SANTA ROSA, CA 95404 |
| TOWER OWNER: | PUBLIC SAFETY TOWERS, LLC 1903 WRIGHT PLACE, SUITE 140 CARLSBAD, CA 92008 |
| CARRIER/APPLICANT: | AT&T 5005 EXECUTIVE PKWY SAN RAMON, CA 94583 |
| ELECTRIC PROVIDER: | PG&E |
| TELCO PROVIDER: | TBD |

| DRAWING INDEX | | |
|---------------|---------------------------------|-----|
| SHEET # | SHEET DESCRIPTION | REV |
| T-1 | TITLE SHEET | J |
| GN-1 | GENERAL NOTES | J |
| LS-1 | SITE SURVEY | 1 |
| LS-2 | SITE SURVEY | 1 |
| LS-3 | SITE SURVEY | 1 |
| LS-4 | NOTES | 1 |
| C-1.1 | SITE PLAN | J |
| C-1.2 | COMPOUND LAYOUT | J |
| C-2.1 | FINAL SOUTH ELEVATION | J |
| C-2.2 | FINAL NORTH ELEVATION | J |
| C-2.3 | FINAL EAST ELEVATION | J |
| C-2.4 | FINAL WEST ELEVATION | J |
| C-3 | FINAL ANTENNA LAYOUT & SCHEDULE | J |
| C-4 | WALK-UP-CABINET DETAILS | J |
| C-5 | GENERATOR DETAILS | J |
| C-6 | BATTERY DETAILS | J |
| E-1 | ELECTRICAL AC PANEL SCHEDULE | J |
| E-2 | ELECTRICAL ONE-LINE DIAGRAM | J |

ALL DRAWINGS CONTAINED HEREIN ARE FORMATTED FOR 24x36. CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.



| APPROVALS | |
|-----------------------|-------|
| AT&T (RF): | _____ |
| DATE: | _____ |
| AT&T OPERATIONS: | _____ |
| DATE: | _____ |
| SITE ACQUISITION: | _____ |
| DATE: | _____ |
| CONSTRUCTION MANAGER: | _____ |
| DATE: | _____ |
| PROPERTY OWNER: | _____ |
| DATE: | _____ |
| ZONING: | _____ |
| DATE: | _____ |
| PROJECT MANAGER: | _____ |
| DATE: | _____ |

AT&T/FIRSTNET ID: CCL02094
NORTHPOINT
PSTC #: CANC-SROSA01
GIFFEN AVENUE PROPERTY
 2715 GIFFEN AVE
 SANTA ROSA, CA 95407
 (SONOMA COUNTY)
PROPOSED 80'-0"
MONOPINE TOWER

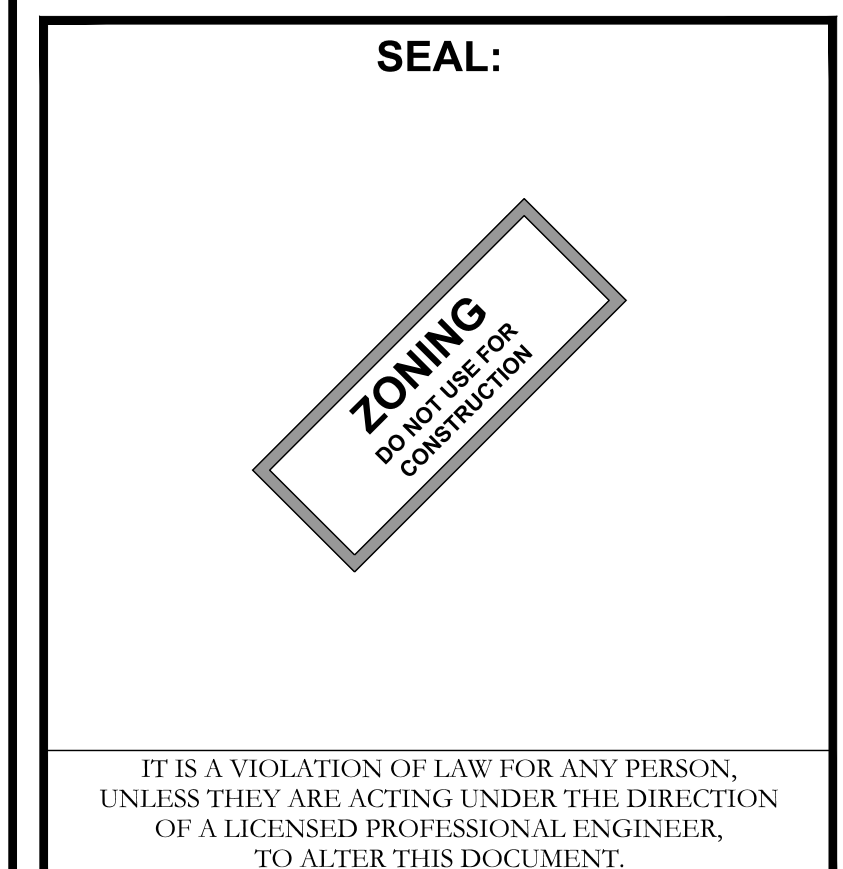
| ISSUED FOR: | | | | |
|-------------|----------|------|-------------|-----|
| REV | DATE | DRWN | DESCRIPTION | QA |
| G | 02-01-23 | SSO | ZONING | HMM |
| H | 03-28-23 | SSO | ZONING | HMM |
| I | 04-21-23 | RCH | ZONING | HMM |
| J | 09-29-23 | CAM | ZONING | HMM |
| K | 01-04-24 | SKK | ZONING | HMM |

| PROJECT TEAM | |
|------------------------------------|---------------------------------------------------------------------------------------------------------------|
| PUBLIC SAFETY TOWERS, LLC CONTACT: | 1903 WRIGHT PLACE, SUITE 140 CARLSBAD, CA 92008 TANYA AVENA T.AVENA@PSTCTOWERS.COM (661) 755-1471 |
| TEP PROJECT TEAM: | TOWER ENGINEERING PROFESSIONALS 4710 E ELWOOD ST, STE 9 PHOENIX, AZ 85040 |
| SITE ACQUISITION CONTACT: | DEREK WAITE DWAITE@TEPGROUP.NET (231) 409-5439 |
| CIVIL ENGINEER: | ANDREW T. HALDANE, PE AHALDANE@TEPGROUP.NET (919) 661-6351 |
| ELECTRICAL ENGINEER: | MARK QUAKENBUSH, PE MQUAKENBUSH@TEPGROUP.NET (919) 661-6351 |
| AT&T PROJECT TEAM: | |
| RF ENGINEER: | AHMAD WAQAS AW564W@ATT.COM |

| PROJECT DESCRIPTION | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| THE PURPOSE OF THIS PROJECT IS TO ENHANCE BROADBAND CONNECTIVITY AND CAPACITY IN THE AREA FOR EMERGENCY SERVICE AND WIRELESS CUSTOMERS. | |
| TOWER SCOPE OF WORK | |
| <ul style="list-style-type: none"> INSTALL 80'-0" MONOPINE TOWER INSTALL (12) ANTENNAS ON (9) MOUNT PIPES INSTALL (18) RADIOS INSTALL (3) DC9 FIBER SQUIDS INSTALL (9) DC POWER TRUNKS INSTALL (3) FIBER TRUNKS INSTALL (3) SECTOR MOUNTS | |
| GROUND SCOPE OF WORK | |
| <ul style="list-style-type: none"> INSTALL 23'-0"x98'-0"x6'-0" (LxWxH) CMU WALL COMPOUND INSTALL GRAVEL DRIVEWAY INSTALL (1) 600A GUTTER AND 200A METER ON PROPOSED H-FRAME INSTALL (1) EQUIPMENT PLATFORM INSTALL (1) 17'-7"x10'-4" CONCRETE PAD INSTALL (1) WALK-UP-CABINET (WUC) INSTALL (1) 30 KW DIESEL GENERATOR INSTALL (1) ICE BRIDGE INSTALL (8) BATTERIES INSTALL (1) RAYCAP DC50 SURGE SUPPRESSION CABINET INSTALL (1) PTLN W/CAMLOCK AND INTEGRATED ATS | |

DIRECTIONS FROM 5005 EXECUTIVE PARKWAY, SAN RAMON, CA:
 HEAD WEST AND TURN RIGHT ONTO EXECUTIVE PARKWAY. MAKE A LEFT ONTO CAMINO RAMON, THEN A LEFT ONTO CROW CANYON ROAD. MERGE ONTO I-680 N TO SACRAMENTO. CONTINUE ON I-680 N AND TAKE EXIT 58A FOR I-780 TOWARD BENICIA/VALLEJO. CONTINUE ON I-780 W THEN TAKE EXIT 1B TOWARD SACRAMENTO. MERGE ONTO I-80 E THEN TAKE EXIT 33 FOR CA-37 TOWARD NAPA. CONTINUE ON CA-37 W THEN TURN RIGHT ONTO LAKEVILLE HIGHWAY. TURN RIGHT TO MERGE ONTO US-101 N TOWARD EUREKA. TAKE EXIT 487 TOWARD YOLANDA AVE/HEARN AVE. TAKE HEARN AVE, THEN TURN RIGHT ONTO STONY POINT ROAD. TURN LEFT ONTO NORTHPOINT PARKWAY. TURN RIGHT ONTO LOMBARDI LANE. TURN LEFT.

| APPLICABLE CODES/REFERENCE DOCUMENTS | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|
| ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES: | |
| CODE TYPE | CODE |
| BUILDING | 2023 CBC (2021 IBC) |
| MECHANICAL | 2023 CMC (2021 UMC) |
| ELECTRICAL | 2023 CEC (2020 NEC) |
| STRUCTURAL | EIA/TIA-222-H |
| REFERENCE DOCUMENTS: | |
| RFDS VERSION: | 1.00 |
| DATED: | 12/21/2022 |
| | |
| CALL CALIFORNIA ONE CALL (800) 227-2600 CALL 3 WORKING DAYS BEFORE YOU DIG! | |



| | |
|----------------------|-----------|
| SHEET TITLE: | |
| TITLE SHEET | |
| SHEET NUMBER: | REVISION: |
| T-1 | K |
| TEP #: 314201.336187 | |

PROJECT NOTES:

- ALL REFERENCES MADE TO OWNER IN THESE DOCUMENTS SHALL BE CONSIDERED PUBLIC SAFETY TOWERS, LLC OR ITS DESIGNATED REPRESENTATIVE.
- ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN THE PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING TO HAVE SUFFICIENT EXPERIENCE AND ABILITY, IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE THE TOWER IS LOCATED.
- THE STRUCTURE SHALL BE DESIGNED IN ACCORDANCE WITH ANSI/TIA-222-H AND CONFORM TO THE REQUIREMENTS OF THE 2022 CALIFORNIA BUILDING CODE.
- WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE 2022 CALIFORNIA BUILDING CODE.
- UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
- ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTION SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO ENSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.
- ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OF CONSTRUCTION WORK ON THIS PROJECT. CONTRACTOR SHALL NOT SCALE CONTRACT DRAWINGS IN LIEU OF FIELD VERIFICATION. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTIONS OF THE OWNER AND THE OWNER'S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES.
- ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK. RENTAL CHARGES, SAFETY, PROTECTION, AND MAINTENANCE OF RENTED EQUIPMENT SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE OWNER PROJECT MANAGER. THIS INCLUDES ALL SPECIFIC MILITARY INSTALLATION INSTRUCTIONS INCLUDING STAFF ACCESS AND GATE SPECIFIC INSTRUCTIONS.
- BILL OF MATERIALS AND PART NUMBERS LISTED ON CONSTRUCTION DRAWINGS ARE INTENDED TO AID CONTRACTOR/OWNER. CONTRACTOR/OWNER SHALL VERIFY PARTS AND QUANTITIES WITH MANUFACTURER PRIOR TO BIDDING AND/OR ORDERING MATERIALS.
- ALL PERMITS THAT MUST BE OBTAINED ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
- 24 HOURS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, THE CONTRACTOR MUST NOTIFY THE APPLICABLE JURISDICTIONAL (STATE, COUNTY OR CITY) ENGINEER AS WELL AS ANY REQUIRED NOTICES SPECIFIC TO THE MILITARY INSTITUTION.
- THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE. AFTER REWORKING, IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADES SHALL BE PROOFROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIALS SHALL BE REWORKED OR REPLACED.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL PIPES, DITCHES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURE IN OPERABLE CONDITION.
- THE OWNER OR OWNERS REPRESENTATIVE SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.

- ANY BUILDINGS ON THIS SITE ARE INTENDED TO SHELTER EQUIPMENT WHICH WILL ONLY BE PERIODICALLY MAINTAINED AND ARE NOT INTENDED FOR HUMAN OCCUPANCY.
- TEMPORARY FACILITIES FOR PROTECTION OF TOOLS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL CARRY LIABILITY INSURANCE IN THE AMOUNTS AND FORM IN ACCORDANCE WITH OWNER SPECIFICATIONS. CERTIFICATES DEMONSTRATING PROOF OF COVERAGE SHALL BE PROVIDED TO OWNER PRIOR TO THE START OF THE WORK ON THE PROJECT.
- THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITY SERVICES TO VERIFY LOCATIONS OF EXISTING UTILITIES AND REQUIREMENTS FOR NEW UTILITY CONNECTIONS PRIOR TO EXCAVATING.
- THE CONTRACTOR SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS. ALL WASTE MATERIALS SHALL BE REMOVED FROM THE SITE PRIOR TO THE SUBSTANTIAL COMPLETION AND PRIOR TO FINAL ACCEPTANCE. THE CONTRACTOR SHALL FURNISH ONE 55 GALLON BARREL OR EQUIVALENT, AND TRASH BAGS, AND SHALL REMOVE TRASH, DEBRIS, ETC., ON A DAILY BASIS.
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS PRIOR TO SUBMITTING THE PROPOSAL. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS WITH THOSE AT THE SITE. ANY VARIATION WHICH REQUIRES PHYSICAL CHANGE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PROJECT ENGINEER FOR FACILITIES/CONSTRUCTION.
- THE CONTRACTOR SHALL GUARANTEE THE WORK PERFORMED ON THE PROJECT BY THE CONTRACTOR AND ANY OR ALL OF THE SUBCONTRACTORS WHO PERFORMED WORK FOR THE CONTRACTOR ON THIS PROJECT. THE GUARANTEE SHALL BE FOR A FULL YEAR FOLLOWING ISSUANCE OF THE FINAL PAYMENT OF RETAINAGE. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE.
- THE CONTRACTOR SHALL PROVIDE DAILY UPDATES IN THE FORM OF WRITTEN NOTIFICATION VIA EMAIL OR APP PHOTOS TO THE BOINGO CONSTRUCTION MANAGER.

UTILITY NOTES:

- APPLY FOR THE UTILITY SERVICE (ELECTRIC) NO LATER THAN THE NEXT BUSINESS DAY FOLLOWING AWARD OF CONTRACT. COORDINATE WITH THE ELECTRIC UTILITY COMPANY FOR EXACT TRANSFORMER LOCATION, METERING REQUIREMENTS, AND THE SERVICE ROUTING. COORDINATE WITH THE TELEPHONE UTILITY COMPANY FOR EXACT TELEPHONE REQUIREMENTS AND ROUTING OF SERVICE.
- ALL UTILITY RELATED WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE UTILITY REQUIREMENTS. FIELD TO VERIFY EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT UTILITIES AND LOCATOR SERVICE A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE TRENCHING AND CONDUITS AS SHOWN OR AS REQUIRED BY LOCAL UTILITY.
- NO PENETRATIONS TO THE TOWER FOUNDATION OF ANY KIND.



PUBLIC SAFETY TOWERS
COMPANY

1903 WRIGHT PLACE, SUITE 140
CARLSBAD, CA 92008



AT&T

5005 EXECUTIVE PARKWAY
SAN RAMON, CA 94583



TOWER ENGINEERING PROFESSIONALS
4710 E ELWOOD ST, STE 9
PHOENIX, AZ 85040
OFFICE: (480) 285-0036
www.tepgroup.net

**AT&T/FIRSTNET ID: CCL02094
NORTHPOINT**


**PSTC #: CANC-SROSA01
GIFFEN AVENUE PROPERTY**

**2715 GIFFEN AVE
SANTA ROSA, CA 95407
(SONOMA COUNTY)**

**PROPOSED 80'-0"
MONOPINE TOWER**

| ISSUED FOR: | | | | |
|-------------|----------|------|-------------|-----|
| REV | DATE | DRWN | DESCRIPTION | QA |
| G | 02-01-23 | SSO | ZONING | HMM |
| H | 03-28-23 | SSO | ZONING | HMM |
| I | 04-21-23 | RCH | ZONING | HMM |
| J | 09-29-23 | CAM | ZONING | HMM |
| K | 01-04-24 | SKK | ZONING | HMM |

SEAL:



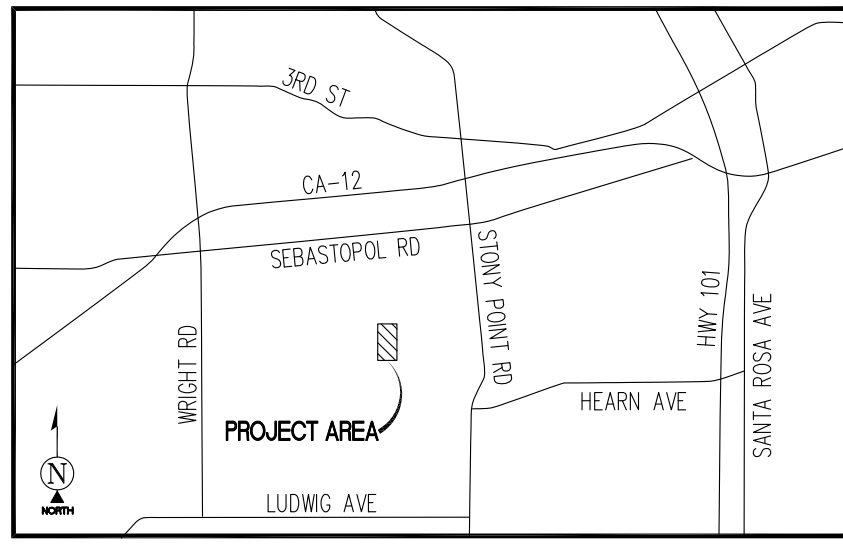
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT

SHEET TITLE:

GENERAL NOTES

| | |
|----------------------|------------------|
| SHEET NUMBER: | REVISION: |
| GN-1 | K |

TEP #: 314201.336187



VICINITY MAP
N.T.S.

SURVEY DATE
10/05/2022

BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA ZONE 2 STATE PLANE COORDINATE SYSTEM BASED ON THE NORTH AMERICAN DATUM OF 1983(2011) (EPOCH 2019.25). DETERMINED BY GLOBAL POSITIONING SYSTEM EQUIPMENT ON THE SMARTNET REFERENCE NETWORK.

BENCHMARK

PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS 'GEOID 12B' MODELED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY OBSERVATIONS OF THE 'SMARTNET' REAL TIME NETWORK. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD88.

GRID-TO-GROUND SCALE FACTOR NOTE

ALL BEARINGS AND DISTANCES ARE BASED ON THE CALIFORNIA TWO STATE PLANE COORDINATE ZONE GRID. TO DERIVE GROUND DISTANCES DIVIDE BY 0.99998248

FLOOD ZONE

THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD ZONE "X". ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP(S), MAP ID #06097C07176, DATED 07/19/2022

UTILITY NOTES

SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT 811 AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/ OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

SURVEYOR'S NOTES

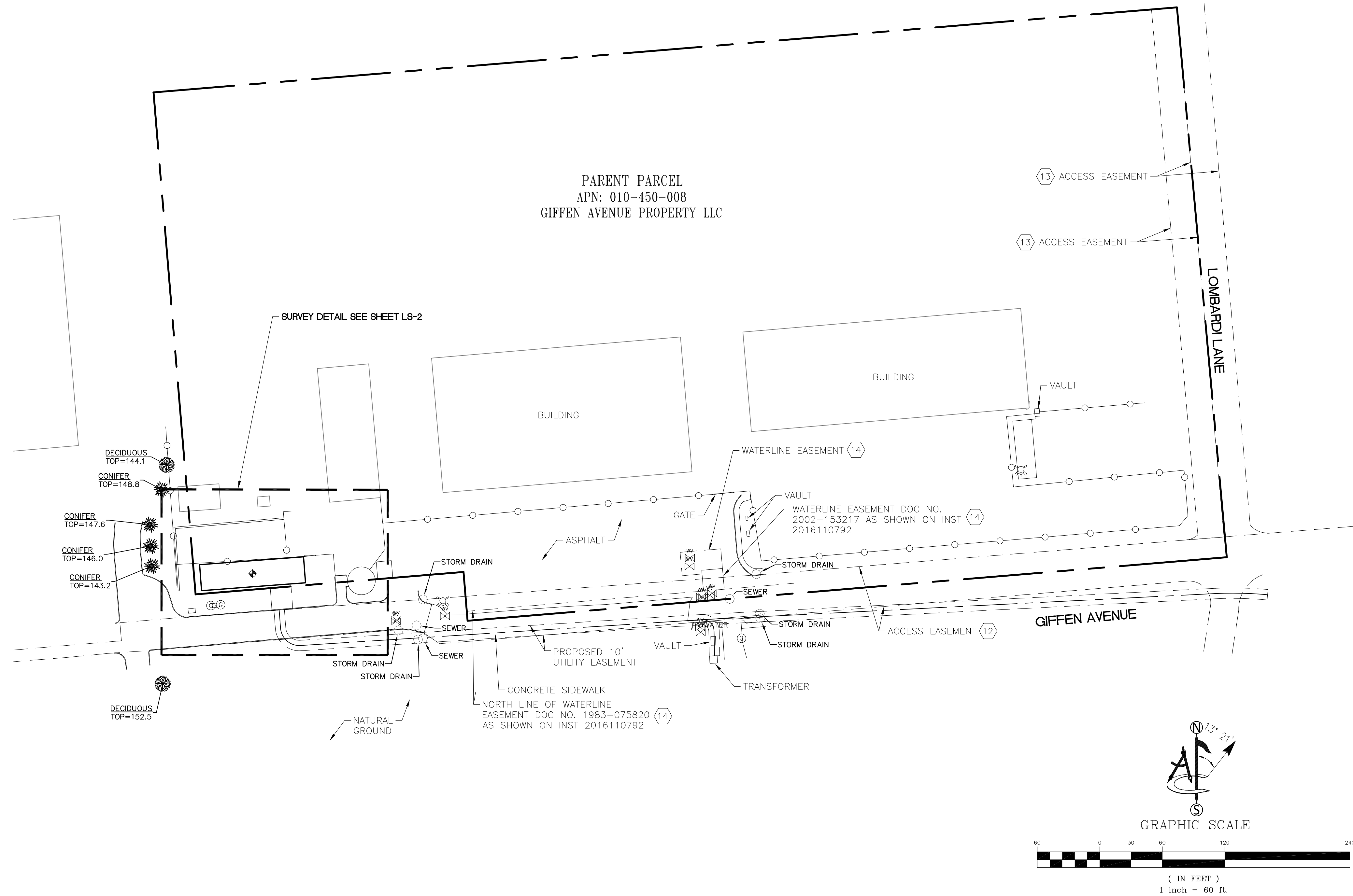
CONTOURS DERIVED FROM DIRECT FIELD OBSERVATIONS AND FOLLOW THE CURRENT NATIONAL MAP STANDARDS FOR VERTICAL ACCURACY.

THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.

ALL DISTANCES SHOWN HEREON ARE GRID DISTANCES.

SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE ISSUED.

| LEGEND | | | |
|-------------|------------------------|------------------|----------------------------------|
| AP | ASPHALT | ○ | UTILITY MANHOLES |
| BLDG | TOP OF BUILDING | ○ ^{MAX} | UTILITY METER |
| CLF | CHAIN LINK FENCE | ⊗ | FIRE HYDRANT |
| NG | NATURAL GRADE | ⊗ | POSITION OF GEODETIC COORDINATES |
| ● | TREES | ⊗ | SPOT ELEVATION |
| ● | PINE TREES | ⊗ | WATER CONTROL VALVE |
| P.O.B. | POINT OF BEGINNING | ⊗ | GAS VALVE |
| P.O.C. | POINT OF COMMENCEMENT | ⊗ | |
| P.O.T. | POINT OF TERMINUS | ⊗ | |
| —○—○—○—○—○— | CHAIN LINK FENCE | | |
| — | CURB LINES | | |
| — | SUBJECT PROPERTY LINE | | |
| — | ADJACENT PROPERTY LINE | | |
| --- | EASEMENT LINES | | |
| --- | EASEMENT CENTERLINE | | |
| --- | LEASE AREA LIMITS | | |
| --- | MAJOR CONTOUR INTERVAL | | |
| --- | MINOR CONTOUR INTERVAL | | |



PROJECT INFORMATION:
CCU02094
SW SANTA ROSA CORPORATE CENTER PKWY & ROSELAND
 2715 GRIFFEN AVENUE
 SANTA ROSA, CA 95404
 SONOMA COUNTY

ORIGINAL ISSUE DATE:
 10/07/2022

| REV.: | DATE: | DESCRIPTION: | BY: |
|-------|----------|--------------|-----|
| A | 10/07/22 | PRELIMINARY | CK |
| 0 | 01/04/23 | DESIGN(C) | SM |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
 326 TRYON ROAD
 RALEIGH, NC 27603-3530
 (919) 661-6351

CONSULTANT:

ambit consulting
 428 MAIN STREET
 SUITE 206
 HUNTINGTON BEACH, CA 92648
 PH. (480) 659-4072
 www.ambitconsulting.us

DRAWN BY: _____ CHK.: _____ APV.: _____

| | | |
|----|----|----|
| CK | MF | PD |
|----|----|----|

LICENSER:

PRELIMINARY
 PATRICK B. DONOHOE
 No. 9332
 STATE OF CALIFORNIA
 P.L.S. NO. 9332

SHEET TITLE:
 SITE SURVEY

SHEET NUMBER:
 LS-1

POSITION OF GEODETIC COORDINATES
 LATITUDE 38° 25' 03.16" (38.417544) NORTH (NAD83)
 LONGITUDE 122° 45' 01.67" (122.750464) WEST (NAD83)
 GROUND ELEVATION @ 109.0' (NAVD88)

| LEGEND | | | |
|-------------|------------------------|---|----------------------------------|
| AP | ASPHALT | ○ | UTILITY MANHOLES |
| BLDG | TOP OF BUILDING | ○ | UTILITY METER |
| CLF | CHAIN LINK FENCE | ⊕ | FIRE HYDRANT |
| NG | NATURAL GRADE | ⊕ | POSITION OF GEODETIC COORDINATES |
| ⊗ | TREES | ⊕ | SPOT ELEVATION |
| ⊗ | PINE TREES | ⊕ | WATER CONTROL VALVE |
| P.O.B. | POINT OF BEGINNING | ⊕ | GAS VALVE |
| P.O.C. | POINT OF COMMENCEMENT | ⊕ | |
| P.O.T. | POINT OF TERMINUS | ⊕ | |
| —○—○—○—○—○— | CHAIN LINK FENCE | | |
| — | CURBLINES | | |
| — | SUBJECT PROPERTY LINE | | |
| — | ADJACENT PROPERTY LINE | | |
| --- | EASEMENT LINES | | |
| --- | EASEMENT CENTERLINE | | |
| --- | LEASE AREA LIMITS | | |
| --- | MAJOR CONTOUR INTERVAL | | |
| --- | MINOR CONTOUR INTERVAL | | |

LEASE AREA LEGAL DESCRIPTION

A PORTION OF THE LAND OF OPTICAL COATING LABORATORY, INC., A CORPORATION, AS DESCRIBED AS PARCEL ONE IN THE DEED RECORDED JANUARY 11, 1973 IN BOOK 2727 OF OFFICIAL RECORDS AT PAGE 51 IN THE CITY OF SANTA ROSA, COUNTY OF SONOMA, STATE OF CALIFORNIA RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN IRON PIPE STAMPED RCE 31909 AT THE SOUTHWEST CORNER OF SAID PARCEL, FROM WHICH AN IRON PIPE STAMPED RCE 31909 BEARS THE FOLLOWING TWO COURSES:

THENCE NORTH 85°12'34" EAST, 257.92 FEET; THENCE SOUTH 04°47'26" EAST, 47.06 FEET AS SHOWN ON RECORD SURVEY RECORDED IN BOOK 814, PAGE 39, RECORDS OF SAID SONOMA COUNTY;

THENCE LEAVING SAID POINT OF COMMENCEMENT, NORTH 85°12'34" EAST, 71.87 FEET; THENCE NORTH 04°20'27" WEST, 2.56 FEET TO THE POINT OF BEGINNING.

THENCE SOUTH 85°40'47" WEST, 65.91 FEET; THENCE NORTH 04°19'13" WEST, 25.00 FEET; THENCE NORTH 85°40'47" EAST, 100.00 FEET; THENCE SOUTH 04°19'13" EAST, 25.00 FEET; THENCE SOUTH 85°40'47" WEST, 34.09 FEET TO THE POINT OF BEGINNING.

CONTAINING 2,500 SQUARE FEET (0.057 ACRES) OF LAND, MORE OR LESS.

ACCESS AND UTILITY

EASEMENT LEGAL DESCRIPTION

A PORTION OF THE LAND OF OPTICAL COATING LABORATORY, INC., A CORPORATION, AS DESCRIBED AS PARCEL ONE IN THE DEED RECORDED JANUARY 11, 1973 IN BOOK 2727 OF OFFICIAL RECORDS AT PAGE 51 AND A PORTION OF LOT 1 OF THE LANDS OF PATRIOT NORTHPOINT II REFI LLC AS SHOWN ON RECORD SURVEY RECORDED IN BOOK 814 PAGE 39, IN THE CITY OF SANTA ROSA, COUNTY OF SONOMA, STATE OF CALIFORNIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

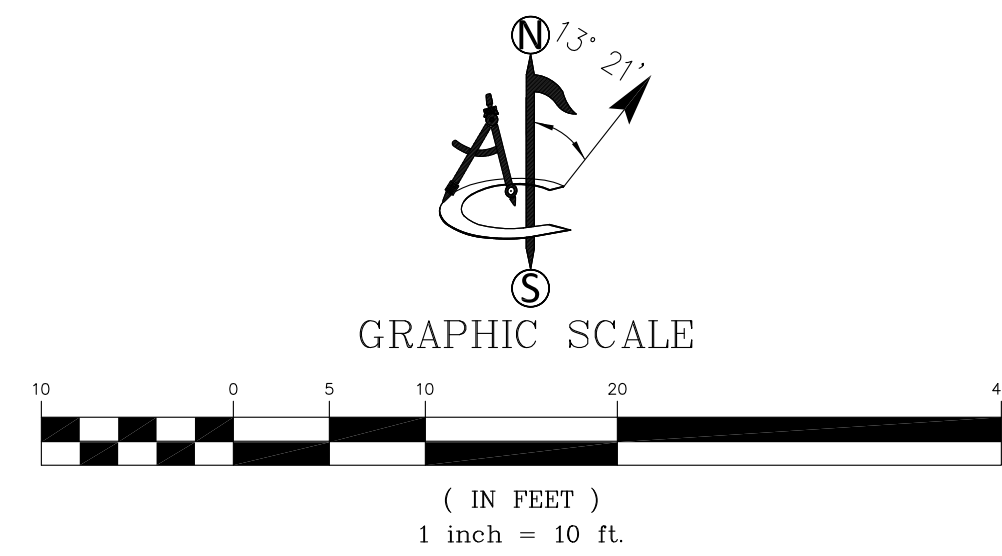
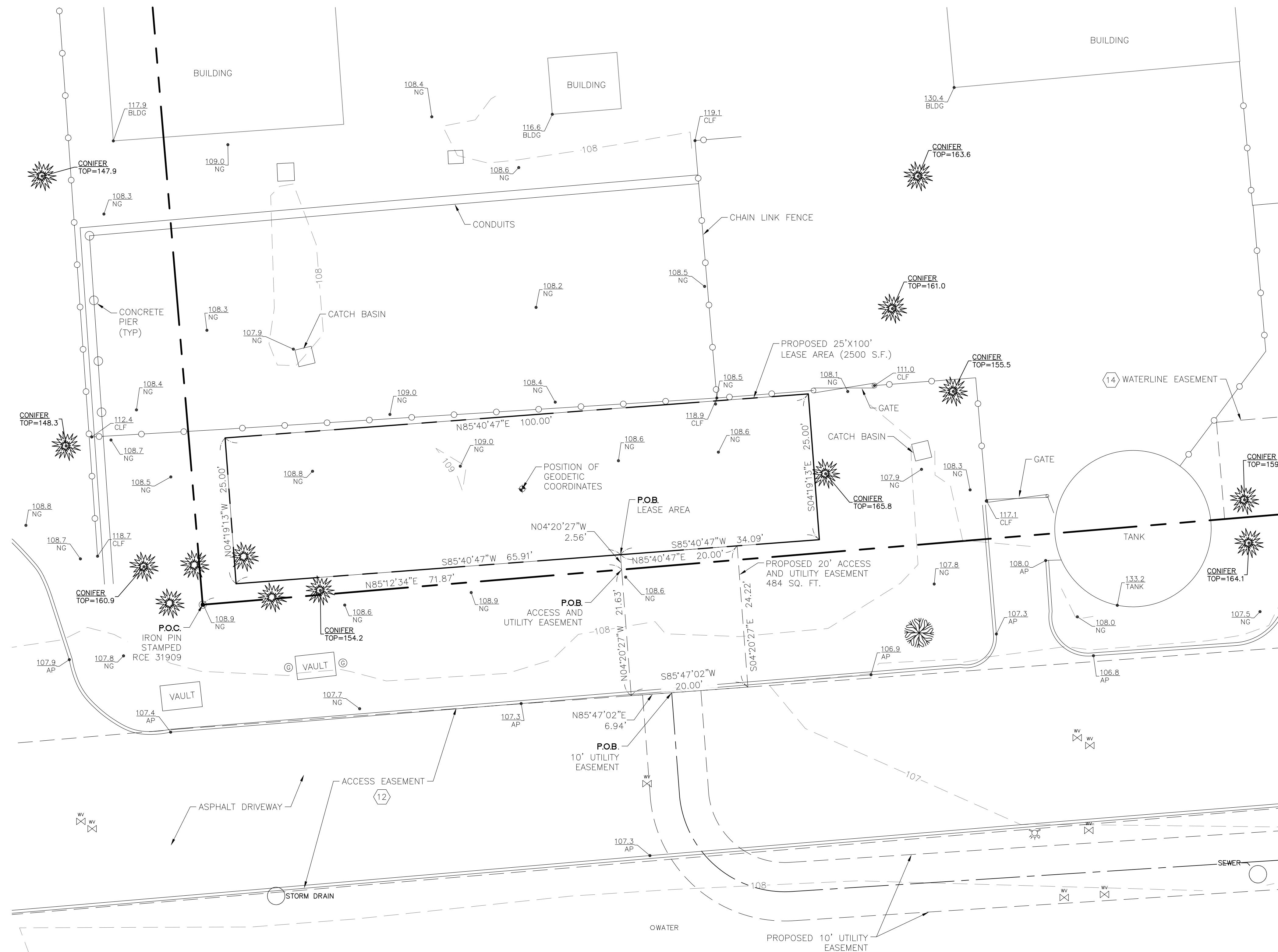
COMMENCING AT AN IRON PIPE STAMPED RCE 31909 AT THE SOUTHWEST CORNER OF SAID PARCEL, FROM WHICH AN IRON PIPE STAMPED RCE 31909 BEARS THE FOLLOWING TWO COURSES:

THENCE NORTH 85°12'34" EAST, 257.92 FEET; THENCE SOUTH 04°47'26" EAST, 47.06 FEET AS SHOWN ON SAID RECORD SURVEY RECORDED IN BOOK 814 PAGE 39, RECORDS OF SAID SONOMA COUNTY;

THENCE LEAVING SAID POINT OF COMMENCEMENT, NORTH 85°12'34" EAST, 71.87 FEET TO THE POINT OF BEGINNING.

THENCE NORTH 04°20'27" WEST, 2.56 FEET; THENCE NORTH 85°40'47" EAST, 20.00 FEET; THENCE SOUTH 04°20'27" EAST, 24.22 FEET; THENCE SOUTH 85°47'02" WEST, 20.00 FEET; THENCE NORTH 04°20'27" WEST, 21.63 FEET TO THE POINT OF BEGINNING.

CONTAINING 484 SQUARE FEET (0.011 ACRES) OF LAND, MORE OR LESS.



PROJECT INFORMATION:
CCU02094
SW SANTA ROSA CORPORATE
CENTER PKWY & ROSELAND
 2715 GRIFFEN AVENUE
 SANTA ROSA, CA 95404
 SONOMA COUNTY

ORIGINAL ISSUE DATE:
 10/07/2022

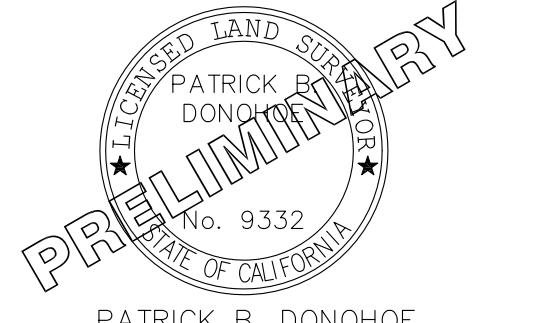
| REV.: | DATE: | DESCRIPTION: | BY: |
|-------|----------|--------------|-----|
| A | 10/07/22 | PRELIMINARY | CK |
| 0 | 01/04/23 | DESIGN(C) | SM |

PLANS PREPARED BY:
TOWER ENGINEERING PROFESSIONALS
 326 TRYON ROAD
 RALEIGH, NC 27603-3530
 (919) 661-6351

CONSULTANT:

 428 MAIN STREET
 SUITE 206
 HUNTINGTON BEACH, CA 92648
 PH. (480) 659-4072
 www.ambitconsulting.us

DRAWN BY: _____ CHK.: _____ APV.: _____
 CK MF PD

LICENSER:

 PATRICK B. DONOHUE
 P.L.S. NO. 9332

SHEET TITLE:
 SITE SURVEY

SHEET NUMBER:
 LS-2

10' UTILITY EASEMENT LEGAL DESCRIPTION

A PORTION OF LOT 1 OF THE LANDS OF PATRIOT NORTHPOINT II REFI LLC AS SHOWN ON RECORD SURVEY RECORDED IN BOOK 814 PAGE 39 IN THE CITY OF SANTA ROSA, COUNTY OF SONOMA, STATE OF CALIFORNIA, BEING A 10.00 FOOT WIDE STRIP OF LAND LYING 5.00 FEET ON BOTH SIDES OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCING AT AN IRON PIPE STAMPED RCE 31909 AT THE SOUTHWEST CORNER OF SAID PARCEL, FROM WHICH AN IRON PIPE STAMPED RCE 31909 BEARS THE FOLLOWING TWO COURSES:
 THENCE NORTH 85°12'34" EAST, 257.92 FEET; THENCE SOUTH 04°47'26" EAST, 47.06 FEET AS SHOWN ON SAID RECORD SURVEY RECORDED IN BOOK 814, PAGE 39, RECORDS OF SAID SONOMA COUNTY;

THENCE LEAVING SAID POINT OF COMMENCEMENT, NORTH 85°12'34" EAST, 71.87 FEET, THENCE SOUTH 04°20'27" EAST, 21.63 FEET; THENCE NORTH 85°47'02" EAST, 6.94 FEET TO THE POINT OF BEGINNING.

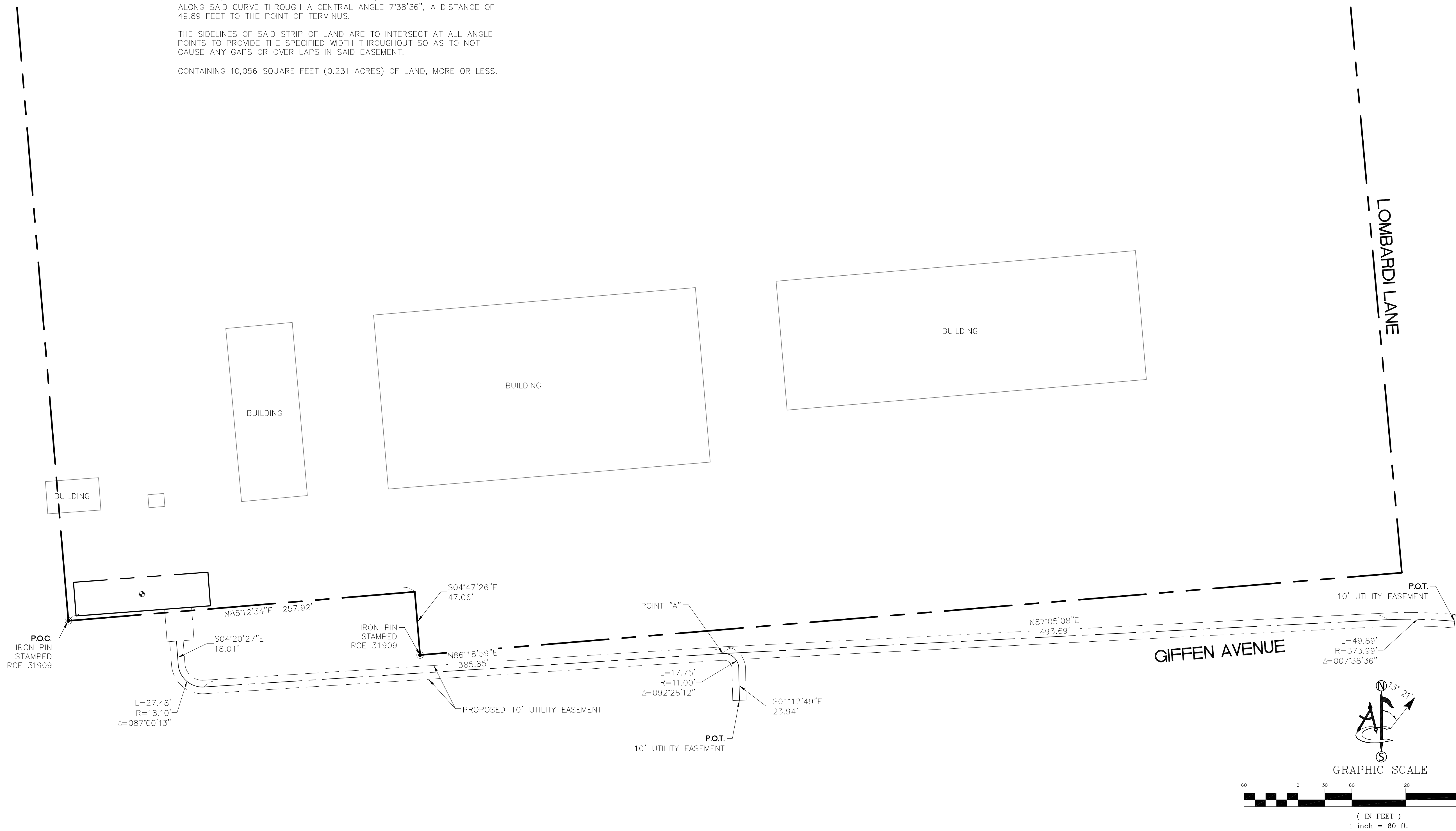
THENCE SOUTH 04°20'27" EAST, 18.01 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 18.10 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 87°00'13", A DISTANCE OF 27.48 FEET; THENCE NORTH 86°18'59" EAST, 385.85 FEET TO A POINT HEREINAFTER REFERRED TO AS POINT "A" FOR PURPOSES OF THIS DESCRIPTION AND THE BEGINNING OF A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 11.00 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 92°28'12", A DISTANCE OF 17.75 FEET; THENCE SOUTH 01°12'49" EAST, 23.94 FEET TO THE POINT OF TERMINUS.

TOGETHER WITH:

COMMENCING AT THE ABOVE MENTIONED POINT "A"; THENCE NORTH 87°05'08" EAST, 493.69 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 373.99 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE 7°38'36", A DISTANCE OF 49.89 FEET TO THE POINT OF TERMINUS.

THE SIDELINES OF SAID STRIP OF LAND ARE TO INTERSECT AT ALL ANGLE POINTS TO PROVIDE THE SPECIFIED WIDTH THROUGHOUT SO AS TO NOT CAUSE ANY GAPS OR OVER LAPS IN SAID EASEMENT.

CONTAINING 10,056 SQUARE FEET (0.231 ACRES) OF LAND, MORE OR LESS.



PROJECT INFORMATION:
CCU02094
SW SANTA ROSA CORPORATE
CENTER PKWY & ROSELAND
 2715 GRIFFEN AVENUE
 SANTA ROSA, CA 95404
 SONOMA COUNTY

ORIGINAL ISSUE DATE:
 10/07/2022

| REV.: | DATE: | DESCRIPTION: | BY: |
|-------|----------|--------------|-----|
| A | 10/07/22 | PRELIMINARY | CK |
| 0 | 01/04/23 | DESIGN(C) | SM |
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PLANS PREPARED BY:
TOWER ENGINEERING PROFESSIONALS
 326 TRYON ROAD
 RALEIGH, NC 27603-3530
 (919) 661-6351

CONSULTANT:
ambit consulting
 428 MAIN STREET
 SUITE 206
 HUNTINGTON BEACH, CA 92648
 PH. (480) 659-4072
 www.ambitconsulting.us

| | | |
|-----------|-------|-------|
| DRAWN BY: | CHK.: | APV.: |
| CK | MF | PD |

LICENSER:
PRELIMINARY
 PATRICK B. DONOHOE
 P.L.S. NO. 9332

SHEET TITLE:
 SITE SURVEY

SHEET NUMBER:
 LS-3



PROJECT INFORMATION:

CCU02094
SW SANTA ROSA CORPORATE
CENTER PKWY & ROSELAND
2715 GRIFFEN AVENUE
SANTA ROSA, CA 95404
SONOMA COUNTY

ORIGINAL ISSUE DATE:

10/07/2022

REV.: - DATE: DESCRIPTION: BY:

| A | 10/07/22 | PRELIMINARY | CK |
|---|----------|-------------|----|
| 0 | 01/04/23 | DESIGN(C) | SM |
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PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
(919) 661-6351

CONSULTANT:


 **ambit consulting**

428 MAIN STREET
SUITE 206
HUNTINGTON BEACH, CA 92648
PH. (480) 659-4072
www.ambitconsulting.us

DRAWN BY: CHK.: APV.:

| | | |
|----|----|----|
| CK | MF | PD |
|----|----|----|

LICENSER:


PRELIMINARY

PATRICK B. DONOHOE
P.L.S. NO. 9332

SHEET TITLE:

NOTES

SHEET NUMBER:

LS-4

SCHEDULE "B" NOTE

REFERENCE IS MADE TO THE TITLE REPORT ORDER #TEP-138421-1, ISSUED BY TOWER TITLE AND CLOSING, DATED AUGUST 22, 2022. ALL EASEMENTS CONTAINED WITHIN SAID TITLE REPORT AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE HAVE BEEN PLOTTED.

ITEMIZED NOTES:

1. DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS REPORT, INCLUDING:

- A. TAXES OR ASSESSMENTS THAT ARE NOT SHOWN AS EXISTING LIENS BY THE RECORDS OF ANY TAXING AUTHORITY THAT LEVIES TAXES OR ASSESSMENTS ON REAL PROPERTY OR BY THE PUBLIC RECORDS;
- B. PROCEEDINGS BY A PUBLIC AGENCY THAT MAY RESULT IN TAXES OR ASSESSMENTS, OR NOTICES OF SUCH PROCEEDINGS, WHETHER OR NOT SHOWN BY THE RECORDS OF SUCH AGENCY OR BY THE PUBLIC RECORDS. (EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE SHOWN HEREON)

2. THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY. (EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE SHOWN HEREON)

3. ANY FACTS, RIGHTS, INTERESTS, OR CLAIMS THAT ARE NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY AN INSPECTION OF THE LAND OR THAT MAY BE ASSERTED BY PERSONS IN POSSESSION OF THE LAND. (EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE SHOWN HEREON)

4. EASEMENTS, LIENS OR ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS. (EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE SHOWN HEREON)

5. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND AND NOT SHOWN BY THE PUBLIC RECORDS, INCLUDING:

- A. UNPATENTED MINING CLAIMS;
- B. RESERVATIONS OR EXCEPTIONS IN PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF;
- C. WATER RIGHT, CLAIMS OR TITLE TO WATER, WHETHER OR NOT THE MATTERS EXCEPTED UNDER (A), (B) OR (C) ARE SHOWN BY THE PUBLIC RECORDS. (EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE SHOWN HEREON)

6. ANY LIEN OR RIGHT TO LIEN FOR SERVICES, LABOR OR MATERIAL NOT SHOWN BY THE PUBLIC RECORDS. (EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE SHOWN HEREON)

7. TAXES FOR THE CURRENT FISCAL YEAR AND SUBSEQUENT YEARS, A LIEN NOT YET DUE AND PAYABLE. (EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE SHOWN HEREON)

8. RIGHTS OF FEE SIMPLE OWNERS IN AND TO THE SUBJECT PROPERTY. (EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE SHOWN HEREON)

9. EASEMENT AGREEMENT BETWEEN JDS UNIPHASE CORPORATION, A DELAWARE CORPORATION (JDSU), PATRIOT NORTHPOINT I, LLC, A DELAWARE LIMITED LIABILITY COMPANY; AND PATRIOT NORTHPOINT II, LLC, A DELAWARE LIMITED LIABILITY COMPANY, DATED AUGUST 21, 2007 AND RECORDED AUGUST 27, 2007 IN (INSTRUMENT) 2007094870, IN SONOMA COUNTY, CALIFORNIA. (BLANKET IN NATURE)

10. TERMS AND CONDITIONS OF AN UNRECORDED LEASE, AS EVIDENCED BY A(N) MEMORANDUM OF LEASE BETWEEN PATRIOT NORTHPOINT I, LLC, A DELAWARE LIMITED LIABILITY COMPANY; AND JDS UNIPHASE CORPORATION, A DELAWARE CORPORATION, DATED AUGUST 21, 2007 AND RECORDED SEPTEMBER 6, 2007 IN (INSTRUMENT) 2007098104, IN SONOMA COUNTY, CALIFORNIA. (BLANKET IN NATURE)

11. TERMS AND CONDITIONS OF AN UNRECORDED LEASE, AS EVIDENCED BY A(N) MEMORANDUM OF LEASE BETWEEN PATRIOT NORTHPOINT I, LLC, A DELAWARE LIMITED LIABILITY COMPANY; AND JDS UNIPHASE CORPORATION, A DELAWARE CORPORATION, DATED AUGUST 21, 2007 AND RECORDED SEPTEMBER 6, 2007 IN (INSTRUMENT) 2007098105, IN SONOMA COUNTY, CALIFORNIA. (BLANKET IN NATURE)

12. RECIPROCAL ACCESS AND UTILITY EASEMENT AGREEMENT BETWEEN PATRIOT NORTHPOINT I, LLC, A DELAWARE LIMITED LIABILITY COMPANY; AND PATRIOT NORTHPOINT II, LLC, A DELAWARE LIMITED LIABILITY COMPANY, DATED JANUARY 6, 2012 AND RECORDED JANUARY 11, 2012 IN (INSTRUMENT) 2012002560, IN SONOMA COUNTY, CALIFORNIA.

AFFECTED BY A(N) AGREEMENT REGARDING RECIPROCAL ACCESS AND UTILITY EASEMENT AGREEMENT BETWEEN PATRIOT NORTHPOINT II, LLC, A DELAWARE LIMITED LIABILITY COMPANY; PATRIOT NORTHPOINT II REFI, LLC, A DELAWARE LIMITED LIABILITY COMPANY; PATRIOT NORTHPOINT I REFI, LLC, A DELAWARE LIMITED LIABILITY COMPANY; AND GIFFEN AVENUE INVESTMENTS, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY, DATED FEBRUARY 3, 2017 AND RECORDED JULY 13, 2017 IN (INSTRUMENT) 2017054238, IN SONOMA COUNTY, CALIFORNIA. (AS SHOWN ON SURVEY)

SCHEDULE "B" NOTE

13. RECIPROCAL ACCESS AND UTILITY EASEMENT AGREEMENT BETWEEN PATRIOT NORTHPOINT I, LLC, A DELAWARE LIMITED LIABILITY COMPANY; AND PATRIOT NORTHPOINT I REFI, LLC, A DELAWARE LIMITED LIABILITY COMPANY, DATED OCTOBER 24, 2013 AND RECORDED OCTOBER 30, 2013 IN (INSTRUMENT) 2013105800, IN SONOMA COUNTY, CALIFORNIA.

AFFECTED BY A(N) FIRST AMENDMENT TO RECIPROCAL ACCESS AND UTILITY EASEMENT AGREEMENT BETWEEN PATRIOT NORTHPOINT I, LLC, A DELAWARE LIMITED LIABILITY COMPANY; AND PATRIOT NORTHPOINT I REFI, LLC, A DELAWARE LIMITED LIABILITY COMPANY, DATED FEBRUARY 17, 2015 AND RECORDED MARCH 24, 2015 IN (INSTRUMENT) 2015024085, IN SONOMA COUNTY, CALIFORNIA. (AS SHOWN ON SURVEY)

14. EASEMENT DEED BETWEEN GIFFEN AVENUE PROPERTY, LLC; AND THE CITY OF SANTA ROSA, A MUNICIPAL CORPORATION, DATED NOVEMBER 18, 2016 AND RECORDED NOVEMBER 30, 2016 IN (INSTRUMENT) 2016110792, IN SONOMA COUNTY, CALIFORNIA. (AS SHOWN ON SURVEY)

15. TERMS AND CONDITIONS OF AN UNRECORDED LEASE, AS EVIDENCED BY A(N) MEMORANDUM OF AGREEMENT BETWEEN PATRIOT NORTHPOINT I, LLC, A DELAWARE LIMITED LIABILITY COMPANY AND GIFFEN AVENUE INVESTMENTS, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY, DATED MAY 4, 2016 AND RECORDED MAY 6, 2016 IN (INSTRUMENT) 2016039589, IN SONOMA COUNTY, CALIFORNIA. (BLANKET IN NATURE)

LESSOR'S LEGAL DESCRIPTION

PARCEL ONE:
BEING A PORTION OF THE LAND OF OPTICAL COATING LABORATORY, INC., A CORPORATION, AS DESCRIBED AS PARCEL ONE IN THE DEED RECORDED JANUARY 11, 1973 IN BOOK 2727 OF OFFICIAL RECORDS AT PAGE 51 SONOMA COUNTY RECORDS, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHERN LINE OF SAID PARCEL OF LAND AS DESCRIBED AS PARCEL ONE IN THE DEED TO OPTICAL COATING LABORATORY DISTANT ALONG SAID LINE NORTH 85° 15' 01" EAST 588.69 FEET FROM THE NORTHWESTERN CORNER OF SAID PARCEL; THENCE ALONG THE NORTHERN LINE OF SAID PARCEL OF LAND NORTH 85° 15' 01" EAST 980.29 FEET; THENCE LEAVING SAID LINE SOUTH 05° 42' 31" EAST 529.97 FEET; THENCE SOUTH 85° 12' 45" WEST 730.89 FEET; THENCE NORTH 04° 47' 15" WEST 47.06 FEET; THENCE SOUTH 85° 12' 45" WEST 257.92 FEET; THENCE NORTH 04° 47' 15" WEST 483.49 FEET TO THE POINT OF BEGINNING.

PARCEL TWO:
COMMENCING AT THE NORTHWEST CORNER OF PARCEL FOUR AS DESCRIBED IN DOCUMENT NO. 2001-079911; THENCE ALONG THE NORTH LINE OF SAID PARCEL NORTH 85° 15' 01" EAST (DEED=84° 25' EAST) 543.69 FEET TO THE NORTHEAST CORNER OF THE PARCEL OF LAND DESCRIBED IN DOCUMENT 2001-079913, SONOMA COUNTY RECORDS; THENCE CONTINUING ALONG SAID NORTH LINE NORTH 85° 15' 01" EAST 980.29 FEET TO THE NORTHEAST CORNER OF THE PARCEL OF THE LAND DESCRIBED IN DOCUMENT NO. 2001-079914, SONOMA COUNTY RECORDS, THE TRUE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; THENCE LEAVING SAID NORTH LINE AND ALONG THE EASTERLY LINE OF THE PARCEL DESCRIBED IN DOCUMENT NO. 2001-079914 SOUTH 05° 42' 31" EAST 529.97 FEET TO THE SOUTHEAST CORNER THEREOF; ALSO BEING THE SOUTHWEST CORNER OF PARCEL ONE AS DESCRIBED IN DOCUMENT NO. 2012-084686, SONOMA COUNTY RECORDS; THENCE LEAVING SAID EASTERLY LINE AND ALONG THE WESTERLY LINE OF SAID PARCEL ONE (2012-084686) NORTH 05° 10' 21" WEST (DEED=05° 56' WEST) 529.91 FEET TO THE NORTHWEST CORNER OF THE SAID PARCEL ONE; THENCE LEAVING SAID WESTERLY LINE AND ALONG THE NORTH LINE OF PARCEL FOUR (2001-079911) SOUTH 85° 15' 01" EAST 4.96 FEET MORE OR LESS TO THE POINT OF BEGINNING. TOGETHER WITH ALL THAT PORTION LYING WEST AND EXCEPTING ALL THAT PORTION LYING EAST OF THE FOLLOWING DESCRIBED BOUNDARY LINE:

BOUNDARY LINE:
BEGINNING AT A 2" BRASS DISK, STAMPED CITY OF SANTA ROSA WITH PUNCH IN A STANDARD MONUMENT WELL AT THE INTERSECTION OF GIFFEN AVENUE AND LOMBARDI LANE (LOMBARDI COURT) AS SHOWN ON THAT CERTAIN MAP ENTITLED DUTTON MANOR WEST NO. 3 FILED IN BOOK 403 OF MAPS PAGES 38-41, SONOMA COUNTY RECORDS FROM WHICH A 2" BRASS DISK, STAMPED RCE 25133 CITY OF SANTA ROSA WITH PUNCH IN A STANDARD MONUMENT WELL AT THE INTERSECTION OF BUSS DRIVE AND GIFFEN AVENUE AS SHOWN ON SAID MAP BEARS NORTH 84° 27' 46" EAST 624.49 FEET (624.43 FEET MAP); THENCE NORTH 05° 56' 29" WEST 20.00 FEET TO THE NORTH LINE OF GIFFEN AVENUE; THENCE CONTINUING NORTH 05° 56' 29" WEST 503.40 FEET TO A SET 1/2" IRON PIPE TAGGED RCE 31909; THENCE CONTINUING NORTH 05° 56' 29" WEST 8.00 FEET MORE OR LESS TO THE NORTH LINE OF SAID PATRIOT NORTHPOINT I REFI LLC AND GIFFEN AVENUE PROPERTY LLC LANDS. BASIS OF BEARINGS: NORTH 84° 27' 46" EAST 624.49 FEET (624.43 FEET MAP) BETWEEN 2" BRASS DISKS, STAMPED CITY OF SANTA ROSA WITH PUNCH IN A STANDARD MONUMENT WELL AT THE INTERSECTION OF GIFFEN AVENUE/LOMBARDI LANE AND AT THE INTERSECTION OF GIFFEN AVENUE/BUSS DRIVE AS SHOWN ON THAT CERTAIN MAP ENTITLED DUTTON MANOR WEST NO. 3 FILED IN BOOK 403 OF MAPS PAGES 38-41, SONOMA COUNTY RECORDS.

PARCEL THREE:
AN EASEMENT FOR INGRESS AND EGRESS ALSO INCLUDING PUBLIC AND PRIVATE UTILITIES, AS RESERVED IN THAT CERTAIN GRANT DEED EXECUTED BY OPTICAL COATING LABORATORY, INC., A DELAWARE CORPORATION, RECORDED NOVEMBER 4, 2005, AS INSTRUMENT 2005-165516, SONOMA COUNTY RECORDS.

PARCEL FOUR:
EASEMENTS FOR THE PURPOSES AS SET FORTH IN THAT CERTAIN "EASEMENT AGREEMENT", EXECUTED BY PATRIOT NORTHPOINT I, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ET AL, RECORDED AUGUST 27, 2007 AS INSTRUMENT 2007-094870, SONOMA COUNTY RECORDS.

PARCEL FIVE:
EASEMENT FOR THE PURPOSE AS SET FORTH IN THAT CERTAIN RECIPROCAL ACCESS AND UTILITY EASEMENT AGREEMENT EXECUTED BY PATRIOT NORTHPOINT I, LLC, A DELAWARE LIMITED LIABILITY COMPANY; AND PATRIOT NORTHPOINT II, LLC, A DELAWARE LIMITED LIABILITY COMPANY, DATED JANUARY 6, 2012 AND RECORDED JANUARY 11, 2012 IN (INSTRUMENT) 2012002560, IN SONOMA COUNTY, CALIFORNIA.

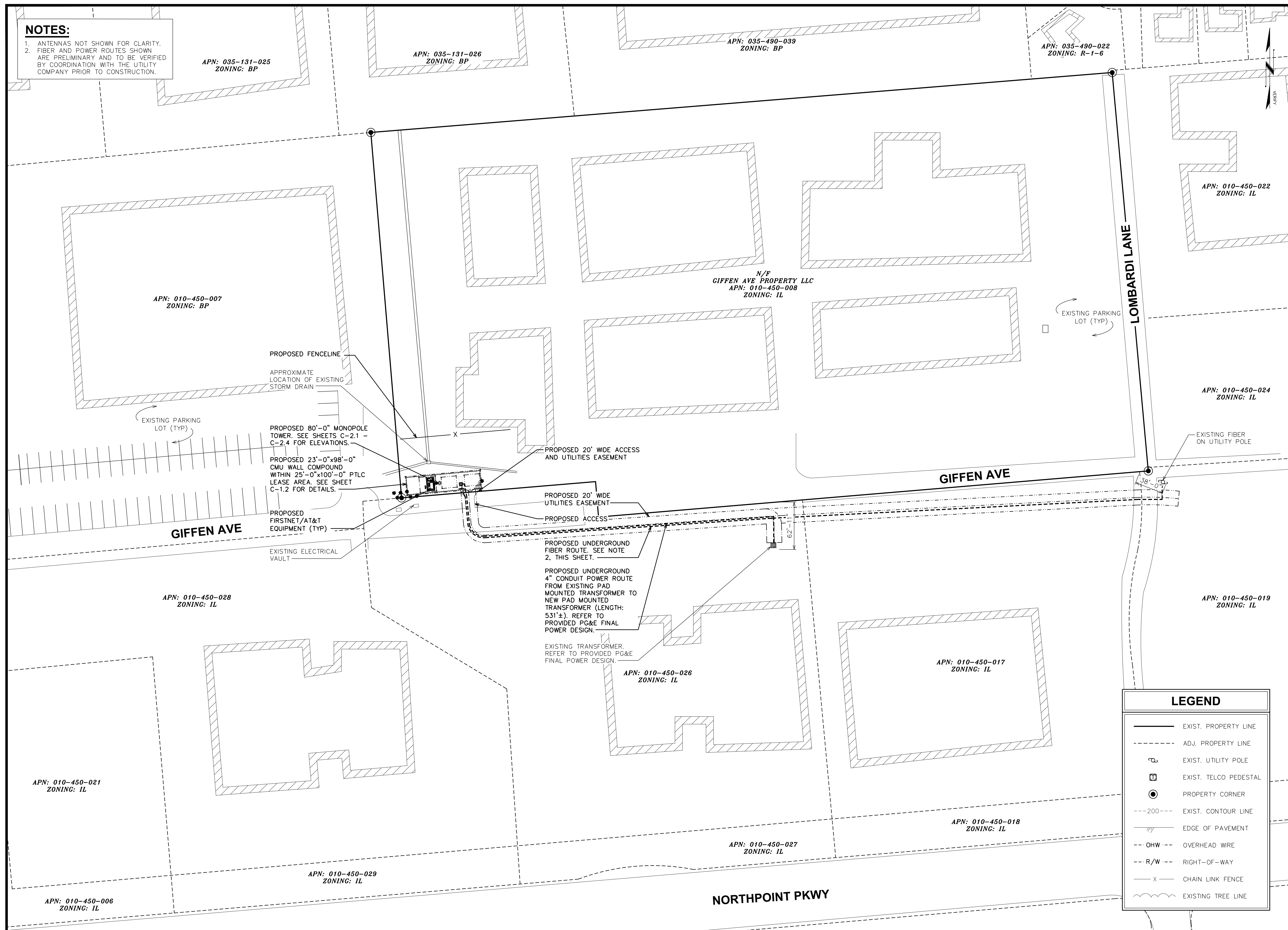
PARCEL SIX:
EASEMENT FOR THE PURPOSE AS SET FORTH IN THAT CERTAIN RECIPROCAL ACCESS AND UTILITY EASEMENT AGREEMENT EXECUTED BY PATRIOT NORTHPOINT I, LLC, A DELAWARE LIMITED LIABILITY COMPANY; AND PATRIOT NORTHPOINT I REFI, LLC, A DELAWARE LIMITED LIABILITY COMPANY, DATED OCTOBER 24, 2013 AND RECORDED OCTOBER 30, 2013 IN (INSTRUMENT) 2013105800, IN SONOMA COUNTY, CALIFORNIA

AFFECTED BY A(N) FIRST AMENDMENT TO RECIPROCAL ACCESS AND UTILITY EASEMENT AGREEMENT BETWEEN PATRIOT NORTHPOINT I, LLC, A DELAWARE LIMITED LIABILITY COMPANY; AND PATRIOT NORTHPOINT I REFI, LLC, A DELAWARE LIMITED LIABILITY COMPANY, DATED FEBRUARY 17, 2015, AND RECORDED MARCH 24, 2015 IN (INSTRUMENT) 2015024085, IN SONOMA COUNTY, CALIFORNIA.

PARCEL ID: 010-450-008

THIS BEING THE SAME PROPERTY CONVEYED TO GIFFEN AVENUE PROPERTY, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY, IN A DEED FROM GIFFEN AVENUE INVESTMENTS, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY DATED 5/4/2016 AND RECORDED 5/6/2016 AS INSTRUMENT NO. 2016039590.

NOTES:
 1. ANTENNAS NOT SHOWN FOR CLARITY.
 2. FIBER AND POWER ROUTES SHOWN ARE PRELIMINARY AND TO BE VERIFIED BY COORDINATION WITH THE UTILITY COMPANY PRIOR TO CONSTRUCTION.



PUBLIC SAFETY TOWERS COMPANY
 1903 WRIGHT PLACE, SUITE 140
 CARLSBAD, CA 92008

AT&T
 5005 EXECUTIVE PARKWAY
 SAN RAMON, CA 94583

TOWER ENGINEERING PROFESSIONALS
 4710 E ELWOOD ST, STE 9
 PHOENIX, AZ 85040
 OFFICE: (480) 285-0036
 www.tepgroup.net

**AT&T/FIRSTNET ID: CCL02094
 NORTHPOINT**

**PSTC #: CANC-SROSA01
 GIFFEN AVENUE PROPERTY**

**2715 GIFFEN AVE
 SANTA ROSA, CA 95407
 (SONOMA COUNTY)**

**PROPOSED 80'-0"
 MONOPINE TOWER**

ISSUED FOR:

| REV | DATE | DRWN | DESCRIPTION | QA |
|-----|----------|------|-------------|-----|
| G | 02-01-23 | SSO | ZONING | HMM |
| H | 03-28-23 | SSO | ZONING | HMM |
| I | 04-21-23 | RCH | ZONING | HMM |
| J | 09-29-23 | CAM | ZONING | HMM |
| K | 01-04-24 | SKK | ZONING | HMM |

SEAL:

**ZONING
 DO NOT USE FOR
 CONSTRUCTION**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C-1.1

REVISION:
K

TEP #: 314201.336187

LEGEND

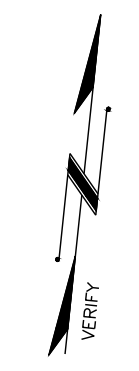
| | |
|--|-----------------------|
| | EXIST. PROPERTY LINE |
| | ADJ. PROPERTY LINE |
| | EXIST. UTILITY POLE |
| | EXIST. TELCO PEDESTAL |
| | PROPERTY CORNER |
| | EXIST. CONTOUR LINE |
| | EDGE OF PAVEMENT |
| | OVERHEAD WIRE |
| | RIGHT-OF-WAY |
| | CHAIN LINK FENCE |
| | EXISTING TREE LINE |

1 EXISTING OVERALL SITE PLAN

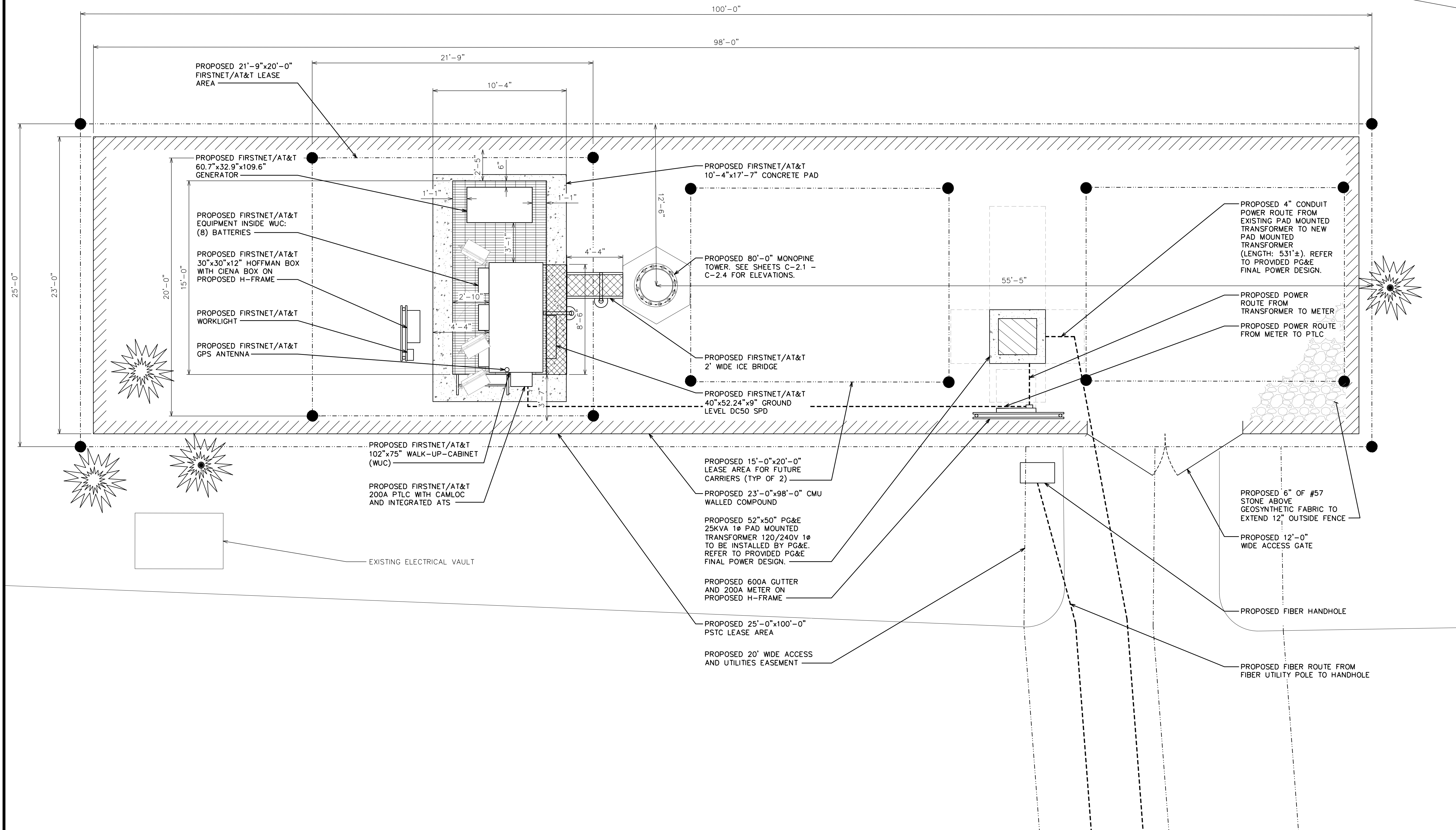
SCALE: 1" = 60' (24x36)
 SCALE: 1" = 120' (11x17)
 SCALE IN FEET

NOTES:

1. CONTRACTOR TO VERIFY ALL EXISTING INFORMATION IS AS INDICATED ON SITE PLAN. CONTRACTOR IS TO ESTABLISH THE EXISTENCE AND LOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES. IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES.
2. CONTRACTOR TO ENSURE THAT ALL FIRSTNET/AT&T EQUIPMENT IS INSTALLED INSIDE FIRSTNET/AT&T'S LEASE AREA INCLUDING BUT NOT LIMITED TO, EQUIPMENT CABINETS, UTILITY CABINETS, H-FRAMES, ETC.
3. ANTENNAS NOT SHOWN FOR CLARITY.



APPROXIMATE LOCATION OF EXISTING STORM DRAIN PATHWAY



PUBLIC SAFETY TOWERS
COMPANY
1903 WRIGHT PLACE, SUITE 140
CARLSBAD, CA 92008

AT&T
5005 EXECUTIVE PARKWAY
SAN RAMON, CA 94583

TOWER ENGINEERING PROFESSIONALS
4710 E ELWOOD ST, STE 9
PHOENIX, AZ 85040
OFFICE: (480) 285-0036
www.tepgroup.net

AT&T/FIRSTNET ID: CCL02094
NORTHPOINT
PSTC #: CANC-SROSA01
GIFFEN AVENUE PROPERTY
2715 GIFFEN AVE
SANTA ROSA, CA 95407
(SONOMA COUNTY)
PROPOSED 80'-0"
MONOPINE TOWER

ISSUED FOR:

| REV | DATE | DRWN | DESCRIPTION | QA |
|-----|----------|------|-------------|-----|
| G | 02-01-23 | SSO | ZONING | HMM |
| H | 03-28-23 | SSO | ZONING | HMM |
| I | 04-21-23 | RCH | ZONING | HMM |
| J | 09-29-23 | CAM | ZONING | HMM |
| K | 01-04-24 | BKK | ZONING | HMM |

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SHEET TITLE:
COMPOUND LAYOUT

SHEET NUMBER: **C-1.2** **REVISION:** **K**

TEP #: 314201.336187

NOTES:

1. PROPOSED CABLES TO BE ROUTED PER SPECIFICATIONS OF PASSING STRUCTURAL ANALYSIS.
2. TOWER ELEVATION IS FOR SCHEMATIC PURPOSES ONLY. TEP DID NOT CONFIRM EXISTING SITE CONDITIONS INCLUDING, BUT NOT LIMITED TO ANTENNA HEIGHTS, ANTENNA AZIMUTHS, AND MOUNT CONFIGURATIONS.
3. CONTRACTOR TO VERIFY PROPOSED LOADING WITH PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT FIRSTNET/AT&T OR PSTC IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES.

- 85'-0"±
T/APPURTENANCE
- 80'-0"±
T/TOWER
- 78'-0"±
C/FIRSTNET/AT&T ANTENNA
- 76'-0"±
C/FIRSTNET/AT&T ANTENNA
- 74'-0"±
C/FIRSTNET/AT&T ANTENNA

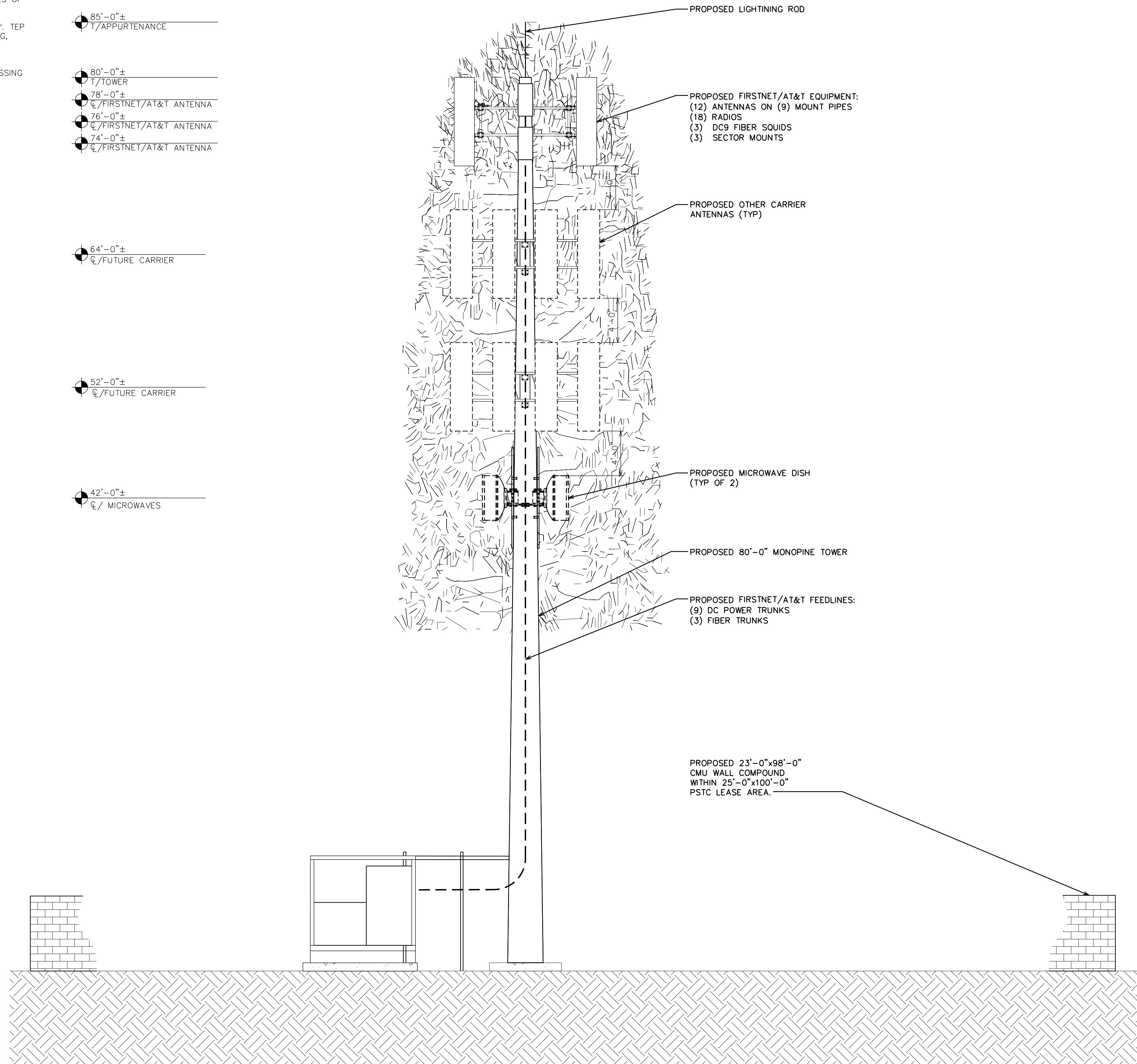
- 64'-0"±
C/FUTURE CARRIER

- 52'-0"±
C/FUTURE CARRIER

- 42'-0"±
C/MICROWAVES

- 6'-0"
T/CMU WALL

- 0'-0" (REF)
T/CONCRETE



1903 WRIGHT PLACE, SUITE 140
CARLSBAD, CA 92008

5005 EXECUTIVE PARKWAY
SAN RAMON, CA 94583

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PHOENIX, AZ 85040
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SHEET TITLE:
FINAL SOUTH ELEVATION

SHEET NUMBER: **C-2.1** **REVISION:** **K**

TEP #: 314201.336187

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T/TOWER
- 78'-0"±
C/FIRSTNET/AT&T ANTENNA
- 76'-0"±
C/FIRSTNET/AT&T ANTENNA
- 74'-0"±
C/FIRSTNET/AT&T ANTENNA

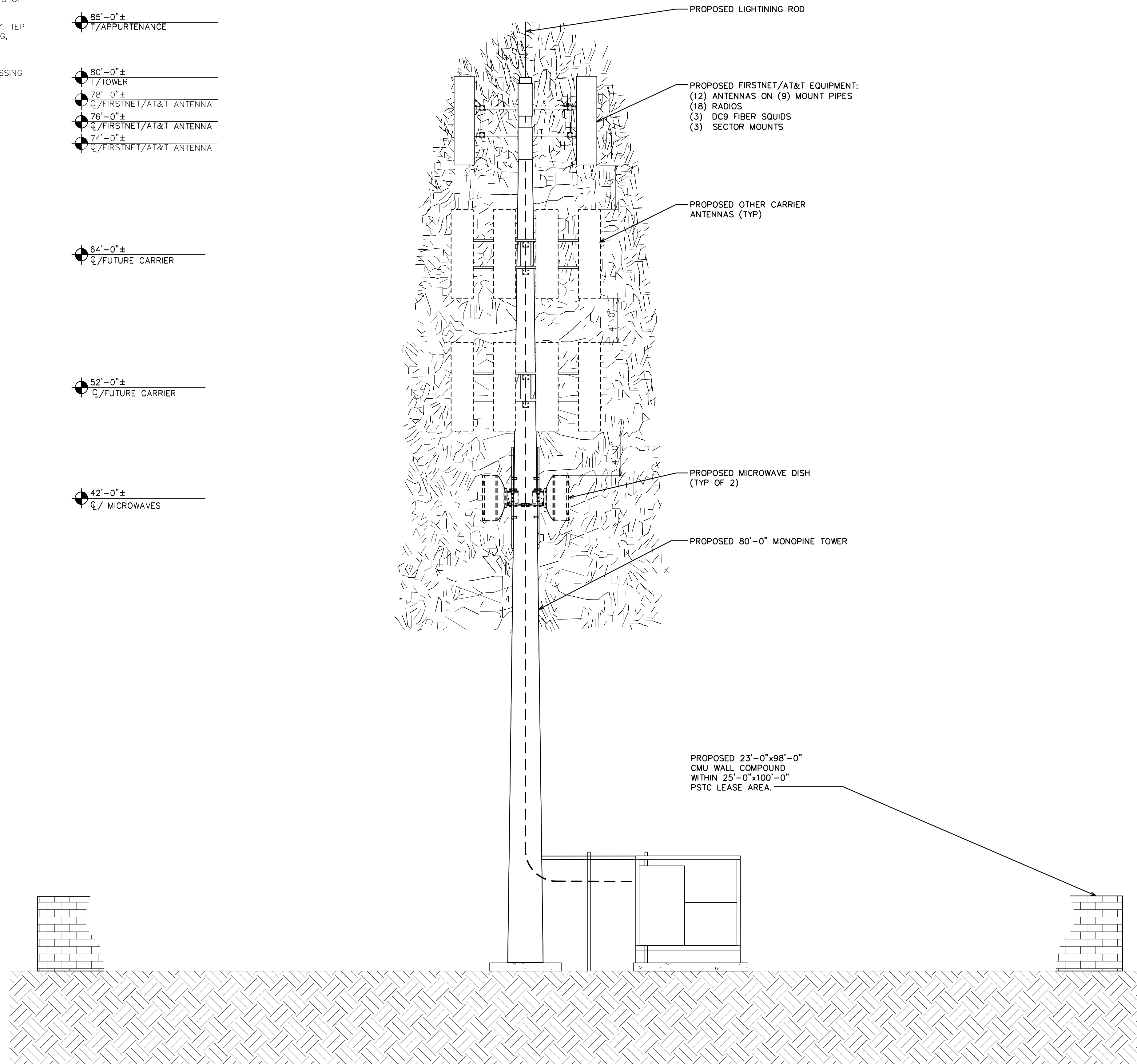
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C/FUTURE CARRIER

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C/FUTURE CARRIER

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C/MICROWAVES

- 6'-0"±
T/CMU WALL

- 0'-0" (REF)
T/CONCRETE



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**SHEET TITLE:
FINAL NORTH
ELEVATION**

SHEET NUMBER: C-2.2 **REVISION: K**

TEP #: 314201.336187

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85'-0"±
T/APPERTENANCE

80'-0"±
T/TOWER

78'-0"±
Q/FIRSTNET/AT&T ANTENNA

76'-0"±
Q/FIRSTNET/AT&T ANTENNA

74'-0"±
Q/FIRSTNET/AT&T ANTENNA

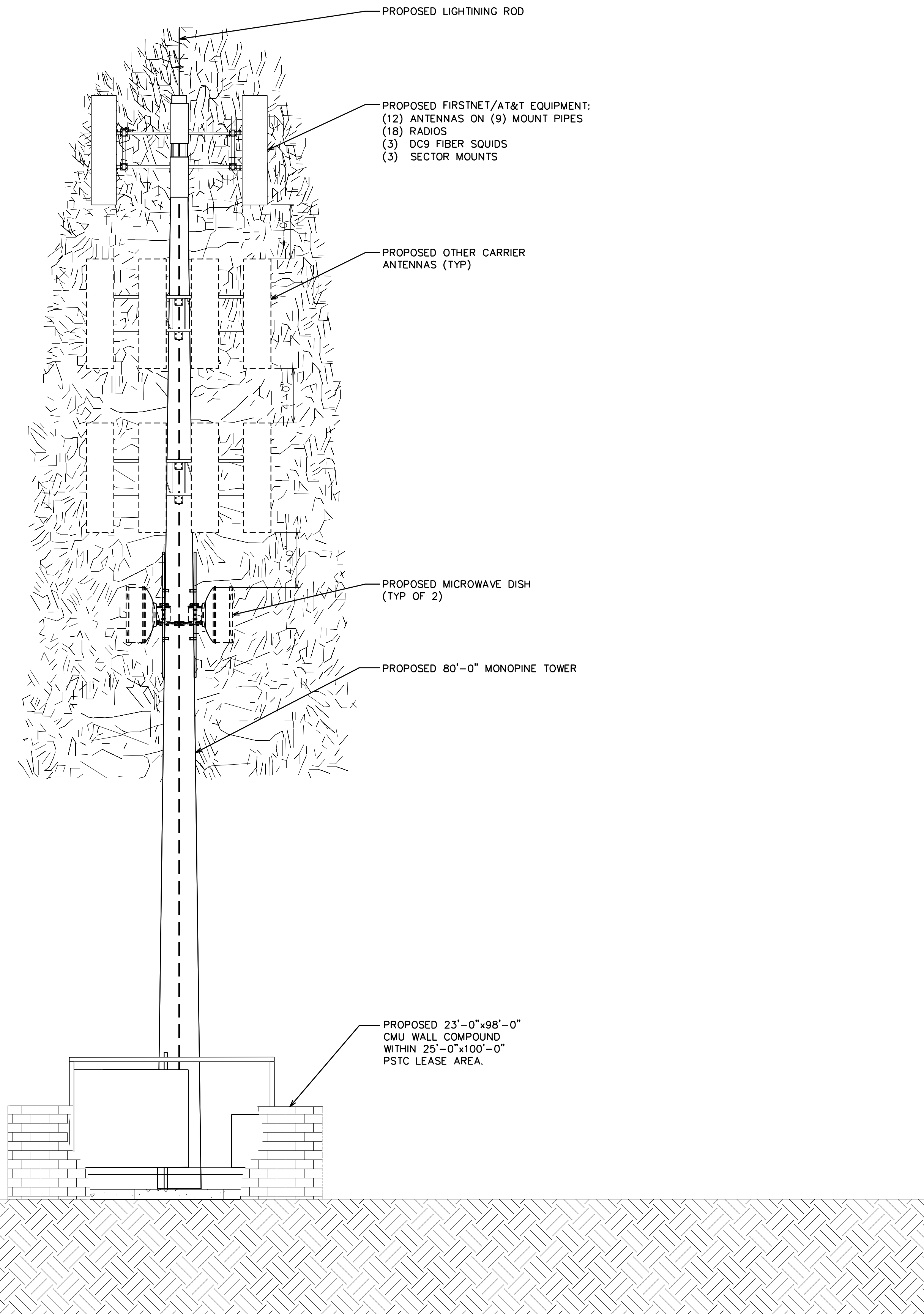
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Q/FUTURE CARRIER

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Q/FUTURE CARRIER

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Q/MICROWAVES

6'-0"
T/CMU WALL

0'-0" (REF)
T/CONCRETE



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MONOPINE TOWER**

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SHEET TITLE:
FINAL EAST ELEVATION

SHEET NUMBER:
C-2.3

REVISION:
K

TEP #: 314201.336187

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85'-0"±
T/APPERTENANCE

80'-0"±
T/TOWER

78'-0"±
C/FIRSTNET/AT&T ANTENNA

76'-0"±
C/FIRSTNET/AT&T ANTENNA

74'-0"±
C/FIRSTNET/AT&T ANTENNA

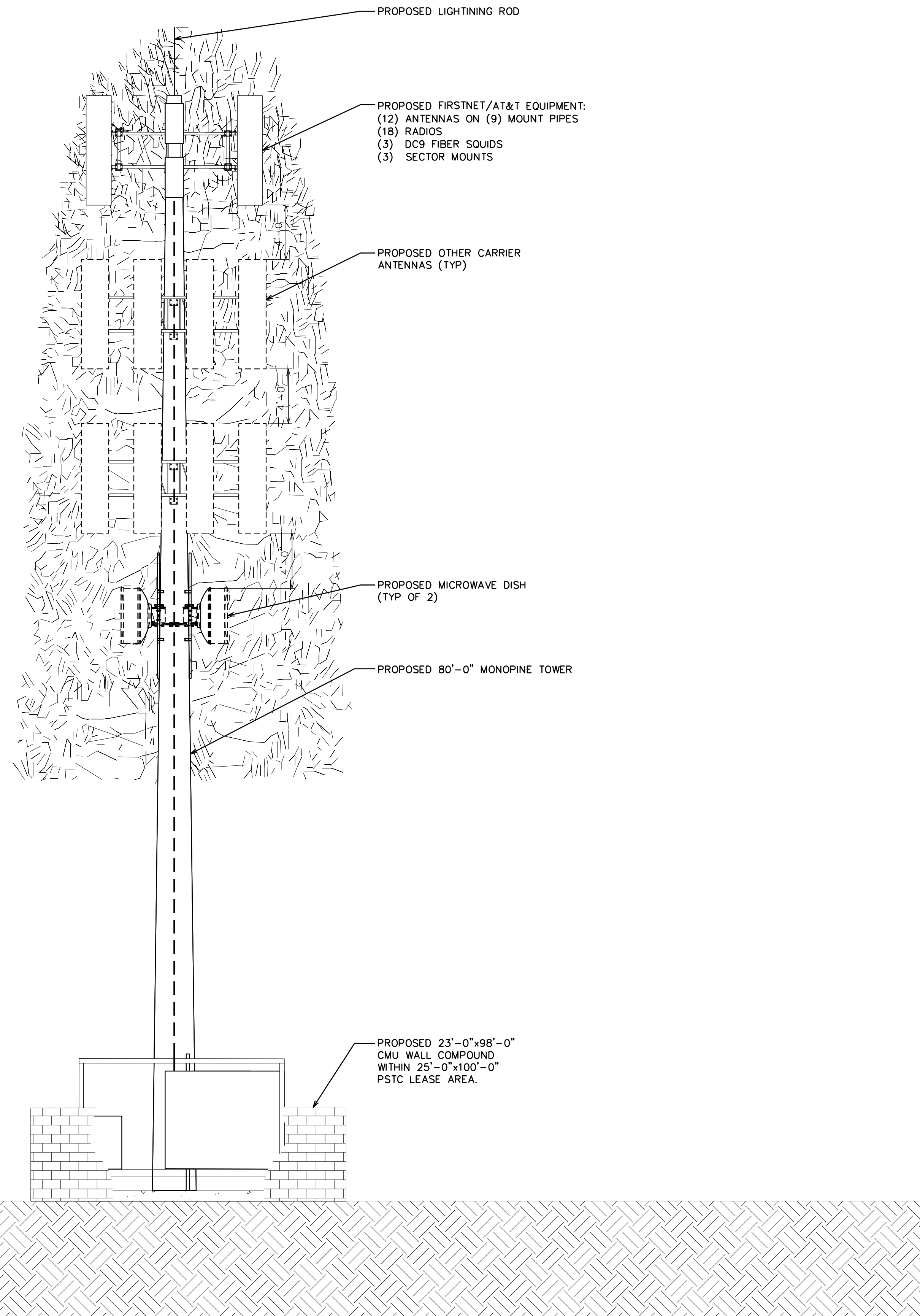
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PROPOSED 80'-0"
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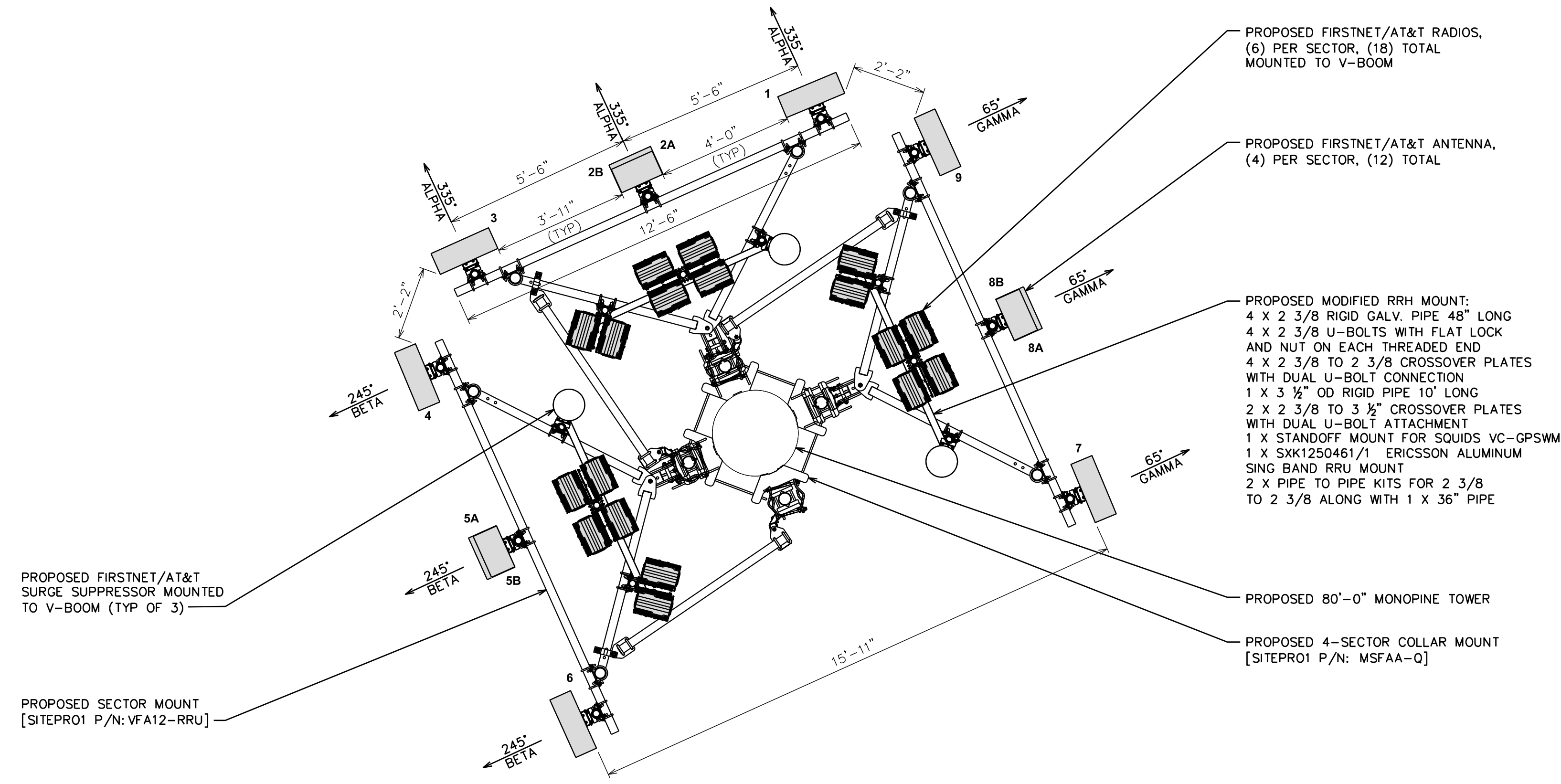
SHEET TITLE:
FINAL WEST ELEVATION

SHEET NUMBER: **C-2.4** REVISION: **K**

TEP #: 314201.336187

NOTE:

TEP DID NOT ANALYZE THE PROPOSED MOUNT SHOWN.



1 FINAL ANTENNA LAYOUT

SCALE: 3/8" = 1'-0" (24x36)
SCALE: 3/16" = 1'-0" (11x17)
0 2 4
SCALE IN FEET

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**PSTC #: CANC-SROSA01
GIFFEN AVENUE PROPERTY**

**2715 GIFFEN AVE
SANTA ROSA, CA 95407
(SONOMA COUNTY)**

**PROPOSED 80'-0"
MONOPINE TOWER**

FINAL ANTENNA/FEEDLINE SCHEDULE

| SECTOR | POS. | MANUFACTURER (MODEL #) | MOUNTING HEIGHT | AZIMUTH (TN) | CABLE SIZE | CABLE LENGTH | OVP/RRH/TMA/DIPLEXER [MODEL #] |
|--------|------|-------------------------|-----------------|--------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ALPHA | 1 | QUINTEL (QD8612-3D) | Ⓞ @ 76'-0"± | 335' | (9) DC POWER TRUNKS (3) FIBER TRUNKS | 126'± | (1) RADIO 4449 B5/B12 (1) RADIO 8843 B2/B66A (1) RADIO 2012 B29 (1) RADIO 4426 B66 (1) RADIO 4415 B30 (1) RADIO 4478 B14 (1) DC9-48-60-24-8C-EV |
| ALPHA | 2A | ERICSSON (AIR6449-B77D) | Ⓞ @ 74'-0"± | 335' | | | |
| ALPHA | 2B | ERICSSON (AIR6419-B77G) | Ⓞ @ 78'-0"± | 335' | | | |
| ALPHA | 3 | QUINTEL (QD8616-7) | Ⓞ @ 76'-0"± | 335' | | | (1) RADIO 4449 B5/B12 (1) RADIO 8843 B2/B66A (1) RADIO 2012 B29 (1) RADIO 4426 B66 (1) RADIO 4415 B30 (1) RADIO 4478 B14 (1) DC9-48-60-24-8C-EV |
| BETA | 4 | QUINTEL (QD8612-3D) | Ⓞ @ 76'-0"± | 245' | | | |
| BETA | 5A | ERICSSON (AIR6449-B77D) | Ⓞ @ 74'-0"± | 245' | | | |
| BETA | 5B | ERICSSON (AIR6419-B77G) | Ⓞ @ 78'-0"± | 245' | | | (1) RADIO 4449 B5/B12 (1) RADIO 8843 B2/B66A (1) RADIO 2012 B29 (1) RADIO 4426 B66 (1) RADIO 4415 B30 (1) RADIO 4478 B14 (1) DC9-48-60-24-8C-EV |
| BETA | 6 | QUINTEL (QD8616-7) | Ⓞ @ 76'-0"± | 245' | | | |
| GAMMA | 7 | QUINTEL (QD8612-3D) | Ⓞ @ 76'-0"± | 65' | | | |
| GAMMA | 8A | ERICSSON (AIR6449-B77D) | Ⓞ @ 74'-0"± | 65' | (1) RADIO 4449 B5/B12 (1) RADIO 8843 B2/B66A (1) RADIO 2012 B29 (1) RADIO 4426 B66 (1) RADIO 4415 B30 (1) RADIO 4478 B14 (1) DC9-48-60-24-8C-EV | | |
| GAMMA | 8B | ERICSSON (AIR6419-B77G) | Ⓞ @ 78'-0"± | 65' | | | |
| GAMMA | 9 | QUINTEL (QD8616-7) | Ⓞ @ 76'-0"± | 65' | | | |

*NOTE: EQUIPMENT IS PRELIMINARY AND SUBJECT TO CHANGE

2 FINAL ANTENNA SCHEDULE

SCALE: N.T.S.

ISSUED FOR:

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SHEET TITLE:
FINAL ANTENNA LAYOUT & SCHEDULE

SHEET NUMBER: **C-3** **REVISION:** **K**

TEP #: 314201.336187



2.2 System Configuration

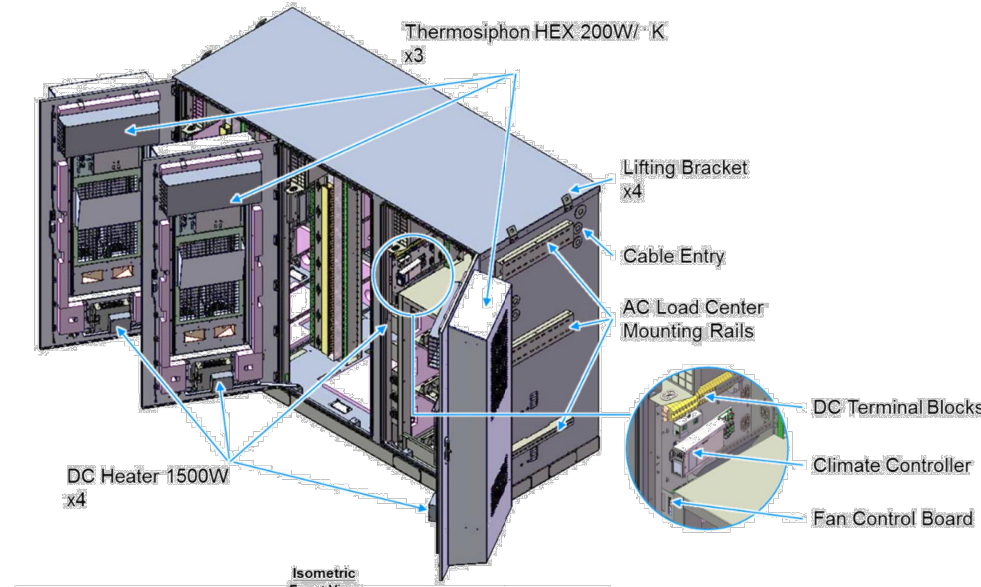
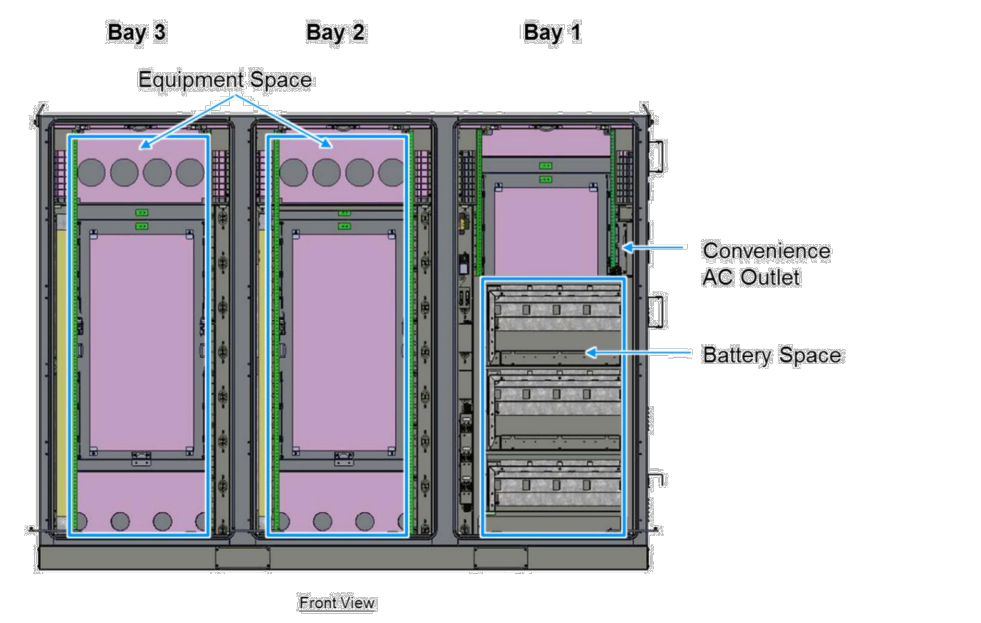


Figure 2-2 Multi-Bay Cabinet (Front View)



2.3 Cabinet Specifications

The cabinet is arranged for installation of a Delta or third-party AC Load Center and front access DC Power System. Table 2-1 below contains the input power specifications.

| Table 2-1 Cabinet Specifications | |
|----------------------------------|----------------------------------------------------------------------------------------------------------------------------|
| Item | Specification/Function |
| AC Input Range | |
| AC Input Voltage | 1W+N+FG 100-120V _{AC} |
| AC Input Current (maximum) | 12A (Max.) |
| AC Input Frequency | 50/60Hz |
| DC Input Range | |
| DC Input Voltage | 40 - 60V _{DC} (54V typical) |
| DC Input Current Rating | 224A (max) |
| Battery Section | |
| Battery Trays | (3) Trays arranged for -48V battery strings, designed for: GNB Marathon M12V180FT Energys SBS190F Energys SBS170F |
| Climate Control | |
| Control & Supervisor Unit | Delta controller |
| Cooling | (3) 200W/K Thermosiphon HEX Cooling Capacity 9.1kW Maintains equipment inlet <65°C with exterior ambient <46°C |
| Heating | (4) 1500W DC Heaters |
| Environmental | |
| Operating Temperature | -40°C to +46°C (-40°F to +115°F) |
| Storage Temperature | -40°C to +75°C (-40°F to +167°F) |
| Relative Humidity | 0-95% Relative Humidity, Non-Condensing |
| Altitude | -100 feet to +10,000 feet |
| Acoustic noise | ≤ 65dBA @ +40°C equipment inlet |
| Protection Class | IP55 (EN 60529) NEBS III (GR-437) |



2.4 Dimensions and Weight

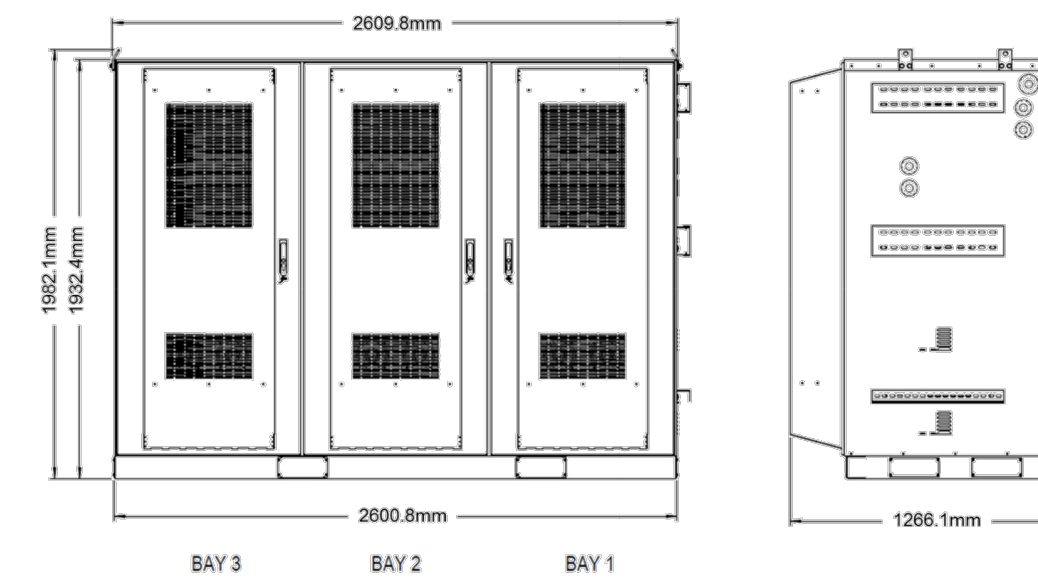


Figure 2-3 Cabinet Dimensions

| Item | Specification/Function |
|------------|-----------------------------------------------------------------------|
| Dimensions | 2600.8W x 1932.4H x 1266.1D mm (102"W x 72"H x 49.5"D + 4" plinth) |
| Weight | 2270* lbs. (* Batteries, Power System and Load Equipment excluded) |



3.6 Cabinet Installation

Use the following steps to install the cabinet.

Step 1 Use the provided Template to mark anchor hole locations.

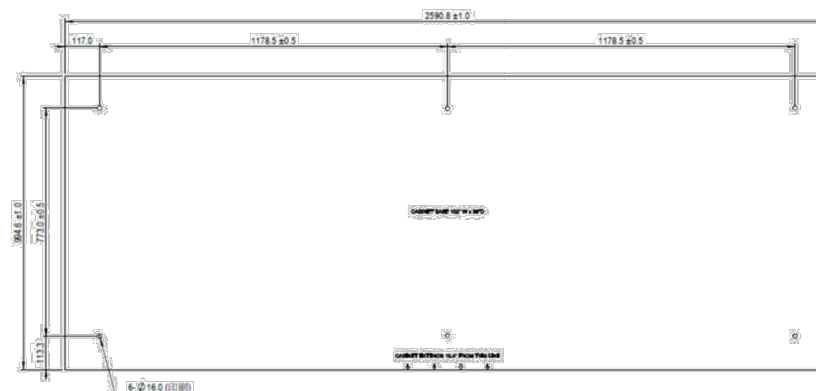


Figure 3-11 Mounting Template

Step 2 Drill anchor holes per specifications from the anchor manufacturer.

Step 3 Install anchors per instructions from the anchor manufacturer.

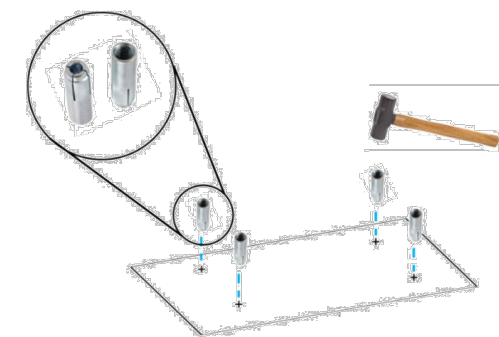


Figure 3-12 Insert anchors

Step 4 Place the pad separator (not provided) on the concrete pad aligned with the mounting holes. (A pad separator provides separation between the concrete pad and the base of the cabinet to prevent corrosion of the cabinet metal.)

Step 5 Mount the cabinet to the concrete pad with anchor bolts, lock washers and flat washers (not provided) per instructions from the anchor manufacturer.

Step 6 Close and secure hinged anchor access covers.



3.8 AC Load Center Installation

The cabinet provides mounting rails for AC Load Center mounting and corresponding cable entry ports for wiring from the AC Load Center into the cabinet. Follow Load Center requirements for installation.

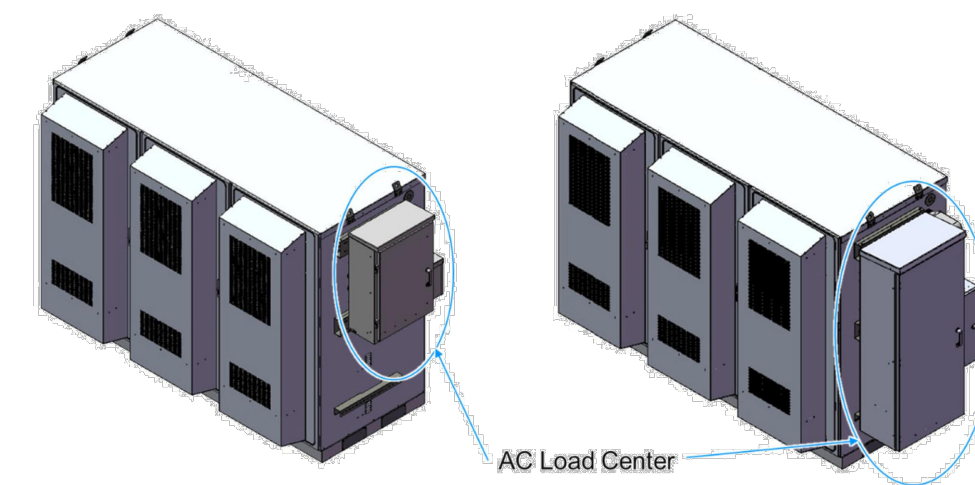


Figure 3-16 Cabinet with AC Load Center

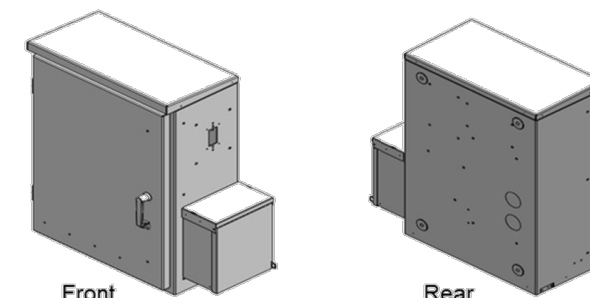


Figure 3-17 AC Load Center - MTS

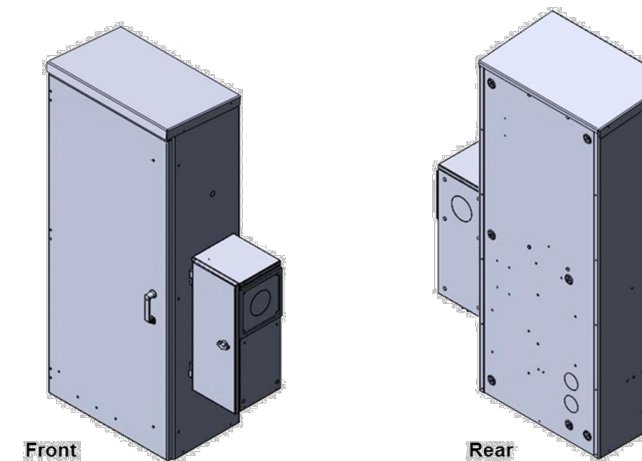


Figure 3-18 AC Load Center - ATS



Note! The cabinet provides mounting rails and AC cable entry ports arranged for mounting of Intersect PTLC-MTS-12200-CL or equivalent AC Load Center. An AC Load Center and related fittings are not provided with the cabinet and must be provided as integration or site materials.

Use the following steps to install the Load Center on the cabinet:

Step 1 Provide suitable sealed fittings from the AC Load Center for entry into the Cabinet. Install on the Load Center before installing the Load Center onto the Cabinet. Delta recommends using Size 2" x 4" long outdoor rated pipe nipples and sealing conduit nuts (not provided)

Step 2 Provide Intersect PTLC-MTS-12200-CL or equivalent AC Load Center. Secure the Load Center to mounting rails per Load Center vendor instructions.

Step 3 Secure and seal fittings from the AC Load Center into entry ports on the cabinet

Step 4 Confirm the Site Utility and Load Center Main AC input breakers are in the "off" position

Step 5 Connect Site Utility 2W+N+G to the Load Center per Load Center vendor instructions, NEC, and local codes.



Note! Detailed AC Load Center position planning should include future equipment additions and changes



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SHEET TITLE:

WALK-UP-CABINET
DETAILS

SHEET NUMBER:

C-4

REVISION:

K

TEP #:

314201.336187

1 3-BAY WALK-UP-CABINET (WUC) DETAIL

SCALE: N.T.S.



PowerSafe®
SBS Front Terminal
Telecommunications NEBS™ Certified

Battery Range Summary

The PowerSafe® SBS® Front Terminal battery further extends the technical leadership of PowerSafe SBS battery product line: not only do PowerSafe SBS Front Terminal monoblocs retain the benefits typically associated with Thin Plate Pure Lead (TPPL) Technology such as long life, high energy density, superior shelf life, etc., they also deliver exceptional cyclic performance in both float and fast charge applications, even in the hottest and harshest operating environments.

Where conventional Valve Regulated Lead Acid (VRLA)/Absorbed Glass Mat (AGM) batteries struggle to cope with harsh conditions and frequent power outages, cutting edge (TPPL) technology makes PowerSafe 12V batteries the perfect solution for the challenging operating conditions of today's telecommunication networks.

PowerSafe SBS batteries are designed to high quality standards and a unique manufacturing methods means superior energy and power, high performance and proven reliability, there is no substitute to PowerSafe SBS Front Terminal batteries.

Features and Benefits

- Capacity range 31-190Ah
- 12V monobloc configurations
- Multiple string configurations available
- Two year shelf life
- SR4228 compliant
- Proven long service life
- High energy density and cycling capability



Publication No: US-SBSF-RS-004 - January 2014

Construction

- Robust positive plates are designed to prolong service life and enhance corrosion resistance
- Separators are low resistance microporous (AGM). The electrolyte is absorbed within the AGM, preventing acid spills in case of accidental damage
- Container and cover in flame retardant UL94-V0 material, highly resistant to shock and vibration
- Terminals are stainless steel front access with top access copper alloy insert. Top and front access terminations provide maximum conductivity
- Self-regulating one way pressure relief valves prevents ingress of atmospheric oxygen

Installation and Operation

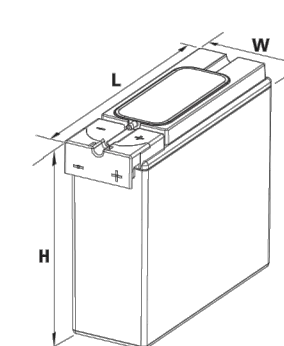
- Space efficient footprint
- VRLA design, reduces maintenance requirements
- Lifting handles for easy handling
- Greater than 10 year life expectancy in float service at 77°F (25°C)
- Increased active material surface area yields great cycling capability
- Operating temperature: -40°F (-40°C) to 122°F (50°C)
Recommended temperature: 68°F (20°C) to 86°F (30°C)

Standards

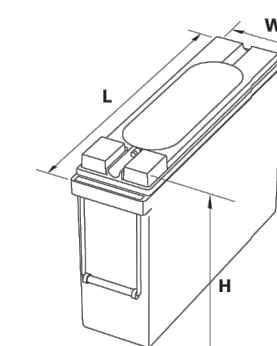
- Meets criteria for "non-spillable" batteries
- Complies with Telcordia® SR-4228, Network Equipment Building System (NEBS™) Criteria Levels
- The management systems governing the manufacture of this product are ISO 9001:2008 and ISO 14001:2004 certified

General Specifications

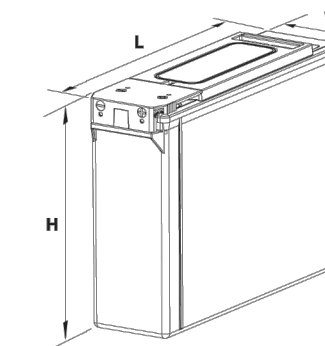
| Cell Type | Nominal Capacity (Ah) | | Nominal Dimensions | | | | Weight - Volumes | | | |
|-----------|-----------------------------|----------------------------|--------------------|-----|----------|-----|------------------|-----|--------------|------|
| | 10 hr rate to 1.80Vpc @20°C | 8 hr rate to 1.75Vpc @77°F | in Length | mm | in Width | mm | in Height | mm | lbs Unpacked | kg |
| SBS B8F | 31 | 31 | 11.9 | 303 | 3.8 | 97 | 6.3 | 159 | 22.7 | 10.3 |
| SBS B10F | 38 | 38 | 11.9 | 303 | 3.8 | 97 | 7.2 | 184 | 28.2 | 12.8 |
| SBS B14F | 62 | 62 | 11.9 | 303 | 3.8 | 97 | 10.4 | 264 | 42.0 | 19.1 |
| SBS C11F | 92 | 91 | 16.4 | 417 | 4.1 | 105 | 10.1 | 256 | 61.6 | 28.0 |
| SBS 100F | 100 | 100 | 15.6 | 395 | 4.3 | 108 | 11.3 | 287 | 71.9 | 32.6 |
| SBS 112F | 112 | 112 | 22.1 | 561 | 4.9 | 125 | 9.0 | 228 | 90.4 | 41.1 |
| SBS 145F | 145 | 145 | 17.9 | 455 | 6.8 | 173 | 9.4 | 238 | 105.0 | 47.7 |
| SBS 165F | 165 | 165 | 17.9 | 455 | 6.8 | 173 | 10.8 | 273 | 117.4 | 53.3 |
| SBS 170F | 170 | 170 | 22.1 | 561 | 4.9 | 125 | 11.1 | 283 | 115.7 | 52.5 |
| SBS 190F | 190 | 190 | 22.1 | 561 | 4.9 | 125 | 12.4 | 316 | 132.3 | 60.0 |



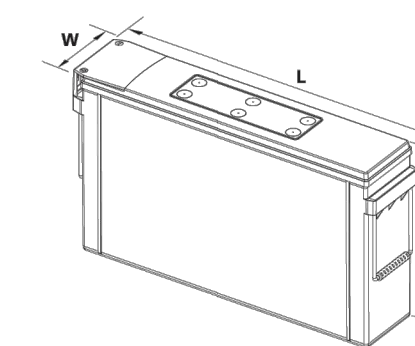
SBS B8F-B14F



SBS C11F



SBS 100F-112F



SBS 145F - 190F

| | |
|------------------------------------|----------------------|
| MANUFACTURER: | ALPINE POWER SYSTEMS |
| MODEL: | POWERSAFE SBS 190F |
| BATTERY QTY: | 8 UNITS |
| TOTAL BATTERY KWH: | 18.24 |
| TOTAL BATTERY WEIGHT (KG/LBS): | 480 / 1058.4 |
| TOTAL ELECTROLYTE VOLUME (GAL): | 18.72 |
| TOTAL ELECTROLYTE WEIGHT (KG/LBS): | 129.5 / 285.4 |

PUBLIC SAFETY TOWERS
COMPANY
1903 WRIGHT PLACE, SUITE 140
CARLSBAD, CA 92008

AT&T
5005 EXECUTIVE PARKWAY
SAN RAMON, CA 94583

TOWER ENGINEERING PROFESSIONALS
4710 E ELWOOD ST, STE 9
PHOENIX, AZ 85040
OFFICE: (480) 285-0036
www.tepgroup.net

AT&T/FIRSTNET ID: CCL02094
NORTHPOINT
PSTC #: CANC-SROSA01
GIFFEN AVENUE PROPERTY
2715 GIFFEN AVE
SANTA ROSA, CA 95407
(SONOMA COUNTY)
PROPOSED 80'-0"
MONOPINE TOWER

ISSUED FOR:

| REV | DATE | DRWN | DESCRIPTION | QA |
|-----|----------|------|-------------|-----|
| G | 02-01-23 | SSO | ZONING | HMM |
| H | 03-28-23 | SSO | ZONING | HMM |
| I | 04-21-23 | RCH | ZONING | HMM |
| J | 09-29-23 | CAM | ZONING | HMM |
| K | 01-04-24 | SKK | ZONING | HMM |

SEAL:

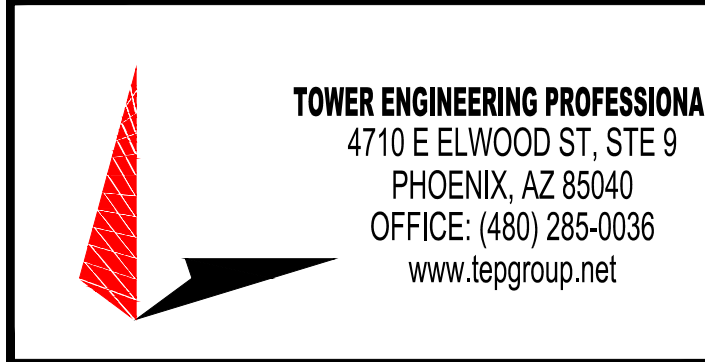
ZONING
DO NOT USE FOR
CONSTRUCTION

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT

SHEET TITLE:
BATTERY DETAILS

SHEET NUMBER: **C-6** **REVISION:** **K**

TEP #: 314201.336187



AT&T/FIRSTNET ID: CCL02094
NORTHPOINT

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GIFFEN AVENUE PROPERTY

2715 GIFFEN AVE
SANTA ROSA, CA 95407
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PROPOSED 80'-0"
MONOPINE TOWER

| ISSUED FOR: | | | | |
|-------------|----------|------|-------------|-----|
| REV | DATE | DRWN | DESCRIPTION | QA |
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| J | 09-29-23 | CAM | ZONING | HMM |
| K | 01-04-24 | BKK | ZONING | HMM |

SEAL:

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SHEET TITLE:
AC PANEL SCHEDULE

SHEET NUMBER: **E-1** REVISION: **K**

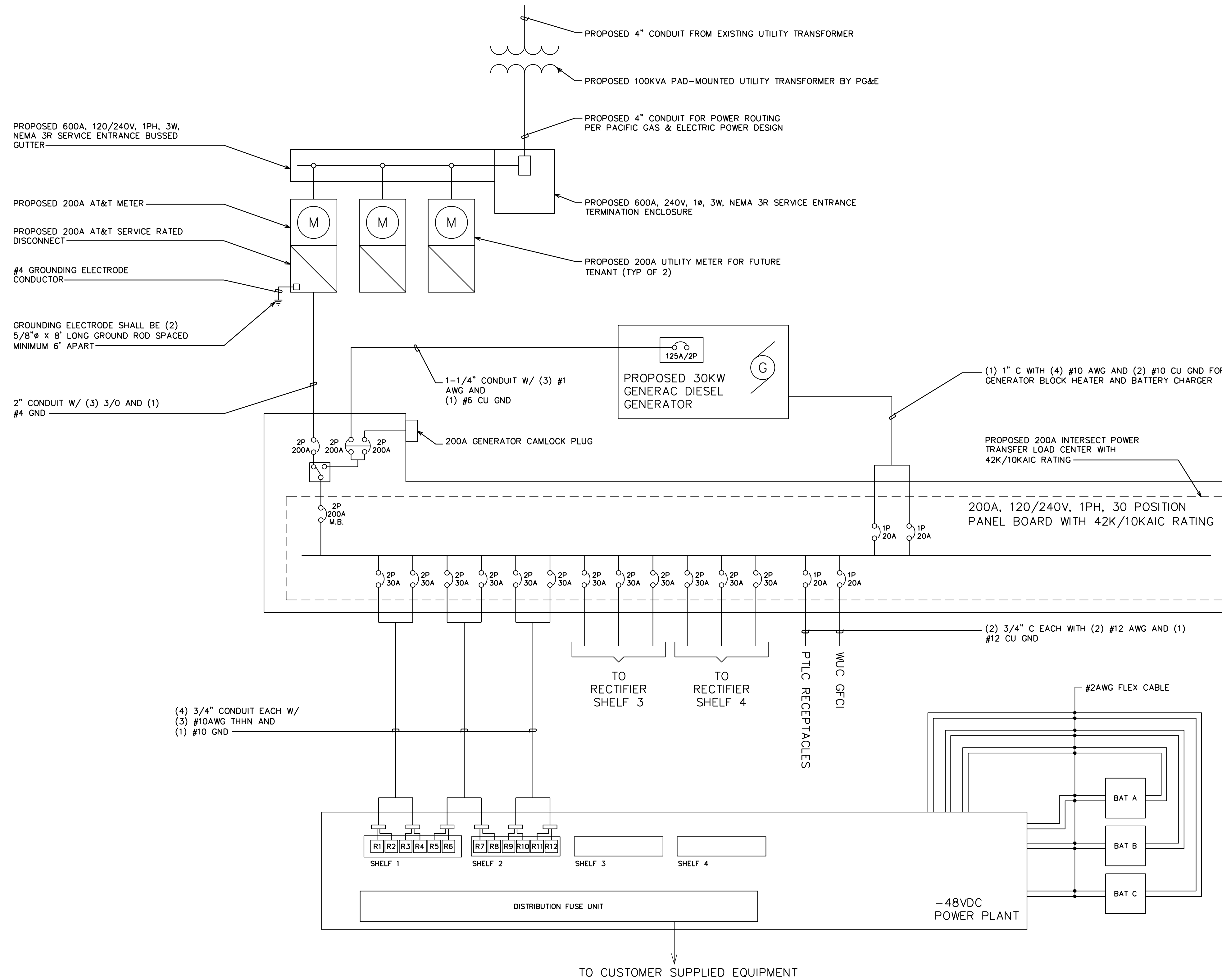
TEP #: 314201.336187

| AC POWER PANEL A (PROPOSED) | | | | | | | | | | | | |
|------------------------------------------------|------|------|------|------|-------|----------------------|-------------------------------------------------|------|------|------|---------------------|------------------------------------------------------------------|
| 120/240 VOLTS, 1-PHASE, 3-WIRE, 200A | | | | | | | | | | | | |
| MAIN BREAKER RATING (A) : | | | | 200 | | SYSTEM VOLTAGE (V) : | | | | 240 | | |
| DESCRIPTION | VA | c/nc | BKR | POSN | L1 | L2 | POSN | BKR | c/nc | VA | DESCRIPTION | |
| RECTIFIERS #1 & 2 | 1410 | c | 30/2 | 1 | 2820 | | 2 | 30/2 | c | 1410 | RECTIFIERS #3 & 4 | |
| | 1410 | c | | 3 | | 2820 | 4 | | c | 1410 | | |
| RECTIFIERS #5 & 6 | 1410 | c | 30/2 | 5 | 2820 | | 6 | 30/2 | c | 1410 | RECTIFIERS #7 & 8 | |
| | 1410 | c | | 7 | | 2820 | 8 | | c | 1410 | | |
| RECTIFIERS #9 & 10 | 1410 | c | 30/2 | 9 | 2820 | | 10 | 30/2 | c | 1410 | RECTIFIERS #11 & 12 | |
| | 1410 | c | | 11 | | 2820 | 12 | | c | 1410 | | |
| SPARE / OFF | 0 | nc | 30/2 | 13 | 0 | | 14 | 30/2 | nc | 0 | SPARE / OFF | |
| | 0 | nc | | 15 | | 0 | 16 | | nc | 0 | | |
| SPARE / OFF | 0 | nc | 30/2 | 17 | 0 | | 18 | 30/2 | nc | 0 | SPARE / OFF | |
| | 0 | nc | | 19 | | 0 | 20 | | nc | 0 | | |
| SPARE / OFF | 0 | nc | 30/2 | 21 | 0 | | 22 | 30/2 | nc | 0 | SPARE / OFF | |
| | 0 | nc | | 23 | | 0 | 24 | | nc | 0 | | |
| BLANK | | | | 25 | 1000 | | 26 | 20/1 | nc | 1000 | *GEN BLOCK HEATER | |
| BLANK | | | | 27 | | 650 | 28 | 20/1 | nc | 650 | *GEN BATT CHARGER | |
| PTLC RECEPTACLES | 720 | nc | 20/1 | 29 | 900 | | 30 | 20/1 | nc | 180 | WUC GFCI | |
| PHASE TOTALS (VA): | | | | | 10360 | 9110 | | | | | | |
| PHASE TOTALS (A): | | | | | 86 | 76 | | | | | | |
| CURRENT PER PHASE W/ 125% Continuous Loads(A): | | | | | 104 | 94 | Amperes/phase cannot exceed main breaker rating | | | | | |
| PANEL TOTAL (VA): | | | | | 19470 | | | | | | | Legend: c = continuous, nc = non-continuous |
| PANEL TOTAL W/ 125% Continuous Loads (VA): | | | | | 23700 | | | | | | | |
| TOTAL LOAD FOR GEN OPERATION: | | | | | 17820 | | | | | | | *Generator loads are not in operation while generator is running |

PROPOSED LOADING = 23.7 KVA

NOTES:

1. CONTRACTOR SHALL VERIFY AVAILABLE FAULT CURRENT WITH POWER COMPANY AND ENSURE ALL ELECTRICAL EQUIPMENT IS SUITABLE FOR AVAILABLE FAULT CURRENT.
2. CONTRACTOR SHALL COORDINATE UTILITY SERVICES WITH LOCAL UTILITY COMPANIES. VERIFY ALL REQUIREMENTS WITH UTILITY COMPANY STANDARDS.
3. ONE-LINE DIAGRAM IS FOR SCHEMATIC PURPOSES ONLY AND IS NOT INDICATIVE OF THE ACTUAL EQUIPMENT LAYOUT.
4. CONTRACTOR SHALL LABEL METER SOCKET WITH SERVICE OWNER NAMEPLATE WITH 1/2" HEIGHT MINIMUM LETTERS.
5. CONTRACTOR TO DETERMINE AVAILABLE FAULT CURRENT BEFORE ENERGIZING EQUIPMENT. THE AMOUNT OF AVAILABLE FAULT CURRENT SHALL BE MARKED ON THE SERVICE EQUIPMENT PER NEC 110.24.
6. CONTRACTOR WILL NOTIFY UTILITY COMPANY OF CHANGES IN ELECTRICAL LOAD.



AT&T/FIRSTNET ID: CCL02094 NORTHPOINT
PSTC #: CANC-SROSA01
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SHEET TITLE:
ONE-LINE DIAGRAM

SHEET NUMBER: **E-2** **REVISION:** **K**

TEP #: 314201.336187