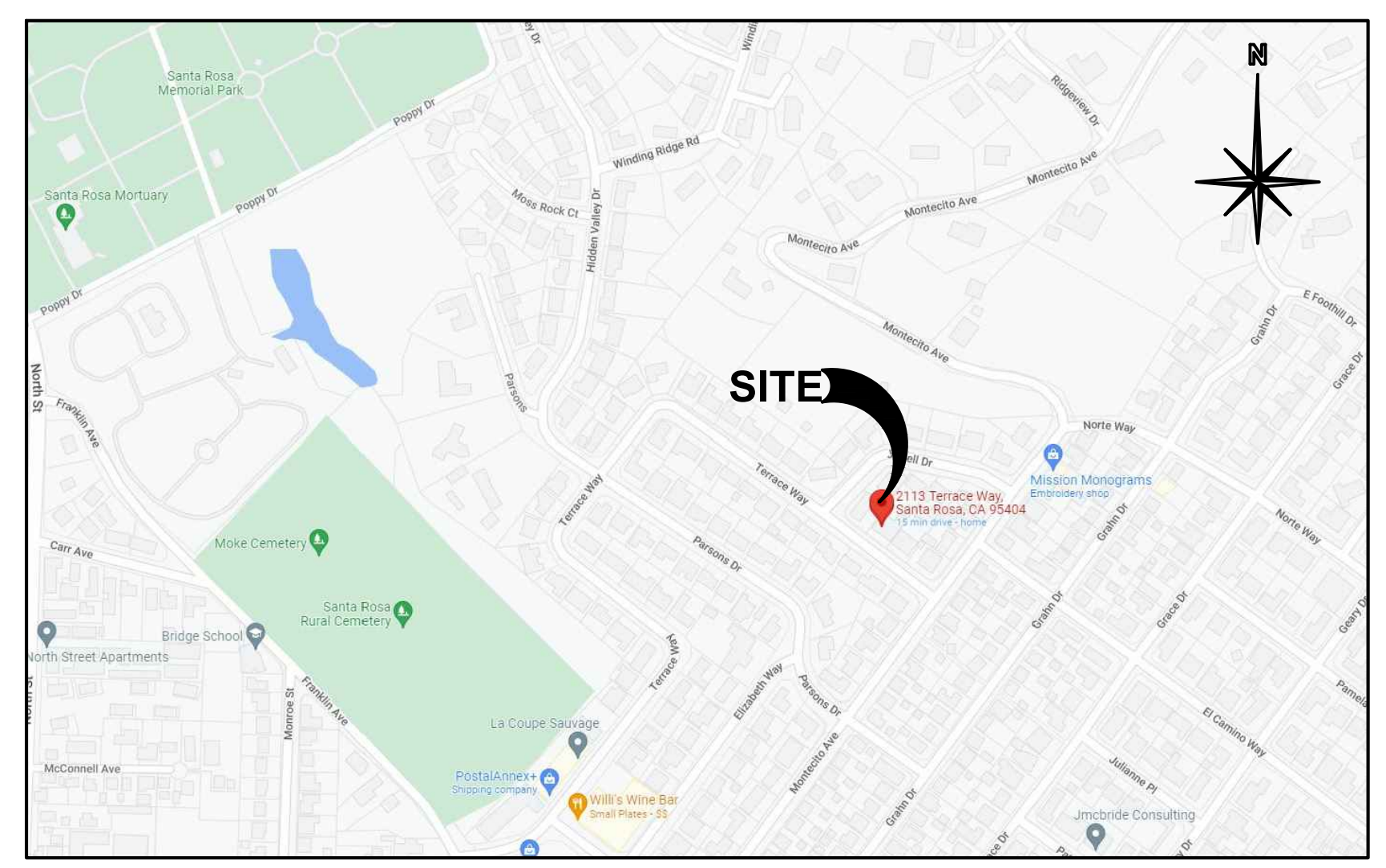


- GENERAL NOTES:**
- THIS PROJECT SHALL COMPLY WITH TITLE 24 (IF APPLICABLE) AND 2019 CALIFORNIA RESIDENTIAL CODE (CRC), 2019 CALIFORNIA BUILDING CODE (CBC) AS APPLIES, 2019 CALIFORNIA MECHANICAL CODE (CMC), 2019 CALIFORNIA PLUMBING CODE (CPC), 2019 CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE (CEC), 2019 CALIFORNIA GREEN BUILDING CODE AND THE 2019 CALIFORNIA FIRE CODE. [§ 102611 CRC, AND OTHER MUNICIPAL CODES AS APPLIES.
 - THE CONTRACTOR AND SUBCONTRACTORS SHALL COMPLY WITH ALL LAWS AND REGULATIONS BEARING ON THE WORK AND SHALL NOTIFY THE DESIGNER IF THE DRAWINGS AND/OR NOTES ARE AT VARIANCE THEREWITH.
 - THE DRAWINGS SHALL NOT BE SCALED. ALL WORK SHALL BE GOVERNED BY THE DIMENSIONS SHOWN ON THE DRAWINGS. WHERE DIMENSIONAL VARIANCES OCCUR IN RELATION TO EXISTING CONDITIONS, EXISTING CONDITIONS TAKE PRECEDENCE.
 - IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REVIEW AND THOROUGHLY FAMILIARIZE HIMSELF WITH THE CONTRACT DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO STARTING CONSTRUCTION.
 - THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS, SPECIFICATIONS AND MANUFACTURER INSTALLATION PROCEDURES AND PROCESSES PRIOR TO STARTING ANY WORK.
 - THESE PLANS ARE NOT INTENDED TO SHOW THE METHOD, MEANS, SYSTEMS, OR SAFETY REQUIREMENTS FOR THE EXECUTION OF THE WORK WHICH ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 - ALL DIMENSIONS ARE TO FACE OF STUD F.O.S. (UNO).
 - ALL FRAMING TO COMPLY WITH CURRENT C.B.C.
 - NAILS SHALL BE COMMON WIRE EXCEPT THAT NAILS USED IN EXTERIOR APPLICATIONS SHALL BE HD. GALV. UNO, AND AS OTHERWISE ALLOWED BY 2019 C.B.C.
 - JOIST HANGERS, METAL CONNECTORS AND OTHER MISCELLANEOUS TIMBER CONNECTORS SHALL BE PER SIMPSON CO, DUBLIN, CALIF. OR APPROVED EQUIVALENT.
 - ACOUSTIC INSULATION (OVENS CORNING OR EQUAL), SEE TITLE 24 DOCUMENTS FOR INSULATION VALUES AND LOCATION.
 - GYPSUM WALLBOARD, THROUGHOUT (UNO) A 1/2" THICK, ASTM C-36 UNO.
 - ALL GLAZING ADJACENT TO A DOOR AND WHOSE NEAREST VERTICAL EDGE IS WITHIN 24" OF THE DOOR SHALL BE TEMPERED. ALL GLAZING WITHIN 18" OF A WALKING SURFACE SHALL BE TEMPERED.
 - GENERAL LIGHTING: SEE ELECTRICAL NOTES.
 - THE CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY VERTICAL AND LATERAL BRACING @ ALL TIMES DURING CONSTRUCTION & UNTIL THE STRUCTURE IS COMPLETELY TIED TOGETHER.
 - ALL FIXTURES, FINISHES AND COLORS NOT CALLED OUT ON PLAN SHALL BE SPECIFIED BY OWNER ANY REVISIONS SHALL BE APPROVED BY OWNER OR DESIGNER PRIOR TO INSTALLATION.
 - ANY NEW ELEMENTS NOTED TO MATCH EXISTING CONDITIONS SHALL MATCH ALL SUCH REFERENCED CONDITIONS.
 - THE OWNER SHALL BE NOTIFIED OF ALL SUBCONTRACTED WORK AND THOSE TO PERFORM IT AS WELL AS THE SCHEDULING OF SAID WORK.
 - PROVISIONS SHALL BE MADE FOR THE CLOSING IN AND SECURITY OF THE EXISTING RESIDENCE AT ALL TIMES DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE TO THE OWNER FOR ALL WORK AND MATERIALS FOR ONE (1) FULL YEAR.
 - CITY OR COUNTY BUILDING OFFICIALS ARE AUTHORIZED TO MAKE ANY MINOR REDLINE REVISIONS NECESSARY TO OBTAIN A BUILDING PERMIT PROVIDED IT DOESNT CHANGE STRUCTURAL ENGINEERED DETAILS.
 - ANY PROPOSED WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE AN ENCROACHMENT PERMIT. IMPROVEMENTS WILL BE REQUIRED ON A CASE-BY-CASE BASIS.
 - FIRE SPRINKLERS, SWIMMING POOLS, LANDSCAPING, IRRIGATION, TRUSSES AND TRUSS CALCULATIONS ARE TO BE UNDER SEPARATE PERMIT OR DEFERRED SUBMITTAL AS APPLIES. [R313.1, R313.2, CRC.]

SCOPE OF WORK:
LEGALIZE A 146.79 SQ' BEDROOM ADDITION



LOCATION MAP
N.T.S.

JOB CONTACTS

OWNER
BRIAN KRAUT
2113 TERRACE WAY
SANTA ROSA, CA 95404
707-360-7186
ESTEAMCAREPETCARE@GMAIL.COM

DESIGNER
RICK BOLDUC
1522 YARDLEY STREET
SANTA ROSA, CA 95403
707-568-5840

CONTRACTOR
OWNER BUILDER

PH. 707.568.5840 RickBolduc@yahoo.com
1522 Yardley St., Santa Rosa, CA 95403
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STRUCTURAL ENGINEERING

MKM AN ASSOCIATES
5280 COMMERCE BLVD, SUITE 105
ROHNERT PARK, CA. 94428
707-518-8185

SITE INFORMATION

LOT SIZE 0.18 ACRES (8120 SQ')
APN 181-540-036
ZONING R-1-6
LAND USE SINGLE FAMILY DWELLING
LATITUDE 38.456406
LONGITUDE -122.699609

STRUCTURE INFORMATION

1331.14 SQ'	(E) LIVING SPACE
234.26 SQ'	GARAGE
105.84 SQ'	FRONT PORCH
1671.24 SQ'	HOUSE, PORCH AND GARAGE
146.79 SQ'	PROPOSED BEDROOM ADDITION
1471.93 SQ'	NEW TOTAL LIVING SPACE
0.11%	PERCENTAGE OF (E) LIVING SPACE TO BE ADDED

DRAWING INDEX:

ARCHITECTURAL

A1.0	SITE PLAN & COVER SHEET
A1.1	FLOOR PLAN
A2.1	EXTERIOR ELEVATIONS
A3.1	ROOF OUTLINE AND VENT CALCS
EI	ELECTRICAL

STRUCTURAL SHEETS

SN1	GENERAL NOTES
SI	FOUNDATION AND ROOF FRAMING
SD1	STRUCTURAL DETAILS

OTHER

T24.1	TITLE 24
CG-1	CAL GREEN

APN 181-540-036

PROJ:	22-420
DATE:	4-20-2022
DRAWN BY:	RJB
SCALE:	AS NOTED

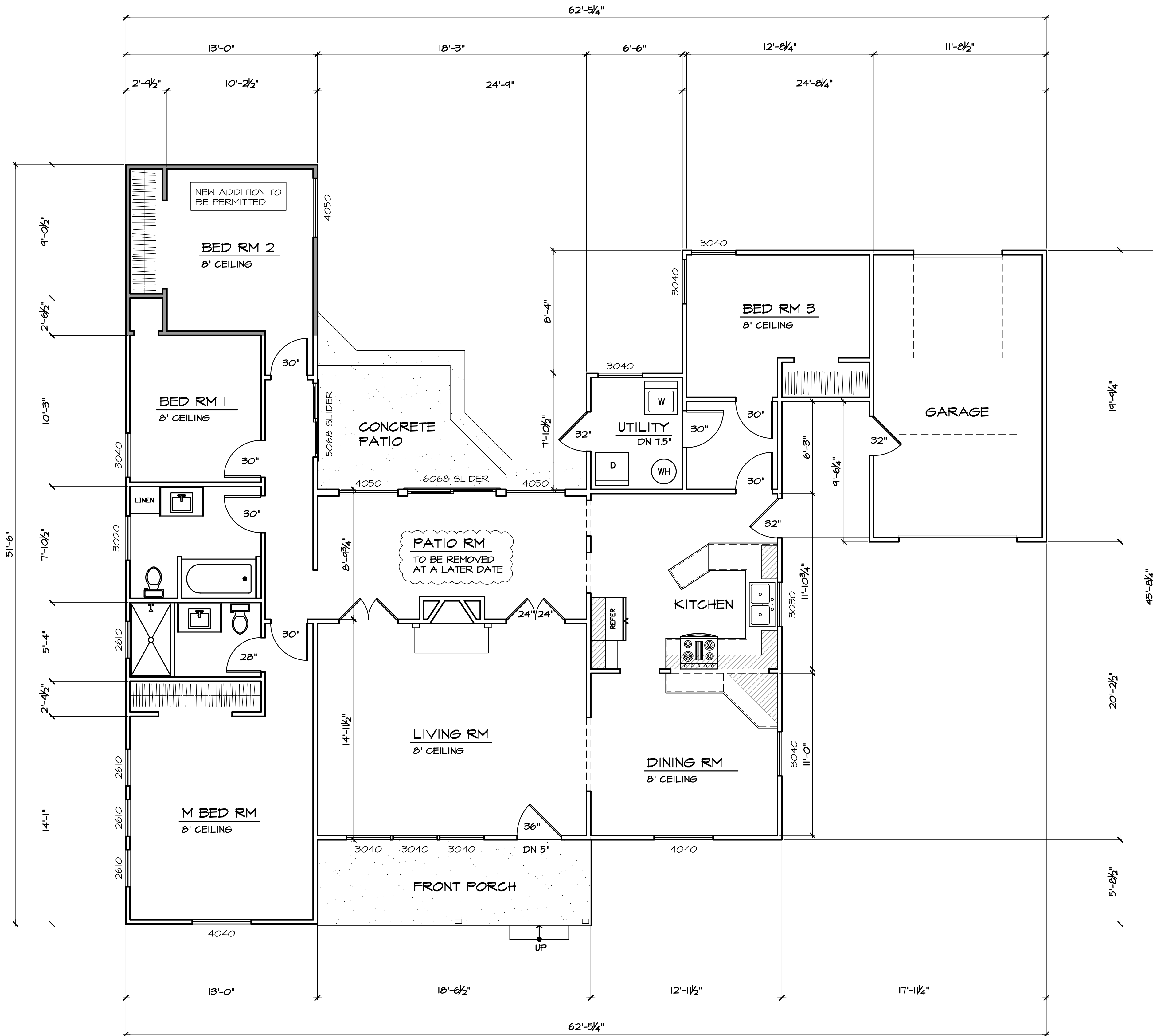
REVISIONS

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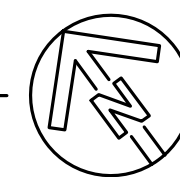
SITE PLAN
A1.0

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AS BUILT FLOOR PLAN
SCALE: 1/4" = 1'-0"



STRUCTURE INFORMATION

1331.14 SQ'	(E) LIVING SPACE
234.26 SQ'	GARAGE
105.04 SQ'	FRONT PORCH
1671.24 SQ'	HOUSE, PORCH AND GARAGE
146.74 SQ'	PROPOSED BEDROOM ADDITION
1477.93 SQ'	NEW TOTAL LIVING SPACE
0.11%	PERCENTAGE OF (E) LIVING SPACE TO BE ADDED



RICK BOLDUC
DESIGNER DRAFTSMAN

Signed: *Rick Bolduc*

Date: 4-20-2022

PH. 707.568.5840 RickBolduc@yahoo.com
1522 Yardley St., Santa Rosa, CA 95403

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KRAUT RESIDENCE

RESIDENTIAL REMODEL
2113 TERRACE WAY
SANTA ROSA, CA 95404
707-360-7186

APN 181-540-036

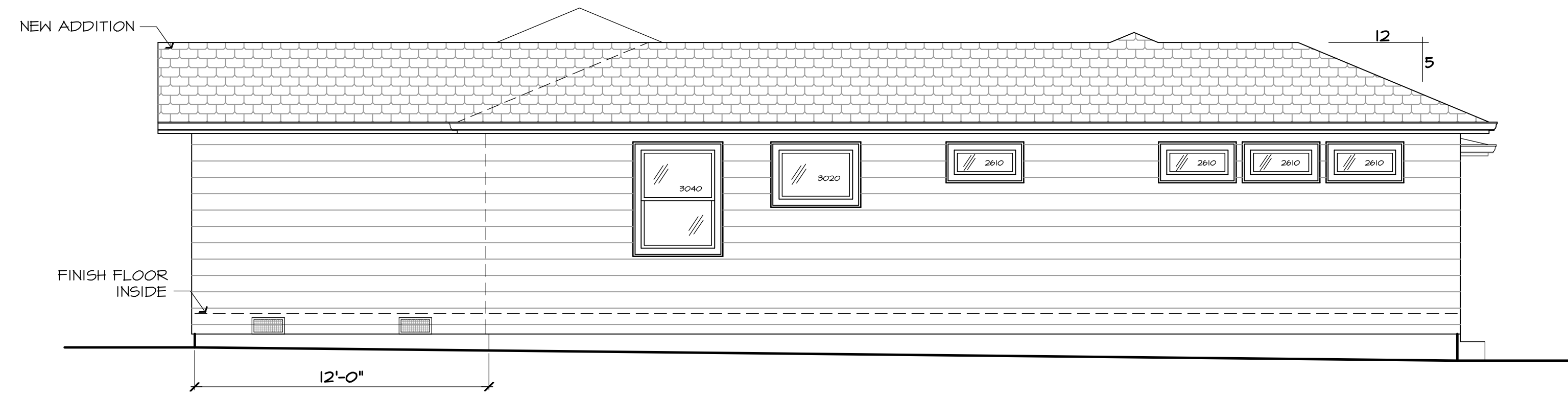
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REVISIONS

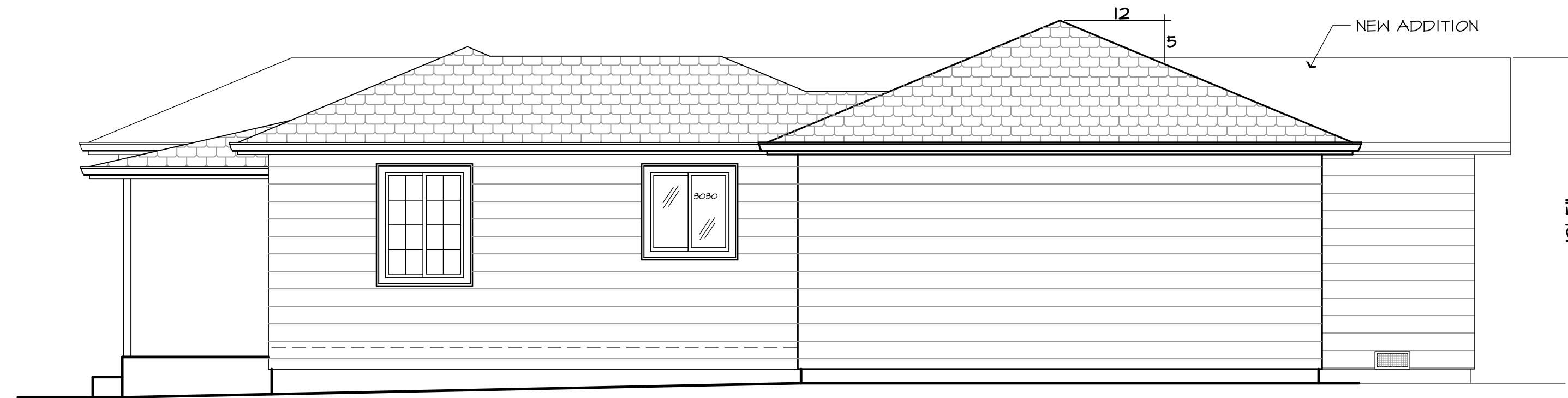
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AS BUILT FLOOR
PLAN
A1.1

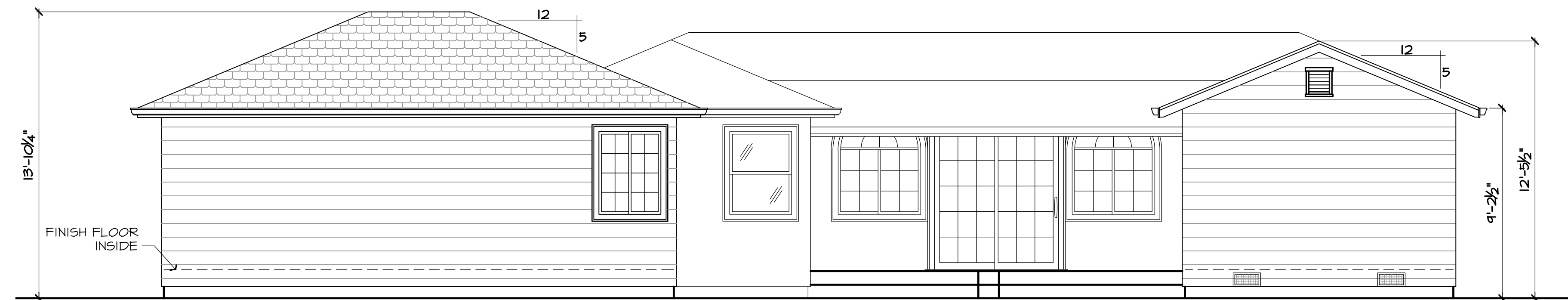
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NORTH WEST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH EAST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH EAST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH WEST (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"



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DESIGNER DRAFTSMAN

Signed: *Rick Bolduc*

Date: 4-20-2022

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SANTA ROSA, CA 95404
707-360-7186

APN 181-540-036

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**AS BUILT
ELEVATIONS
A2.1**



RICK BOLDUC
DESIGNER DRAFTSMAN

Signed: *Rick Bolduc*

Date: 4-20-2022

PH. 707.568.5840 RickBolduc@yahoo.com
1522 Yardley St., Santa Rosa, CA 95403

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R806.2 MINIMUM VENT AREA

NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

ROOF VENT CALCS FOR ADDITION

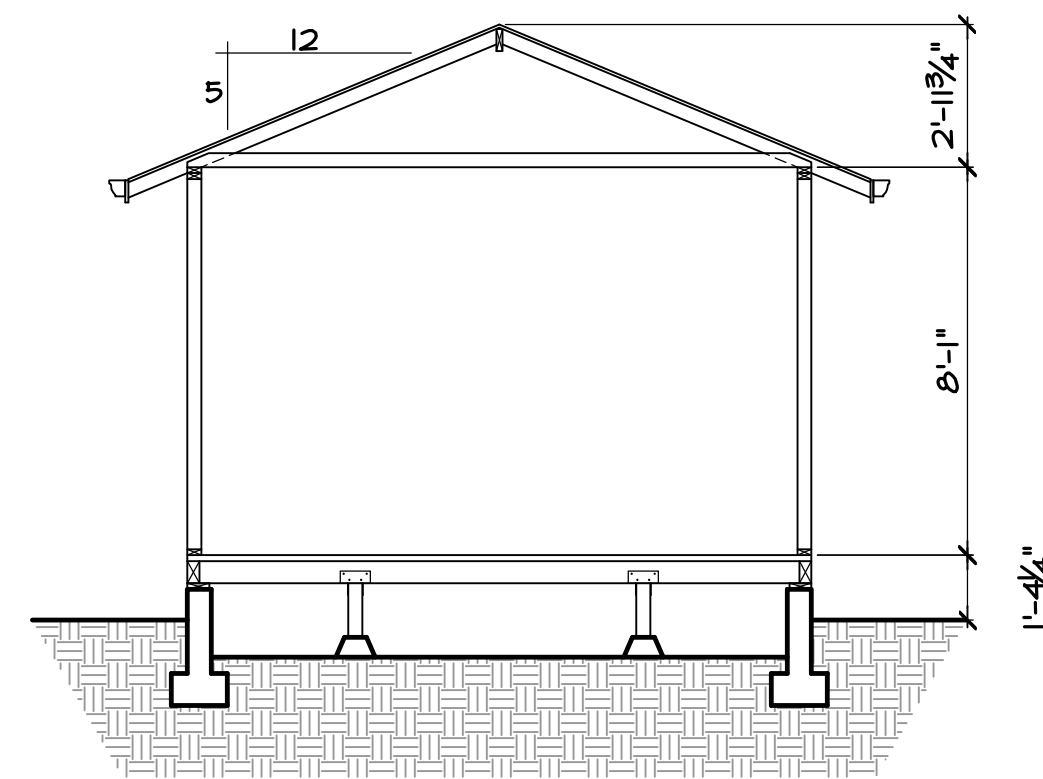
THERE SHALL BE 1 SQFT OF VENTILATION PER 150 SQFT OF ATTIC SPACE UNLESS THERE IS BOTH LOW AND HIGH VENTILATION PROVIDED, IN WHICH CASE IT SHALL BE 1 SQFT PER 300 SQFT OF ATTIC SPACE.

ATTIC VENTS ARE REQUIRED TO BE PROTECTED WITH CORROSION RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL. THE OPENINGS SHALL BE A MINIMUM 1/16" AND SHALL NOT EXCEED 1/8". (§ R806.1 GRC)

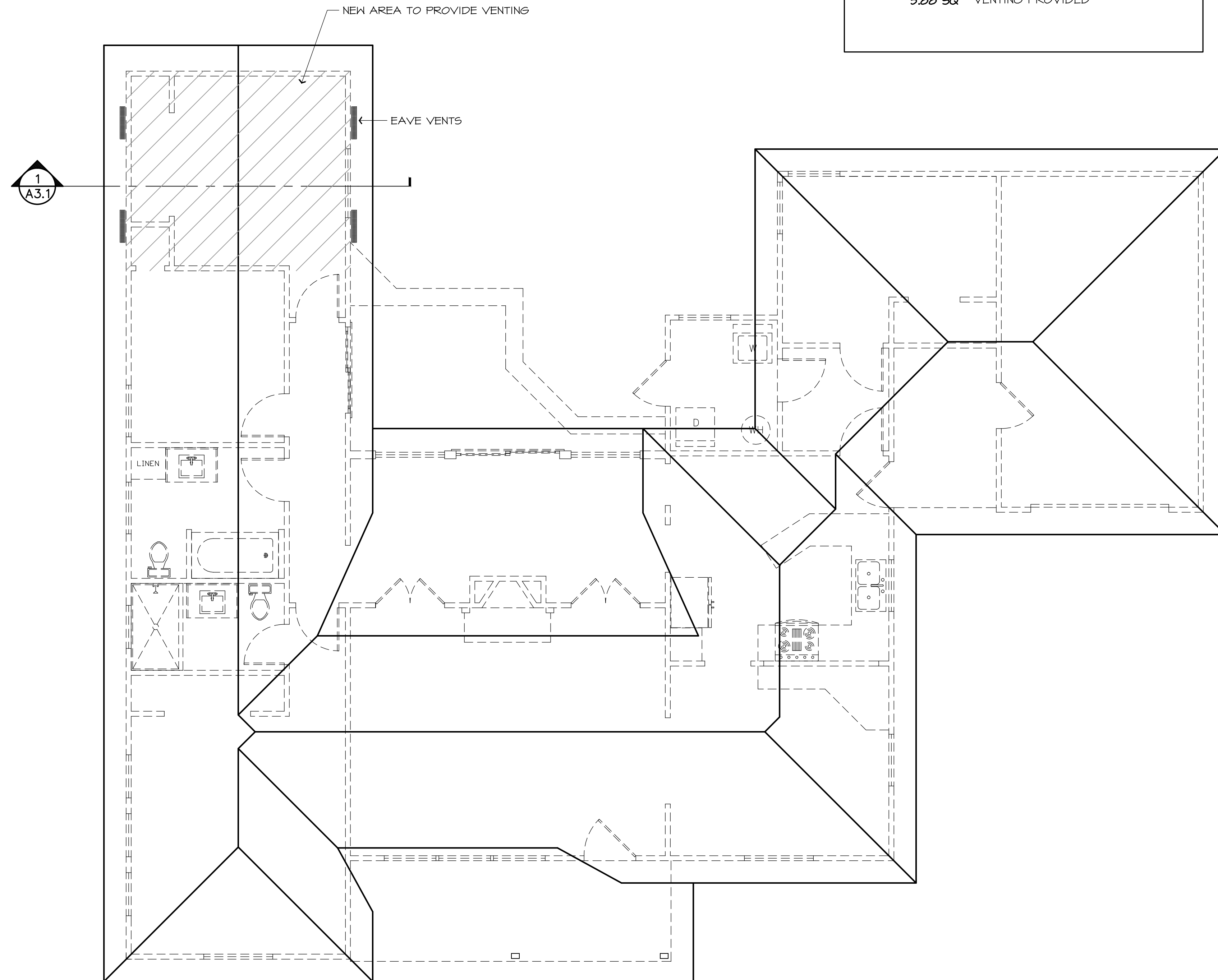
VENT CALCULATIONS UPPER ROOF

- 147 SQ' (N) ATTIC SPACE TO BE VENTED
- 0.49 SQ' MIN VENTING REQ. (1 SQ' PER 300)
- 1.48 SQ' 4- LOW VENTS PROVIDED
- 1.4 SQ' 1- GABLE VENT
- 2.88 SQ' TOTAL ATTIC VENTS PROVIDED
- 51% PERCENTAGE OF LOW VENTS PROVIDED
- 49% PERCENTAGE OF HIGH VENTS PROVIDED

22.5 X 3.5 SCREENED EYE VENT. 53.75 SQ' (31 SQ') EA.



1 SECTION
SCALE: 1/4" = 1'-0"



ROOF OUTLINE
SCALE: 1/4" = 1'-0"

FOUNDATION VENT NOTE:

THERE SHALL BE 1 SQFT OF VENTILATION PER 150 SQFT OF UNDERFLOOR AREA AND SHALL PROVIDE CROSS VENTILATION FOR ALL SEGMENTS OF THE UNDERFLOOR AREA. THEY SHALL BE COVERED WITH A CORROSION RESISTANT WIRE MESH WITH OPENINGS OF 1/8" TO 1/4" IN DIMENSION.

FOUNDATION VENT CALCS

- 147 SQ' (N) CRAWL SPACE
- 0.49 SQ' MIN VENTING REQ. (1 SQ' PER 150)
- 0.58 SQ' PER EA. 6X14 VENT X 6
- 5.88 SQ' VENTING PROVIDED

KRAUT RESIDENCE

RESIDENTIAL REMODEL
2113 TERRACE WAY
SANTA ROSA, CA 95404
707-360-7186

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DRAWN BY: RJB
SCALE: AS NOTED

REVISIONS

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AS BUILT ROOF
OUTLINE
A3.1

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RICK BOLDUC
DESIGNER DRAFTSMAN

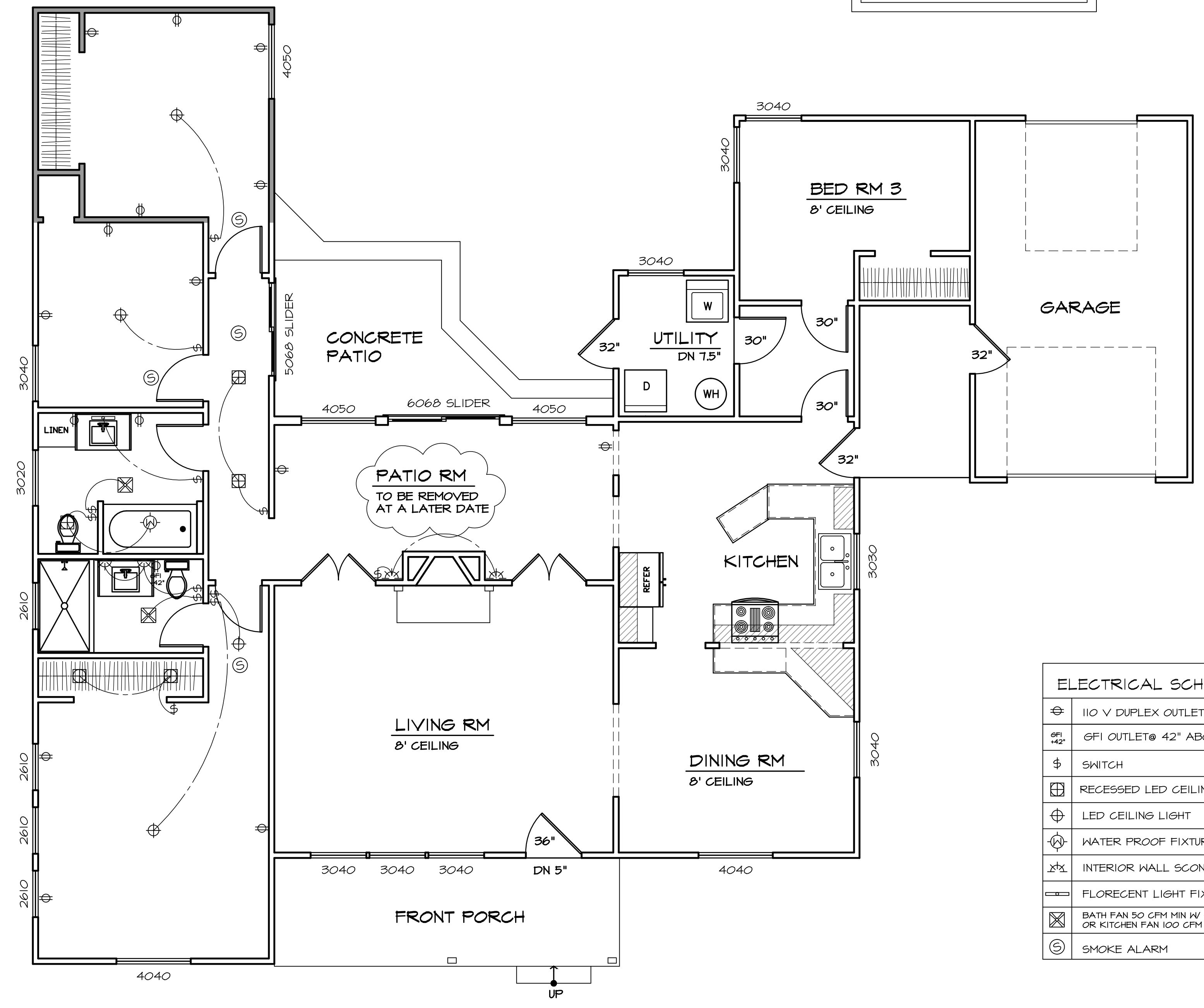
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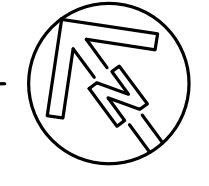
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THIS PARTIAL ELECTRICAL PLAN IS FOR THE AREAS THAT WHERE ADDED/REMODELED WITHOUT PERMIT



ELECTRICAL SCHEDULE	
⊕	110 V DUPLEX OUTLET
⊕ GFI 42"	GFI OUTLET @ 42" ABOVE FLOOR
⊕	SWITCH
⊕	RECESSED LED CEILING CAN
⊕	LED CEILING LIGHT
⊕	WATER PROOF FIXTURE
⊕	INTERIOR WALL SCONCE
⊕	FLORECENT LIGHT FIXTURE
⊕	BATH FAN 50 CFM MIN W/ HUMIDITY CONTROL OR KITCHEN FAN 100 CFM MIN (SEE NOTES)
⊕	SMOKE ALARM

ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



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ELECTRICAL PLAN E-1