

Stonebridge Subdivision CUP Modification

2220 Fulton Road

August 8, 2024

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Planning and Economic Development

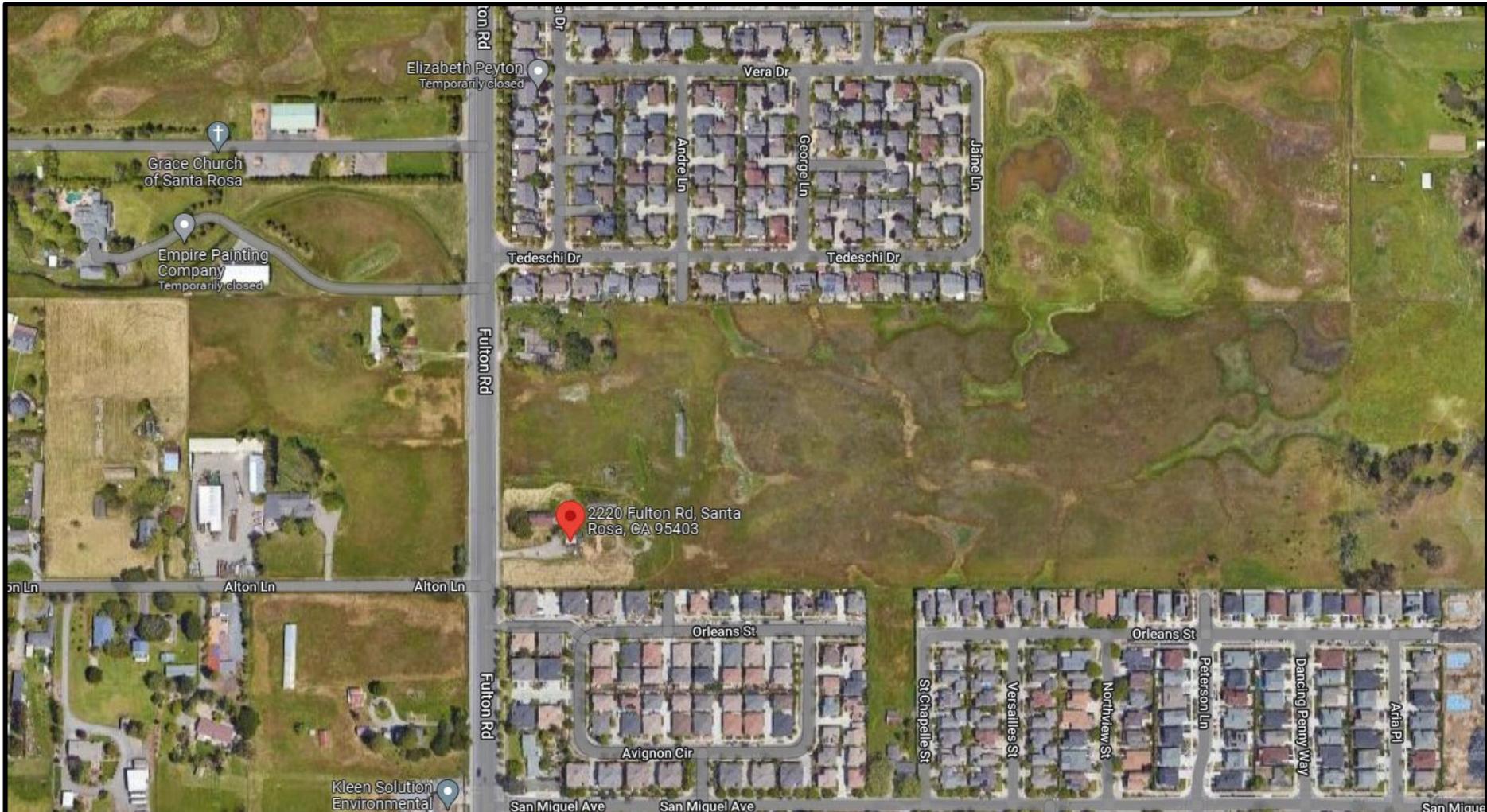
- May 27, 2021 - Planning Commission approved the Stonebridge Subdivision
 - Initial Study/Mitigated Negative Declaration
 - Conditional Use Permit (Reso 12056)
 - Tentative Map to subdivide (Reso 12057)
 - 105 Residential Lots
 - Three lettered parcels
- December 8, 2022 – Addendum to previously approved Initial Study/Mitigated Negative Declaration approved by Planning Commission

- December 8, 2022– Applications to replace the approved CUP & Tentative Map approved allowing 108 residential lots
- February 6, 2024 – Application submitted requesting the approval of a Conditional Use Permit for the Stonebridge Subdivision for reduced setbacks affecting 21 out of 108 lots

2220 Fulton Road Existing Conditions

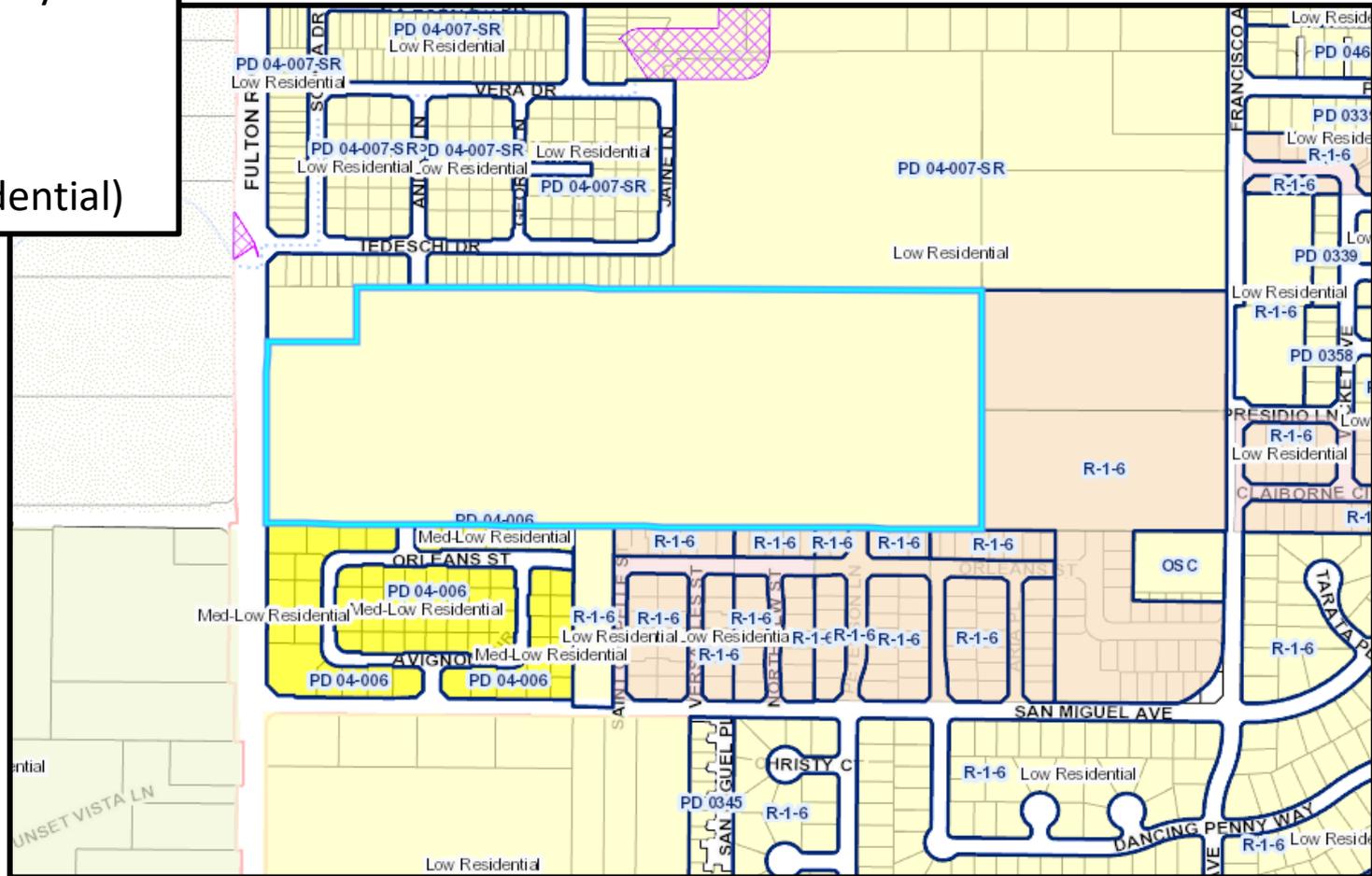


2220 Fulton Road Neighborhood Context



Land use: Low Density Residential

Zoning: Planned Development (Residential)



General Plan:

- The project is within the allowable density range at 3.77 units per acre
- Helps meet the housing needs of Santa Rosa residents
- Provides deed-restricted affordable units
- Preserves a large area with habitat for protected species

Zoning:

- Remains consistent with development standards
- Zoning Code Section 20-42.140F.4, the applicant may propose, and the review authority may approve different setbacks than the small lot subdivision development standards

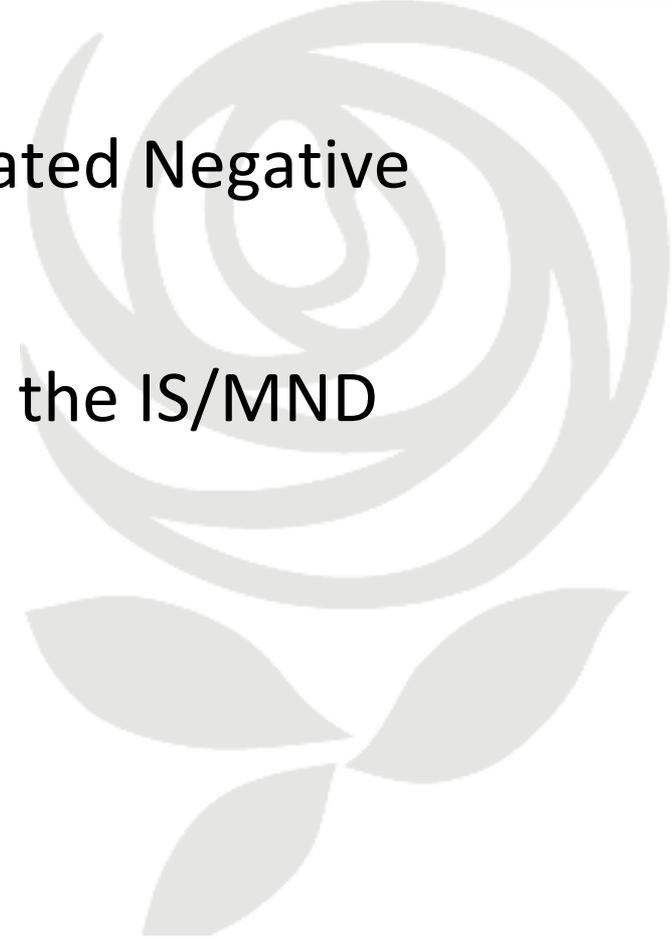
Zoning:

- Zoning Code Section 20-52.050 identifies six required findings for a Conditional Use Permit. The findings made for the previously approved Conditional Use Permit are still relevant, and are shown in the draft resolution.
- Zoning Code Section 20-52.060 discusses modifications to approved projects. Because the project requests a reduction in setbacks, it has been elevated to the Planning Commission.

Environmental Review

California Environmental Quality Act (CEQA)

- May 27, 2021 - Initial Study/Mitigated Negative Declaration adopted
- December 8, 2022 - Addendum to the IS/MND



Reduced Setbacks

Number of Lots	Setback Reductions Requested	Constraint
7 Lots (Lots 6*, 7, 40, 48, 59, 80, 92)	Reduced Rear Setback by 4' (From 15' to 11') *by 5' on Lot 6	To accommodate single-story floor plan "Plan 1342"
13 Lots (Lots 16, 27, 42, 43, 53, 56, 66, 75, 83, 85, 89, 94, 95)	Reduced Garage Setback by 3' (From 19' to 16'), & Reduced Rear Setback by 1' (From 15' to 14')	To accommodate single-story floor plan "Plan 1342"
1 Lot (Lot 47)	Reduced Garage Setback by 6' (From 19' to 13')	To accommodate approved 2-story architectural substitution "Plan 1705" on irregularly sized lot constrained by PUE and side setback

Reduced Setbacks



There are no unresolved issues.

No new public comments have been received.



It is recommended by the Planning and Economic Development Department that the Planning Commission approve a modification to the previously approved Conditional Use Permit for the Stonebridge Subdivision to allow reduced setbacks on 21 parcels.

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